

**Town of Thompson's Station
Design Review Commission
Meeting Agenda
June 2, 2022**

Meeting called to order- confirmation of quorum

Minutes

Consideration of the minutes of the April 6, 2022, meeting.

Development & Design Review:

1. Design Review for a 7,216 square foot mixed use commercial building at 2197 Portsmouth Drive in the Tollgate Village Subdivision.

Adjourn

*This meeting will be held at 4:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Road West.*

Town of Thompson's Station
Design Review Commission
Minutes of the Meeting
April 13, 2022

Call to Order.

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:00 p.m. on Wednesday, April 13, 2022 with the required quorum.

Members and staff in attendance were Commissioners Steve Bennett, Graham Russell, Carole Schneider, Planning Director Micah Wood and Planning Technician Jennifer Banaszak. Commissioner Guard

Annual Meeting:

a. Election of Officers

- i. Chair – Commissioner Schneider nominated Commissioner Bennett as Chairman. The nomination was seconded and carried by all present.**
- ii. Vice Chair – Commissioner Russell nominated Commissioner Schneider as Vice Chair. The nomination was seconded and carried by all present.**

Minutes

The meeting minutes of the October 20,2021 meeting were presented.

After discussion, Commissioner Russell made a motion to approve the minutes of the October 20, 2021. The motion was seconded and approved by all present.

New Business:

- 1. Design review for a 1500 square foot commercial building at 2201 Portsmouth Drive.**

Mr. Wood reviewed his report and based on the project's consistency with the Town's Design Guidelines, recommends approval of the building architectural elevations.

After discussion, Commissioner Russell made a motion to approve Item 1, design review for a 1500 square foot commercial building at 2201 Portsmouth Drive. The motion was seconded and approved by all present.

There being no further business, the meeting was adjourned at 4:06 p.m.

Chairman

Vice Chairman

PROJECT REQUEST

Design Review for a 7,216 square foot commercial building located at 2197 Portsmouth Drive within the Tollgate Village neighborhood.

PROJECT DESCRIPTION

The applicants request design approval for the development one commercial building within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.

The project site consists of 0.60 acres and is located along south side of Portsmouth Drive with additional frontage on Declaration Way. The project site is part of a Unified Development on Lots 20.4A and 20.4B in Tollgate Village and will share access, parking, solid waste, and other site elements. This request pertains only to the development on Lot 20.4B. The project site is within the undeveloped commercial portion of Tollgate Village, which has been previously graded. As noted, this parcel is bordered by two roadways, creating design challenges for the site. The site will be accessed from Portsmouth Drive.

The site is required to meet the minimum requirements of the Land Development Ordinance (LDO) and show general conformity with the Design Guidelines.



Location Map

ANALYSIS

The proposal consists of a two-story mixed use commercial building that includes a proposed use of veterinary hospital/clinic and retail on the first floor and an event space on the second floor. The elevations are shown, below.



North Elevation- Portsmouth Drive



West Elevation



South Elevation



East Elevation

The building's exterior includes brick veneer, pre-finished fiber cement board, and batten siding and lap siding as the primary materials on the North/Portsmouth Drive elevation. The South elevation exterior, which opens to the parking area, includes board and batten siding as the primary material. The East and West elevations consist entirely of brick veneer. The building materials generally comply with the Design Guidelines. The overall building design is mostly consistent with the Design Guidelines. Some minor adjustments along the Portsmouth Drive/North elevation will help this development fit within the emerging development pattern within the commercial section of Tollgate Village. The East, West, and South elevation require no adjustments, per Staff's review. The Portsmouth Drive/North elevation does provide some articulation and detailing for a storefront; however, Staff recommends that the primary entrance ways be better defined in order to provide more definition along this street-facing elevation; that the canopy be revised to be a continuous design feature along this elevation; and that the glazing on the ground floor be recalculated/revised along this elevation per the DRC's previous metric of using the canopy/pedestrian height as the standard for this measurement. Overall, the presented architectural design achieves the Town-wide Design Principles of Character, Compatibility, and Views, with minor adjustments, included as conditions to the Staff recommendation of approval.

RECOMMENDATION

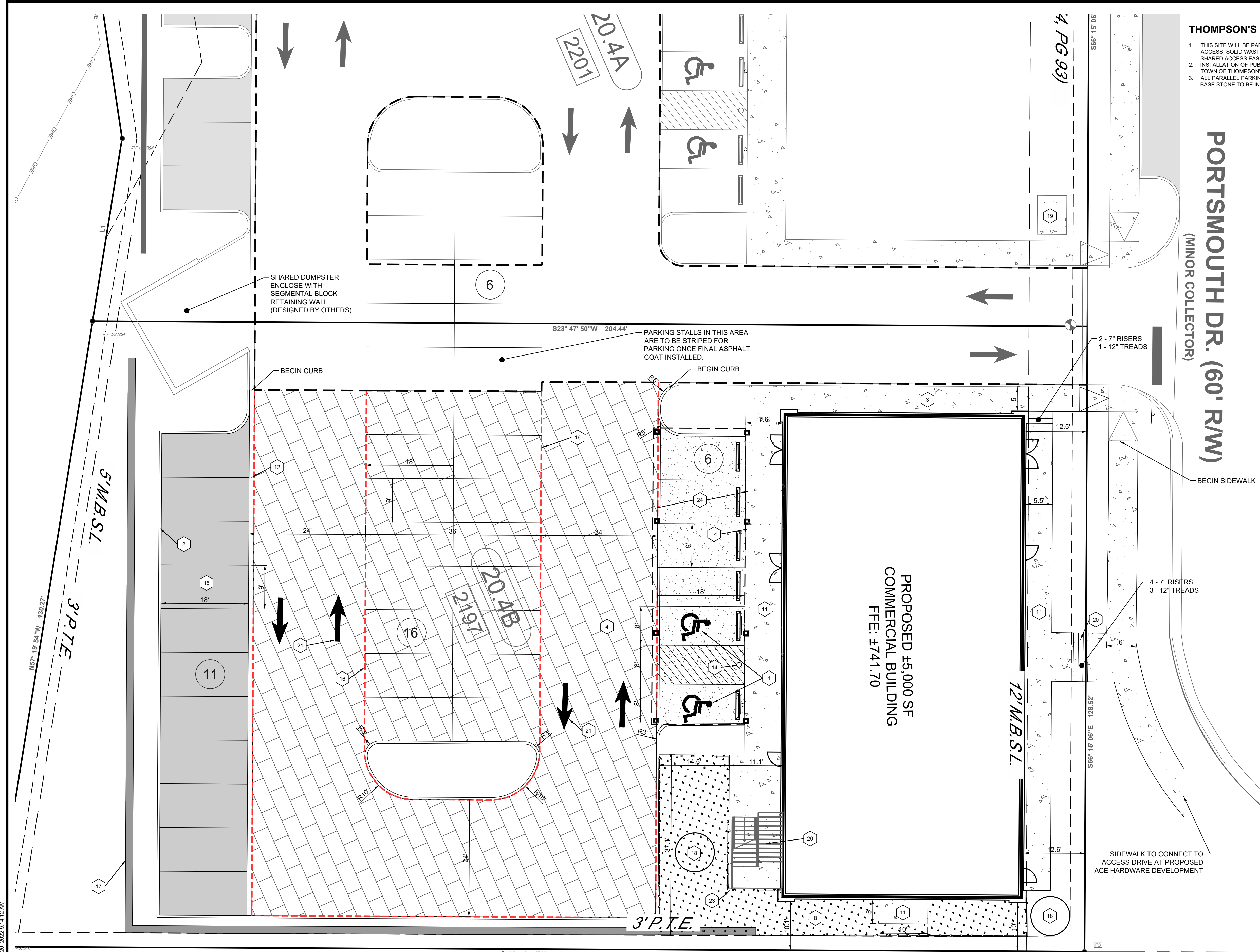
Based on the project's general consistency with the Town's Design Guidelines, Staff recommends approval of the building architectural elevations, with the following conditions:

1. The applicant shall provide more definition to the main entrance way(s) along the Portsmouth Drive elevation to provide a greater sense of focus from the street.
2. The applicant shall provide a continuous canopy across the Portsmouth Drive elevation.
3. The applicant shall update the glazing calculation provided on the North/Portsmouth Drive elevation. If needed, the applicant shall provide sufficient glazing to satisfy the required glazing minimum on the Ground Floor.

ATTACHMENTS

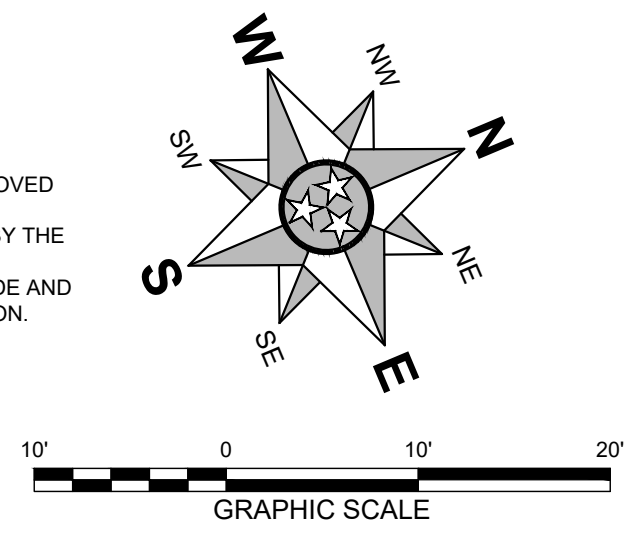
Architectural Submittal

PORTSMOUTH, CD - COVERALL SITE LAYOUT DWG / Friday, May 20, 2023 9:14:12 AM



THOMPSON'S STATION NOTES:

1. THIS SITE WILL BE PART OF A UNIFIED DEVELOPMENT WITH COMMON ACCESS, SOLID WASTE, AND SHARED PARKING, PER THE TOWN APPROVED SHARED ACCESS EASEMENT.
2. INSTALLATION OF PUBLIC SIDEWALK IS REQUIRED TO BE INSPECTED BY THE TOWN OF THOMPSON'S STATION.
3. ALL PARALLEL PARKING SPACES SHALL BE PROOF ROLLED, SUB-GRADE AND BASE STONE TO BE INSPECTED BY THE TOWN OF THOMPSON'S STATION.



PORTSMOUTH DR. (60' R/W)
(MINOR COLLECTOR)

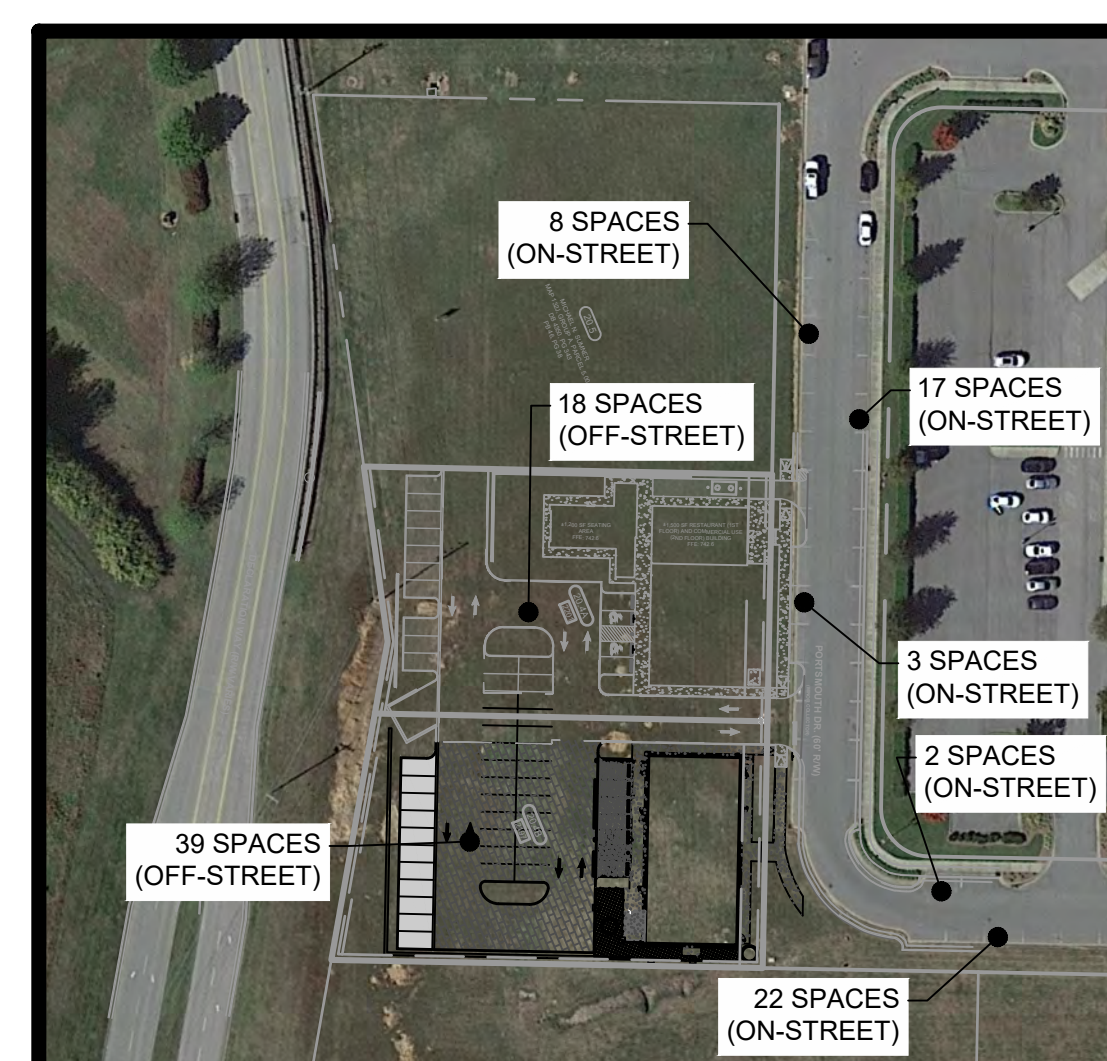
SITE PLAN KEY NOTES

- 1 ADA ACCESSIBLE PARKING LAYOUT AND SIGNAGE
- 2 6" POST CURB (TYP.)
- 3 INTEGRAL CONCRETE CURB AND SIDEWALK
- 4 PERMEABLE PAVERS
- 6 HEAVY-DUTY ASPHALT PAVEMENT SECTION
- 7 CONCRETE CURB TAPER
- 8 DOG WALKING AREA
- 9 SHARED DUMPSTER ENCLOSURE
- 10 ENTRANCE DRIVE (PER THOMPSON'S STATION REQUIREMENTS)
- 11 CONCRETE SIDEWALK
- 12 CONCRETE RIBBON CURB
- 13 LIGHT FIXTURE
- 14 BOLLARD
- 15 LIGHT-DUTY ASPHALT PAVEMENT SECTION
- 16 SHARED ACCESS EASEMENT
- 17 ±248 LF RETAINING WALL WITH RAILING (DESIGNED BY OTHERS)
- 18 WATER TOWER
- 19 BIKE RACK AREA (3 SPACES)
- 20 STAIRS
- 21 DIRECTIONAL ARROWS
- 22 STOP BAR AND STOP SIGN
- 23 DECORATIVE FENCE FOR EXTERIOR DOG WALKING AREA
- 24 SECOND STORY OUTDOOR PATIO / COVERED PARKING AREA

LAYOUT NOTES:

1. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
2. SITE DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF PAVEMENT, EDGE OF CONCRETE, OR EDGE OF BUILDING UNLESS OTHERWISE NOTED.
3. COORDINATION WITH ALL UTILITY COMPANIES IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT IS COMPLETELY SCREENED FROM ALL DIRECTIONS AND OFF SITE VIEWS.
5. THE CHANGE OUT OF ANY EQUIPMENT TO A LARGER DIMENSIONAL HEIGHT OR MOUNTING HEIGHT WILL REQUIRE THAT ADDITIONAL MEASURES BE TAKEN TO MEET TOWN OF THOMPSON'S STATION SCREENING REQUIREMENTS.

**PROPOSED ±5,000 SF
COMMERCIAL BUILDING
FFE: ±741.70**



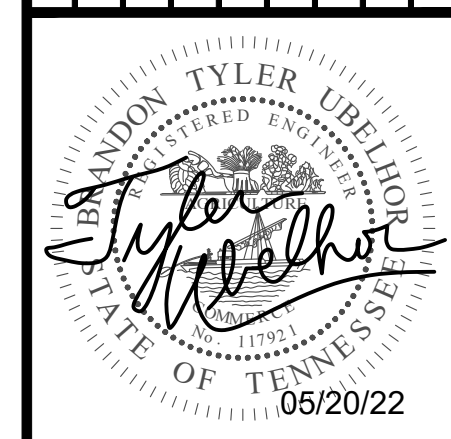
PARKING MAP
SCALE: 1" = 100'

EASEMENT LEGEND

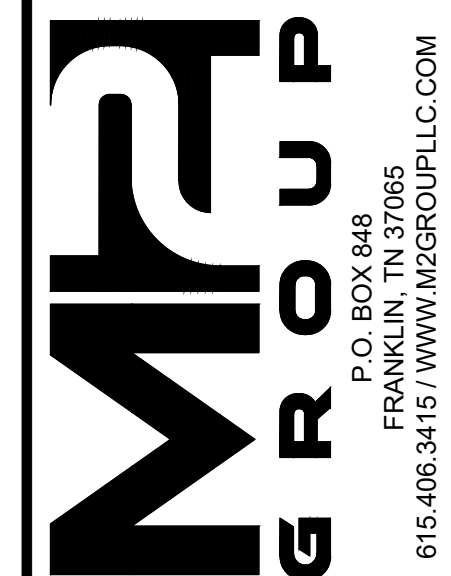
- - - - - CROSS ACCESS EASEMENT



REVISION #	DATE	DESCRIPTION



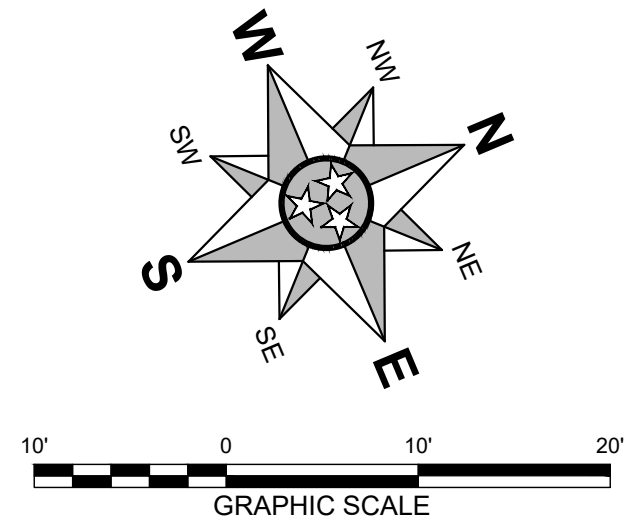
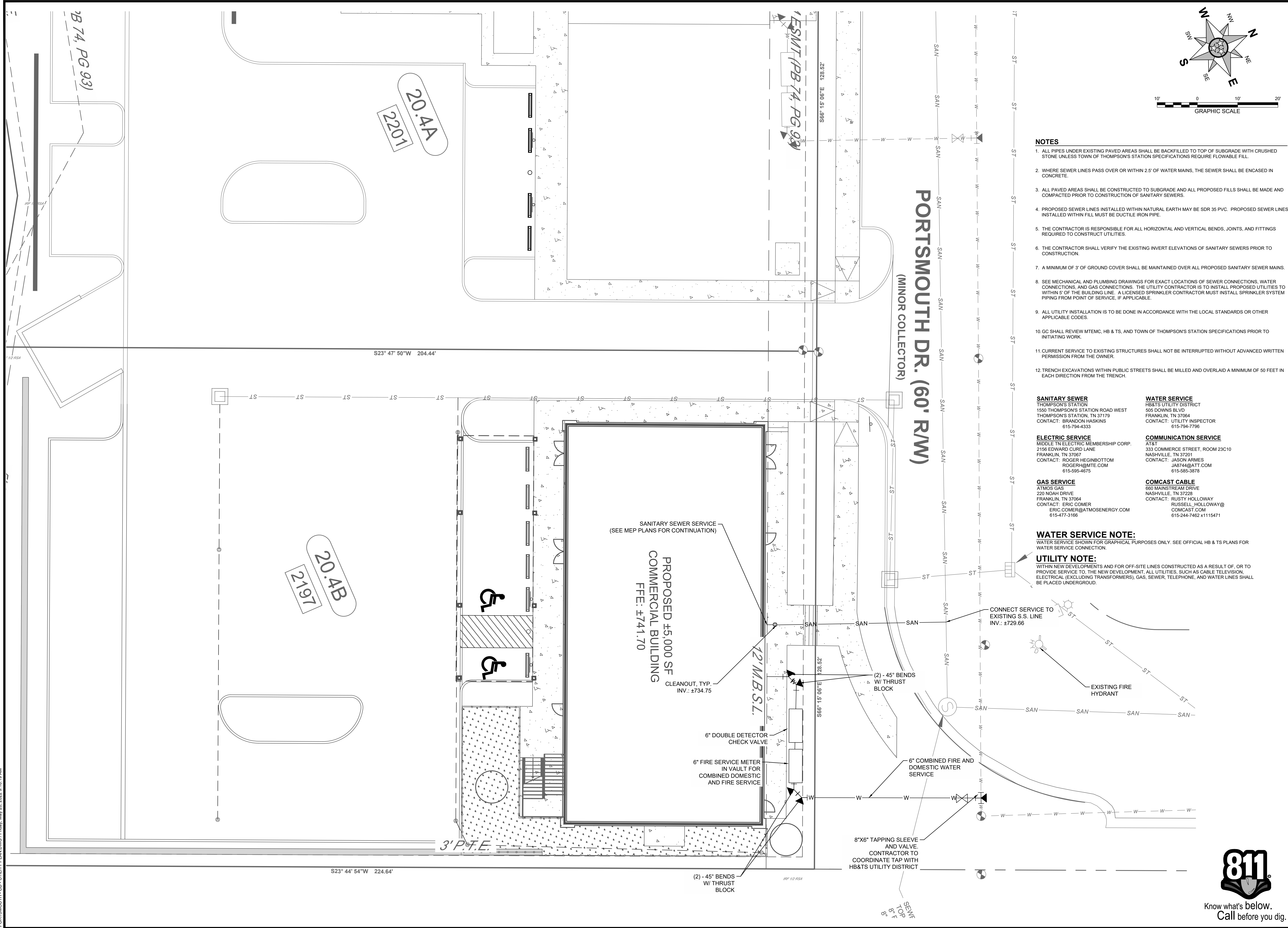
**SITE PLANS FOR:
TOLLGATE VET MIXED-USE
BUILDING**
TOWN OF THOMPSON'S STATION PROJECT #231249
2197 PORTSMOUTH DRIVE
TOWN OF THOMPSON'S STATION
WILLIAMS COUNTY, TENNESSEE



SITE LAYOUT PLAN	DATE: MAY, 2022	DRAWN BY: BTU
	PROJECT NO.: 22-005	CHECKED BY: MWB

SHEET NUMBER:
C2.0

PORTSMOUTH_CD - UTILITY PLANNING Friday, May 20, 2022 11:16:19 AM



- NOTES**
- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE UNLESS TOWN OF THOMPSON'S STATION SPECIFICATIONS REQUIRE FLOWABLE FILL.
 - WHERE SEWER LINES PASS OVER OR WITHIN 2.5' OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
 - ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
 - PROPOSED SEWER LINES INSTALLED WITHIN NATURAL EARTH MAY BE SDR 35 PVC. PROPOSED SEWER LINES INSTALLED WITHIN FILL MUST BE DUCTILE IRON PIPE.
 - THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS REQUIRED TO CONSTRUCT UTILITIES.
 - THE CONTRACTOR SHALL VERIFY THE EXISTING INVERT ELEVATIONS OF SANITARY SEWERS PRIOR TO CONSTRUCTION.
 - A MINIMUM OF 3' OF GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER MAINS.
 - SEE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS, AND GAS CONNECTIONS. THE UTILITY CONTRACTOR IS TO INSTALL PROPOSED UTILITIES TO WITHIN 5' OF THE BUILDING LINE. A LICENSED SPRINKLER CONTRACTOR MUST INSTALL SPRINKLER SYSTEM PIPING FROM POINT OF SERVICE, IF APPLICABLE.
 - ALL UTILITY INSTALLATION IS TO BE DONE IN ACCORDANCE WITH THE LOCAL STANDARDS OR OTHER APPLICABLE CODES.
 - GC SHALL REVIEW MTEMC, HB & TS, AND TOWN OF THOMPSON'S STATION SPECIFICATIONS PRIOR TO INITIATING WORK.
 - CURRENT SERVICE TO EXISTING STRUCTURES SHALL NOT BE INTERRUPTED WITHOUT ADVANCED WRITTEN PERMISSION FROM THE OWNER.
 - TRENCH EXCAVATIONS WITHIN PUBLIC STREETS SHALL BE MILLED AND OVERLAID A MINIMUM OF 50 FEET IN EACH DIRECTION FROM THE TRENCH.

- SANITARY SEWER**
 THOMPSON'S STATION
 1550 THOMPSON'S STATION ROAD WEST
 THOMPSON'S STATION, TN 37179
 CONTACT: BRANDON HASKINS
 615-794-4333
- WATER SERVICE**
 HB&TS UTILITY DISTRICT
 595 DOWNS BLVD
 FRANKLIN, TN 37064
 CONTACT: UTILITY INSPECTOR
 615-794-7795
- ELECTRIC SERVICE**
 MIDDLE TN ELECTRIC MEMBERSHIP CORP.
 2155 EDWARD CURD LANE
 FRANKLIN, TN 37067
 CONTACT: ROGER HEGINBOTTOM
 ROGERH@MTE.COM
 615-595-4676
- COMMUNICATION SERVICE**
 AT&T
 333 COMMERCE STREET, ROOM 23C10
 NASHVILLE, TN 37201
 CONTACT: JASON ARMES
 JA8744@ATT.COM
 615-595-3875
- GAS SERVICE**
 ATMOS GAS
 220 NOKAH DRIVE
 FRANKLIN, TN 37064
 CONTACT: ERIC COMER
 ERIC.COMER@ATMOSENERGY.COM
 615-477-3166
- COMCAST CABLE**
 660 MAINSTREAM DRIVE
 NASHVILLE, TN 37229
 CONTACT: RUSTY HOLLOWAY
 RUSSELL_HOLLOWAY@COMCAST.COM
 615-244-7462 x1115471
- WATER SERVICE NOTE:**
 WATER SERVICE SHOWN FOR GRAPHICAL PURPOSES ONLY. SEE OFFICIAL HB & TS PLANS FOR WATER SERVICE CONNECTION.
- UTILITY NOTE:**
 WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.

REVISION #	DATE	DESCRIPTION

TOLLGATE VET MIXED-USE BUILDING
 TOWN OF THOMPSON'S STATION PROJECT #231249
 2197 PORTSMOUTH DRIVE
 TOWN OF THOMPSON'S STATION
 WILLAGAR COUNTY, TENNESSEE



SITE UTILITY PLAN		BTU	MWB
		DATE: MAY, 2022	DRAWN BY: 22-005
PROJECT NO.:		CHECKED BY:	
SHEET NUMBER:		C5.0	

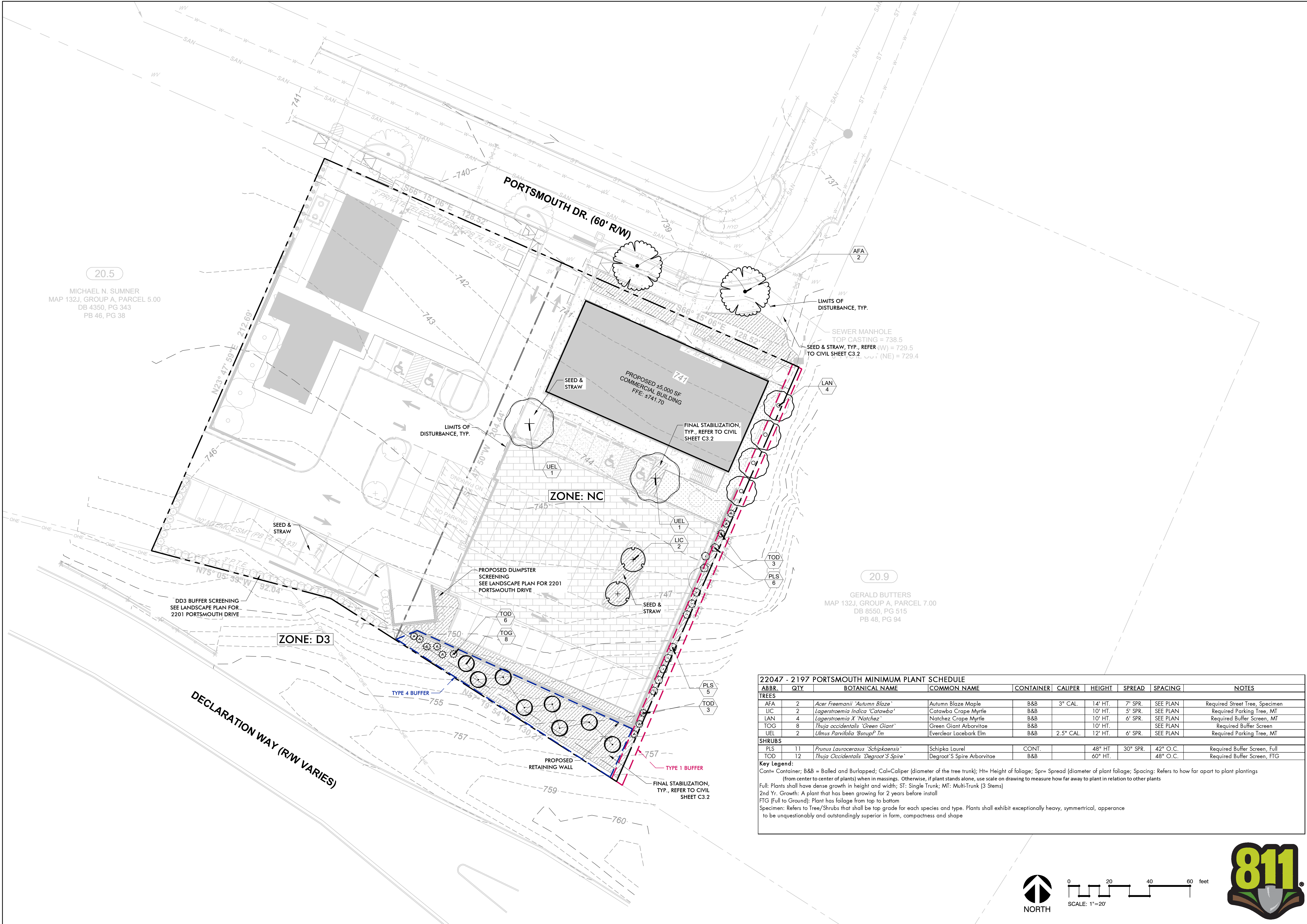


SITE PLANS FOR:
TOLLGATE VET CLINIC
2197 PORTSMOUTH DRIVE
TOWN OF THOMPSON STATION
WILLIAMSON COUNTY, TENNESSEE

NO.	REVISIONS	DATE	BY

DESIGNED BY: CBW
DRAWN BY: CBW
CHECKED BY: CBW
DATE: 05/19/22

KVD PROJECT NO.
22047
DRAWING TITLE:
**MINIMUM
LANDSCAPE
PLAN**
SHEET NUMBER
L4.0



20.5
MICHAEL N. SUMNER
MAP 132J, GROUP A, PARCEL 5.00
DB 4350, PG 343
PB 46, PG 38

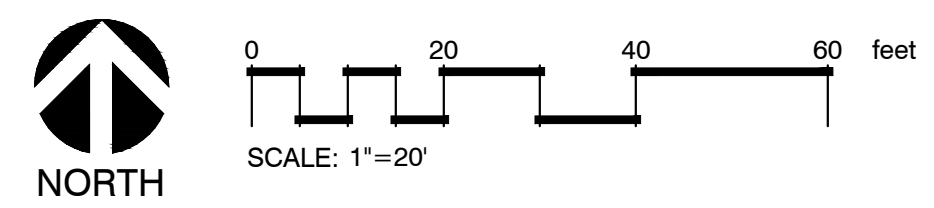
SEWER MANHOLE
TOP CASTING = 738.5
SEED & STRAW, TYP., REFER (W) = 729.5
TO CIVIL SHEET C3.2
(NE) = 729.4

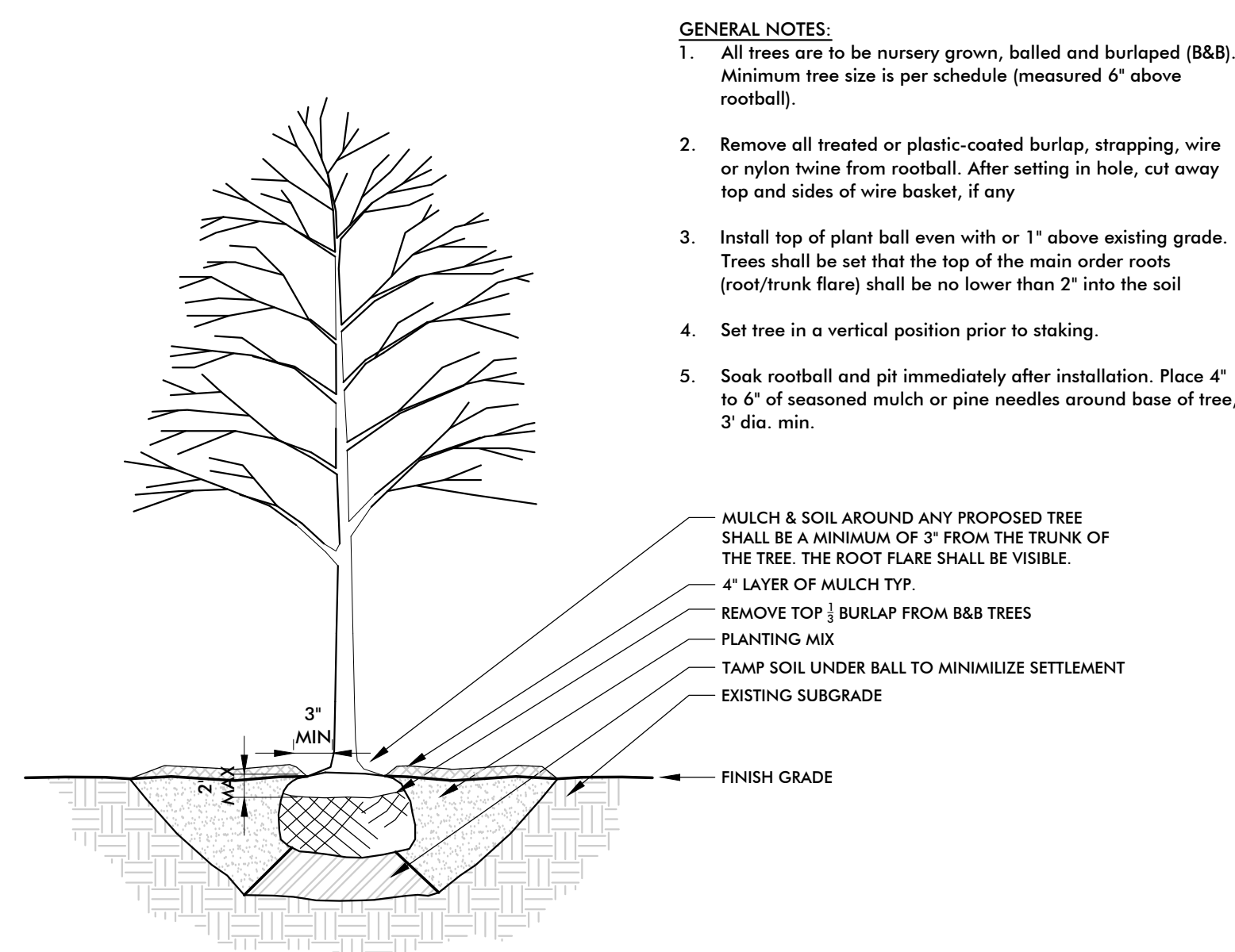
20.9
GERALD BUTTERS
MAP 132J, GROUP A, PARCEL 7.00
DB 8550, PG 515
PB 48, PG 94

22047 - 2197 PORTSMOUTH MINIMUM PLANT SCHEDULE

ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES
TREES									
AFA	2	<i>Acer Freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	B&B	3" CAL.	14' HT.	7' SPR.	SEE PLAN	Required Street Tree, Specimen
LIC	2	<i>Lagerstroemia Indica</i> 'Catawba'	Catawba Crape Myrtle	B&B		10' HT.	5' SPR.	SEE PLAN	Required Parking Tree, MT
LAN	4	<i>Lagerstroemia X 'Natchez'</i>	Natchez Crape Myrtle	B&B		10' HT.	6' SPR.	SEE PLAN	Required Buffer Screen, MT
TOG	8	<i>Thuja occidentalis</i> 'Green Giant'	Green Giant Arborvitae	B&B		10' HT.		SEE PLAN	Required Buffer Screen
UEL	2	<i>Ulmus Parvifolia</i> 'Bsnup' Tm	Everclear Lacebark Elm	B&B	2.5" CAL.	12' HT.	6' SPR.	SEE PLAN	Required Parking Tree, MT
SHRUBS									
PLS	11	<i>Prunus Laurocerasus</i> 'Schipkaensis'	Schipka Laurel	CONT.		48" HT.	30" SPR.	42" O.C.	Required Buffer Screen, Full
TOD	12	<i>Thuja Occidentalis</i> 'Degroot'S Spire'	Degroot'S Spire Arborvitae	B&B		60" HT.		48" O.C.	Required Buffer Screen, FTG

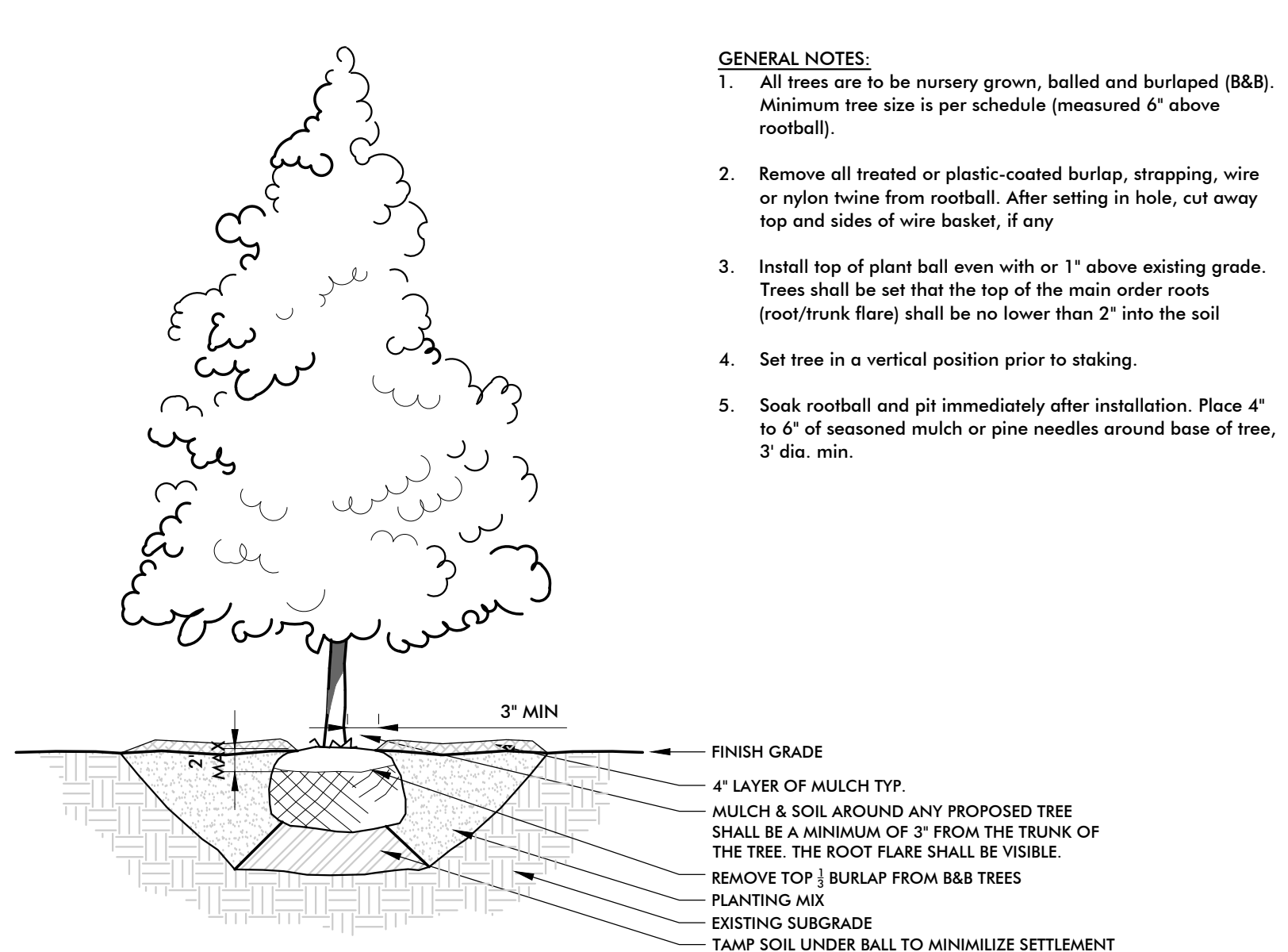
Key Legend:
Cont= Container; B&B = Balled and Burlapped; Cal=Caliper (diameter of the tree trunk); H= Height of foliage; Spr= Spread (diameter of plant foliage); Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants
Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)
2nd Yr. Growth: A plant that has been growing for 2 years before install
FTG (Full to Ground): Plant has foliage from top to bottom
Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance to be unquestionably and outstandingly superior in form, compactness and shape





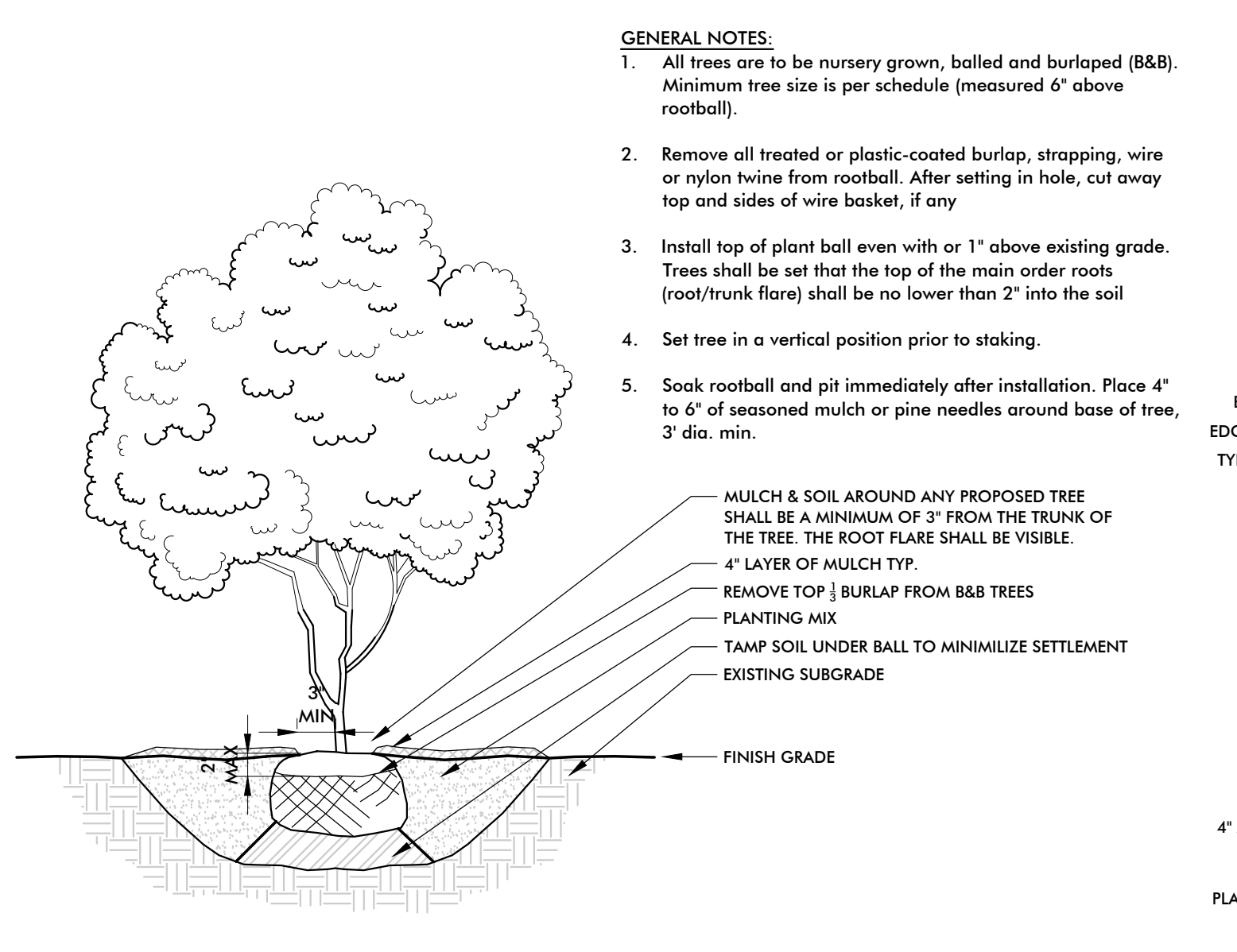
- GENERAL NOTES:**
- All trees are to be nursery grown, balled and burlaped (B&B). Minimum tree size is per schedule (measured 6" above rootball).
 - Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from rootball. After setting in hole, cut away top and sides of wire basket, if any.
 - Install top of plant ball even with or 1" above existing grade. Trees shall be set that the top of the main order roots (root/trunk flare) shall be no lower than 2" into the soil.
 - Set tree in a vertical position prior to staking.
 - Soak rootball and pit immediately after installation. Place 4" to 6" of seasoned mulch or pine needles around base of tree, 3' dia. min.

1 SINGLE TRUNK TREE PLANTING
3/4" = 1'-0" P-PO-LAN-01



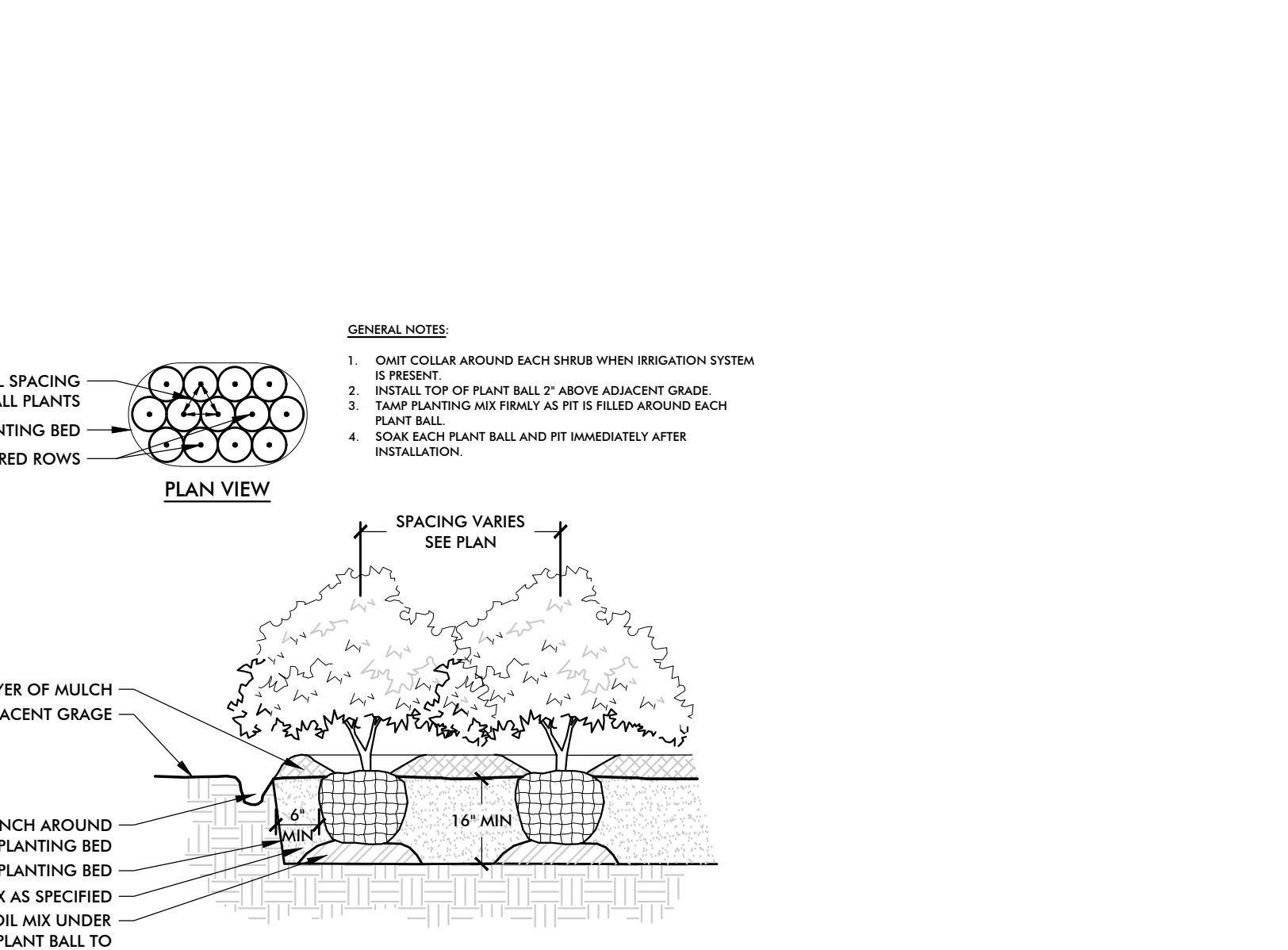
- GENERAL NOTES:**
- All trees are to be nursery grown, balled and burlaped (B&B). Minimum tree size is per schedule (measured 6" above rootball).
 - Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from rootball. After setting in hole, cut away top and sides of wire basket, if any.
 - Install top of plant ball even with or 1" above existing grade. Trees shall be set that the top of the main order roots (root/trunk flare) shall be no lower than 2" into the soil.
 - Set tree in a vertical position prior to staking.
 - Soak rootball and pit immediately after installation. Place 4" to 6" of seasoned mulch or pine needles around base of tree, 3' dia. min.

2 EVERGREEN TREE PLANTING
3/4" = 1'-0" SECTION P-PO-LAN-08



- GENERAL NOTES:**
- All trees are to be nursery grown, balled and burlaped (B&B). Minimum tree size is per schedule (measured 6" above rootball).
 - Remove all treated or plastic-coated burlap, strapping, wire or nylon twine from rootball. After setting in hole, cut away top and sides of wire basket, if any.
 - Install top of plant ball even with or 1" above existing grade. Trees shall be set that the top of the main order roots (root/trunk flare) shall be no lower than 2" into the soil.
 - Set tree in a vertical position prior to staking.
 - Soak rootball and pit immediately after installation. Place 4" to 6" of seasoned mulch or pine needles around base of tree, 3' dia. min.

3 MULTI-TRUNK TREE PLANTING
3/4" = 1'-0" P-PO-LAN-07



- GENERAL NOTES:**
- OMIT COLLAR AROUND EACH SHRUB WHEN IRRIGATION SYSTEM IS PRESENT.
 - INSTALL TOP OF PLANT BALL 2" ABOVE ADJACENT GRADE.
 - TAMP PLANTING MIX FIRMLY AS FIT IS FILLED AROUND EACH PLANT BALL.
 - SOAK EACH PLANT BALL AND FIT IMMEDIATELY AFTER INSTALLATION.

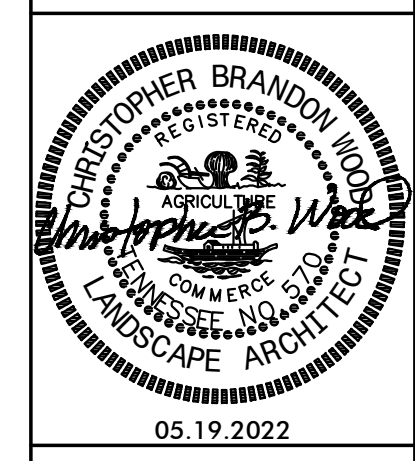
4 SHRUB PLANTING
3/4" = 1'-0" P-PO-LAN-06

MINIMUM PLANT QUALITY AND SIZE STANDARDS

- ALL NEWLY PLANTED LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSION OF THE *AMERICAN STANDARD OF NURSERY STOCK* (ANSI Z60.1).
- ALL TYPE 1, 2, AND 3 TREES (AS DEFINED IN ANSI Z60.1) USED TO MEET THE REQUIREMENTS OF THIS SUBSECTION SHALL HAVE THE FOLLOWING CHARACTERISTICS:
 - DECIDUOUS TREES SHALL HAVE ONE DOMINANT TRUNK WITH THE TIP OF THE LEADER ON THE MAIN TRUNK LEFT INTACT AND THE TERMINAL BUD ON THE CENTRAL LEADER AT THE HIGHEST POINT ON THE TREE;
 - TREES WITH FORKED TRUNKS ARE ACCEPTABLE IF ALL THE FOLLOWING CONDITIONS ARE MET:
 - THE FORK OCCURS IN THE UPPER ONE-THIRD OF THE TREE;
 - ONE FORK IS LESS THAN TWO-THIRDS THE DIAMETER OF THE DOMINANT FORK; AND
 - THE TOP ONE-THIRD OF THE SMALLER FORK IS REMOVED AT THE TIME OF PLANTING;
 - NO BRANCH IS GREATER THAN TWO-THIRDS THE DIAMETER OF THE TRUNK DIRECTLY ABOVE THE BRANCH;
 - SEVERAL BRANCHES ARE LARGER IN DIAMETER AND OBVIOUSLY MORE DOMINANT;
 - BRANCHING HABIT IS MORE HORIZONTAL THAN VERTICAL, AND NO BRANCHES ARE ORIENTED NEARLY VERTICAL TO THE TRUNK; AND
 - BRANCHES ARE EVENLY DISTRIBUTED AROUND THE TRUNK WITH NO MORE THAN ONE MAJOR BRANCH LOCATED DIRECTLY ABOVE ANOTHER AND THE CROWN IS FULL OF FOLIAGE THAT IS EVENLY DISTRIBUTED AROUND THE TREE.

LANDSCAPE NOTES

- ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES SHALL BE REPLACED WITHIN ONE YEAR OR BY THE NEXT GROWING SEASON, WHICHEVER COMES FIRST. OTHER DEFECTIVE LANDSCAPE MATERIAL SHALL BE REPLACED WITHIN THREE MONTHS.
- ALL TREES SHALL MEET MINIMUM SIZE AND QUALITY STANDARDS. ALL PLANTS SHALL BE HEALTHY, VIGOROUS MATERIAL, FREE OF PEST AND DISEASE. ALL ROOTBALLS, CONTAINERS AND HEIGHT TO WIDTH RATIOS SHALL CONFORM TO THE SIZE STANDARDS SET FORTH IN THE *AMERICAN STANDARDS FOR NURSERY STOCK*, CURRENT EDITION.
- ALL REQUIRED TREES AND SHRUBS SHALL MEET THE MINIMUM SIZE AND QUANTITY AS LISTED IN THE PLANT SCHEDULE.
- PLANT MATERIAL SHALL NOT OBSCURE TRAFFIC OR PARKING SIGNS/SIGNALS OR VEHICULAR SIGHT LINES.
- TREE TOPPING IS NOT PERMITTED.
- ADDITIONAL SCREENING MAY BE REQUIRED IF THE INSPECTION FOR THE RELEASE OF THE PERFORMANCE SURETY REVEALS THAT THE REQUIRED SCREENING IS NOT EFFECTIVE.
- ALL REQUIRED TREE PROTECTION FENCING SHALL BE INSTALLED AND INSPECTED BY THE DEPARTMENT OF BUILDING AND NEIGHBORHOOD SERVICES PRIOR TO LAND DISTURBING ACTIVITIES.
- ANY SITE OR LANDSCAPE CHANGES (INCLUDING BUT NOT LIMITED TO A CHANGE IN DESIGN, A REDUCTION IN SIZE OR NUMBER OF PLANT MATERIAL, OR THE RELOCATION OF OVERHEAD OR UNDERGROUND UTILITIES) SHALL REQUIRE A REVISED LANDSCAPE PLAN TO BE SUBMITTED AND APPROVED PRIOR TO THE LANDSCAPE INSTALLATION.
- EXISTING TREES ACCEPTED IN PARTIAL COMPLIANCE OF THE LANDSCAPE REQUIREMENTS FOR THIS SITE SHALL BE ACCESSIBLE AND FLAGGED PRIOR TO ALL LANDSCAPE INSPECTIONS.
- ANY EXISTING TREE, SHOWN AS BEING PRESERVED ON APPROVED PLANS THAT IS REMOVED, DIES OR IS DAMAGED DURING CONSTRUCTION SHALL BE REPLACED AS REQUIRED IN THE ZONING ORDINANCE.
- SCREENING PROPOSED AROUND ANY UTILITY BOX OR TRANSFORMER IS REQUIRED TO BE EVERGREEN AND ADEQUATELY SCREEN THE OBJECT. THE PROPOSED EVERGREEN PLANT MATERIAL SHALL BE REPLACED IF IT IS NOT OF A HEIGHT SUFFICIENT TO SCREEN THE OBJECT.
- ALL TREE-PROTECTION FENCING SHALL BE IN PLACE PRIOR TO THE ISSUANCE OF A GRADING PERMIT AND SHALL BE MAINTAINED IN GOOD WORKING ORDER UNTIL ALL CONSTRUCTION ACTIVITY IS COMPLETED. ANY REQUIRED EROSION CONTROL MEASURES SHALL BE PLACED OUTSIDE OF ANY TREE PROTECTION FENCING.
- TOP SOIL USED IN ALL LANDSCAPE AREAS SHALL BE SCREENED PRIOR TO DEPOSITION IN PLANTING AREAS AND ISLANDS.
- ANY PLANT MATERIAL LOCATED ADJACENT TO A PARKING AREA SHALL BE PLANTED SO AS TO ALLOW FOR A TWO AND A HALF FOOT VEHICULAR BUMPER OVERHANG FROM THE FACE OF CURB TO THE EDGE OF THE MATURE ADJACENT PLANT MATERIAL.
- THE OWNER ACKNOWLEDGES THAT PLANTING LANDSCAPE MATERIAL IN A DEDICATED EASEMENT DOES NOT WAIVE OR MODIFY THE RIGHTS AS THE EASEMENT HOLDER. THE OWNER UNDERSTANDS THAT THEIR AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY MAY AT ANY TIME AND FOR ANY REASON PERFORM WORK WITHIN THE DEDICATED EASEMENT. THE CITY, ITS AUTHORIZED CONTRACTOR OR APPLICABLE PRIVATE UTILITY SHALL HAVE NO LIABILITY TO THE OWNER FOR ANY DAMAGE TO THE LANDSCAPE MATERIAL IN THE EASEMENT WHEN SAID DAMAGE IS DUE TO WORK WITHIN THE EASEMENT. THE OWNER MAY BE HELD RESPONSIBLE FOR THE REMOVAL OF THE LANDSCAPE MATERIAL TO ENABLE WORK TO BE DONE. THE OWNER SHALL BE SOLELY RESPONSIBLE FOR ANY COSTS INCURRED IN REPAIRING AND/OR REPLACING THE REQUIRED LANDSCAPE MATERIAL.



SITE PLANS FOR:
TOLLGATE VET CLINIC
2197 PORTSMOUTH DRIVE
TOWN OF THOMPSON STATION
WILLIAMSON COUNTY, TENNESSEE

NO.	DATE	BY	REVISIONS

DESIGNED BY:	CBW
DRAWN BY:	CBW
CHECKED BY:	CBW
DATE:	05/19/22
KVD PROJECT NO.	22047
DRAWING TITLE:	LANDSCAPE DETAILS & NOTES
SHEET NUMBER:	L6.0



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RATIO Series

AREA/SITE LIGHTER

FEATURES

- Low profile LED areaisite luminaire with a variety of IES distributions for lighting applications such as retail, commercial and campus parking lots
- Featuring Micro Strike Optics which maximizes target zone illumination with minimal losses at the house-side, reducing light trespass issues
- Visual comfort standard
- Compact and lightweight design with low EPA
- 3G rated for high-vibration applications including bridges and overpasses
- Control options including photo control, occupancy sensing, NX Distributed Intelligence™ and 7-Pin with networked controls
- Best in class surge protection available



RELATED PRODUCTS
 • Airo • Cimarron LED • Ratio Family



CONTROL TECHNOLOGY

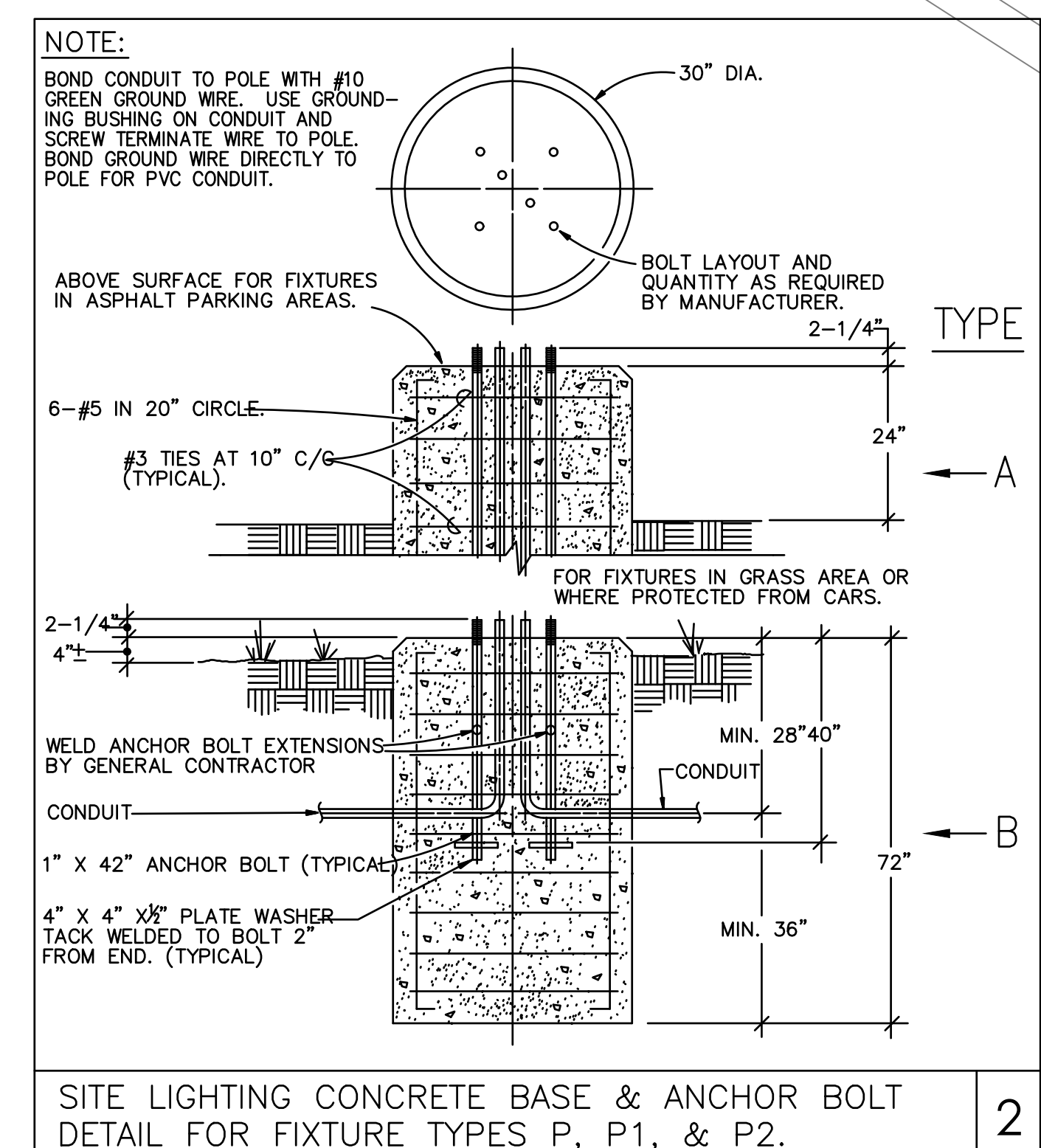
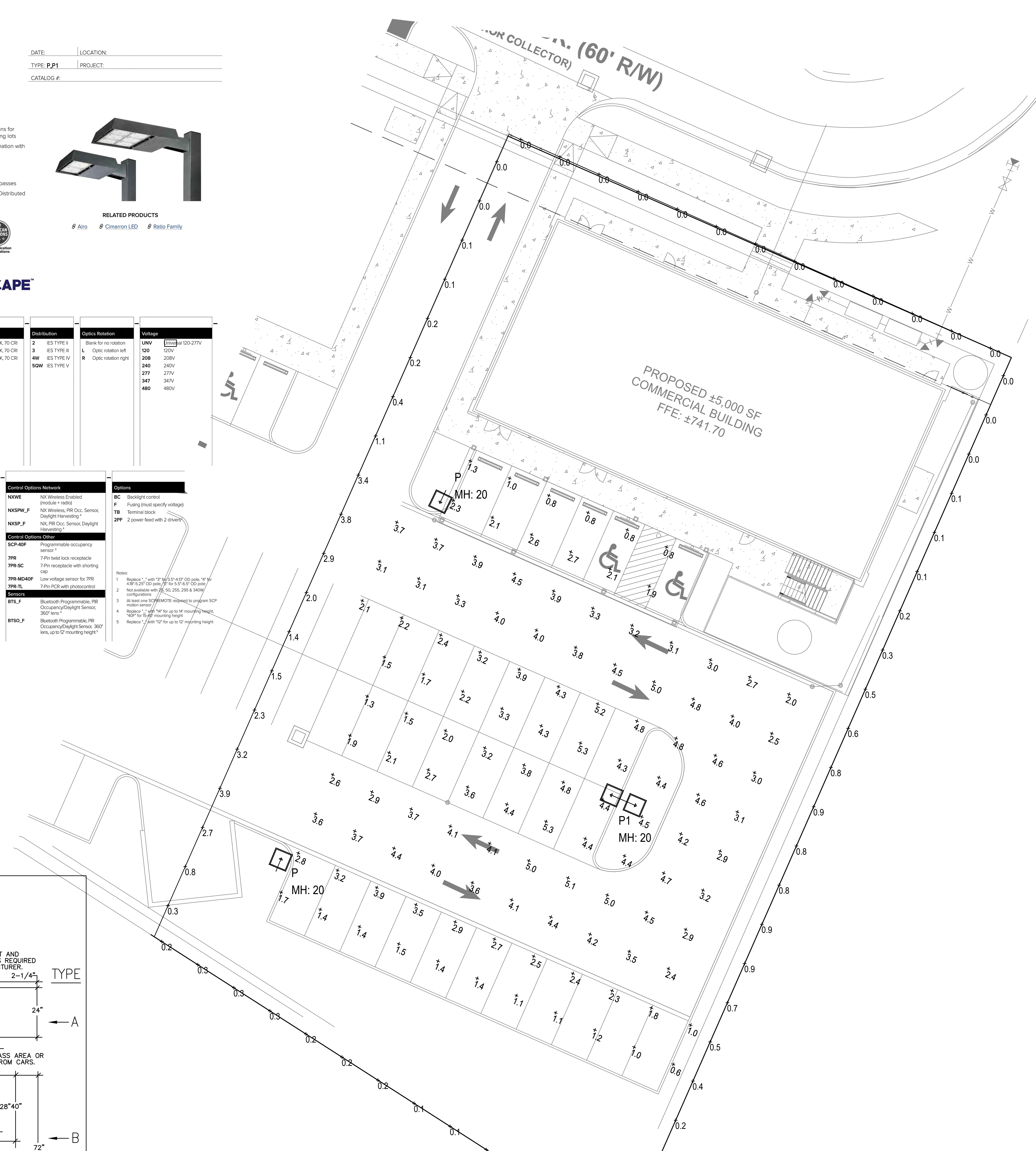


ORDERING INFORMATION

Series	Ratio Area Size 1	# LEDs - Wattage	CCT/CRI	Distribution	Optics Rotation	Voltage
RAR1	Ratio Area Size 1	80L-25 25W - 3,000 Lumens 80L-39 39W - 5,000 Lumens 80L-50 50W - 6,000 Lumens 160L-70 70W - 9,000 Lumens 160L-100 100W - 12,000 Lumens 160L-115 115W - 15,000 Lumens 160L-135 135W - 18,000 Lumens	3K7 3000K, 70 CRI 5K7 5000K, 70 CRI	2 IES TYPE II 3 IES TYPE III 4W IES TYPE IV 50W IES TYPE V	Blank for no rotation L Optic rotation left R Optic rotation right	UNV 120-277V 200 200V 208 208V 240 240V 277 277V 347 347V 480 480V
RAR2	Ratio Area Size 2	320L-70 70W - 9,000 Lumens 320L-140 140W - 18,000 Lumens 320L-165 165W - 21,000 Lumens 480L-185 185W - 24,000 Lumens 480L-200 200W - 27,000 Lumens 480L-240 240W - 30,000 Lumens 480L-255 255W - 36,000 Lumens 480L-295 295W - 42,000 Lumens 480L-340 340W - 48,000 Lumens	3K7 3000K, 70 CRI 5K7 5000K, 70 CRI	2 IES TYPE II 3 IES TYPE III 4W IES TYPE IV 50W IES TYPE V	Blank for no rotation L Optic rotation left R Optic rotation right	UNV 120-277V 200 200V 208 208V 240 240V 277 277V 347 347V 480 480V

Mounting	Color	Control Options Network	Options
ASQ Arm mount for square profiled surface ASQU Universal arm mount for square profiled surface Mounting Round Poles A_ Arm mount for round pole A_U Universal arm mount for round pole Mounting Other WB Wall bracket MAF Mast arm filler for 2-3/8" CD horizontal arm K Knuckle	BLT Black Matte Textured BLS Black Glass Smooth DBT Dark Bronze Matte Textured DBS Dark Bronze Glass Smooth GTT Graphite Matte Textured LGS Light Gray Glass Smooth PSS Platinum Silver Smooth WHT White Matte Textured WHS White Glass Smooth VST Verde Green Textured Color Option CC Custom Color	NXWE NX Wireless Enabled (module + radio) NXSPW_F NX Wireless, PR Occ, Sensor, Daylight Harvesting NXSP_F NX PR Occ, Sensor, Daylight Harvesting Control Options Other SCP-40F Programmable occupancy sensor 7Pin ball lock receptacle 7Pin SC 7Pin receptacle with shunting cap 7Pin MDA0F Low voltage sensor for 7Pin 7Pin TL 7Pin PCR with photocell	BC Backlight control F Fixing (must specify voltage) TB Terminal block 2PF 2 power feed with 2 driver

Notes:
 1. Receptacle - 1" with 7Pin 120-277V CD pole, 1/2" 48" 5/8" CD pole, 7/8" for 5.5" 4.5" CD pole
 2. Not available with 7Pin, 80, 205, 216 & 347W configurations
 3. At least one 7Pin MDA0F required to program SCP motion sensor
 4. Receptacle - 1" with 7Pin for up to 14" mounting height, 1/2" for 7.5" mounting height
 5. Receptacle - 1" with 7Pin for up to 17" mounting height



Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	[MANUFAC]
[Symbol]	2	P	SINGLE	N.A.	0.900	RAR2-320L-110-4K7-4W-U	HUBBELL OUTDOOR
[Symbol]	1	P1	BACK-BACK	N.A.	0.900	RAR2-320L-110-4K7-3-U	HUBBELL OUTDOOR

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
CalcPts_1	Illuminance	Fc	3.11	5.3	0.6	5.18	8.83



DF+H SERVICES PLLC

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 NASHVILLE, TN 37212
 office@dfhservices.com
 615.390.6131
 615.207.4721
 Project #22.007

TOLLGATE FOOD HALL

GROUND, LLC
 MATT GONZALES
 2201 PORTSMOUTH DR.
 THOMPSON STATION, TN



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NO.	DESCRIPTION	DATE
1	SCHEMATIC DESIGN	3/14/22
1	CODE COMMENTS	4/11/22

Project Number
22.1009

ELECTRICAL PHOTOMETRIC SITE PLAN



NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	5/20/2022

Project Number
20.1096

**OVERALL
ELEVATIONS**

EXTERIOR MATERIALS AND COLORS

MATERIAL	COLOR
FIBER CEMENT LAP SIDING & TRIM	BASIS OF DESIGN: JAMES HARDIE 'GRAY SLATE'
FIBER CEMENT BOARD & BATTEN SIDING AND TRIM	BASIS OF DESIGN: JAMES HARDIE 'GRAY SLATE'
BRICK VENEER	BURGUNDY
STANDING SEAM METAL ROOF	ZINC GRAY
5V CRIMP METAL ROOFING (CANOPIES)	CHARCOAL GRAY
PARAPET FLASHING	ZINC GRAY

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE TOWN OF THOMPSON'S STATION'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE DRC/TOWN OF THOMPSON'S STATION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE COMMUNITY DEVELOPMENT DIRECTOR AND/OR THE DRC.

MATERIAL LEGEND

- | | |
|--|-------------------------------------|
| 1 PRE-FINISHED METAL PARAPET COPING | 12 OVERHEAD GLAZED SECTIONAL DOOR |
| 2 BRICK VENEER | 13 WOOD FRAMED CANOPY W/ METAL ROOF |
| 3 BRICK ROWLOCK SILL COURSE | 14 PAINTED STEEL COLUMNS |
| 4 BRICK ACCENT COURSE | 15 PAINTED METAL RAILING |
| 5 CONCRETE LINTEL | 16 PAINTED STEEL STAIR |
| 6 CONCRETE SILL COURSE | 17 COVERED PARKING |
| 7 PRE-FINISHED FIBER CEMENT LAP SIDING | 18 MECHANICAL LOUVERS |
| 8 5/4 PRE-FINISHED FIBER CEMENT TRIM | 19 STANDING SEAM METAL ROOF |
| 9 PAINTED METAL GUTTER & DOWNSPOUT | 20 RIDGE SKYLIGHT |
| 10 PRE-FINISHED FIBER CEMENT BOARD & BATTEN SIDING | 21 RIDGE FLASHING |
| 11 ALUMINUM STOREFRONT | 21 BRICK-CLAD CHIMNEY |

EXTERIOR MATERIAL PROPORTIONS

WEST ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	1,921	N/A
NET AREA OF WALL	1,633	N/A
NET BRICK VENEER	1,633	100%

NORTH ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	4,277	N/A
NET AREA OF WALL	2,030	N/A
NET BRICK VENEER	1,191	59%
NET LAP SIDING	398	20%
NET BOARD & BATTEN SIDING	441	21%

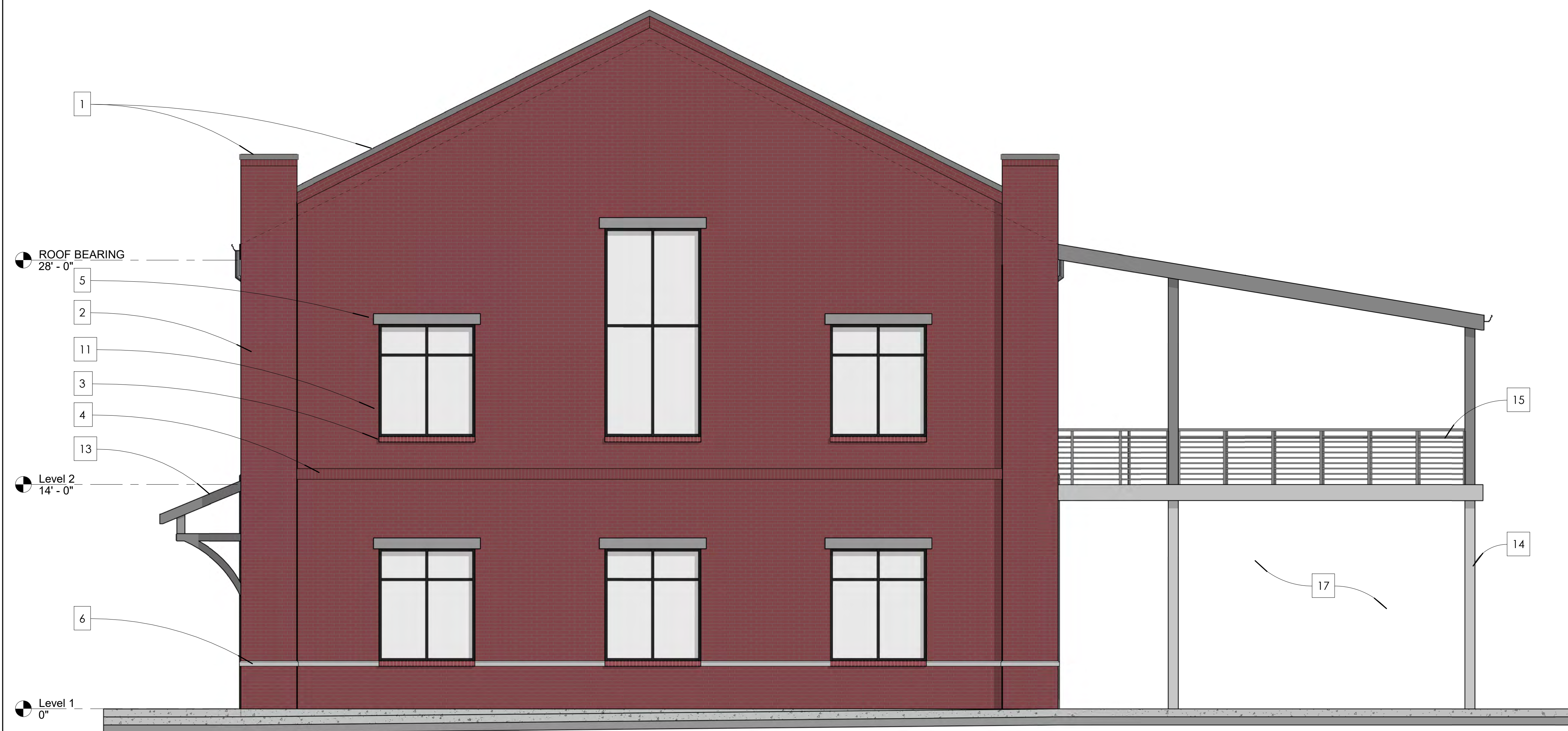
HVAC UNITS

HVAC UNITS, COOLING AND/OR MECHANICAL UNITS ARE LOCATED IN THE DEDICATED MECHANICAL ROOM

EXTERIOR GLAZING PERCENTAGES

NORTH ELEVATION	SURFACE AREA	GLAZED AREA	GLAZED %
1ST FLOOR	1,460 SF	373 SF	26%
2ND FLOOR	1,375 SF	468 SF	34%

THIS ELEVATION IS LESS THAN 50% GLAZING REQUIREMENT AT THE FIRST FLOOR DUE TO PROGRAMMATIC CONSTRAINTS AND EXCEEDS THE 25% GLAZING REQUIREMENT AT THE SECOND FLOOR.



2 WEST ELEVATION
1/4" = 1'-0"



1 NORTH ELEVATION - PORTSMOUTH DR.
1/4" = 1'-0"



EXTERIOR MATERIALS AND COLORS

MATERIAL	COLOR
FIBER CEMENT LAP SIDING & TRIM	BASIS OF DESIGN: JAMES HARDIE 'GRAY SLATE'
FIBER CEMENT BOARD & BATTEN SIDING AND TRIM	BASIS OF DESIGN: JAMES HARDIE 'GRAY SLATE'
BRICK VENEER	BURGUNDY
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MATERIAL LEGEND

- | | |
|--|-------------------------------------|
| 1 PRE-FINISHED METAL PARAPET COPING | 12 OVERHEAD GLAZED SECTIONAL DOOR |
| 2 BRICK VENEER | 13 WOOD FRAMED CANOPY W/ METAL ROOF |
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| 10 PRE-FINISHED FIBER CEMENT BOARD & BATTEN SIDING | 21 RIDGE FLASHING |
| 11 ALUMINUM STOREFRONT | 21 BRICK-CLAD CHIMNEY |

EXTERIOR MATERIAL PROPORTIONS

EAST ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	1,920	N/A
NET AREA OF WALL	1,575	N/A
NET BRICK VENEER	1,575	100%

SOUTH ELEVATION	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2,868	N/A
NET AREA OF WALL	2,092	N/A
NET BOARD & BATTEN SIDING	2,092	100%

HVAC UNITS

HVAC UNITS, COOLING AND/OR MECHANICAL UNITS ARE LOCATED IN THE DEDICATED MECHANICAL ROOM



1 EAST ELEVATION

1/4" = 1'-0"

0' 2' 4' 8'



2 SOUTH ELEVATION

1/4" = 1'-0"

0' 2' 4' 8'

TOLLGATE VET CLINIC

BILL PALS
GOOSE CREEK PET HOSPITAL

THOMPSON'S STATION, TN



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NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	5/20/2022

Project Number
20.1096

OVERALL
ELEVATIONS

A-02