

Project: \_\_\_\_\_ Project Number \_\_\_\_\_



Review Date: \_\_\_\_\_ TSPC Meeting: \_\_\_\_\_

<b>SITE PLAN AND CONSTRUCTION DOCUMENT CHECKLIST</b>		
Submittals should include one (1) paper copy of the listed items and one (1) electronic upload. All plans are required to be sealed, signed, and dated by professionals licensed in the state of Tennessee and in accordance with state law and Town of Thompson's Station requirements.		
<b>A. Preliminary Information</b>		
1	Pre-application Conference Form	
2	Project Application	
3	Signed & notarized Owner Affidavit (and Public Notice Affidavit, if applicable)	
4	Documentation on any modifications of standards granted with concept plan approval.	
5	Copy of the approved concept plan	
6	Fee (nonrefundable) <b>NO SITE PLAN WILL BE REVIEWED UNTIL THE FEE IS PAID</b>	
<b>B. General Information (Required on all applicable sheets of the submittal)</b>		
7	Cover sheet, required for all plan submittals, including the applicable information listed below and a sheet index for all sheets included in the submittal set.	
8	Date	
9	North Arrow and graphic scale	
10	Site Location / Vicinity Map	
11	Name of Proposed development (Subdivision Name, Plan Type, Section, Revision, Lot Number, [Business Name])	
12	Town of Thompson's Station Project number (to be assigned once initial submittal is made)	
13	Contact information for professional(s) preparing the plans (including email addresses)	
14	All plans sealed, signed and dated by Tennessee licensed professional(s)	
15	The applicant shall provide any additional information, as determined by the Town Staff, that will be necessary to obtain a adequate review by the Town staff and the PC.	
<b>C. Existing Conditions Plan</b>		
16	Existing topography showing vertical intervals at two (2) feet, except that, in areas where existing slopes exceed ten (10) percent, contour intervals shall be ten (10) feet.	
17	Geologic formations, including: rock outcrops, cliffs, karst topography, including geological formations or structures; watercourses; water bodies; marshes; existing streets and railroads; and existing utility easements shall be shown. Soils map, based upon data from the United States Soil Conservation Service, or other acceptable standards.	
18	Natural or man-made slopes of 14% to 19.99%. Existing natural slopes ranging between fourteen (14) and nineteen (19) percent, and slopes twenty (20) percent or greater, shall be graphically indicated and labeled. Development on natural slopes of twenty (20) percent or greater is prohibited.	
19	Ridgeline and Hilltop Protection Area limits, if applicable	
20	Watercourses, conveyances, springs (perennial only), Water bodies, FEMA Floodway and Floodplain Boundary, wetlands, and drainage basin where the site is located.	

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21	Most-recent aerial photo (or comparable document) depicting existing tree canopy cover and percent of site under existing tree cover. Show and label areas of existing vegetation with the % of canopy cover of each area.																																																		
22	Acreage and square footage of the site to include total acreage of all uses, total acreage of each use and acreage of each section.																																																		
23	Parcel boundaries of all parcels adjacent to the site and within 500' of site shall be shown with United States Geological Survey contours.																																																		
24	All base zoning districts including character areas within 500' of site																																																		
25	Identify development area for the site																																																		
26	Names of all subdivisions and land owners owning lots adjacent to the site																																																		
27	Existing land uses on the site and surrounding parcels within 500' of the site																																																		
28	Planned development within 500' of the site (consisting of approved, but not yet complete development)																																																		
29	All historic properties within 500' of site																																																		
30	Planned road network (including street names if available) within 1,500' of site (as indicated on the Major Thoroughfare Plan). Street classification of each street within or adjacent to the development in accordance with intended use based on design, such as local, collector or arterial, which shall be shown within parentheses next to the existing and proposed street names, including total trip generation projected for the development																																																		
31	Existing structures and buildings, including the exact locations, dimensions, dates of construction and architectural styles of historical structures and sites, original accesses to historical structures and sites, and proposed plans for all structures, buildings and sites.																																																		
32	Railroad infrastructure and rights-of-way																																																		
33	All easements (including drainage) with dimensions and designation as to type																																																		
34	Mineral rights (if held by parties other than the owner of record)																																																		
35	Location and description (including date of construction and architectural style) of all historic structures or site features																																																		
36	Location and caliper of all specimen trees																																																		
37	Existing parking areas with number of parking spaces listed																																																		
<b>E. Site Plan</b>																																																			
38	Minimum and maximum setback or build-to lines (based on Sector and Zoning District classifications)																																																		
39	<p>“Take Down” schedule, or table depicting how residential units or nonresidential floor space will be constructed and brought on line in multi-phase developments, see charts below (if applicable)</p> <p style="text-align: center;">LAND USE DATA</p> <p style="text-align: center;"><i>(Insert Project Name)</i></p> <table border="1" style="width: 100%; border-collapse: collapse; margin-left: auto; margin-right: auto;"> <thead> <tr> <th style="width: 10%;"></th> <th style="width: 10%;">Approval Date</th> <th style="width: 10%;">T4 Zoned Acres</th> <th style="width: 10%;">Single Family Dwelling Units</th> <th style="width: 10%;">Multi-family Dwelling Units</th> <th style="width: 10%;">Total Dwelling Units</th> <th style="width: 10%;">Lot Numbers Of Buildable Units</th> <th style="width: 10%;">Lot Numbers Of Open Space Lots</th> <th style="width: 10%;">Remaining Acres</th> <th style="width: 10%;">Remaining Dwellings</th> </tr> </thead> <tbody> <tr> <td style="text-align: center;"><b>Development Concept Plan</b></td> <td style="text-align: center;">1/30/21</td> <td style="text-align: center;">1506</td> <td style="text-align: center;">1548</td> <td style="text-align: center;">600</td> <td style="text-align: center;">2148</td> <td style="text-align: center;">**</td> <td style="text-align: center;">**</td> <td style="text-align: center;">**</td> <td style="text-align: center;">**</td> </tr> <tr> <td style="text-align: center;"><b>Section 1</b></td> <td style="text-align: center;">4/18/21</td> <td style="text-align: center;">18.22</td> <td style="text-align: center;">48</td> <td style="text-align: center;">0</td> <td style="text-align: center;">48</td> <td style="text-align: center;">1-48</td> <td style="text-align: center;">49</td> <td style="text-align: center;">1487.77</td> <td style="text-align: center;">2100</td> </tr> <tr> <td style="text-align: center;"><b>Section 2</b></td> <td style="text-align: center;">7/5/21</td> <td style="text-align: center;">28.35</td> <td style="text-align: center;">65</td> <td style="text-align: center;">0</td> <td style="text-align: center;">65</td> <td style="text-align: center;">53-80, 100-136</td> <td style="text-align: center;">82, 90, 95</td> <td style="text-align: center;">1459.43</td> <td style="text-align: center;">2035</td> </tr> <tr> <td style="text-align: center;"><b>Section 3</b></td> <td style="text-align: center;">9/21/21</td> <td style="text-align: center;">17.86</td> <td style="text-align: center;">30</td> <td style="text-align: center;">27</td> <td style="text-align: center;">57</td> <td style="text-align: center;">140-183</td> <td style="text-align: center;">166</td> <td style="text-align: center;">1441.57</td> <td style="text-align: center;">1978</td> </tr> </tbody> </table>		Approval Date	T4 Zoned Acres	Single Family Dwelling Units	Multi-family Dwelling Units	Total Dwelling Units	Lot Numbers Of Buildable Units	Lot Numbers Of Open Space Lots	Remaining Acres	Remaining Dwellings	<b>Development Concept Plan</b>	1/30/21	1506	1548	600	2148	**	**	**	**	<b>Section 1</b>	4/18/21	18.22	48	0	48	1-48	49	1487.77	2100	<b>Section 2</b>	7/5/21	28.35	65	0	65	53-80, 100-136	82, 90, 95	1459.43	2035	<b>Section 3</b>	9/21/21	17.86	30	27	57	140-183	166	1441.57	1978
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Development	Civic Space %	Civic Space Type	Required Open Space	Remaining Open Space Acres
Concept/Preliminary Plat	45%	Park, Plaza	54 acres	N/A
Section 1		N/A		54
Section 2	15%	Plaza	18	36
Section 3	30%	Park	36	0

Development	Approval Date	T5 Zoned Acres	Use	Lot Numbers Of Buildable Units	Floor Area	Lot Numbers Of Open Space Lots	Remaining Acres	Remaining Square Footage
Concept Plan	1/30/21	15	Retail, Office, Apartments	**	100,000 s.f.	**	**	**
Section 4	4/18/21	5	Retail, Office	51, 52	50,000 s.f.	77	10	50,000 s.f.
Section 5	7/5/21	5	Apartments	92	0	83, 95, 97	5	50,000 s.f.
Section 6	9/21/21	5	Retail, Office	142-148	50,000 s.f.	143	0	0

40	100-year Floodplain
41	Adjoining property owners
42	The value of all true bearings and angles dimensioned in degrees and minutes
43	Lot numbers and design (to include size) of residential (multi-family) and non-residential structures
44	The length of the boundaries of the site measured to the nearest one-tenth (0.1) foot
45	Locations, square footages, and exterior dimensions of all existing buildings and above-ground habitable structures
46	Locations, square footages, and exterior dimensions of all proposed buildings and habitable structures
47	All easements, including dimensions and type (e.g., drainage, access, public utility, etc.)
48	Location, width, and classification of all existing and proposed streets
49	Location, width, and materials of all sidewalks, trails, and paths (including connections to the public sidewalk system and adjacent developments)
50	Where common solid waste storage is required, the location of dumpster pads, dumpster pad details, screen walls, and screen gates, in conformance with sanitation department standards.
51	Location, and height of all fences and retaining walls
52	Detail of proposed retaining wall materials (exterior)
53	Location, arrangement, and dimensions of vehicular entrances, exits and parking lot aisles (including Primary Drive Aisles)
54	Pedestrian walkways, paths, entrances, ramps, crossings, and handicapped parking areas
55	Location and number of bicycle parking facilities
56	Detail of bicycle rack
57	Pervious and impervious parking spaces (including dimensions)
58	Fire lanes and areas of parking prohibition
59	Location and number of all stacking spaces
60	Location and size of all loading zones
61	Locations and dimensions for all cross-access ways between parking lots serving different uses

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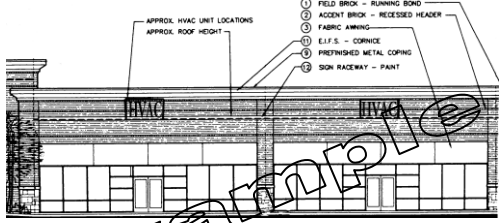
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62	Limits of disturbance																						
63	Existing and proposed utilities																						
64	Grading, Drainage, Erosion Prevention and Sediment Control, and Stormwater Management Plans (see Engineering comments pertaining to these items)																						
<b>F. Utility Plan</b> (see Engineering comments pertaining to these items)																							
65	Existing and proposed locations, types, and sizes of all water lines, fire hydrants, sanitary sewer lines, re-purified water systems, storm sewers, culverts, street improvements, sidewalks and any other utilities affected by the site.																						
66	All site plans shall contain the following note: “Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities, such as cable television, electrical (excluding transformers), gas, sewer, telephone and water lines shall be placed underground.” IL and IM Districts shall be permitted to have their off-site lines overhead.																						
<b>G. Landscape/Open Space Plan</b>																							
67	Signature, date, and seal by a Tennessee Licensed Landscape Architect																						
68	Open space resources, including phasing and designation of formal and informal areas. Whenever open space is required, the following items shall be shown and labeled with the square footage: (a) The limits of the area shall be clearly identified on the landscape plan and site layout, with any improvements clearly labeled. (b) Documentation shall be provided for any stormwater device counted toward open space requirements. (c) Details of the improvements, such as fountains, walls, public art, benches, etc. shall be provided. (d) The open space take down chart shall be provided on the site layout and landscape plan																						
<b>H. Architectural Plan</b> (required for all residential and non-residential site plans)																							
69	Building Elevations Required (meeting all applicable development standards in LDO and the Design Guidelines): <ul style="list-style-type: none"> <li>For attached residential/ multi-family buildings and all non-residential buildings, elevations shall be provided for all sides of the building(s) with a scale shown on the plan. The architectural elevations for all multifamily &amp; non-residential buildings shall be signed and sealed by a Registered Architect.</li> </ul>																						
70	List of proposed exterior materials and color																						
71	Description of the type of material(s) used on each façade elevation included in chart form with percentages of each material listed.  <table border="1" style="margin-left: auto; margin-right: auto;"> <thead> <tr> <th colspan="3">West/Columbia Pike Elevation</th> </tr> <tr> <th></th> <th>Surface Area</th> <th>Percent of Net*</th> </tr> </thead> <tbody> <tr> <td>Gross of Wall</td> <td align="center">2,968</td> <td align="center">N/A</td> </tr> <tr> <td>Net* of Wall</td> <td align="center">2,743</td> <td align="center">N/A</td> </tr> <tr> <td>Net* EIFS</td> <td align="center">133</td> <td align="center">4%</td> </tr> <tr> <td>Net* Brick</td> <td align="center">1,734</td> <td align="center">64%</td> </tr> <tr> <td>Net* Split-face Block (integrally stained)</td> <td align="center">876</td> <td align="center">32%</td> </tr> </tbody> </table> <p align="center"><small>* Excludes roof forms, windows, doors, awnings, and similar features.</small></p>	West/Columbia Pike Elevation				Surface Area	Percent of Net*	Gross of Wall	2,968	N/A	Net* of Wall	2,743	N/A	Net* EIFS	133	4%	Net* Brick	1,734	64%	Net* Split-face Block (integrally stained)	876	32%	
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72	Typical square footage of each dwelling unit type shown (for residential).																						
73	Materials board demonstrating material and color of all primary and accent building materials (if required by pre-application form)																						
74	The location of any rooftop units shall be shown and labeled on the elevation(s), including the information in the box below and completed as applicable to this development.																						

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	 <div data-bbox="553 663 1144 835" style="border: 1px solid black; padding: 5px; margin-top: 10px;"> <p>HVAC Units, cooling and/or mechanical units are located on the:</p> <ul style="list-style-type: none"> <li>x ↑ Rooftop</li> <li>↑ Ground</li> <li>↑ None Provided</li> </ul> </div>	
75	<p>A note shall be provided on each sheet of the elevation(s): "These elevations have been designed to meet the requirements of the Town of Thompson's Station's architectural design standards and the approval of the DRC/Town of Thompson's Station. Changes shall not be made to the approved elevations unless approved by either the Community Development Director or the DRC."</p>	
76	<p>Color Elevations, to be included with the Electronic Copy of the plans</p>	
<b>I. Lighting Plan</b>		
77	<p>Location, type, and height of all lighting (including street lights)</p>	
78	<p>The following chart shall be provided on all Lighting Plan sheets:</p> <div data-bbox="462 1129 1318 1507" style="border: 1px solid black; padding: 10px; margin: 10px auto; width: 80%;"> <p align="center"><b>SITE LIGHTING DATA</b></p> <p>Land Use:          Zoning District:          Height of Proposed/Existing Building:          Pole Height:          Pole/Fixture Color:          Color of Light:</p> <p align="center">THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE TOWN OF THOMPSON'S STATION STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION/TOWN OF THOMPSON'S STATION. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT DIRECTOR OR THE PLANNING COMMISSION.</p> </div>	
79	<p>Details on colors and materials for all lighting fixtures</p>	

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		<h1 style="font-size: 100px; opacity: 0.5;">Example</h1>	
80	Grid or photometric diagram showing maximum illumination values at grade and uniformity ratios to all boundaries of the development. Light intensity is to be measured in footcandles and shall be extended until 0.0 footcandles is maintained (for nonresidential only).		
81	Maximum illumination in parking lots and maximum illumination at property lines (for nonresidential and multi-family only)		
82	Clearly identified/labeled property lines		
83	The following note shall be included regarding the location of proposed lighting: "Street light locations and quantities are approximate. Final positioning and quantity shall be at the direction of MTEMC."		