

Town of Thompson's Station  
Design Review Commission  
Meeting Agenda  
January 3, 2018

**Meeting Called To Order**

**Minutes-**

**Consideration Of The Minutes Of The September 6, 2017 Meeting**

Documents:

[11012017 DRC MINUTES.PDF](#)

**New Business:**

**1. Design Review For The Development Of A Restaurant And Convenience Store With A Gas Station (Roderick Market) Located Along The East Side Of Columbia Pike. (File: SP 2017-007; DR 2017-005)**

Documents:

[ITEM 1 STAFF REPORT RODERICK.PDF](#)  
[ITEM 1 RODERICK ELEVATIONS.PDF](#)

**2. Design Review For The Development Of Two Buildings For The "Artist Compound" And A Platform Stage At Graystone Quarry. (File SP 2018-001; DR 2018-001)**

Documents:

[ITEM 2 STAFF REPORT GRAYSTONE QUARRY.PDF](#)  
[ITEM 2 GRAYSTONE QUARRY ELEVATIONS.PDF](#)

**Adjourn**

*This meeting will be held at 4:00 p.m. in Thompson's Station Town Hall,  
1550 Thompson's Station Road West*

Town of Thompson's Station  
Design Review Commission  
Minutes of the Meeting  
November 1, 2017

**Call to Order.**

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:01 p.m. on Wednesday, November 1, 2017 with the required quorum. Members and staff in attendance were Commissioners Kim Peterson, Wanda Bradley, Steve Bennett, Huntly Gordon, Town Planner Wendy Deats and Town Clerk Jennifer Jones.

**Consideration of Agenda.**

Commissioner Gordon called for a motion to approve the Agenda for the November 1, 2017 meeting.

**Commissioner Bradley moved for the approval of the November 1, 2017 agenda.  
The motion was seconded and carried by all.**

**Consideration of Minutes.**

The minutes of the September 6, 2017 meeting were previously submitted.

**Commissioner Peterson moved for the approval of the September 6, 2017 minutes.  
The motion was seconded and carried unanimously.**

**Unfinished Business:**

None.

**New Business.**

1. Design review for a retail, rental and maintenance facility for Thompson Machinery located at 4545 Columbia Pike. (File: SP 2017-006; DR 2017-004)

Mrs. Deats reviewed the Staff report and recommended that the DRC consider the addition of awnings as an architectural treatment over the roll up doors on the north and south side of the building. Upon determination of the additional architectural treatment, Staff recommends approval of the design project.

Brett Creasman of Kiser Vogrin Design was available to answer questions regarding the project.

1. **After discussion, Commissioner Gordon made a motion to approve Item 1, design review for a retail, rental and maintenance facility for Thompson Machinery located at 4545 Columbia Pike with the following contingencies:**
  - a. **The trellis/canopy structure shall have the split face gray block at the base of the columns to match the building.**
  - b. **The trellis/canopy structure shall be extended along the east elevation to cover a minimum of one of the single windows.**
  - c. **The wing wall screening the utilities on the north side of the building shall be extended to the west to entirely screen the utilities from the public right-of-way.**
  - d. **Awnings shall be added over the bay doors on the north and south elevations.**

**The motion was seconded and carried unanimously.**

There being no further business, the meeting was adjourned at 4:43 p.m.

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Huntly Gordon, Chairman

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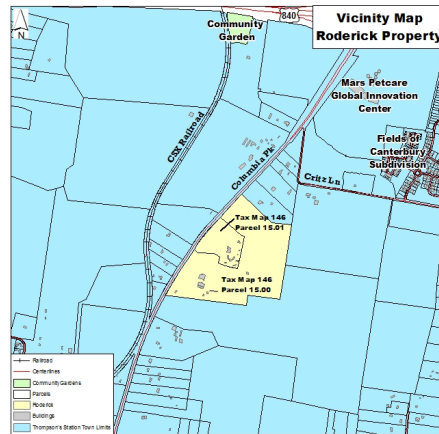
Kim Peterson, Vice Chairman

**Thompson's Station Design Review Commission**  
**Staff Report – Item 1 (File: SP 2017-007 & DR 2017-005)**  
**January 3, 2017**

**Design Review for the development of (Roderick Market) a restaurant and convenience store with a gas station within Roderick Place.**

**PROJECT DESCRIPTION**

The applicant, Kimley-Horn has submitted a site plan/design review application for the development of a restaurant and convenience store with a gas station on a 2.57-acre site located along the east side of Columbia Pike, north of Thompson's Station Road, south of Critz Lane within Roderick Place.



**ANALYSIS**

**Site Plan**

The applicant is proposing the development of a 5,761-square foot one story building containing a restaurant with patio dining and a convenience store with gas facilities on 2.57 acres. The building has an entrance on the east elevation to provide access to both the store and the restaurant. The restaurant will have an enclosed patio area with a fenced lawn area along the front elevation. The west elevation has double doors for access from the dining to the fenced lawn area. Gas pumps will be located in the rear of the site and will be attached to the main structure by the canopy structure. A trash area is provided along the east elevation and will be screened by a gated enclosure to match the building.

***Architecture***

The building has a height of 25 feet with a pitched roof incorporating asphalt shingles and metal. The west elevation fronts Columbia Pike, however is set back from the roadway by a distance of approximately 100 feet. The patio is along this elevation and will have a stone veneer the length of the enclosed patio with double doors exiting to the front fenced lawn area and a metal roof. North of the patio along the west elevation is vertical barn wood siding with stone veneer wrapping the base of the building and a hip roof with asphalt shingles and dormers. South of the patio along this elevation is vertical barn wood siding with a stone veneer wrapping the base of the building and a gable asphalt roof. Metal roofing also connects the two roof lines of the restaurant and convenience store. The “envisioning” or pattern book permits the use of brick, natural stone, wood and stucco for building facades and asphalt shingles and metal roofing for the roof materials.





**NORTH ELEVATION**



**EAST ELEVATION**



**SOUTH ELEVATION**



**WEST ELEVATION - DOORS UP**

### **RECOMMENDATION**

The project, as proposed, is consistent with the approvals granted for the Specific Plan; therefore, Staff recommends that the DRC approved the project design.

### **ATTACHMENTS**

Site Plan Packet



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



**NORTH ELEVATION**

SCALE: 1/8" = 1'0"



**EAST ELEVATION**

SCALE: 1/8" = 1'0"



**SOUTH ELEVATION**

SCALE: 1/8" = 1'0"

209 Tenth Avenue South, Suite 501  
Franklin, TN 37057  
Main: 615.554.2701  
www.kimley-horn.com  
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**Kimley»Horn**  
**KV+D**  
KISER YOGGRIN DESIGN

**906** STUDIO  
ARCHITECTS  
615.988.9055  
906studio.com  
237 Second Avenue South  
Franklin, TN 37004

**RODERICK MARKET**  
THOMPSON STATION, TENNESSEE

No.	REVISIONS PER TOTIS COMMENTS	DATE	BY
1		10-14-15	SE

DESIGNED BY:	MH
DRAWN BY:	SE
CHECKED BY:	MH
DATE:	09/21/2015
KHA PROJECT NO. 118096000	

ELEVATIONS

SHEET NUMBER

**A1-10**

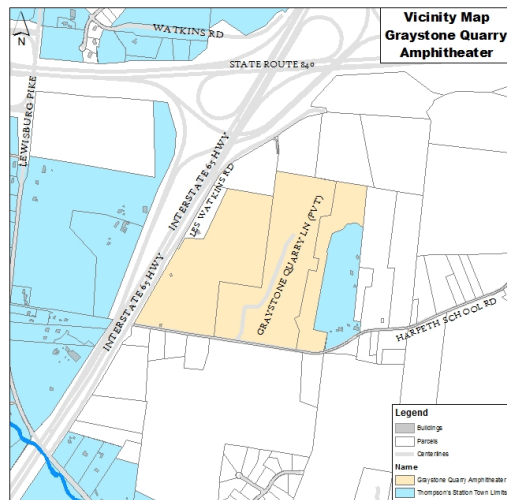


**Thompson's Station Design Review Commission**  
**Staff Report – Item 2 (File: SP 2018-001 & DR 2018-001)**  
**January 3, 2017**

Design Review for the development of two buildings for the “artist compound” and a platform stage at Graystone Quarry (File SP 2018-001; DR 2018-001).

**PROJECT DESCRIPTION**

The applicant, Dale & Associates has submitted a site plan and design review application on behalf of Rick and Nancy McEachern for the development of two buildings for the “artist compound” at Graystone Quarry located at 4520 Graystone Quarry Lane.

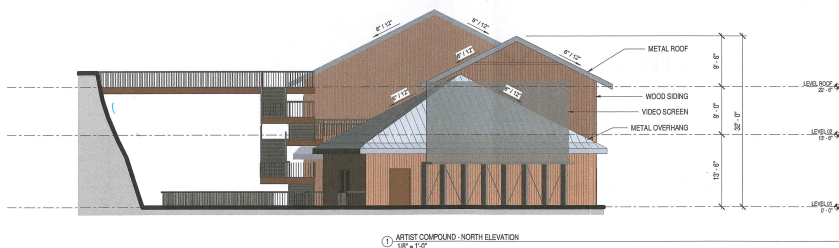


**ANALYSIS**

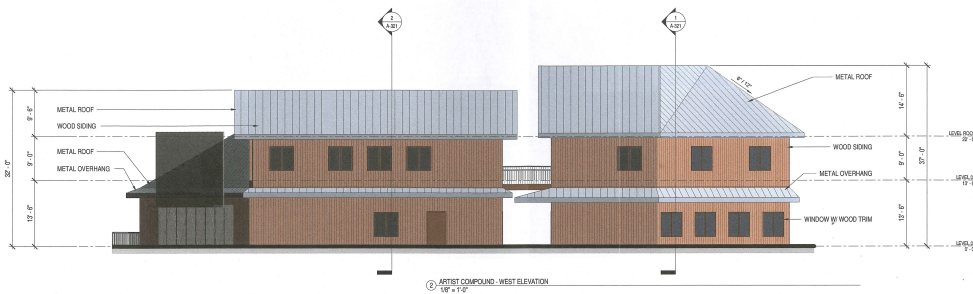
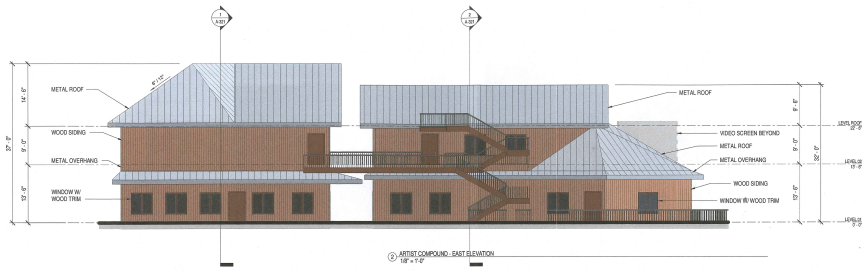
The applicant is proposing the addition of two buildings totaling 9,227 square feet for the “artist compound” and the platform stage at Graystone Quarry. The amphitheater is phase 2 of the overall Graystone Quarry event venue which was approved with a Specific Plan zoning district.

**Architecture**

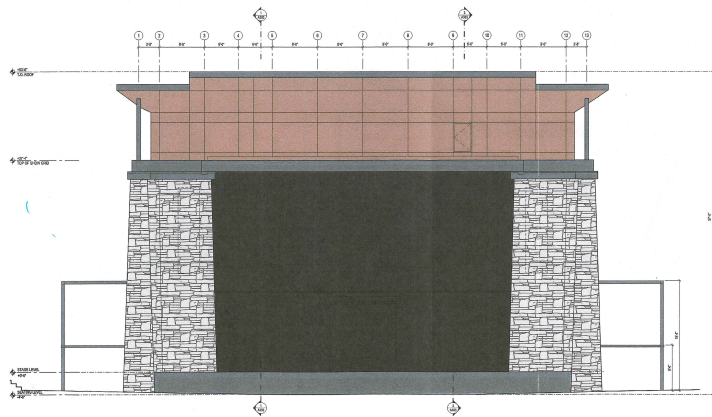
Two buildings are proposed for the “artist compound” and one platform stage for the amphitheater. The artist buildings are setback behind the pavilion and the barn used for weddings and other events. Building A is 4,893 square feet and building B is 4,334 square feet and are connected by an exterior stairway. The building height is two stories with a maximum height of 37 feet. The primary building materials are wood siding with the trim around the doors and windows consisting of neutral colors and the roof will be a pitched metal roof. The proposed buildings will be consistent with the existing architecture and materials on site for the event venue.

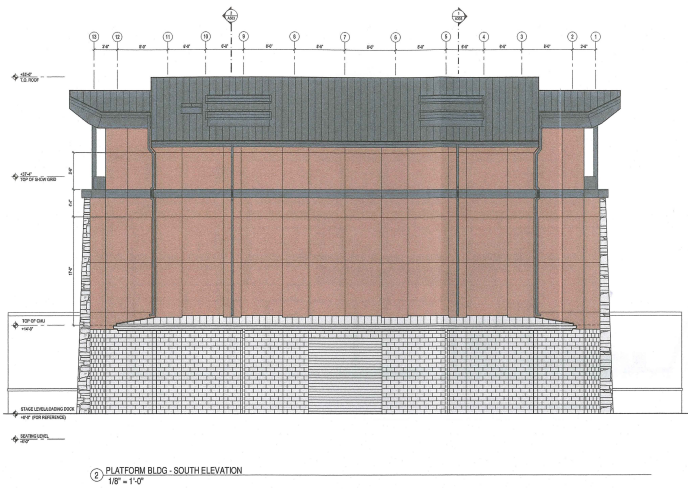


① ARTIST COMPOUND - NORTH ELEVATION  
 1/8" = 1'-0"



The platform structure is a stage with three sides and a roof. The structure will have a maximum height of 52 feet and is designed to match the buildings on site with the use of wood siding and stone veneer.





### **RECOMMENDATION**

The project, as proposed, is consistent with the Design Guidelines and the existing buildings on site; therefore, Staff recommends that the DRC approved the project design.

### **ATTACHMENTS**

Elevation packet





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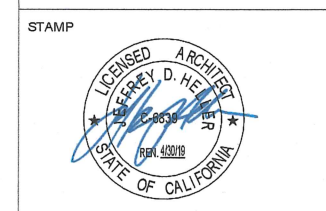
# GRAYSTONE QUARRY AMPHITHEATRE

4520 GRAYSTONE QUARRY LANE,  
THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL

REVISIONS		
MARK	DESCRIPTION	DATE

DATE 12/12/2017



SHEET TITLE  
**FLOOR PLAN LEVEL 01**

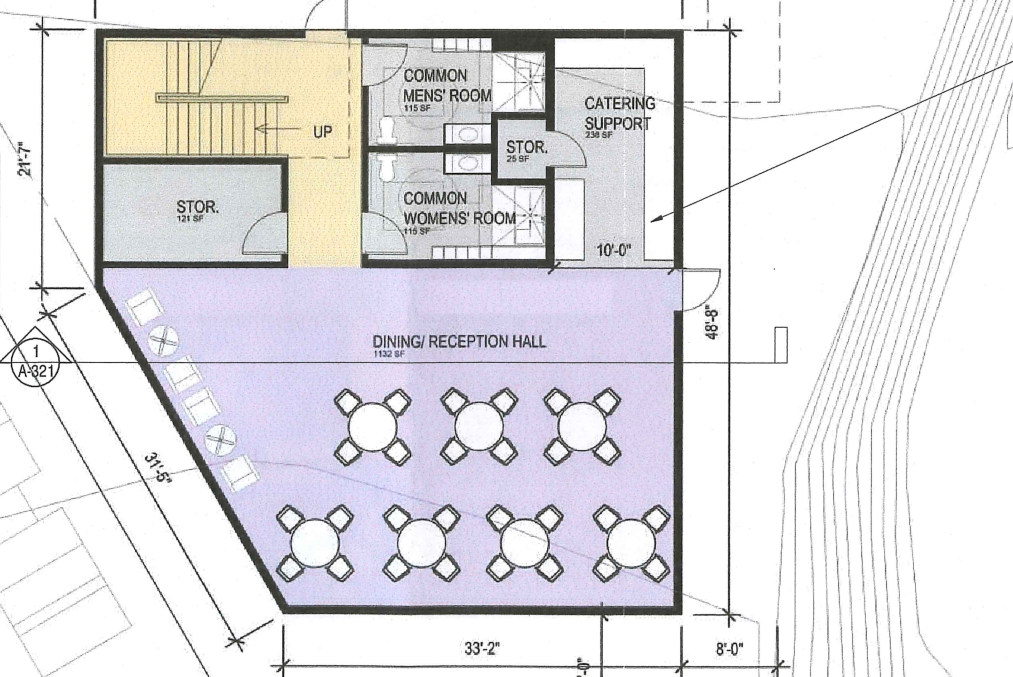
SCALE

RECEIVED  
DEC 15 2017

## BLDG A - LEVEL 1



## BLDG B - LEVEL 1

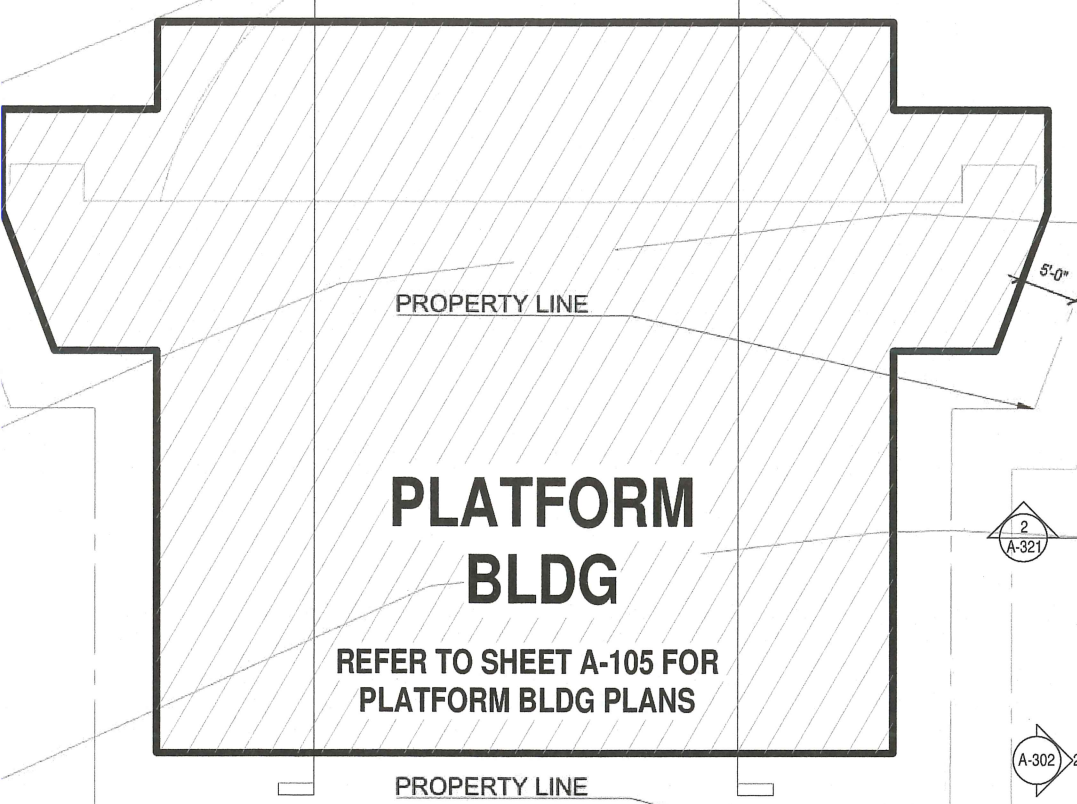


PROGRAM LEGEND	
<span style="display:inline-block; width:15px; height:15px; background-color:orange;"></span>	ARTISTS' DRESSING/LOUNGE
<span style="display:inline-block; width:15px; height:15px; background-color:gray;"></span>	STOR. / MECH. / RESTROOM
<span style="display:inline-block; width:15px; height:15px; background-color:lightgreen;"></span>	LOUNGE
<span style="display:inline-block; width:15px; height:15px; background-color:yellow;"></span>	CIRCULATION
<span style="display:inline-block; width:15px; height:15px; background-color:blue;"></span>	OFFICE
<span style="display:inline-block; width:15px; height:15px; background-color:lightyellow;"></span>	OUTDOOR SPACES
<span style="display:inline-block; width:15px; height:15px; background-color:purple;"></span>	DINING/ RECEPTION HALL
<span style="display:inline-block; width:15px; height:15px; background-color:darkred;"></span>	STUDIO

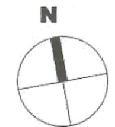
BUILDING AREA TABLE		
	BUILDING A	BUILDING B
LEVEL 1	3,338 GSF	2,167 GSF
LEVEL 2	1,555 GSF	2,167 GSF
TOTAL	4,893 GSF	4,334 GSF

## PLATFORM BLDG

REFER TO SHEET A-105 FOR  
PLATFORM BLDG PLANS







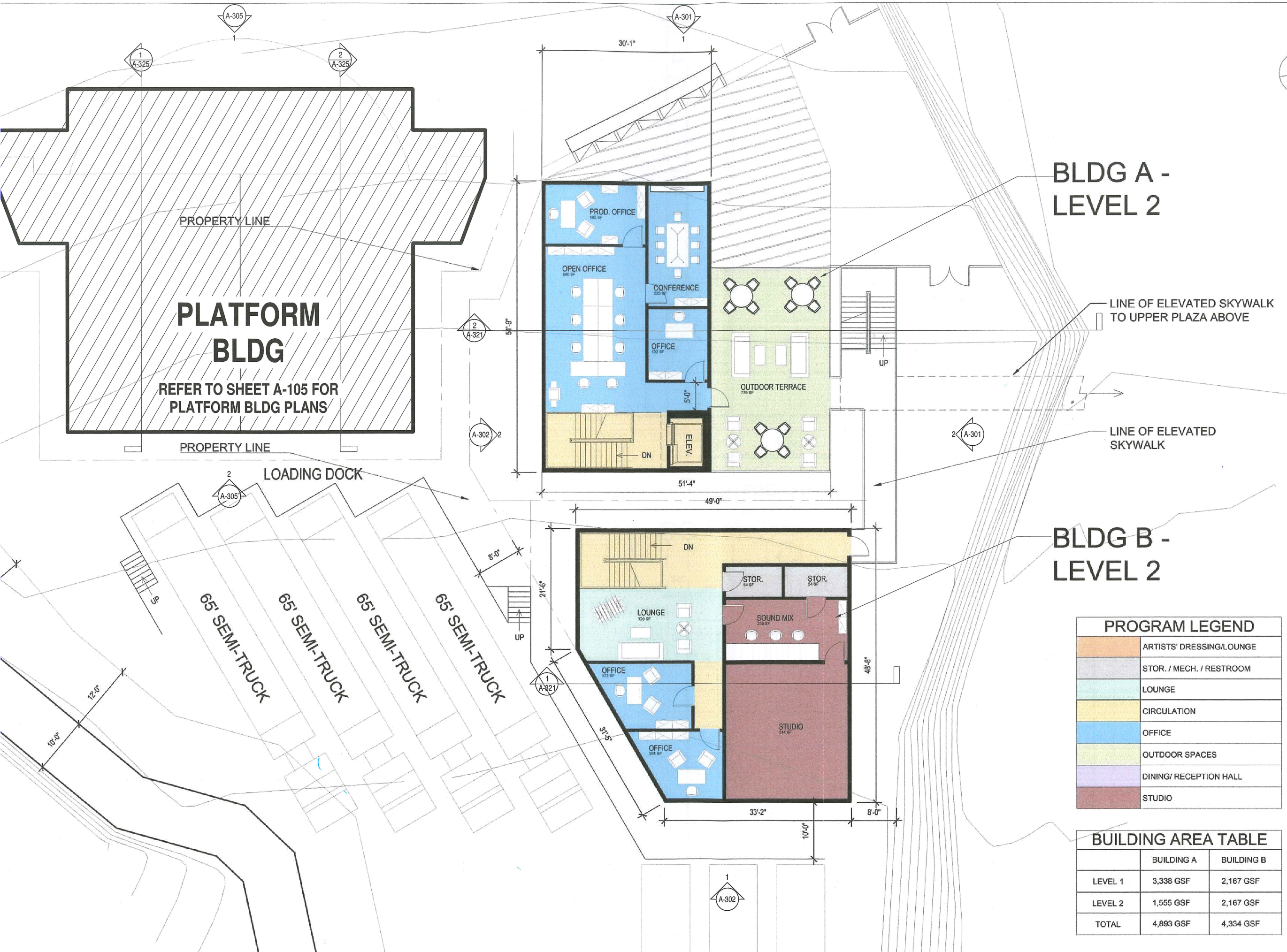
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# GRAYSTONE QUARRY AMPHITHEATRE

4520 GRAYSTONE QUARRY LANE,  
THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL

REVISIONS		
MARK	DESCRIPTION	DATE



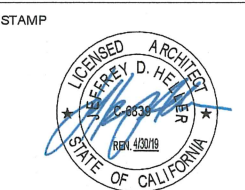
**BLDG A -  
LEVEL 2**

**BLDG B -  
LEVEL 2**

PROGRAM LEGEND	
	ARTISTS' DRESSING/LOUNGE
	STOR. / MECH. / RESTROOM
	LOUNGE
	CIRCULATION
	OFFICE
	OUTDOOR SPACES
	DINING/ RECEPTION HALL
	STUDIO

BUILDING AREA TABLE		
	BUILDING A	BUILDING B
LEVEL 1	3,338 GSF	2,167 GSF
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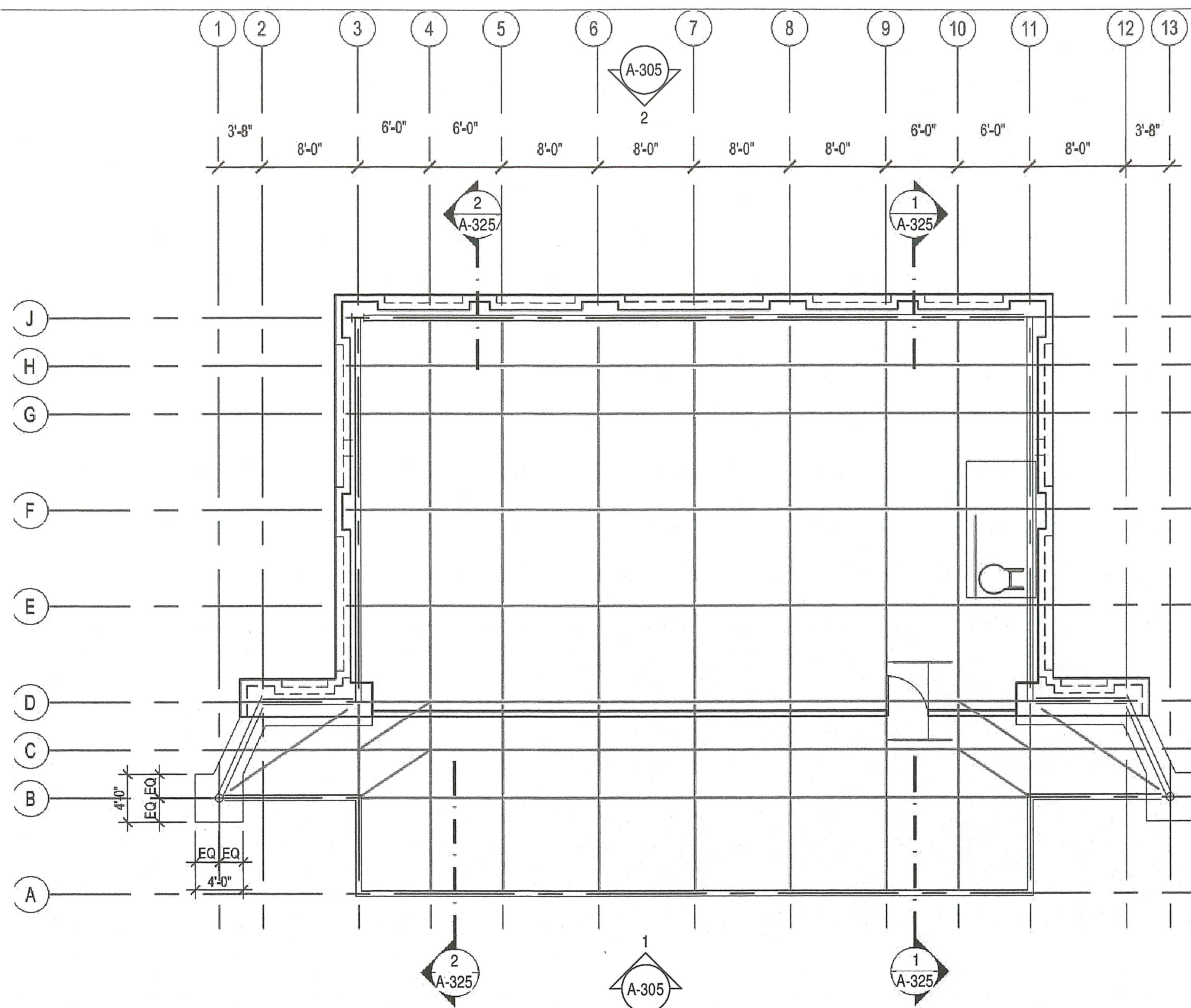
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12/12/2017



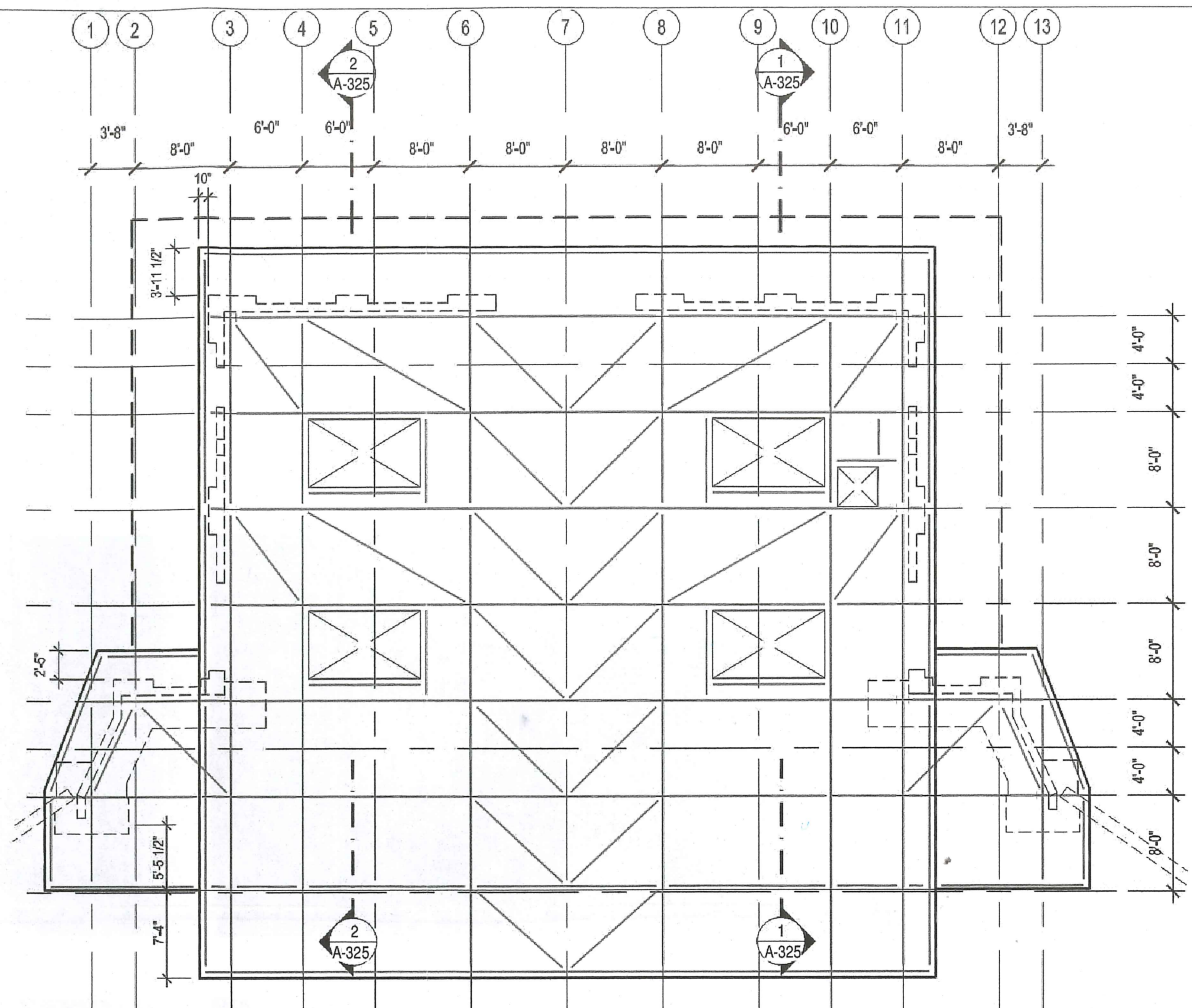
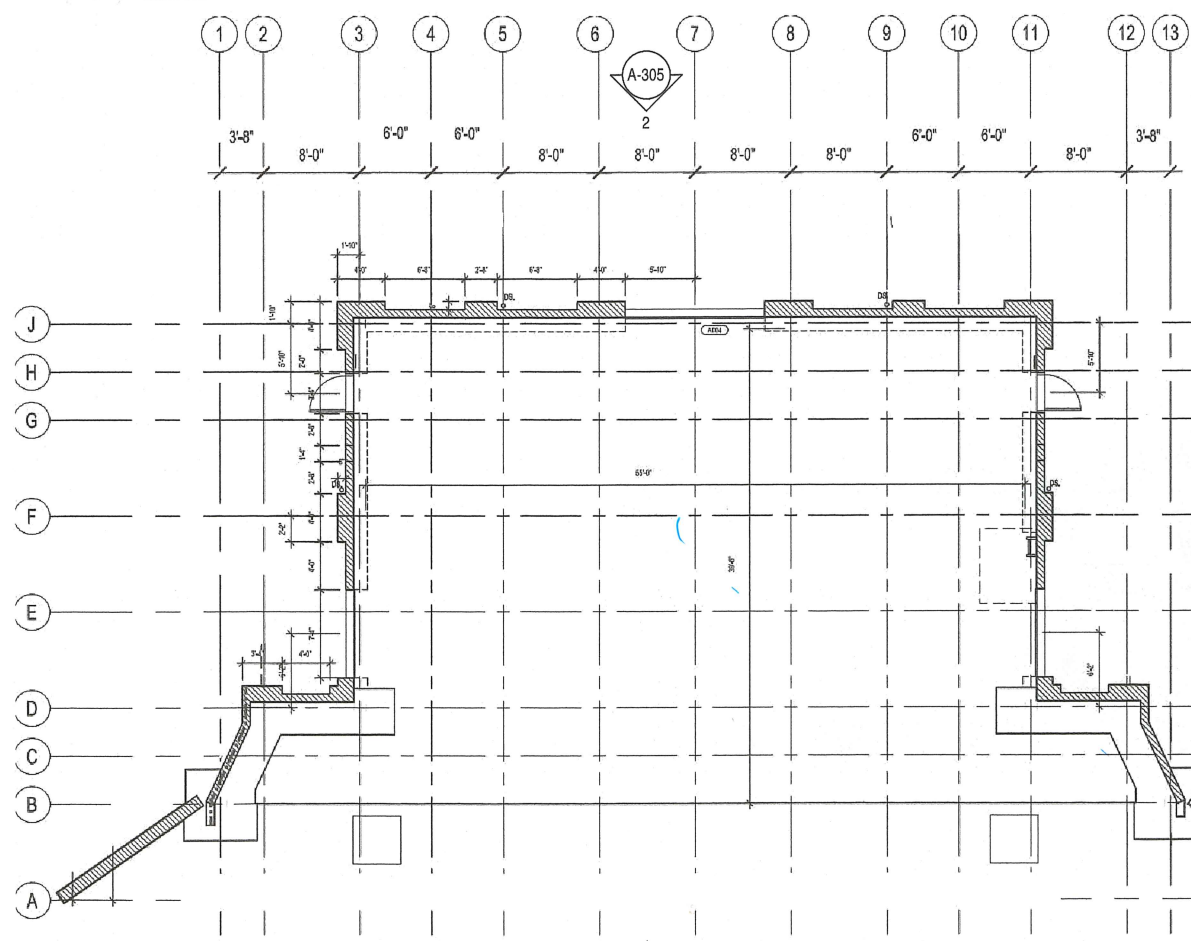
SHEET TITLE  
**FLOOR PLAN LEVEL 02**

SCALE

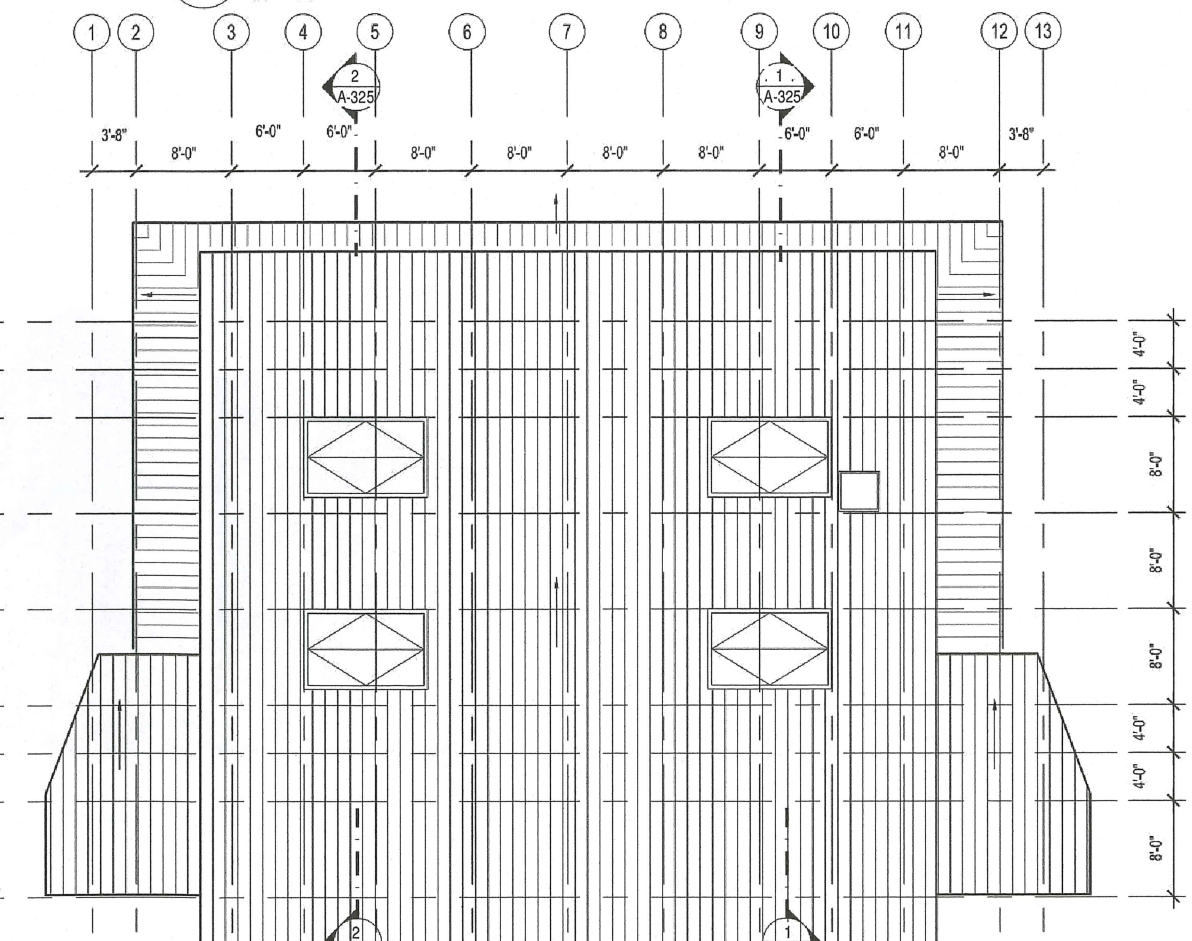




**4** SHOW GRID PLAN - PLATFORM BLDG  
1/8" = 1'-0"



**2** ROOF FRAMING PLAN - PLATFORM BLDG  
1/8" = 1'-0"



NOTE:  
NORTH (ARROW & PLATFORM BLDG)  
ROTATED 180 DEG ON SHEET A-105



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**GRAYSTONE  
QUARRY  
AMPHITHEATRE**

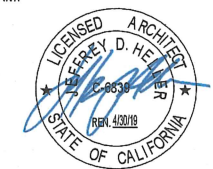
4520 GRAYSTONE QUARRY LANE,  
THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL

REVISIONS		
MARK	DESCRIPTION	DATE

DATE  
12/12/2017

STAMP



SHEET TITLE  
**PLATFORM BLDG PLANS -  
FLOOR PLAN, ROOF PLAN,  
ROOF FRAMING, GRID PLAN**

SCALE

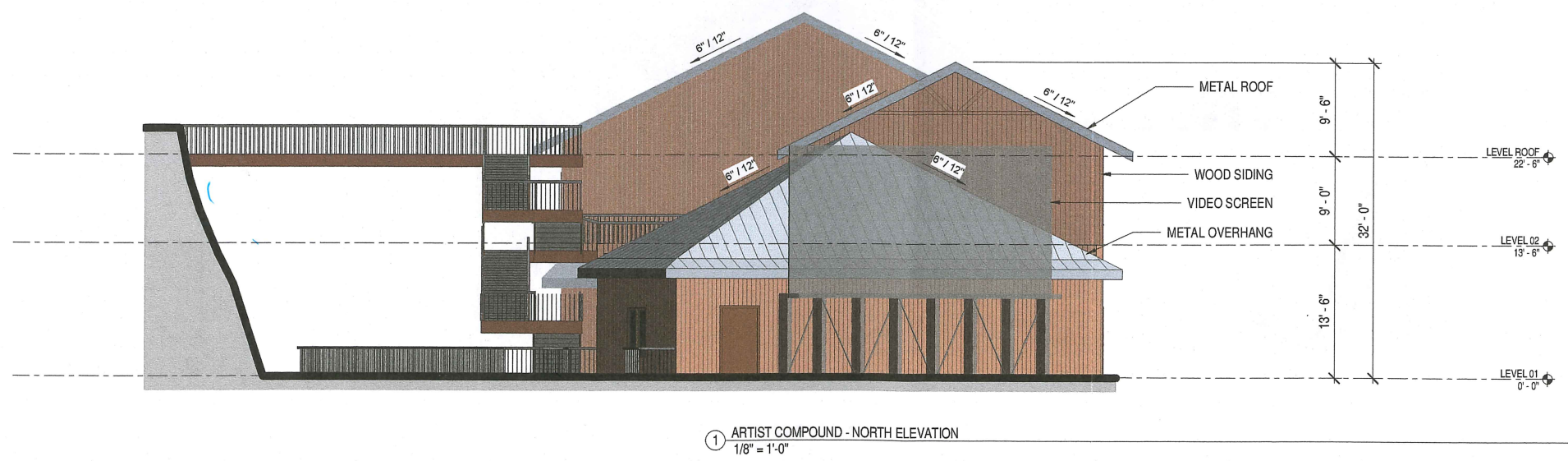
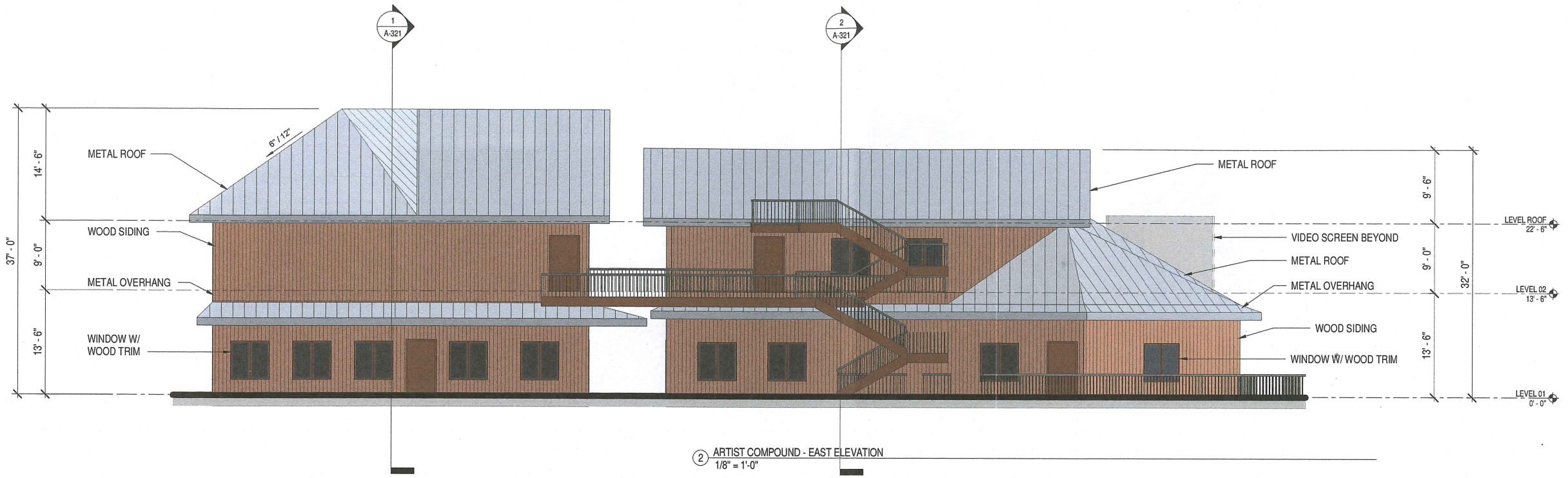


**GRAYSTONE  
 QUARRY  
 AMPHITHEATRE**

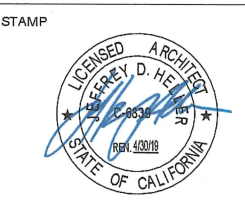
4520 GRAYSTONE QUARRY LANE,  
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PLANNING SUBMITTAL

REVISIONS		
MARK	DESCRIPTION	DATE



DATE  
 12/12/2017



SHEET TITLE  
**ARTIST COMPOUND  
 ELEVATIONS - NORTH AND  
 EAST**

SCALE



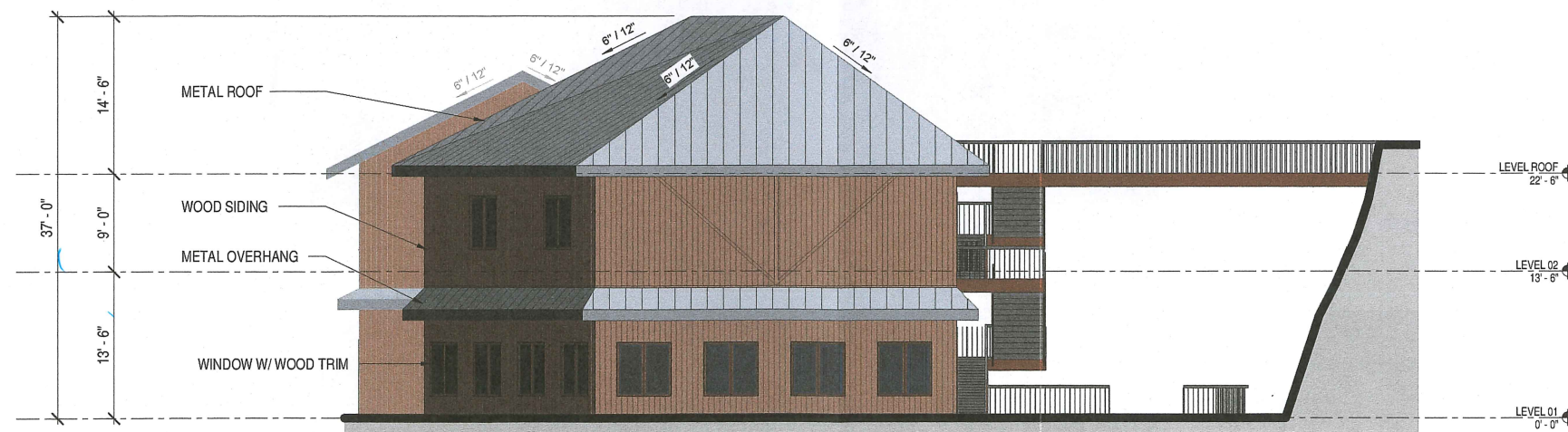
**GRAYSTONE  
 QUARRY  
 AMPHITHEATRE**

4520 GRAYSTONE QUARRY LANE,  
 THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL



② ARTIST COMPOUND - WEST ELEVATION  
 1/8" = 1'-0"



① ARTIST COMPOUND - SOUTH ELEVATION  
 1/8" = 1'-0"

REVISIONS

MARK	DESCRIPTION	DATE

DATE  
 12/12/2017

STAMP



SHEET TITLE

**ARTIST COMPOUND  
 ELEVATIONS - SOUTH AND  
 WEST**

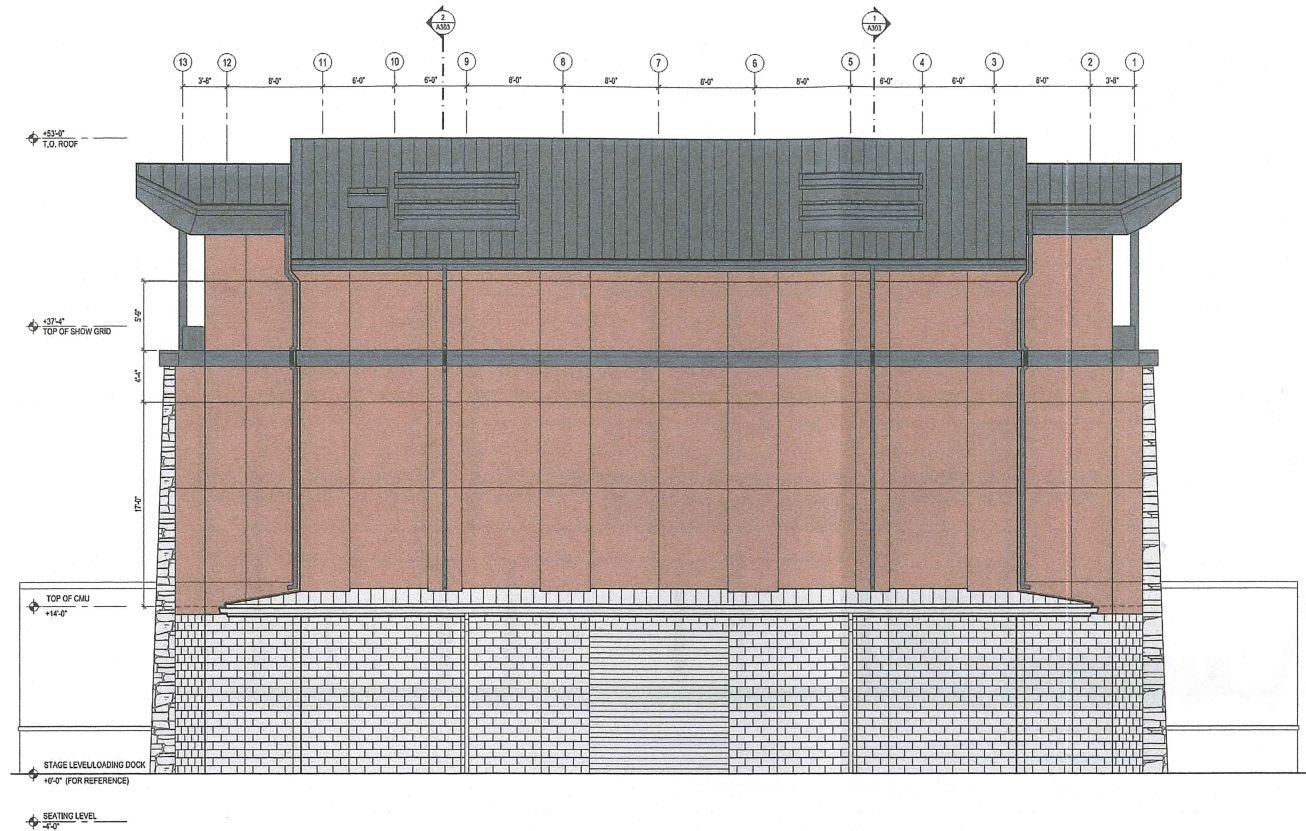
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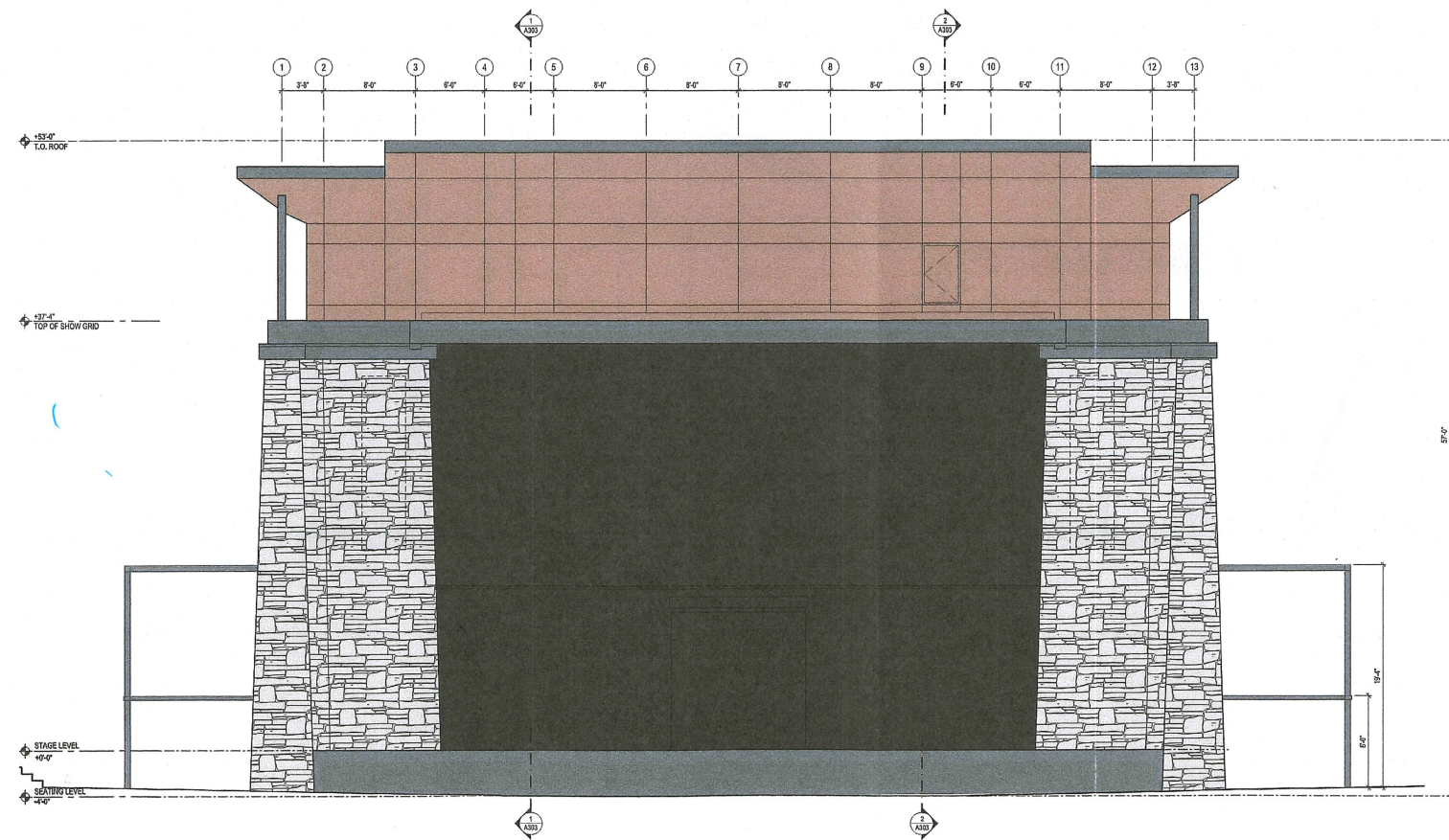
**GRAYSTONE QUARRY AMPHITHEATRE**

4520 GRAYSTONE QUARRY LANE,  
 THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL



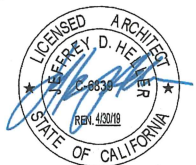
② PLATFORM BLDG - SOUTH ELEVATION  
 1/8" = 1'-0"



REVISIONS		
MARK	DESCRIPTION	DATE

DATE  
 12/12/2017

STAMP



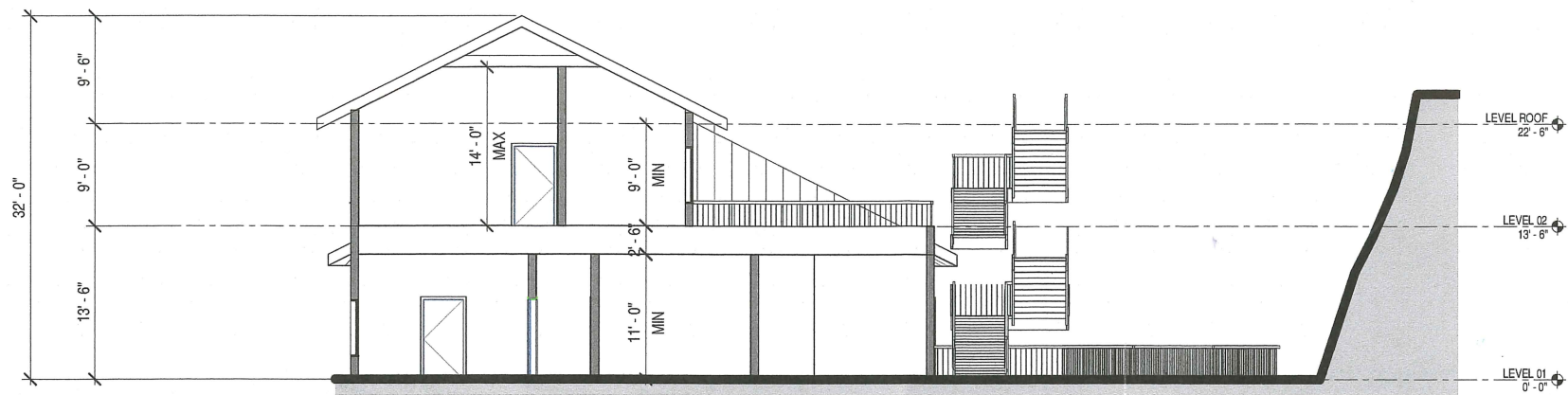
SHEET TITLE  
**PLATFORM BLDG ELEVATIONS**

SCALE

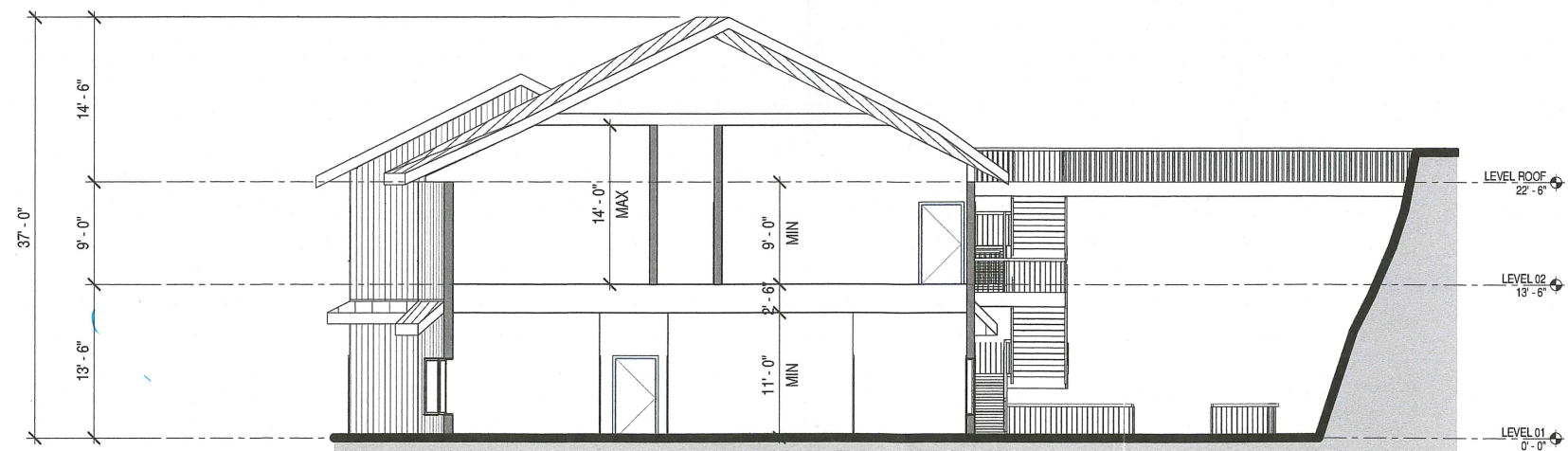
**GRAYSTONE  
 QUARRY  
 AMPHITHEATRE**

4520 GRAYSTONE QUARRY LANE,  
 THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL



② ARTIST COMPOUND A - SECTION  
 1/8" = 1'-0"



① ARTIST COMPOUND B - SECTION  
 1/8" = 1'-0"

REVISIONS

MARK	DESCRIPTION	DATE

DATE  
 12/12/2017

STAMP



SHEET TITLE

**ARTIST COMPOUND  
 SECTIONS**

SCALE



**GRAYSTONE  
 QUARRY  
 AMPHITHEATRE**

4520 GRAYSTONE QUARRY LANE,  
 THOMPSON'S STATION, TN 37179

PLANNING SUBMITTAL

REVISIONS

MARK	DESCRIPTION	DATE
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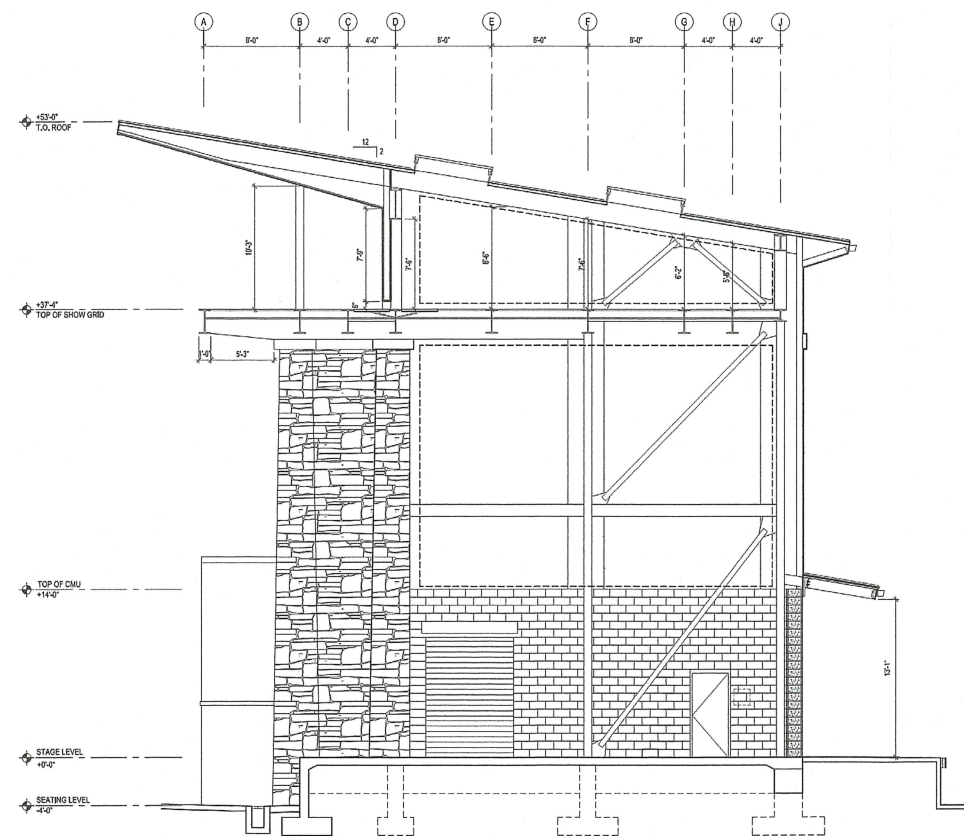
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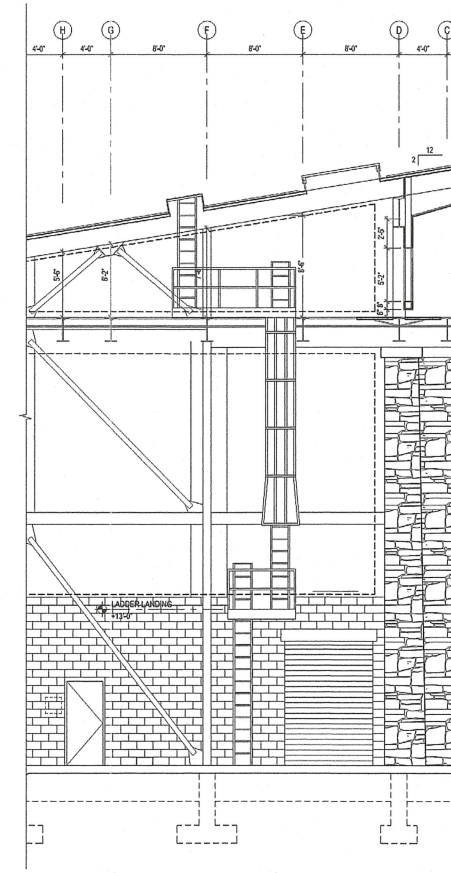


SHEET TITLE  
**PLATFORM BLDG SECTIONS**

SCALE



(2) PLATFORM BLDG SECTION 1  
 1/8" = 1'-0"



(1) PLATFORM BLDG SECTION 1  
 1/8" = 1'-0"