

Town of Thompson's Station  
Municipal Planning Commission  
Meeting Agenda  
January 23, 2018

**Meeting Called To Order**

**Pledge Of Allegiance**

**Minutes-**

**Consideration Of The Minutes Of The November 28, 2017 Meeting**

Documents:

[11282017 MINUTES.PDF](#)

**Election Of Officers**

**Public Comments-**

**New Business:**

**1. Site Plan Approval For The Development Of Two Buildings At Graystone Quarry For The "Artist Compound" (SP 2018-001; DR 2018-001)**

Documents:

[ITEM 1 STAFF REPORT GRAYSTONE QUARRY SITE PLAN.PDF](#)  
[GRAYSTONEQUARRY\\_SITEPLAN.PDF](#)

**2. Final Plat For Section 5B Consisting Of The Creation Of 27 Lots Within Phase 5 Of Bridgemore Village (FP 2018-001)**

Documents:

[ITEM 2 STAFF REPORT BV5B.PDF](#)  
[ITEM 2 - BV FINAL PLAT 5B.PDF](#)

**3. Final Plat For Section 6D Consisting Of The Creation Of 17 Single-Family Lots Within Phase 6 Of Bridgemore Village (FP 2018-002)**

Documents:

[ITEM 3 STAFF REPORT BV6D.PDF](#)  
[ITEM 3 - BV FINAL PLAT 6D.PDF](#)

**4. Final Plat For Section 12B Consisting Of The Creation Of 36 Lots Within The Fields Of Canterbury (FP 2018-003)**

Documents:

[ITEM 4 STAFF REPORT FC12B.PDF](#)  
[ITEM 4 - FC FINAL PLAT 12B.PDF](#)

**5. Preliminary Plat For The Creation Of Phase 18 And The Re-Subdivision Of Phase 33 To Create Eight (8) Lots Within Tollgate Village (PP 2018-001)**

Documents:

[ITEM 5 STAFF REPORT TVPP18.PDF](#)  
[ITEM 5 - TV PRELIM PLAT 18.PDF](#)

**6. Site Plan For The Approval Of Two Commercial Buildings And One Mixed-Use Building Located At The Northwest Corner Of Tollgate Boulevard/Elliston Way (SP 2018-002; DR 2018-002)**

Documents:

[ITEM 6 STAFF REPORT TOLLGATE VILLAGE SITE PLAN.PDF](#)  
[ITEM 6 - TV SITE PLAN PACKET.PDF](#)

**7. Land Development Amendments Revise Section 1.3 – Definitions; Table 4.4 - Permitted Uses; Section 4.6 - Building Placement Standards; Section 4.7 Height Restrictions; Table 4.12 - D3 Lot Standards; Table 4.13 - NC Lot Standards, Section 4.10.2 - Townhouse Residential Standards; And Section 4.12.2 - Parking Standards (Zone Amend 2018-001)**

Documents:

[ITEM 7 STAFF REPORT LDO AMENDMENT RSA.PDF](#)  
[ITEM 7 - LDO EXHIBIT RSA REQUEST.PDF](#)

**8. Zoning Request To Establish The Transect Community (TC) Zoning District For The 686.92 Acres Located At 1350 King Lane (File Rezone 2018 -001)**

Documents:

[ITEM 8 STAFF REPORT BAKER \(TWO FARMS\).PDF](#)  
[ITEM 8 - BAKER ZONING EXHIBIT.PDF](#)  
[ITEM 8 - BAKER \(TWO FARMS\) CONCEPTUAL MASTER PLAN.PDF](#)  
[ITEM 8 - BAKER HAMLET PLAN.PDF](#)

**Adjourn**

*This meeting will be held at 7:00 p.m. at the Thompson's Station Community Center  
1555 Thompson's Station Rd West*



**Minutes of the Meeting**  
**of the Municipal Planning Commission**  
**of the Town of Thompson 's Station, Tennessee**  
**November 28, 2017**

**Call to Order:**

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 7:00 p.m. on the 28th day of November 2017 at the Thompson's Station Community Center with the required quorum. Members and staff in attendance were: Chairman Jack Elder; Vice Chairman Mike Roberts; Commissioner Shaun Alexander; Commissioner Brinton Davis; Alderman Ben Dilks; Commissioner Trent Harris; Commissioner Bob Whitmer; Town Administrator Joe Cosentini; Town Planner Wendy Deats; Town Attorney Todd Moore and Town Clerk, Jennifer Jones.

**Pledge of Allegiance.**

**Minutes:**

The minutes of the October 23rd, 2017 meeting were previously submitted.

**Commissioner Davis made a motion to approve of the October 23rd, 2017 meeting minutes. The motion was seconded and carried unanimously.**

**Public Comment:**

**Carol Summerall – 3565 Robbins Nest Rd. – Has concerns about construction traffic in the Bridgemore Subdivision.**

**Planner Report:**

Mrs. Deats gave an update on the Littlebury concept plan. Daniel Woods with Great Tennessee Land Company came forward to provide more information to the Commission about the project.

**Unfinished Business:**

**1. Land Development Ordinance Amendment – Sign Standards (Zone Amend 2017-008).**

Mrs. Deats reviewed her Staff report for the Planning Commission. The Planning Commission and Town Council discussed the sign standards.

**After discussion, Commissioner Davis made a motion to approve Land Development Ordinance Amendment – Sign Standards (Zone Amend 2017-008) as submitted with the modification of an industrial driveway maximum width of 40 ft. The motion was seconded and carried by a vote of 6 to 1 with Commissioner Dilks casting the dissenting vote.**

**New Business:**

**2. Site plan approval for the development of a restaurant and gas station/convenience store within Roderick Place (SP 2017-007; DR 2017-005).**

Mrs. Deats reviewed her Staff report and based on the project's consistency with the approved plans, Staff recommends that the project be approved with the following contingencies:

1. Prior to the issuance of any grading or building permits, a final plat shall be recorded for the commercial and open space lots. The plat shall incorporate the roadway connection to Columbia Pike as approved by TDOT.
2. Prior to issuance of grading permits, construction plans shall be submitted and approved. The location of the driveway entrance shall be located a minimum of 200 feet from any intersection. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.
3. Prior to the issuance of building permits, the site plan shall be modified to incorporate enhanced paving at the project entrance which shall match the pedestrian pathway on site. All mechanical equipment locations shall be identified and screening provided.
4. Prior to the issuance of building permits, the applicant shall post a letter of credit for the landscaping in the amount of \$32,000.
5. Prior to installation of the landscaping, the applicant shall have a pre-installation meeting with staff.
6. Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.

**After discussion, Commissioner Davis made a motion to approve a site plan for the development of a restaurant and gas station/convenience store within Roderick Place (SP 2017-007; DR 2017-005) with Staff recommended contingencies. The motion was seconded and carried by all.**

**3. Final Plat for the creation of section 6C consisting of 28 single-family lots and three open space lots within Phase 6 of Bridgemore Village (FP 2017-008)**

Mrs. Deats reviewed her report and based on the project's compliance with the preliminary plat approval and the Land Development Ordinance; Staff recommends that the Planning Commission approve the final plat with the following contingencies:

1. Prior to the recordation of the final plat, a surety will be required in the amount of \$215,000 for roads, drainage and erosion control.
2. Prior to the recordation of the final plat, a surety shall be required in the amount of \$170,000 for sewer.
3. As builts shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

**After discussion, Commissioner Whitmer made a motion to approve the final plat for the creation of section 6 C consisting of 28 single-family lots and three open space lots within Phase 6 of Bridgemore Village (FP 2017-008) with Staff recommended contingencies and also the following contingency:**

4. **That the Open Space plat be recorded prior to the recordation of the final plat. The motion was seconded and carried by all.**

**4. Specific Plan amendment for the expansion of Graystone Quarry located at 4520 Graystone Quarry.**

Mrs. Deats reviewed her report and recommends the Planning Commission recommend the adoption of an ordinance approving the modifications to the Specific Plan for the expansion of Graystone Quarry with the following contingencies:

1. Prior to issuance of building permits, the applicant shall obtain all necessary approvals from Williamson County Sewage Disposal.
2. The use of current technology that includes but may not be limited to, steerable sound systems or directional loudspeakers be utilized for the amphitheater.
3. Portable restrooms shall be used temporarily on a case by case basis and shall be removed immediately after the event.
4. Prior to the issuance of grading or building permit, the all traffic mitigation shall be completed in accordance with the traffic study dated November 2017.
5. Any change of use or expansion of the project site shall conform to the requirements set forth within the Zoning Ordinance and shall be approved prior to the implementation of any changes to the project.

Rick McEachern with Graystone Quarry came forward to answer any questions.

**After discussion, Commissioner Davis made a motion to approve the Specific Plan amendment for the expansion of Graystone Quarry located at 4520 Graystone Quarry with Staff recommended contingencies. The motion was seconded and carried by all.**

There being no further business, Commissioner Alexander made a motion to adjourn. The motion was seconded and the meeting was adjourned at 8:05 p.m.

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Jack Elder, Chairman

Attest:

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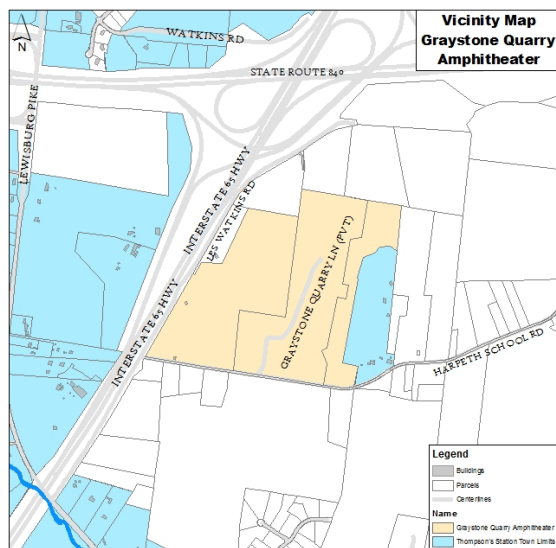
Brinton Davis, Secretary

**Thompson's Station Planning Commission**  
**Staff Report - Item 1 (SP 2018-001; DR 2018-001)**  
**January 23, 2018**

**Request for approval of a site plan for the development of two buildings totaling 9,227 square feet for the “artist compound” and a 3,000-square foot platform stage with two mechanical buildings for the amphitheater located at 4520 Graystone Quarry.**

**REQUEST**

The applicant, Dale & Associates on behalf of Graystone Quarry is requesting approval for the development of two buildings totaling 9,227 square feet and a 3,000-square foot platform stage with two mechanical buildings located at 4520 Graystone Quarry Lane.



**BACKGROUND**

The project site was rezoned in 2014 to Specific Plan and a site plan was approved for the development of an event venue which would be constructed in two phases. The first phase is complete with a single-family residence, 6,585 square foot pavilion, 4,230-square foot event barn and a 3,200-square foot maintenance building. Phase 2 consists consisted of a 4,250-square foot artist compound and stage for an amphitheater. A request to amend the plan was submitted and is under review by the Board of Mayor and Aldermen to expand the operations of the event venue. The project has passed first reading and a second reading and public hearing will be held on February 13, 2018.

**Site Plan**

A site plan is a plan presenting the general details of the development proposal and review by the Planning Commission is required for all multi-family and non-residential developments to ensure “compliance with the development and design standards” (Section 5.4.4) of the Land Development Ordinance.

The overall project site is approximately 133 acres and is currently developed with the first phase of Graystone Quarry. The project site is zoned Specific Plan and is surrounded by a mixture of vacant land and residential uses. The zoning permitted the development of the event venue.

The project includes the construction of two buildings for the artist compound totaling 9,227 square feet and a 3,000-square foot platform stage with mechanical equipment buildings. The proposed buildings are setback behind the existing buildings. The Specific Plan did not have any specific development standards other than a minimum of 40% would be maintained as open space for non-residential projects and 50%

maintained as open space for residential projects. The project, when completed, will maintain approximately 74% of the site in a predominantly natural state.

### Parking

All parking is provided on site. One parking space is required for every six fixed seats or one space for every 50 square feet without permanent seating for assembly uses, thereby requiring 2,591 spaces for this event venue. The project proposes to provide 3,187 parking spaces which exceeds the maximum allowable parking. In order to exceed the maximum parking, the project will be subject to low impact design (LID) which requires 50% of the parking area to utilize LID. The existing parking lot for the wedding and event center has 137 paved parking spaces and two new paved areas will provide 120 spaces for bus and employee parking. The remaining 2,930 spaces are grass parking areas which is a low impact parking surface. Therefore, the proposed parking meets the requirement to provide 50% of the parking area as LID.

### Traffic Study Mitigation

Given the change of access for the amphitheater an updated traffic study was completed. The study makes the following recommendations and conclusions:

1. *In the vicinity of the project site, the existing cross-section of Les Watkins Road includes approximately 26.9 feet of pavement from Harpeth School Road to the project access. This pavement includes a double yellow strip along the centerline. In conjunction with the proposed project, Les Watkins Road should be striped with a new white edge-of-pavement lines to delineate one 11-foot travel lane in each direction and clearly identify a shoulder with an average 2-foot width on each side of the roadway.*
2. *In conjunction with the proposed amphitheater, trained personnel should be provided before and after on-site events in order to direct traffic at the intersections within the study area. Specifically, personnel should be provided from 5:00-8:00 PM and 9:00-12:00 PM at the following intersections in order to facilitate safe and efficient traffic operations into and out of the project site:*
  - *Lewisburg Pike and Harpeth School Road*
  - *Les Watkins Road and the project exit.*
3. *Approximately 100 parking spaces will be provided for VIP tickets holders via east-west portion of Harpeth School Road, east of Les Watkins Road. Although this is a relatively low number of vehicles, it may be appropriate to have event staff direct traffic at this location, depending on the size of events. Assuming all VIP parking spaces will be used during each event, it would be reasonable to have event staff at this intersection for events with greater than 2,000 guests.*
4. *In conjunction with the proposed amphitheater, an event management plan should be submitted to the Town of Thompson's Station. This plan should include the following information for planned events of various sizes:*
  - *Name of and contact information for the event management company employed for the site's events*
  - *Name of and contact information for the traffic control company that will be utilized for the site's events.*
  - *Traffic control staff needed for various event sites.*
  - *General information about how the event dates and times will be disseminated to the general public (i.e website for the venue)*
5. *For the purposes of this study, consideration was given to the available sight distance at the intersection of Lewisburg Pike and Harpeth School Road. Based on guidelines included in A Policy on Geometric Design of Highways and Streets, which is published by the American Association of State Highway and Transportation Officials (AASHTO) and commonly known as The Green Book, the minimum stopping sight distance for a speed limit of 40 mph is 305 feet. This is the distance that a*

motorist on the Lewisburg Pike will need to come to a stop if a vehicle turning from Harpeth School Road street creates a conflict. Also, based on The Green Book, the minimum intersection sight distance is 445 feet. This is the distance that a motorist on Harpeth School Road will need to safely complete turns onto Lewisburg Pike. Currently, there is adequate sight distance at both intersections. Also, turning movements should be facilitated by trained personnel, as described above.

6. For the purposes of this study, consideration was given to the available sight distance at the intersection of Les Watkins Road and the project access. Based on guidelines included in A Policy on Geometric Design of Highways and Streets, which is published by the American Association of State Highway and Transportation Officials (AASHTO) and commonly known as The Green Book, the minimum stopping sight distance for a speed limit of 40 mph is 305 feet. This is the distance that a motorist on the Les Watkins Road will need to come to a stop if a vehicle turning from the project access creates a conflict. Also, based on The Green Book, the minimum intersection sight distance is 445 feet. This is the distance that a motorist at the project access will need to safely complete turns onto Les Watkins Road. Currently, there is adequate sight distance at this intersection. Also, turning movements should be facilitated by trained personnel, as described above.

### Noise

The open-air amphitheater is located at the bottom of the quarry with surrounding wall heights that vary from 40 to over 90 feet in height. The amphitheater that is approximately 2,200 feet from Harpeth School Road and approximately 1,200 feet from the nearest residence. It is anticipated that this location with the existing features and distances will provide some reduction in noise levels that carry. A noise study was prepared and recommended “the use of current technology available in the professional sound systems with steerable or directional loudspeakers.” This mitigation measure was incorporated into the contingencies for project and are still applicable contingencies for approval.

### Architecture

The proposed buildings were reviewed and found to be consistent with the existing buildings on site and with the Design Guidelines, therefore approved by the Design Review Commission on January 3, 2018.

### RECOMMENDATION

Staff recommends the Planning Commission approve the site plan with the following contingencies:

1. Prior to the issuance of any permits, the amendment to the existing specific plans shall be adopted.
2. Prior to issuance of a building permit, the applicant shall obtain all necessary approvals from Williamson County Sewage Disposal.
3. The use of current technology that includes but may not be limited to, steerable sound systems or directional loudspeakers be utilized for the amphitheater.
4. Portable restrooms shall be used temporarily on a case by case basis and shall be removed immediately after the event.
5. Prior to the issuance of a grading or building permit, the all traffic mitigation shall be completed in accordance with the traffic study dated January 2018.
6. Any change of use or expansion of the project site shall conform to the requirements set forth within the Zoning Ordinance and shall be approved prior to the implementation of any changes to the project.

### ATTACHMENTS

Traffic Study dated January 2017

Site Plan Packet

# Graystone Quarry Amphitheater

## Commercial Phase II Site Plan

### PROJECT SCOPE

Graystone Quarry is a proposed multi-use event center development on the north side of Harpeth School Road in the southeast quadrant of the intersection of Interstate 65 and 840 in Thompson's Station, TN. The site will be designed using upscale rural architecture, careful landscape features, and will incorporate the unique yet beautiful landscape of the property. The aim is to provide Thompson's Station and the surrounding community with a unique and attractive destination to hold weddings, reunions, concerts, corporate events, or other social gatherings.

The purpose of this plan is to provide an update to the previously approved Graystone Quarry. Graystone Quarry has purchased the adjacent property that was previously approved as Hoodoo. Graystone Quarry will be utilizing this property for general admission parking during amphitheater events. The plans illustrate the updated parking concept. Other updates include expanding the amphitheater seating and stage/buildings, increasing the footprint of the Green Room, and providing ancillary uses. No change of use is being proposed on these plans than what was previously approved.

The development will incorporate three different uses in three separate areas. A summary of each area of the development is as follows:

#### Residential

- An approximately 5,000 square foot single family residential house will be constructed in an area along the east side of the property. This will be the residence of the owner/operator of the development.

**Commercial Phase 1 - Event Center & Wedding Chapel/Pavillion**  
- The event center building called the 'Barn' will be constructed overlooking the existing quarry lake. Utility Infrastructure for the 'Barn' will be designed to accommodate a building size of up to 12,000 Sq. Ft. High-end rustic architectural features will be implemented to stylistically enhance and blend the beautiful natural surroundings. Using stone, timber and careful landscaping, the event center will be a beautiful venue for weddings, reunions, corporate gatherings, or community events.

- A courtyard will be constructed out front of the building leading down to an existing lake. The lake will be cleaned up and it sits against existing vertical stone walls providing a striking view from the event center.

- A Chapel/Pavillion will also be constructed near the main building. Utility Infrastructure for this building will be designed to accommodate a building size of up to 5,000 Sq. Ft. This structure will be used for the wedding ceremony or other community event. This pavillion will incorporate similar rustic architecture to match the main building and blend into the surrounding landscape.

- A storage & maintenance building will also be constructed on the premises to house equipment and tools required for maintenance of the property. This building will be tucked into a hidden area that is surrounded by the existing quarry walls, and supplemental landscaping will be installed to hide the building from view.

#### Phase 2 - Amphitheater

- A state-of-the-art outdoor amphitheater will be installed in the existing quarry's main area. Approximately 100-foot vertical stone walls provide a stunning backdrop for potential concert or community gatherings or events.

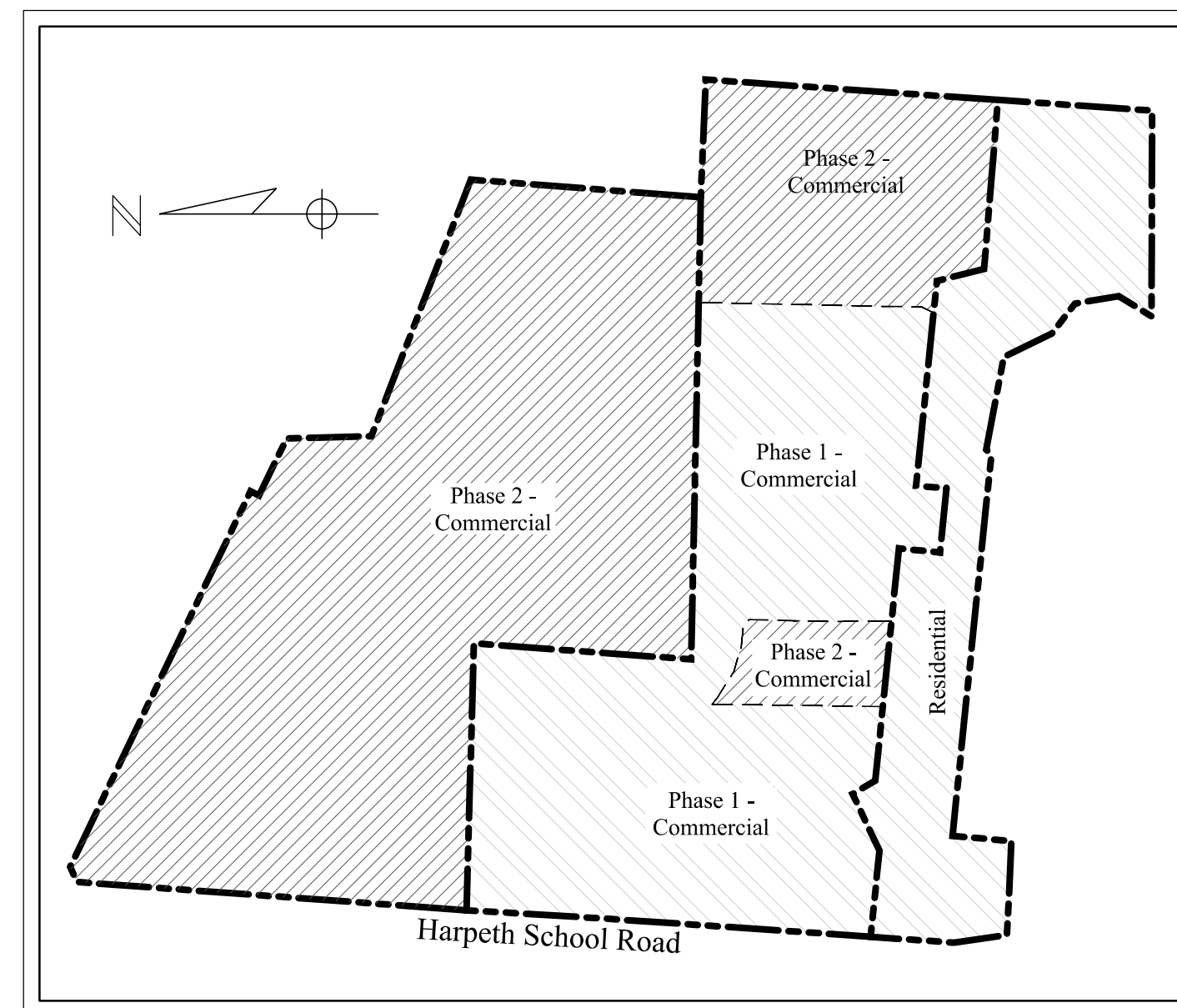
- An approximately 2,500 square foot permanent stage will be installed at the low narrow end of the natural amphitheater. An approximately 5,400 square foot Green Room will be installed behind the stage for the performers, and will contain permanent restroom facilities with showers.

- Only the minimal amount of disturbance will take place to prepare the amphitheater for events. As much of the natural surroundings will be preserved and it is not anticipated to disturb the quarry walls except for the activity required to ensure stability and safety of the walls.

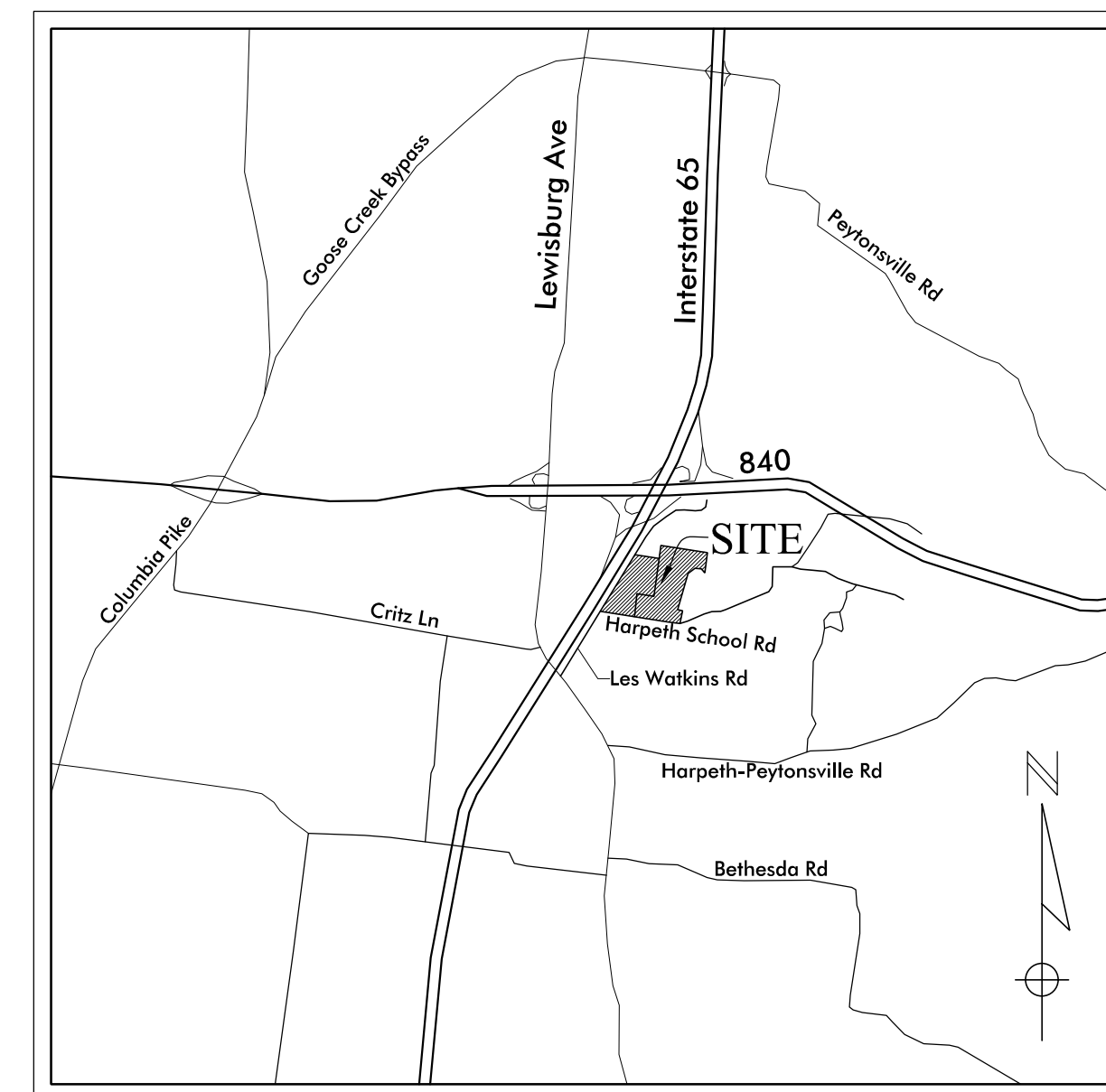
- The lower portion of the quarry will be a gently sloping grass and gravel floor for event seating. There is an approximately 1-acre shelf on the east side of the main seating area that will be an open area for vendors, portable restrooms, picnic tables, and VIP seating on the western edge.

- All food vendors will be required to prep and clean up off site. Portable restroom trailers are anticipated to be parked on site for the event and immediately removed after event is finished.

Map 144, Parcels 1.02 & 2.02  
4520 Graystone Quarry Lane  
Thompson's Station, Williamson County, Tennessee



SITE MAP  
N.T.S.



VICINITY MAP  
N.T.S.

### DEVELOPMENT SUMMARY

<b>Owners / Developer</b> Graystone Quarry Events 4520 Graystone Quarry Lane Franklin TN, 37064 Rick McEachern (408) 621-0746	<b>Property Information</b> Graystone Quarry Events 4520 Graystone Quarry Lane Franklin TN, 37064	<b>Electric Service</b> Middle Tennessee Electric Membership Corporation 2156 Edward Curd Lane Franklin, TN 37067
<b>Civil Engineer and Surveyor</b> Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166	<b>Floodnote</b> This property does not lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map, (FIRM) Numbers 47187C0355F & 47187C0365F, Dated Sept. 29, 2006	<b>Water Service</b> HB & TS 505 Downs Blvd Franklin, TN 37064 615.794-7796
	<b>Benchmark</b> Chiseled Square on SE Corner of Headwall Located near the SW Corner of the Property on the South Side of Harpeth School Access Rd. NGVD Elevation 768.37.	<b>Sewer Service</b> Septic On Site
		<b>Utility Location</b> Tennessee One-Call 800.351.1111

### SITE DATA

Zoning: SP	
Total Property Area	133.1 Ac.
Residential	872672 sq ft or 20.0 Ac.
Phase I	1302055 sq ft or 20.9 Ac.
Phase II	3788025 sq ft or 87.0 Ac.
Drives/ Sidewalks	9.3 Ac.
Building	0.7 Ac.
Parking (Grass)	21.1 Ac.
Septic	4.0 Ac.
Open Space	98.0 Ac.
Impervious Surface Ratio	0.08 Ac.
Floor Area Ratio	0.004 Ac.
Front Setback	20 Ft.
Side Setback	20 Ft.
Rear Setback	20 Ft.
<b>Parking Requirements</b>	
PHASE I	
Pavilion	1 per 6 seats 176 seats = 30 stalls (paved)
Barn	1 per 50 sq ft (5,350 sq ft - assembly area) = 107 stalls (paved)
PHASE II	
Amphitheater	1 per 6 seats (7,148 permanent seating) = 1191 stalls 1 per 50 sq ft (3,580 sq ft, temporary seating) = 72 stalls
Total Required	1,263 stalls
	General Admission - 2,663 Stalls (Grass) Premier Parking - 267 stalls (Grass) Bus Parking - 32 Stalls (Paved) Employee Parking - 88 Stalls (Paved)
Total Provided (Phase I and Phase II)	3,187 Stalls (2,930 grass + 257 paved)

### Sheet Schedule

1	C0.0	Cover Sheet
2	C1.0	Overall Master Plan
3	C2.0	Layout and Utility Plan - Sheet 1
4	C2.1	Layout and Utility Plan - Sheet 2
5	C3.0	Grading and Drainage Plan - Sheet 1
6	C3.1	Grading and Drainage Plan - Sheet 2



**Dale & Associates**  
Civil Engineering  
Land Planning & Zoning  
Surveying

D&A Project #14038  
Graystone Quarry  
Amphitheatre  
**C0.0**

516 Heather Place  
Nashville, TN 37204  
(615) 297-5166





Scale 1" = 200'

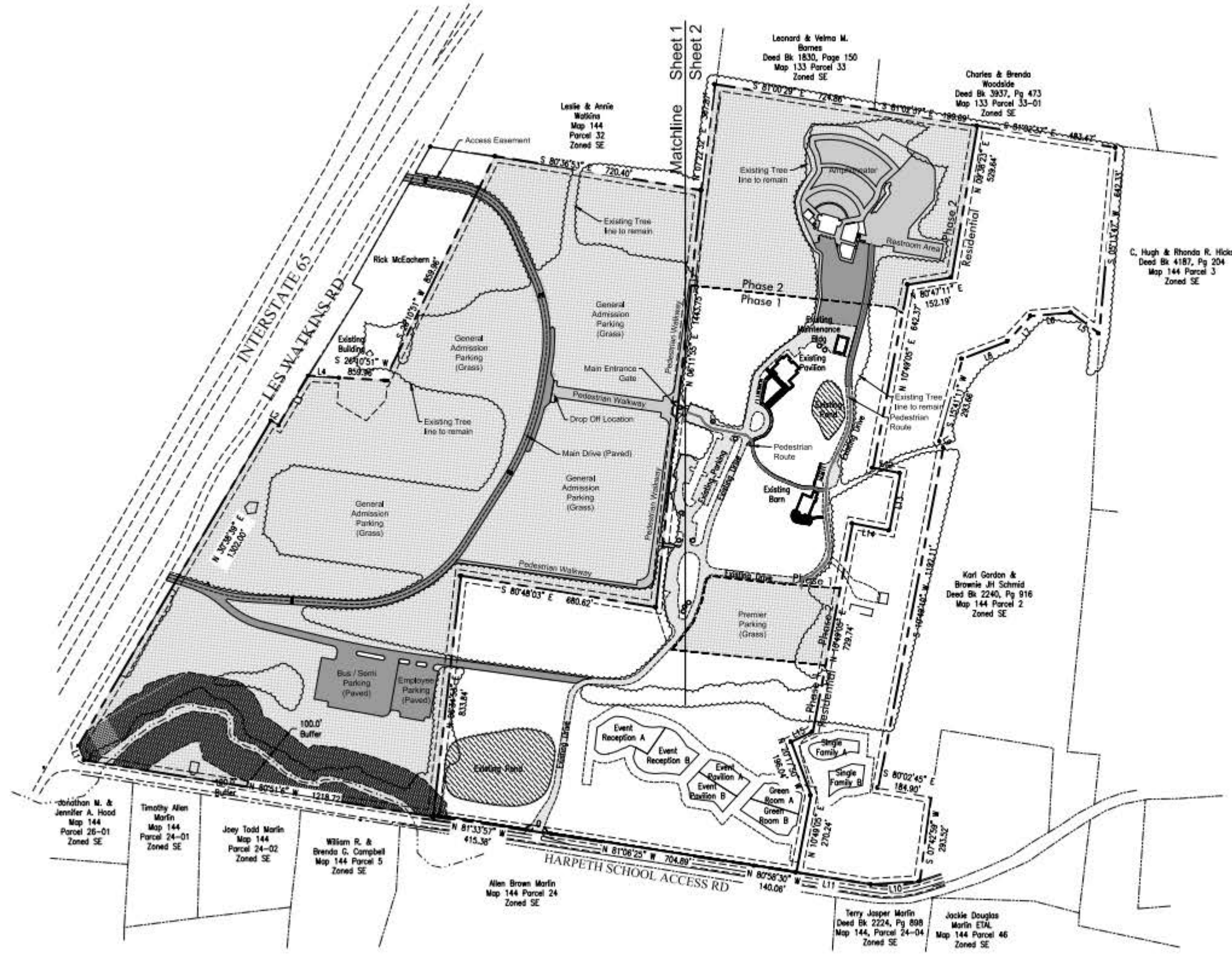
**Development Summary**

**Owners / Developer**  
 Graystone Quarry Events  
 Rick McEachern  
 (408) 621-0746

**Civil Engineer and Surveyor**  
 Dale & Associates (Adam Seger, PE)  
 516 Heather Place  
 Nashville, Tennessee 37204  
 615.297.5166

**Line Table**

L1	N 20°56'4" W	52.22
L2	S 58°49'2" E	30.00
L3	N 30°49'7" E	197.52
L4	S 86°30'18" E	107.67
L5	N 53°15'49" W	119.85
L6	S 85°18'09" W	139.11
L7	S 42°33'44" W	118.32
L8	S 68°58'42" W	167.31
L9	S 31°21'02" E	26.28
L10	S 86°36'50" W	166.59
L11	N 80°58'30" W	266.98
L12	N 79°10'55" E	95.81
L13	N 10°49'05" E	200.65
L14	S 79°10'55" E	129.03
L15	S 64°43'58" W	82.09



**Utility Notes:**

Water - Graystone Quarry will be served by public water through HB & TS Utility Company.

Sewer - Graystone Quarry utilizes septic to treat all sewer in the development. The wedding event facility and associated buildings, the residential house, and the permanent bathrooms at the Amphitheater will all be served through a private septic system that has been reviewed, approved, and installed in accordance with Williamson County. During amphitheater events, portable toilets will be utilized for the general public.

Electric - Graystone Quarry will be served by MTEM for electric.

**Environmental Resource Notes:**

A full boundary and topographic survey was performed along with a preliminary jurisdictional determination. There is an existing stream running along the frontage of the property near the intersection of Harpeth School Road and Les Watkins Road. The project will implement the required buffers and will not disturb this area. No environmental resources are proposed to be disturbed other than the select clearing of trees.

**Stormwater Notes:**

All stormwater on site has been designed to meet the regulations. A lake is constructed on the south side of the development that captures most of the runoff from the developed portion of the site. This lake treats both the water quantity and water quality for the development. The parking areas shall be seeded with grass, with minimal to no impervious surfaces, these areas are low impact. The main drive will be asphalt as well as the bus and employee parking areas. The pedestrian walkways to be a solid surface.

**Landscape Notes:**

Care shall be taken to minimize tree removal. The areas shown [hatched pattern] shall be the only areas where possibly trees less than 18" may be removed, these areas are approximately 11% of the total tree areas. It is not anticipated that trees 18" and greater will be removed.

**Legend**

[Hatched Pattern]	Proposed Asphalt
[Solid Gray]	Proposed Hard Surface
[Dotted Pattern]	Proposed Open Space

# Graystone Quarry Amphitheater

Map 144 Parcel 2.02  
Thompson's Station, Williamson County, Tennessee



Overall Master Plan

**Dale & Associates**  
 Civil Engineering, Land Planning & Zoning, Surveying

516 Heather Place  
 Nashville, TN 37204  
 (615) 297-5166

D&A Project #14036  
 Graystone Quarry Amphitheatre  
**C1.0**

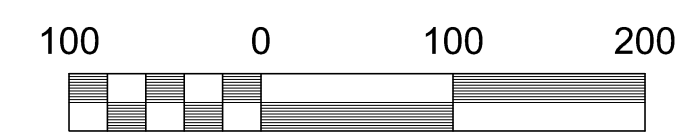
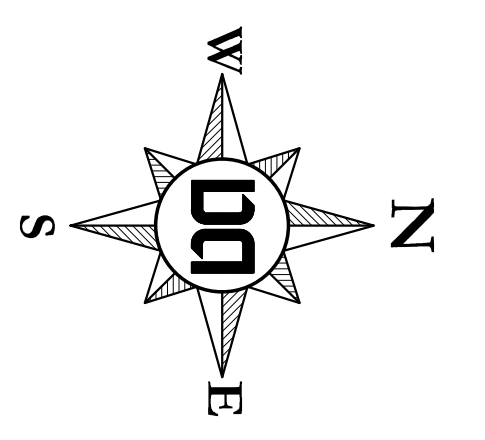




Jonathan M. & Jennifer A. Hood  
Map 144  
Parcel 26-01  
Zoned SE

Timothy Allen Morin  
Map 144  
Parcel 24-01  
Zoned SE

Leslie & Annie Watkins  
Map 144  
Parcel 32  
Zoned SE



Scale 1" = 100'

**Development Summary**

Owners / Developer  
Graystone Quarry Events  
Rick McEachern  
(408) 621-0746

Civil Engineer and Surveyor  
Dale & Associates (Adam Seger, PE)  
516 Heather Place  
Nashville, Tennessee 37204  
615.297.5166

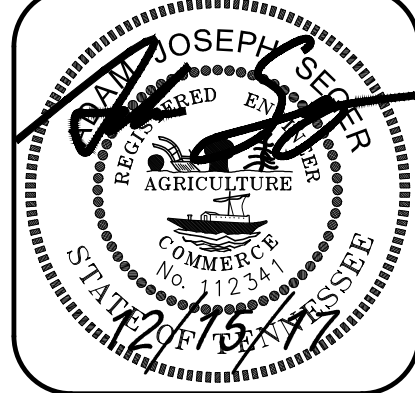
**Legend**

- Proposed Asphalt
- Proposed Hard Surface
- Proposed Open Space

Drawing Date:  
December 15, 2017

Revisions

**Site Plan**  
**Graystone Quarry Amphitheater**  
Map 144 Parcel 2.02  
Thompson's Station, Williamson County, Tennessee



**Layout & Utility Plan**  
**Sheet 1**

**Dale & Associates**  
Civil Engineering  
Land Planning & Zoning  
Surveying

D&A Project #14038  
Graystone Quarry Amphitheater  
**C2.0**

516 Heather Place  
Nashville, TN 37204  
(615) 297-5166

Matchline Sheet 1  
Sheet 2









Jonathan M. &  
Jennifer A. Hood  
Map 144  
Parcel 26-01  
Zoned SE

Timothy Allen  
Morin  
Map 144  
Parcel 2A-01  
Zoned SE

100.0  
Buffer

Existing Pond

Event Reception

Event Reception B

Existing Fence

Existing Gravel

Existing Cemetery

Existing Building

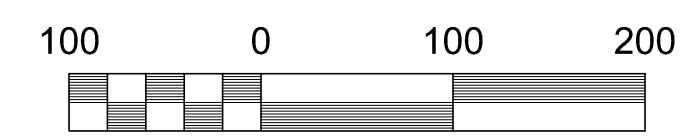
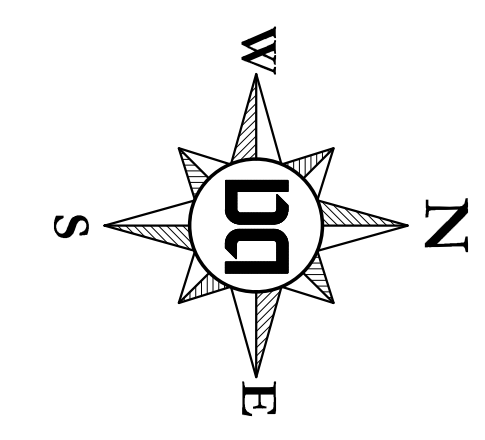
Existing Parking

LES WATKINS RD  
INTERSTATE 65

McEachern

Leslie & Annie  
Watkins  
Map 144  
Parcel 32  
Zoned SE

Matchline Sheet 1  
Sheet 2



Scale 1" = 100'

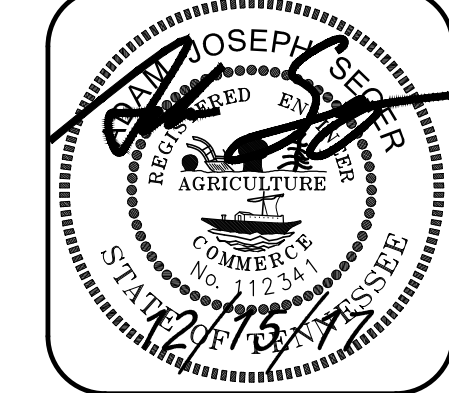
**Development Summary**  
  
 Owners / Developer  
 Graystone Quarry Events  
 Rick McEachern  
 (408) 621-0746  
  
 Civil Engineer and Surveyor  
 Dale & Associates (Adam Seger, PE)  
 516 Heather Place  
 Nashville, Tennessee 37204  
 615.297.5166

**Legend**  

 Proposed Asphalt  
 Proposed Hard Surface  
 Proposed Open Space

Drawing Date:  
December 15, 2017  
  
 Revisions

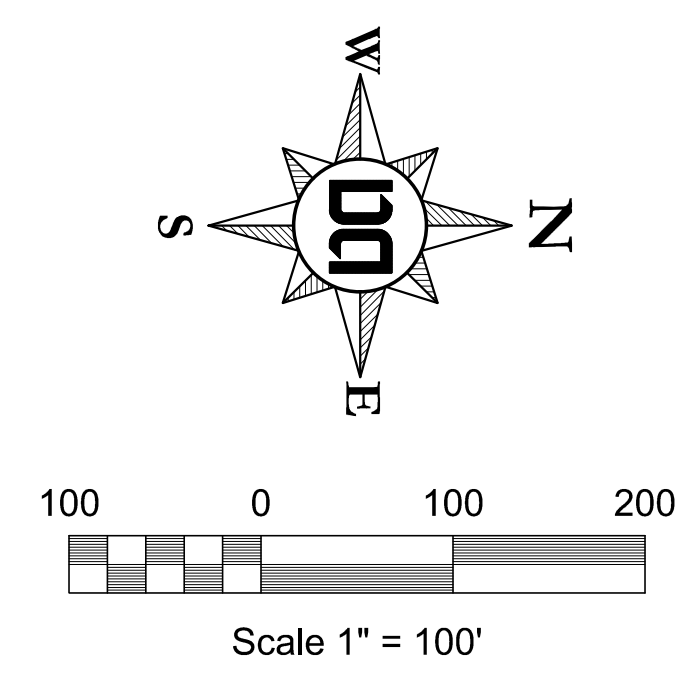
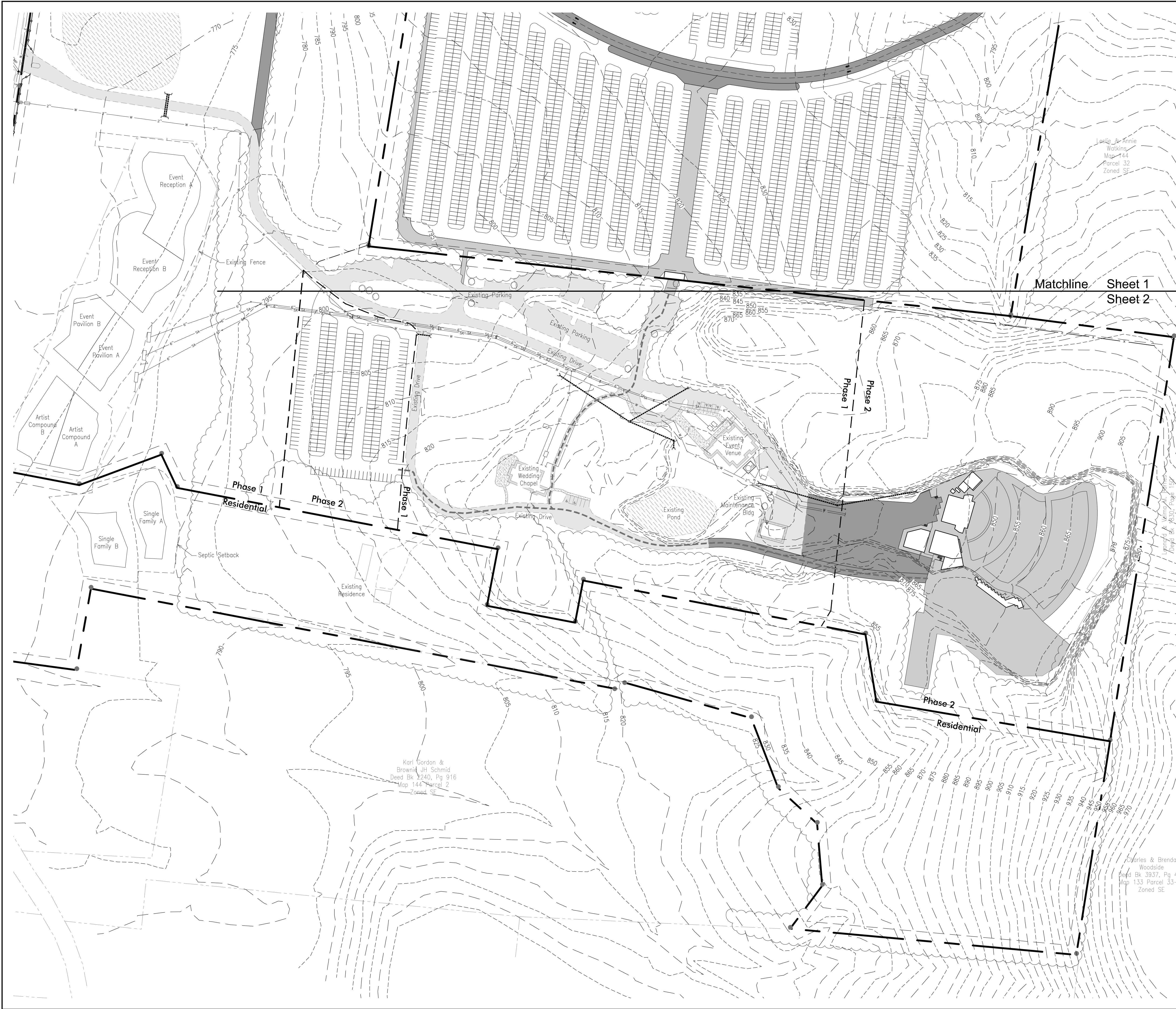
**Site Plan**  
**Graystone Quarry Amphitheater**  
 Map 144 Parcel 2.02  
 Thompson's Station, Williamson County, Tennessee



**Grading and  
Drainage Plan  
Sheet 1**

**Dale & Associates**  
 Civil Engineering  
 Land Planning & Zoning  
 Surveying  
 D&A Project #14038  
 Graystone Quarry  
 Amphitheater  
**C3.0**  
 516 Heather Place  
 Nashville, TN 37204  
 (615) 297-5166





**Development Summary**

Owners / Developer  
 Graystone Quarry Events  
 Rick McEachern  
 (408) 621-0746

Civil Engineer and Surveyor  
 Dale & Associates (Adam Seger, PE)  
 516 Heather Place  
 Nashville, Tennessee 37204  
 615.297.5166

**Legend**

- Proposed Asphalt
- Proposed Hard Surface
- Proposed Open Space

Drawing Date:  
 December 15, 2017

Revisions

**Site Plan**

# Graystone Quarry Amphitheater

Map 144 Parcel 2.02  
 Thompson's Station, Williamson County, Tennessee



**Grading and  
 Drainage Plan  
 Sheet 2**

Dale & Associates

Civil Engineering  
 Land Planning & Zoning  
 Surveying

516 Heather Place  
 Nashville, TN 37204  
 (615) 297-5166

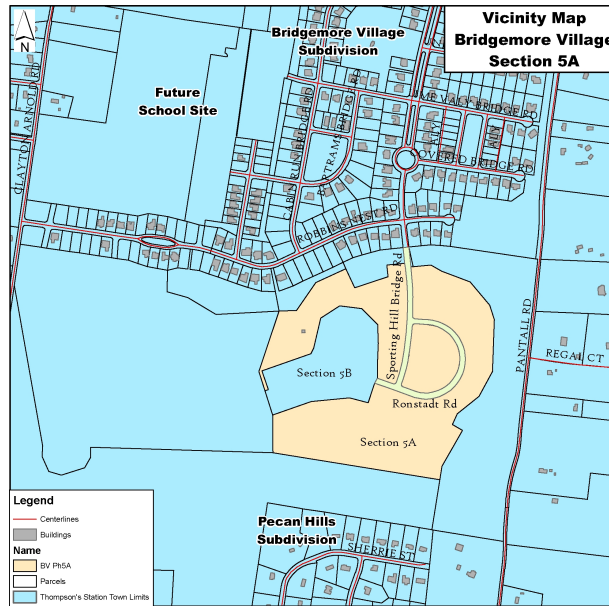
D&A Project #14038  
 Graystone Quarry  
 Amphitheater  
C3.1

**Thompson's Station Planning Commission  
Staff Report – Item 2 (File: FP 2018-001)  
January 23, 2018**

**Final Plat, Section 5B for the creation of 27 lots located within Bridgemore Village**

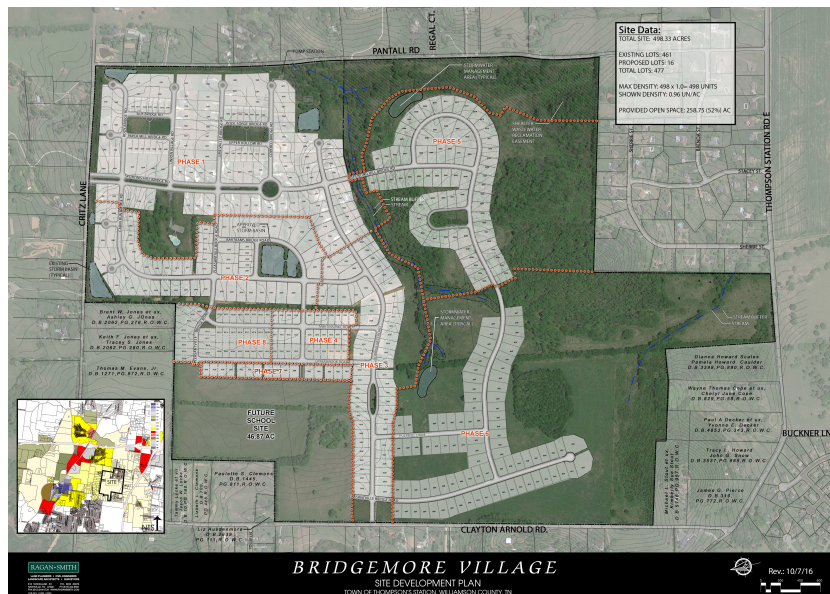
**PROJECT DESCRIPTION**

A request to approve a final plat for Section 5B of Bridgemore Village to create 26 single-family lots and one open space lot.



**BACKGROUND**

Bridgemore Village is a 498-acre master planned community that is approved consisting of 477 single-family residential units. Phases 3 - 8 are currently under construction and the preliminary plat for Phase 5 of Bridgemore Village was approved by the Planning Commission on May 26, 2015. Phase 5A was approved on October 25, 2015 for the creation of 44 single family lots and two open space lots.





## **ANALYSIS**

### **Final Plat**

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7).

The final plat for Section 5B includes 26 single family residential lots and one open space lot. The single-family lots will vary in size from .36 acres to .58 acres with a 30-foot front yard setback, a five and 15-foot side yard setbacks with a 20-foot aggregate and a 30-foot rear yard setback with lot widths over 80 feet. All lots have roadway frontage along an extension of Ronstadt Road and a new road Everyman Way will be constructed to provide access to the proposed lots.

### **Open Space**

Section 5.4.7 requires that “final plats within subdivisions with common open space must include a proportionate amount of the open space with each section.” The final plat for section 5B consists one open space lot totaling 1.31 acres. With the recordation of this plat, all open space will be platted. Therefore, recorded open space complies with the LDO.

### **Development Agreement**

The development agreement approved by the Board of Mayor and Alderman on June 14, 2016.

### **Performance Sureties**

Performance sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans. Bridgmore Phase 5 construction plans are approved and improvements are underway within this phase. Roadway work is completed to binder course and curbs are installed. Drainage and utilities are in place along with erosion control which is functioning as intended. Sewer is installed. As a result of the progress on site, the roads, drainage and erosion control performance surety shall be set at \$177,300 and the sanitary sewer surety shall be set at \$114,000.

## **RECOMMENDATION**

Based on the project’s consistency with the approved preliminary plat and the Town’s Land Development Ordinance, Staff recommends approval of the final plat for section 5B with the following contingencies:

1. Prior to the recordation of the final plat, a surety will be required in the amount of \$177,300 for roads, drainage and erosion control.
2. Prior to the recordation of the final plat, a surety shall be required in the amount of \$114,000 for sewer.
3. As built shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

## **ATTACHMENT**

Final Plat Map

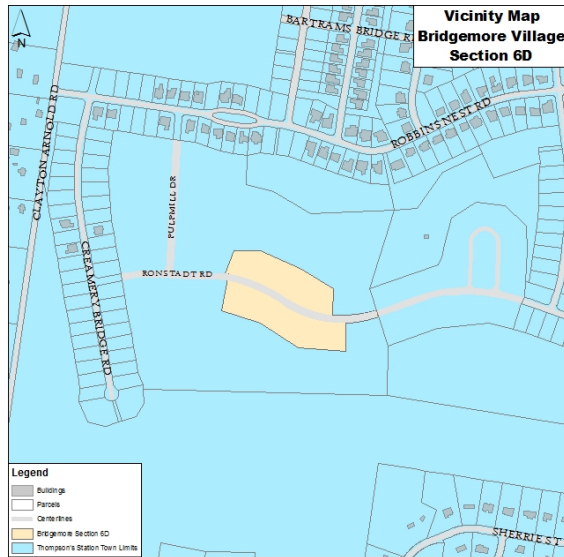


**Thompson's Station Planning Commission  
Staff Report – Item 3 (File: FP 2018-002)  
January 23, 2018**

**Final Plat, Section 6D for the creation of 17 lots located within Bridgemore Village**

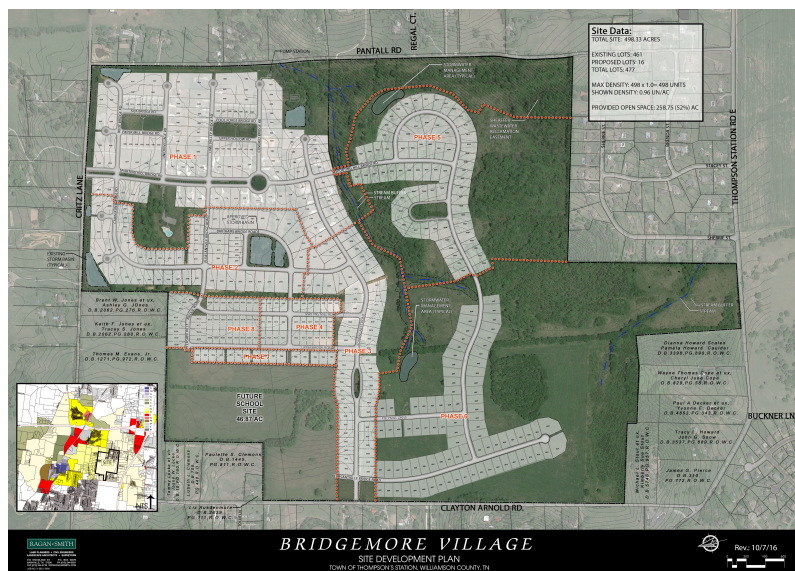
**PROJECT DESCRIPTION**

A request to approve a final plat for Section 6D of Bridgemore Village to create 17 single-family lots.



**BACKGROUND**

Bridgemore Village is a 498-acre master planned community approved consisting of 477 single-family residential units. The site is currently under construction and has access from Critz Lane and Clayton Arnold Road. The overall density is less than one unit an acre and will preserve 258 acres which will be platted as open space. A preliminary plat for the area identified as Phase 6 of Bridgemore Village was approved by the Planning Commission to create 87 single-family lots. Section 6A containing 21 residential lots and one open space lot, Section 6B containing 21 residential lots, Section 6C with 28 lots was approved and this final section will of the remaining 17 lots.





## **ANALYSIS**

### **Final Plat**

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7).

The final plat for Section 6D includes 17 single family residential lots. The single-family lots will vary in size from .38 acres to .53 acres with a 30-foot front yard setback, a five and 15-foot side yard setbacks and a 20-foot rear yard setback with lot widths are greater than 85 feet. All lots have roadway frontage along an extension of Ronstadt Road providing access to all the proposed lots.

### **Open Space**

Section 5.4.7 requires that “final plats within subdivisions with common open space must include a proportionate amount of the open space with each section.” All open space within phase 6 of the development is platted. Therefore, open space complies with the LDO.

### **Development Agreement**

The development agreement approved by the Board of Mayor and Alderman on August 9, 2016.

### **Performance Sureties**

Performance sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans. Bridgemore Phase 6 construction plans are approved and improvements are underway within this phase. Roadway work is complete to binder course and curbs are installed. Drainage and utilities are in place along with erosion control which is functioning as intended. Sewer is in place; however, no flow has been applied to the system. As a result of the progress on site, the roads, drainage and erosion control performance surety shall be set at \$120,600 and the sanitary sewer surety shall be set at \$70,000.

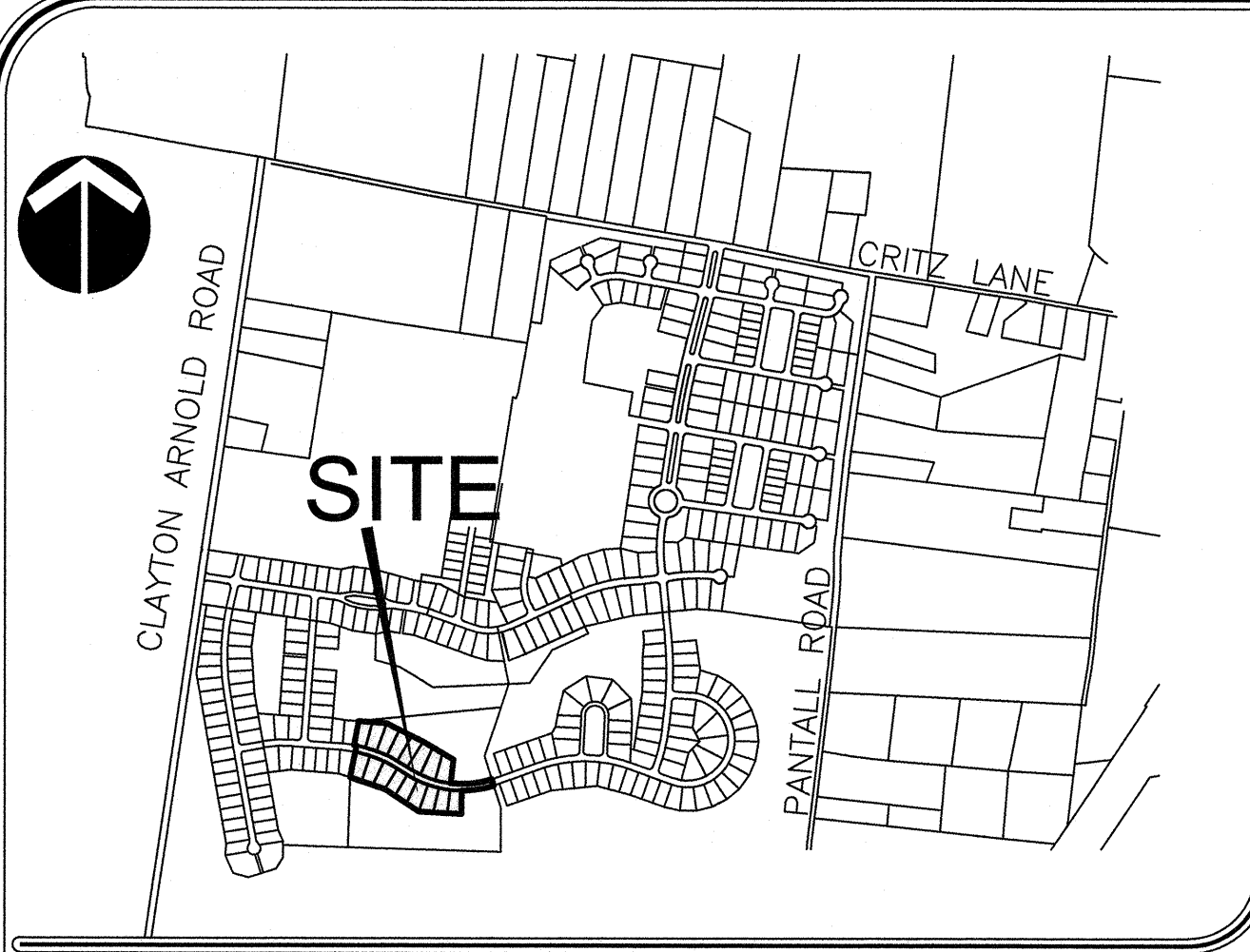
## **RECOMMENDATION**

Based on the project’s consistency with the approved preliminary plat for phase 6 and the Land Development Ordinance, Staff recommends that the Planning Commission approve the final plat with the following contingencies:

1. Prior to the recordation of the final plat, a surety will be required in the amount of \$120,600 for roads, drainage and erosion control.
2. Prior to the recordation of the final plat, a surety shall be required in the amount of \$70,000 for sewer.
3. As built shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

## **ATTACHMENT**

Final Plat Map

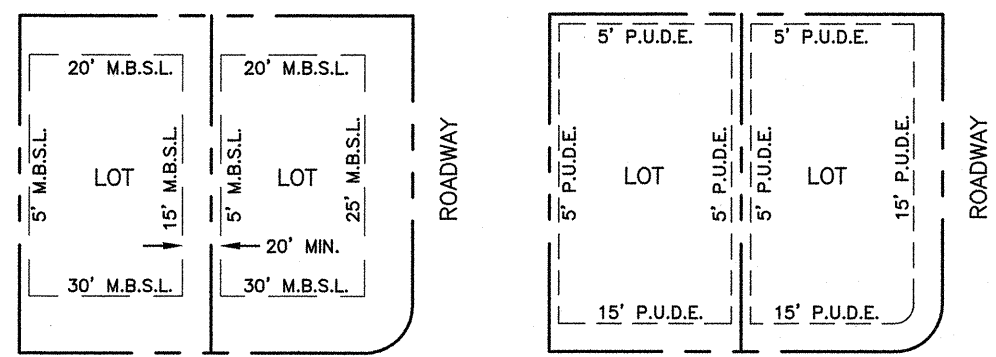


LOCATION MAP  
(NOT TO SCALE)

**GENERAL NOTES**

1. THE PURPOSE OF THIS PLAT IS TO CREATE 17 SINGLE FAMILY LOTS AND TO DEDICATE R.O.W. AND EASEMENTS.
2. BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO CONTROL POINTS ON THE SURVEYED PROPERTY IN ORDER TO ESTABLISH THE BEARING BASE FOR THE SURVEY. TYPE EQUIPMENT USED: LEICA, MODEL GX1230, DUAL FREQUENCY RECEIVER. THE TYPE OF GPS SURVEY: NETWORK ADJUSTED REAL TIME KINEMATIC.
3. THE PROPERTY IS ZONED LOW INTENSITY RESIDENTIAL (D1) MINIMUM BUILDING SETBACKS:  
FRONT - 30'  
SIDE - 5'/15'  
REAR - 20'
4. BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" (OTHER AREAS), AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO.'S 47187C0345F AND 47187C0365F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2005, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NO.'S 0345 AND 0365, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" (OTHER AREAS) UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
5. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE AFFURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT, THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
6. HOMEOWNER'S ASSOCIATION WILL MAINTAIN ALL SIDEWALKS AND OPEN SPACE, INCLUDING LANDSCAPE AND DETENTION/RETENTION AREAS. ALL ROADWAYS SHALL BE PUBLIC STREETS, CONSTRUCTED TO THE SPECIFICATIONS OF THOMPSON'S STATION AS PUBLIC R.O.W.'S.
7. ALL OPEN SPACE SHALL BE PUBLIC UTILITY AND DRAINAGE EASEMENTS.
8. DOMESTIC WATER SUPPLY INFORMATION TAKEN FROM PLANS FOR HB&TS BY JAMES C. HAILEY AND CO., DATED NOVEMBER 23, 2015.
9. I HEREBY STATE THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:114,450.

BY: *[Signature]* DATE: 1-5-18  
JOHN T. DARNALL, TN RLS #1571



TYPICAL LOT SETBACK LINES (NOT TO SCALE)  
TYPICAL LOT EASEMENT LINES (NOT TO SCALE)

**AREA SUMMARY TABLE**

TOTAL LOT AREA	- 7.84 AC.±
OPEN SPACE AREA	- 0.00 AC.±
R.O.W. AREA	- 1.28 AC.±
TOTAL SITE AREA	- 9.12 AC.±

**PROPERTY MAP REFERENCE**

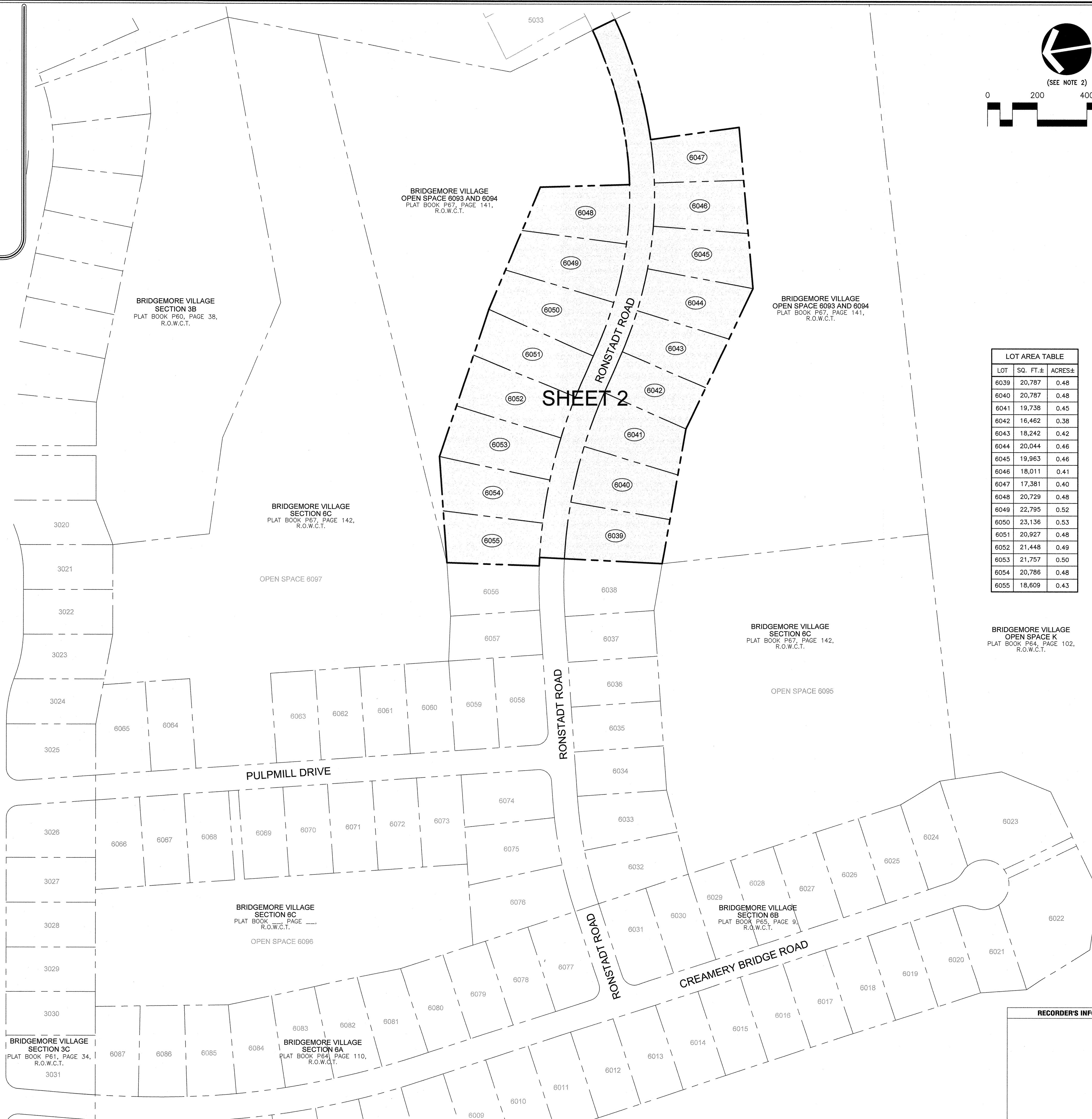
BEING A PORTION OF PARCEL NUMBER 14.02 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP NUMBER 145.

**DEED REFERENCE**

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO BLUEPRINT PROPERTIES, LLC FROM MBSC BRIDGEMORE, LLC BY SPECIAL WARRANTY DEED OF RECORD IN BOOK 6803, PAGE 979, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

**LEGEND**

R.O.W.C.T. REGISTER'S OFFICE  
WILLIAMSON COUNTY, TENNESSEE

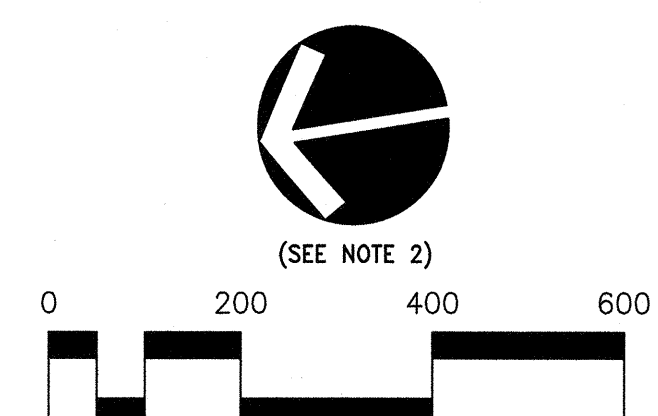


SHEET 2

**LOT AREA TABLE**

LOT	SQ. FT.±	ACRES±
6039	20,787	0.48
6040	20,787	0.48
6041	19,738	0.45
6042	16,462	0.38
6043	18,242	0.42
6044	20,044	0.46
6045	19,963	0.46
6046	18,011	0.41
6047	17,381	0.40
6048	20,729	0.48
6049	22,795	0.52
6050	23,136	0.53
6051	20,927	0.48
6052	21,448	0.49
6053	21,757	0.50
6054	20,786	0.48
6055	18,609	0.43

TOTAL AREA = 397,077 SQUARE FEET OR 9.12 ACRES ±



**CERTIFICATE OF OWNERSHIP & DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK 6803, PAGE 979, R.O.W.C. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: 20\_\_\_\_ BLUEPRINT PROPERTIES, LLC  
TITLE: \_\_\_\_\_

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY OF THE PROPERTY REQUIRED BY THE THOMPSON'S STATION SUBDIVISION REGULATIONS AND THAT THE MONUMENTS HAVE BEEN CORRECTLY PLACED AND APPROVED BY THE TOWN ENGINEER. THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:114,450 AS SHOWN HEREON.

RAGAN - SMITH ASSOCIATES, INC.  
1-5-18  
DATE: \_\_\_\_\_ JOHN T. DARNALL, RLS NO. 1571

**CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS**

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE PLAN SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 3-106 OF THE THOMPSON'S STATION SUBDIVISION REGULATIONS HAVE BEEN MET.

WATER SYSTEM \_\_\_\_\_  
SEWER SYSTEM \_\_\_\_\_  
DATE: \_\_\_\_\_ HB&TS UTILITY DISTRICT GENERAL MANAGER  
DATE: \_\_\_\_\_ NAME, TITLE, AND AGENCY OF AUTHORIZED APPROVING AGENT

**CERTIFICATION OF THE APPROVAL OF STREETS**

I HEREBY CERTIFY: (1) THAT ALL STREETS DESIGNATED ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THOMPSON'S STATION'S SUBDIVISION REGULATIONS, OR (2) THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: \_\_\_\_\_ TOWN ENGINEER

**CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION**

I HEREBY CERTIFY THAT THE REQUIREMENTS SET FORTH IN RULES, REGULATIONS, BY-LAWS, POLICIES AND OPERATIONAL BULLETINS, PLAT APPROVAL CHECKLIST AND TREE PLANTING GUIDELINES HAVE BEEN MET FOR THE DATE OF ANY APPROVAL. I AM IN FULL COMPLIANCE WITH THE REQUIREMENTS OF THE MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION.

DATE: \_\_\_\_\_ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THOMPSON'S STATION SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VIOLATIONS, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: \_\_\_\_\_ SECRETARY OF PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES**

I DO HEREBY CERTIFY THAT THE SUBDIVISION NAME AND STREET NAMES DENOTED ON THIS FINAL PLAT HAVE BEEN APPROVED BY THE WILLIAMSON COUNTY EMERGENCY COMMUNICATIONS AGENCY.

DATE: \_\_\_\_\_ WILLIAMSON COUNTY PUBLIC SAFETY

**CERTIFICATE FOR ADDRESSES**

I DO HEREBY CERTIFY THAT THE ADDRESSES DENOTED ON THIS FINAL PLAT ARE THOSE ASSIGNED BY DEPARTMENT OF INFORMATION TECHNOLOGY (IT).

DATE: \_\_\_\_\_ IT DEPT. E-911 ADDRESSING COORDINATOR

**FINAL PLAT**

**BRIDGEMORE VILLAGE SECTION 6D LOTS 6039-6055**

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY, TOWN OF THOMPSON'S STATION, TENNESSEE  
REVISED: JANUARY 5, 2018  
DATE: DECEMBER 14, 2017 SCALE: 1"=200'  
JOB NO. 11-052 W.O. 0329

OWNER/DEVELOPER  
BLUEPRINT PROPERTIES, LLC  
C/O JIMMY FRANKS  
245 NOAH DRIVE  
FRANKLIN, TENNESSEE 37067  
(615) 794-7415

**RAGAN • SMITH**

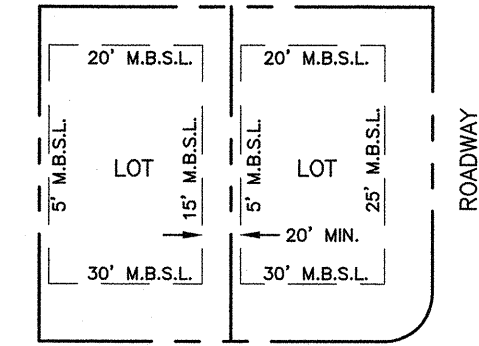
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN. 37206  
(615) 244-8991 FAX (615) 244-6739 tdarnall@ragansmith.com  
CONTACT: TOM DARNALL, RLS

C:\11052-0201-SURVEY\PLAT\FINAL PLAT\PHASE 6D\BRIDGEMORE 6D PLAT.DWG PLOTTED BY AMANDA REED ON: 1/2/2018 11:40 AM LAST UPDATED BY AMO ON: 1/2/2018 2:22 PM

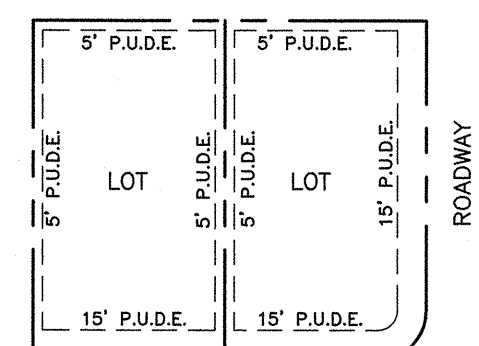


**GENERAL NOTES**

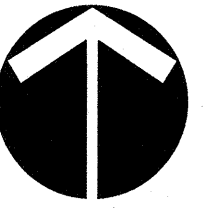
1. SEE SHEET 1 OF 3 FOR NOTES, AREAS, AND REFERENCES.



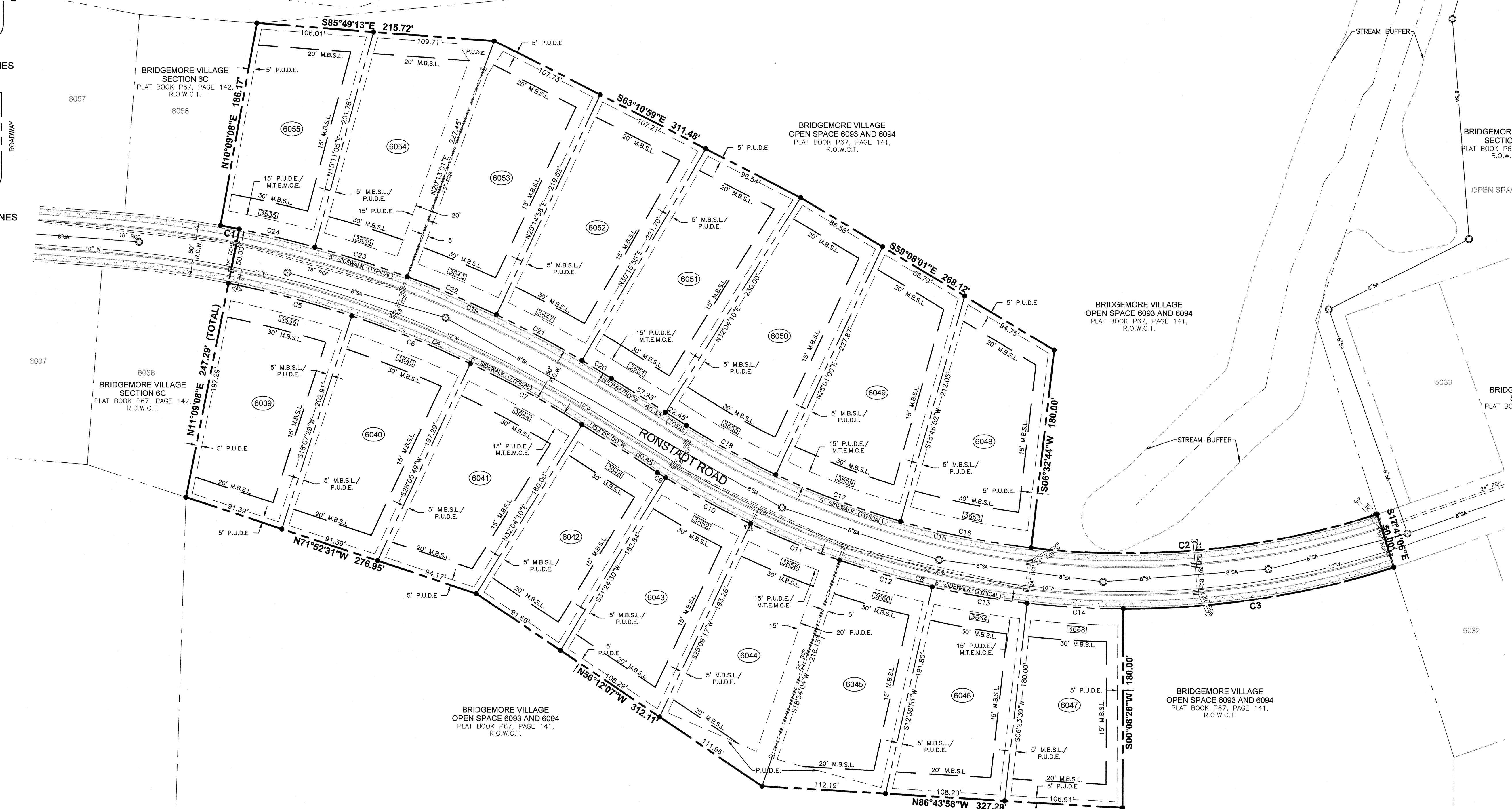
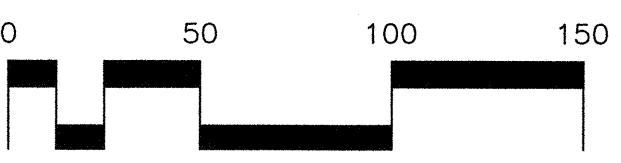
ROADWAY (STREET LOADED)  
TYPICAL LOT SETBACK LINES  
(NOT TO SCALE)



ROADWAY (STREET LOADED)  
TYPICAL LOT EASEMENT LINES  
(NOT TO SCALE)



(SEE NOTE 2)

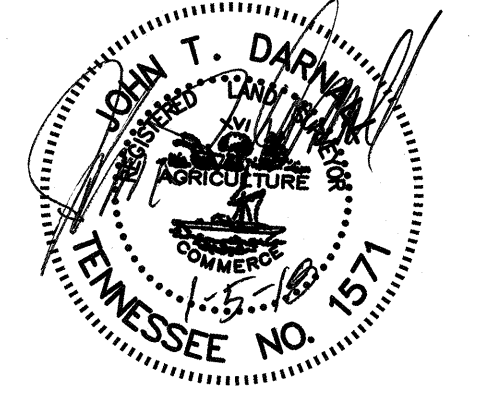


CURVE TABLE						
CURVE	RADIUS	LENGTH	CENTRAL ANGLE	CHD BRG	CHORD	TANGENT
C1	992.95'	17.46'	1°00'26"	N79°24'09"W	17.46'	8.73
C2	750.00'	317.18'	24°13'50"	N84°25'49"E	314.82'	160.99
C3	800.00'	248.89'	17°49'32"	S81°13'40"W	247.89'	125.46
C4	942.95'	346.88'	21°04'38"	N68°21'46"W	344.93'	175.42
C5	942.95'	115.63'	7°01'34"	N75°23'18"W	115.56'	57.89
C6	942.95'	115.63'	7°01'34"	N68°21'44"W	115.56'	57.89
C7	942.95'	115.62'	7°01'31"	N61°20'12"W	115.55'	57.88
C8	800.00'	694.70'	49°45'16"	S82°48'28"E	673.08'	370.96
C9	800.00'	9.23'	0°39'40"	N58°15'40"W	9.23'	4.62
C10	800.00'	87.32'	6°15'13"	N61°43'07"W	87.27'	43.70
C11	800.00'	87.32'	6°15'13"	N67°58'19"W	87.27'	43.70
C12	800.00'	87.32'	6°15'13"	N74°13'32"W	87.27'	43.70

CURVE TABLE						
CURVE	RADIUS	LENGTH	CENTRAL ANGLE	CHD BRG	CHORD	TANGENT
C13	800.00'	87.32'	6°15'13"	N80°28'45"W	87.27'	43.70
C14	800.00'	87.32'	6°15'13"	N86°43'58"W	87.27'	43.70
C15	750.00'	651.28'	49°45'16"	S82°48'28"E	631.01'	347.78
C16	750.00'	120.89'	9°14'08"	S78°50'12"E	120.76'	60.58
C17	750.00'	120.89'	9°14'08"	S69°36'04"E	120.76'	60.58
C18	750.00'	92.32'	7°03'10"	S61°27'25"E	92.26'	46.22
C19	992.95'	382.64'	22°04'45"	N68°51'59"W	380.27'	193.72
C20	992.95'	31.24'	1°48'10"	S58°43'42"E	31.24'	15.62
C21	992.95'	87.84'	5°04'08"	S62°09'51"E	87.81'	43.95
C22	992.95'	87.85'	5°04'09"	S67°13'59"E	87.82'	43.95
C23	992.95'	87.85'	5°04'09"	S72°18'08"E	87.82'	43.95
C24	992.95'	87.85'	5°04'09"	S77°22'17"E	87.82'	43.95

- LEGEND**
- IRON ROD (NEW)  
(1/2" x 18" W/CAP STAMPED  
"RAGAN SMITH & ASSOCIATES")
  - MONUMENT (NEW)  
(4" DIAMETER ALUMINUM DISC  
W/ 1/2" IRON ROD MARKED  
"RAGAN-SMITH ASSOCIATES")
  - RCP REINFORCED CONCRETE PIPE
  - CATCH BASIN
  - SANITARY SEWER MANHOLE
  - SA — SANITARY SEWER LINE
  - W — WATER LINE
  - ⊕ FIRE HYDRANT
  - ⊕ WATER VALVE
  - R.O.W. R.O.W.
  - R.O.W.C.T. REGISTER'S OFFICE  
WILLIAMSON COUNTY, TENNESSEE
  - M.B.S.L. MINIMUM BUILDING  
SETBACK LINE
  - [1234] ADDRESS
  - P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT
  - P.U.D.E./  
M.T.E.M.C.E. PUBLIC UTILITY & DRAINAGE EASEMENT  
MIDDLE TENN ELECTRIC MEMBERSHIP CORP ESMT

**RECORDER'S INFORMATION**



**FINAL PLAT**

**BRIDGEMORE VILLAGE SECTION 6D LOTS 6039-6055**

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11TH CIVIL DISTRICT OF WILLIAMSON COUNTY, TOWN OF THOMPSON'S STATION, TENNESSEE

REVISED: JANUARY 5, 2018  
DATE: DECEMBER 14, 2017  
JOB NO. 11-052

SCALE: 1"=50'  
W.O. 0329

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**OWNER/DEVELOPER**  
BLUEPRINT PROPERTIES, LLC  
C/O JIMMY FRANKS  
245 NOAH DRIVE  
FRANKLIN, TENNESSEE 37067  
(615) 794-7415

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**RAGAN • SMITH**

LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS

315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206  
(615) 244-8591 FAX (615) 244-8739 tdarnall@ragansmith.com  
CONTACT: TOM DARNALL, RLS

**SHEET 2 OF 2**

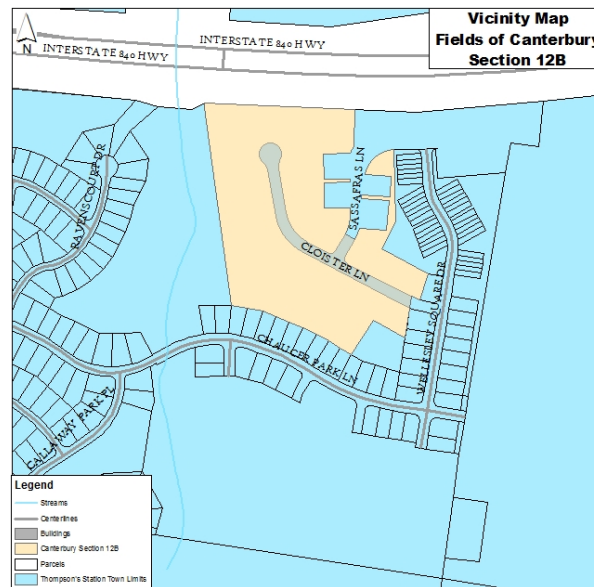
BRIDGEMORE VILLAGE  
OPEN SPACE K  
BOOK P64, PAGE 102,  
R.O.W.C.T.

**Thompson's Station Planning Commission**  
**Staff Report - Item 4 (FP 2018-003)**  
**January 23, 2018**

**Final Plat Request for Fields of Canterbury, Section 12B for the creation of 36 lots.**

**PROJECT DESCRIPTION**

A request for a final plat was submitted by Ragan Smith Associates on behalf of Hood Development, LLC for the creation of 34 single-family lots and two (2) open space lots within section 12B of the Fields of Canterbury.



**BACKGROUND**

On June 28, 2016, the Planning Commission approved the preliminary plat for phase 12 which included 47 single-family residences, 88 townhomes and three (3) open space lots along with the removal of 45 trees. Section 12A consisted of 13 single family lots and 34 townhomes. This section will complete the single-family lots within the phase leaving 54 townhome lots remaining for a future section.

**ANALYSIS**

**Final Plat**

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7).

Section 12B consists of 34 single-family residential lots which front Cloister Lane. Single-family lot setbacks are 20 feet for the front yard, 7.5 for the side yard, and 20 feet for the rear yard. Lot sizes will range from .17 acres to .29 acres and will have widths greater than 50 feet. Cloister Lane is currently under construction and has a roadway width of 50 feet with a five-foot sidewalk and a five-foot landscape strip on both sides of the road. The rights-of-way, setbacks, lot widths and lot sizes are all consistent with the approved Phase 12 preliminary plat and the LDO.

**Open Space**

The original development plan was approved with a 25% requirement for open space. The final plat includes two open space lots for a total of 7.63 acres. The remaining 1.61 acres within phase 12 and

7.72 acres within phase 13 were recorded by separate plats resulting in 100% of the required open space in the development.

### *Sureties*

Sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans. The Fields of Canterbury Phase 12 construction plans are approved and improvements have been started within this phase. Roadway work is ongoing with the base course installed. Drainage and utilities are in place and erosion control is installed and is functioning as intended. After an evaluation of this section and the progress of the construction, the Town Engineer recommends that the roads, drainage and erosion control surety should be set at \$134,000.

Sewer is installed; however, no services are in place, therefore, the Town Engineer recommends that the sewer surety be set at \$88,000.

### **RECOMMENDATION**

Based on the project's compliance with the approved Phase 12 preliminary plat, Staff recommends that the Planning Commission approve the final plat with the following contingencies:

1. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$134,000 for roadways, drainage and utilities.
2. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$88,000 for sewer.
3. As built drawings shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

### **ATTACHMENTS**

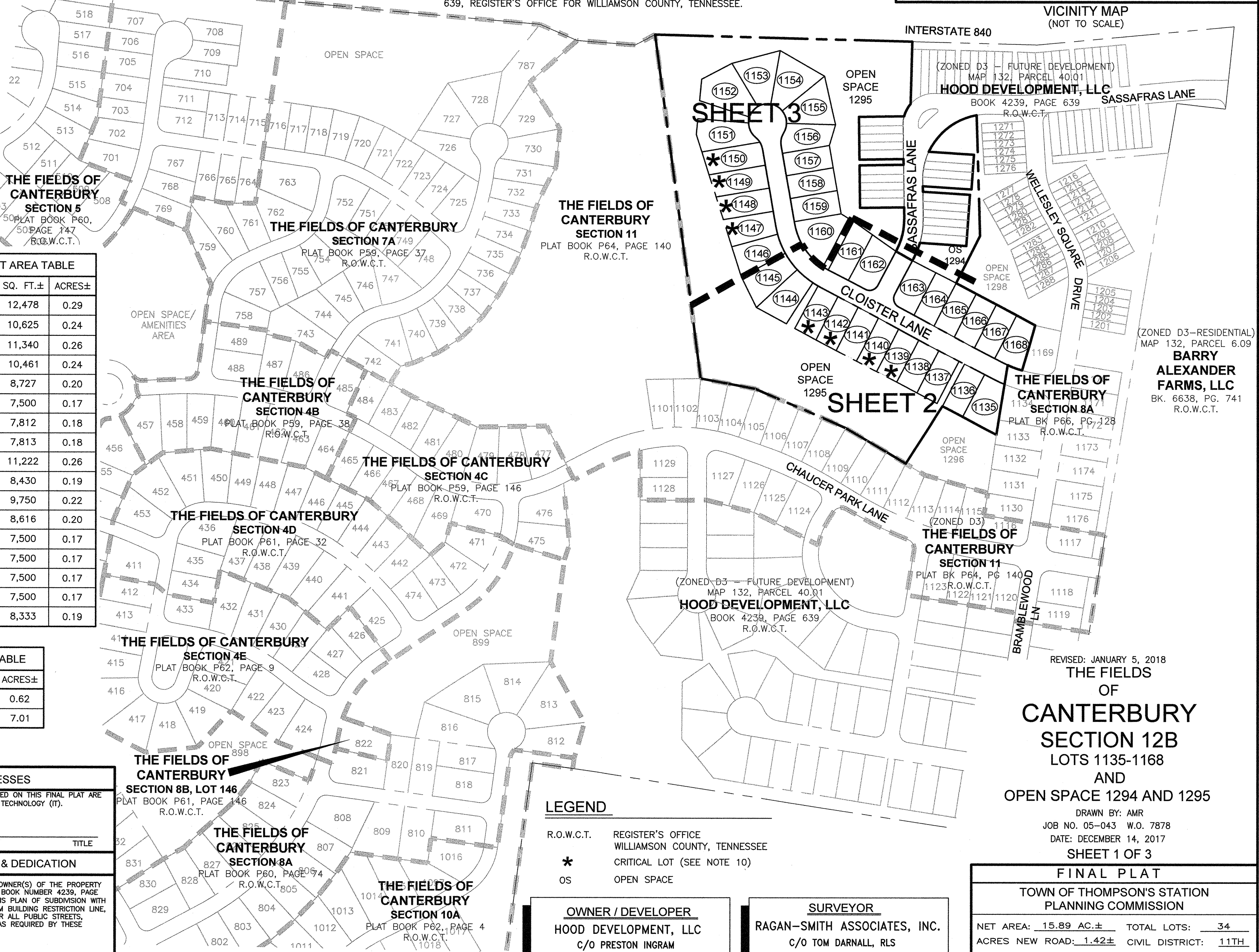
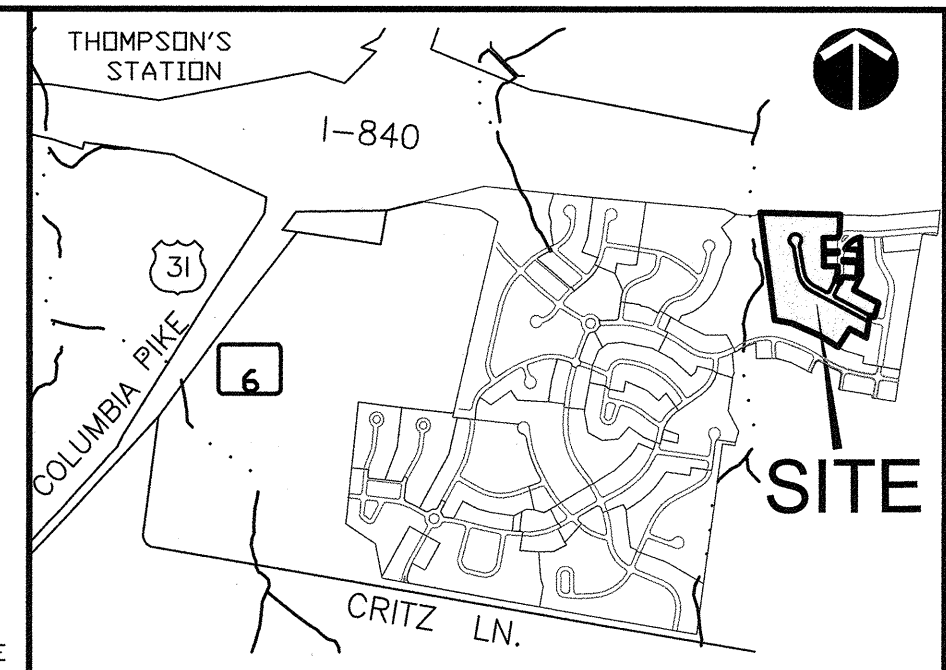
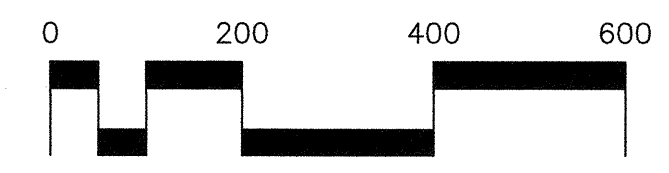
Final Plat for Section 12B



**GENERAL NOTES**

- THE PURPOSE OF THIS PLAT IS TO CREATE 34 SINGLE FAMILY LOTS AND 2 OPEN SPACE TRACTS.
- BEARINGS SHOWN HEREON ARE BASED ON SURVEYS BY CRAWFORD LAND SURVEYORS, P.C. DATED AUGUST 10, 2004 AND MARCH 25, 2005.
- THE PROPERTY IS ZONED D3 (HIGH DENSITY RESIDENTIAL).  
MAXIMUM LOT COVERAGE (SINGLE FAMILY) - 55%.  
MINIMUM BUILDING SETBACKS:  
(LOTS 1135-1168):  
FRONT - 20'  
SIDE - 7.5'  
REAR - 20'
- WITHIN ALL NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS AND THE MTEM FEEDER LINE RUNNING NORTH/SOUTH ALONG THE DISTANCE OF THE TVA TRANSMISSION LINE EASEMENT), GAS, SEWER, TELEPHONE, AND WATERLINES SHALL BE PLACED UNDERGROUND. SEE VARIANCE GRANTED BY THE TOWN OF THOMPSON'S STATION M.P.C. APRIL 16, 2007 FOR THE FIELDS OF CANTERBURY REGARDING M.T.E.M.C. OVERHEAD POWER LINES.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS NO. 47187C0355F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NO. 0355, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER OTHER AREAS" AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
- DOMESTIC WATER SUPPLY INFORMATION TAKEN FROM PLANS FOR HB&TS BY JAMES C. HAILEY AND CO., DATED JULY 21, 2016.
- HOMEOWNER'S ASSOCIATION WILL BE RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF STORMWATER INFRASTRUCTURE LOCATED IN DRAINAGE EASEMENTS AND ALL OPEN SPACE, INCLUDING LANDSCAPE AND DETENTION/RETENTION AREAS.

- ALL SIDEWALKS, PUBLIC STREETS AND DRAINAGE STRUCTURES WITHIN THE RIGHTS-OF-WAY WILL BE MAINTAINED BY THE TOWN OF THOMPSON'S STATION.
  - LOTS SHOWN THUS (\*) ARE DESIGNATED AS CRITICAL LOTS AND HAVE NATURAL SLOPES IN EXCESS OF 15%. PER SECTION 3.3.7 OF THE LAND DEVELOPMENT ORDINANCE (SUBDIVISION REGULATIONS) PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SITE GRADING PLAN FOR DEVELOPMENT OF THE LOT SHALL BE SUBMITTED ADDRESSING SITE SPECIFIC NATURAL RESOURCE ISSUES TO THE TOWN OF THOMPSON'S STATION FOR REVIEW AND APPROVAL. NO BUILDING PERMIT WILL BE ISSUED ON SAID LOTS UNTIL AND UNLESS THE TOWN ENGINEER HAS RECEIVED AND APPROVED THE SITE PLAN.
  - I HEREBY STATE THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:18,845.
- BY: *[Signature]* DATE: 1-5-16  
JOHN T. DARNALL, TN RLS #1571
- ALL OPEN SPACE IS A PUBLIC UTILITY AND DRAINAGE EASEMENT.



**CERTIFICATION OF THE APPROVAL OF STREETS**

I HEREBY CERTIFY: (1) THAT ALL STREETS DESIGNATED ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO REGULATIONS FOR THOMPSON'S STATION, TENNESSEE, ROADWAY AND DRAINAGE REGULATIONS, OR (2) THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: 20\_\_ TOWN ENGINEER

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THOMPSON'S STATION SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: 20\_\_ SECRETARY OF PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION**

I DO HEREBY CERTIFY THAT THE REQUIREMENTS SET FORTH IN RULES, REGULATIONS, BY-LAWS, POLICY AND OPERATIONAL BULLETINS, PLAT APPROVAL CHECKLIST AND TREE PLANTING GUIDELINES HAVE BEEN MET FOR MTEM. ANY APPROVAL IS AT ALL TIMES CONTINGENT UPON CONTINUING COMPLIANCE WITH THE AFORESAID REQUIREMENTS.

DATE: 20\_\_ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE THOMPSON'S STATION, TENNESSEE REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE SUBDIVISION REGULATIONS, AS APPROVED BY THE TOWN ENGINEER. THIS IS ACCURATE TO THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:30000 AS SHOWN HEREON.

RAGAN - SMITH ASSOCIATES, INC.  
DATE: 1-5-16 REGISTERED LAND SURVEYOR

**CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS**

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE PLAN SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN SPECIFIED IN SECTION 3-106 OF THE THOMPSON'S STATION SUBDIVISION REGULATIONS HAVE BEEN MET.

WATER SYSTEM DATE: 20\_\_ HB&TS UTILITY DISTRICT

SEWER SYSTEM DATE: 20\_\_ TOWN ADMINISTRATOR

**CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES**

I DO HEREBY CERTIFY THAT THE SUBDIVISION NAME AND STREET NAMES DENOTED ON THIS FINAL PLAT HAVE BEEN APPROVED BY THE WILLIAMSON COUNTY DEPARTMENT OF EMERGENCY COMMUNICATIONS.

DATE: 20\_\_ WILLIAMSON COUNTY DEPARTMENT OF EMERGENCY COMMUNICATIONS

**LOT AREA TABLE**

LOT	SQ. FT.±	ACRES±
1135	9,953	0.23
1136	7,500	0.17
1137	7,500	0.17
1138	7,500	0.17
1139	7,500	0.17
1140	7,500	0.17
1141	7,500	0.17
1142	7,500	0.17
1143	7,643	0.18
1144	9,482	0.22
1145	9,711	0.22
1146	8,795	0.20
1147	8,787	0.20
1148	8,604	0.20
1149	9,134	0.21
1150	9,642	0.22
1151	10,365	0.24

**LOT AREA TABLE**

LOT	SQ. FT.±	ACRES±
1152	12,478	0.29
1153	10,625	0.24
1154	11,340	0.26
1155	10,461	0.24
1156	8,727	0.20
1157	7,500	0.17
1158	7,812	0.18
1159	7,813	0.18
1160	11,222	0.26
1161	8,430	0.19
1162	9,750	0.22
1163	8,616	0.20
1164	7,500	0.17
1165	7,500	0.17
1166	7,500	0.17
1167	7,500	0.17
1168	8,333	0.19

**OPEN SPACE AREA TABLE**

OPEN SPACE	SQ. FT.±	ACRES±
1294	26,984	0.62
1295	305,384	7.01

**CERTIFICATE FOR ADDRESSES**

I DO HEREBY CERTIFY THAT THE ADDRESSES DENOTED ON THIS FINAL PLAT ARE THOSE ASSIGNED BY DEPARTMENT OF INFORMATION TECHNOLOGY (IT).

DATE: 20\_\_ IT DEPT. TITLE

**CERTIFICATE OF OWNERSHIP & DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK NUMBER 4239, PAGE 639, R.O.W.C., AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: 20\_\_ OWNER

TITLE:

**LEGEND**

- R.O.W.C.T. REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE
- \* CRITICAL LOT (SEE NOTE 10)
- OS OPEN SPACE

**OWNER / DEVELOPER**  
HOOD DEVELOPMENT, LLC  
C/O PRESTON INGRAM  
121 FIRST AVENUE SOUTH, SUITE 210  
FRANKLIN, TENNESSEE 37064  
(615) 794-6401

**SURVEYOR**  
RAGAN-SMITH ASSOCIATES, INC.  
C/O TOM DARNALL, RLS  
315 WOODLAND STREET  
NASHVILLE, TENNESSEE 37206  
(615) 244-8591

TOTAL AREA = 692,149 SQUARE FEET OR 15.89 ACRES ±

REVISED: JANUARY 5, 2018  
**THE FIELDS OF CANTERBURY SECTION 12B LOTS 1135-1168 AND OPEN SPACE 1294 AND 1295**  
DRAWN BY: AMR  
JOB NO. 05-043 W.O. 7878  
DATE: DECEMBER 14, 2017  
SHEET 1 OF 3

FINAL PLAT	
TOWN OF THOMPSON'S STATION PLANNING COMMISSION	
NET AREA: 15.89 AC.±	TOTAL LOTS: 34
ACRES NEW ROAD: 1.42±	CIVIL DISTRICT: 11TH
MILES NEW ROAD: 0.22±	CLOSURE ERROR: 1:18,845
OWNER: HOOD DEVELOPMENT, LLC	
SURVEYOR: RAGAN - SMITH - ASSOCIATES, INC.	
SCALE: 1" = 200'	

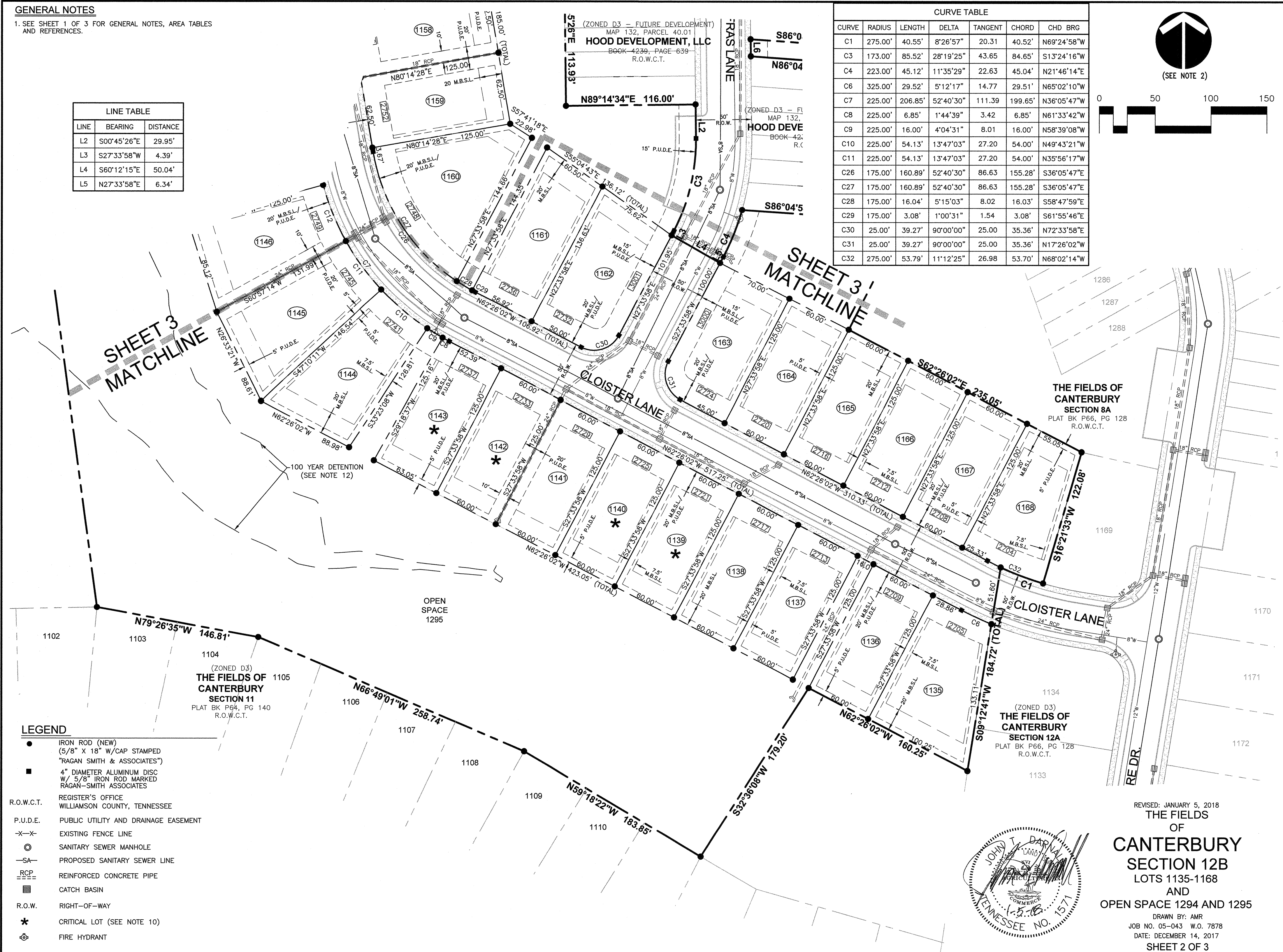
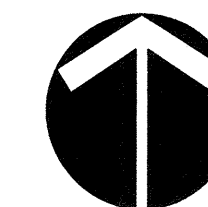


**GENERAL NOTES**

1. SEE SHEET 1 OF 3 FOR GENERAL NOTES, AREA TABLES AND REFERENCES.

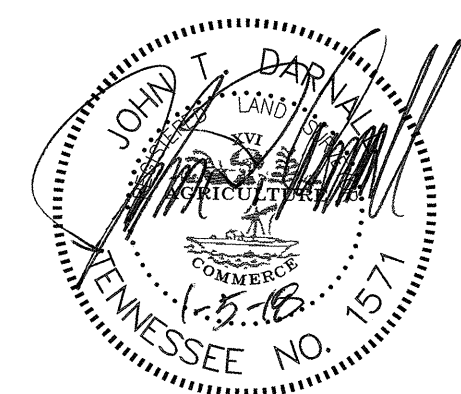
LINE	BEARING	DISTANCE
L2	S00°45'26"E	29.95'
L3	S27°33'58"W	4.39'
L4	S60°12'15"E	50.04'
L5	N27°33'58"E	6.34'

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C1	275.00'	40.55'	8°26'57"	20.31	40.52'	N69°24'58"W
C3	173.00'	85.52'	28°19'25"	43.65	84.65'	S13°24'16"W
C4	223.00'	45.12'	11°35'29"	22.63	45.04'	N21°46'14"E
C6	325.00'	29.52'	5°12'17"	14.77	29.51'	N65°02'10"W
C7	225.00'	206.85'	52°40'30"	111.39	199.65'	N36°05'47"W
C8	225.00'	6.85'	1°44'39"	3.42	6.85'	N61°33'42"W
C9	225.00'	16.00'	4°04'31"	8.01	16.00'	N58°39'08"W
C10	225.00'	54.13'	13°47'03"	27.20	54.00'	N49°43'21"W
C11	225.00'	54.13'	13°47'03"	27.20	54.00'	N35°56'17"W
C26	175.00'	160.89'	52°40'30"	86.63	155.28'	S36°05'47"E
C27	175.00'	160.89'	52°40'30"	86.63	155.28'	S36°05'47"E
C28	175.00'	16.04'	5°15'03"	8.02	16.03'	S58°47'59"E
C29	175.00'	3.08'	1°00'31"	1.54	3.08'	S61°55'46"E
C30	25.00'	39.27'	90°00'00"	25.00	35.36'	N72°33'58"E
C31	25.00'	39.27'	90°00'00"	25.00	35.36'	N17°26'02"W
C32	275.00'	53.79'	11°12'25"	26.98	53.70'	N68°02'14"W



**LEGEND**

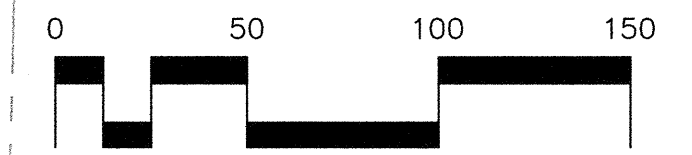
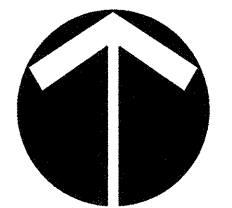
- IRON ROD (NEW)  
(5/8" X 18" W/CAP STAMPED  
"RAGAN SMITH & ASSOCIATES")
- 4" DIAMETER ALUMINUM DISC  
W/ 5/8" IRON ROD MARKED  
RAGAN-SMITH ASSOCIATES
- R.O.W.C.T. REGISTER'S OFFICE  
WILLIAMSON COUNTY, TENNESSEE
- P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- X-X- EXISTING FENCE LINE
- SANITARY SEWER MANHOLE
- SA- PROPOSED SANITARY SEWER LINE
- RCP REINFORCED CONCRETE PIPE
- ▣ CATCH BASIN
- R.O.W. RIGHT-OF-WAY
- ★ CRITICAL LOT (SEE NOTE 10)
- ⊕ FIRE HYDRANT



REVISED: JANUARY 5, 2018  
**THE FIELDS OF  
 CANTERBURY  
 SECTION 12B**  
 LOTS 1135-1168  
 AND  
 OPEN SPACE 1294 AND 1295  
 DRAWN BY: AMR  
 JOB NO. 05-043 W.O. 7878  
 DATE: DECEMBER 14, 2017  
**SHEET 2 OF 3**

**GENERAL NOTES**

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES, AREA TABLES AND REFERENCES.



(ZONED D3 - FUTURE DEVELOPMENT)  
 MAP 132, PARCEL 40.01  
**HOOD DEVELOPMENT, LLC**  
 BOOK 4239, PAGE 639  
 R.O.W.C.T.

(ZONED D3 - FUTURE DEVELOPMENT)  
 MAP 132, PARCEL 40.01  
**HOOD DEVELOPMENT, LLC**  
 BOOK 4239, PAGE 639  
 R.O.W.C.T.

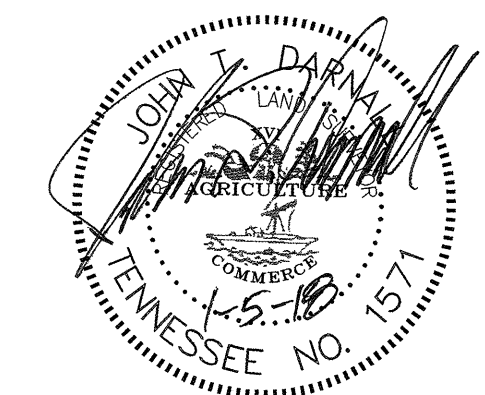
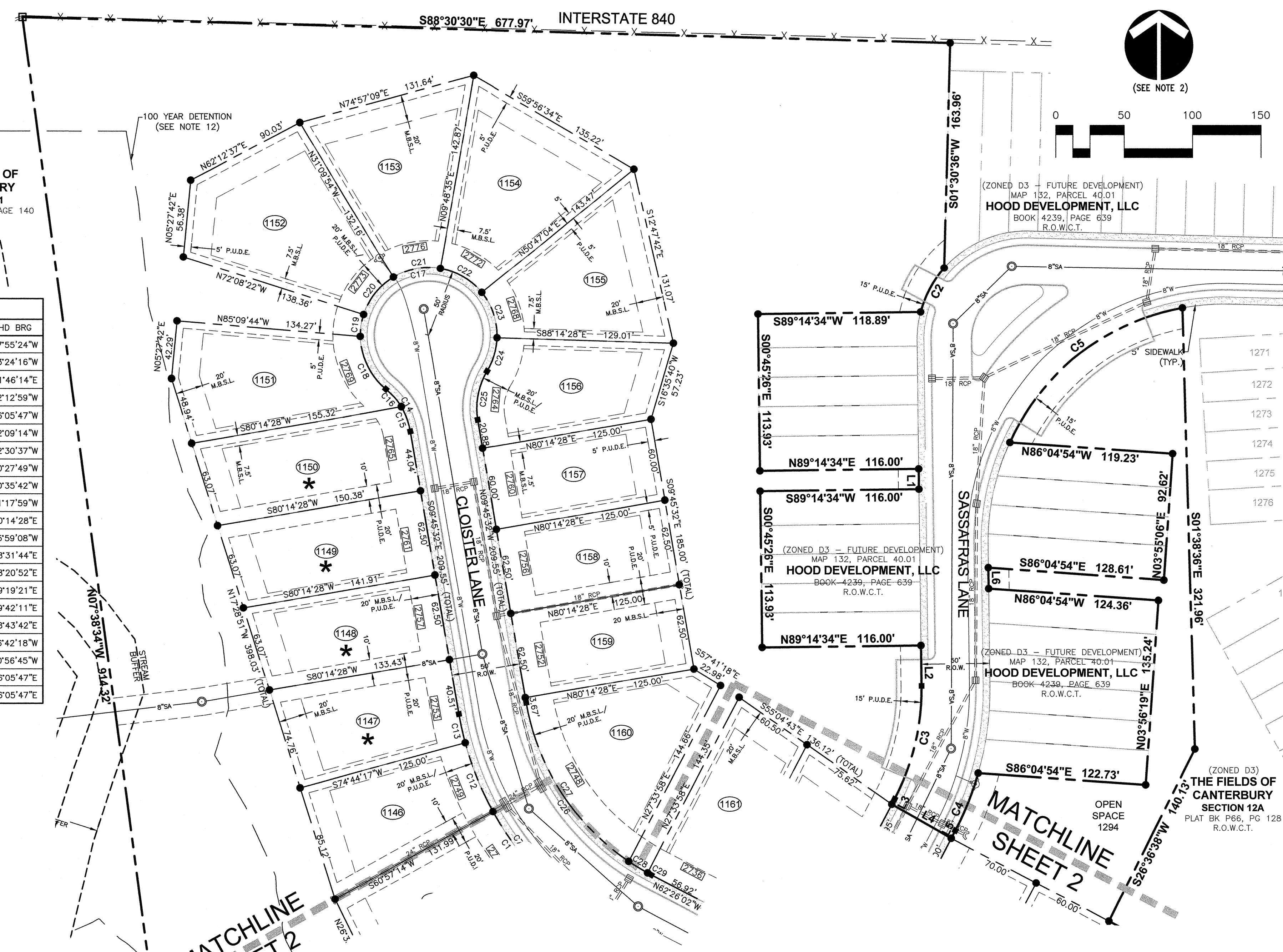
(ZONED D3 - FUTURE DEVELOPMENT)  
 MAP 132, PARCEL 40.01  
**HOOD DEVELOPMENT, LLC**  
 BOOK 4239, PAGE 639  
 R.O.W.C.T.

(ZONED D3)  
**THE FIELDS OF CANTERBURY SECTION 12A**  
 PLAT BK P66, PG 128  
 R.O.W.C.T.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C2	80.00'	36.95'	26°27'50"	18.81	36.62'	S27°55'24"W
C3	173.00'	85.52'	28°19'25"	43.65	84.65'	S13°24'16"W
C4	223.00'	45.12'	11°35'29"	22.63	45.04'	N21°46'14"E
C5	173.00'	165.67'	54°52'10"	89.81	159.42'	S52°12'59"W
C7	225.00'	206.85'	52°40'30"	111.39	199.65'	N36°05'47"W
C12	225.00'	54.13'	13°47'03"	27.20	54.00'	N22°09'14"W
C13	225.00'	21.61'	5°30'11"	10.81	21.60'	N12°30'37"W
C14	50.00'	36.14'	41°24'35"	18.90	35.36'	N30°27'49"W
C15	50.00'	18.91'	21°40'19"	9.57	18.80'	N20°35'42"W
C16	50.00'	17.22'	19°44'15"	8.70	17.14'	N41°17'59"W
C17	50.00'	229.35'	262°49'09"	56.69	75.00'	N80°14'28"E
C18	50.00'	43.95'	50°21'58"	23.51	42.55'	N25°59'08"W
C19	50.00'	16.29'	18°39'47"	8.22	16.21'	N08°31'44"E
C20	50.00'	35.76'	40°58'29"	18.68	35.00'	N38°20'52"E
C21	50.00'	35.76'	40°58'29"	18.68	35.00'	N79°19'21"E
C22	50.00'	35.76'	40°58'29"	18.68	35.00'	S59°42'11"E
C23	50.00'	35.76'	40°58'29"	18.68	35.00'	S18°43'42"E
C24	50.00'	26.09'	29°53'30"	13.35	25.79'	S16°42'18"W
C25	50.00'	36.14'	41°24'35"	18.90	35.36'	S10°56'45"W
C26	175.00'	160.89'	52°40'30"	86.63	155.28'	S36°05'47"E
C27	175.00'	160.89'	52°40'30"	86.63	155.28'	S36°05'47"E

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S00°45'26"E	15.00'
L2	S00°45'26"E	29.95'
L3	S27°33'58"W	4.39'
L4	S60°12'15"E	50.04'
L5	N27°33'58"E	6.34'
L6	N00°45'26"W	15.05'

- LEGEND**
- IRON ROD (NEW)  
(5/8" X 18" W/CAP STAMPED  
"RAGAN SMITH & ASSOCIATES")
  - 4" DIAMETER ALUMINUM DISC  
W/ 5/8" IRON ROD MARKED  
RAGAN-SMITH ASSOCIATES
  - R.O.W.C.T. REGISTER'S OFFICE  
WILLIAMSON COUNTY, TENNESSEE
  - P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
  - X-X- EXISTING FENCE LINE
  - SANITARY SEWER MANHOLE
  - SA- PROPOSED SANITARY SEWER LINE
  - RCP REINFORCED CONCRETE PIPE
  - ▢ CATCH BASIN
  - R.O.W. RIGHT-OF-WAY
  - \* CRITICAL LOT (SEE NOTE 10)
  - ⊙ FIRE HYDRANT



REVISED: JANUARY 5, 2018  
 THE FIELDS  
 OF  
**CANTERBURY**  
 SECTION 12B  
 LOTS 1135-1168  
 AND  
 OPEN SPACE 1294 AND 1295

DRAWN BY: AMR  
 JOB NO. 05-043 W.O. 7878  
 DATE: DECEMBER 14, 2017  
 SHEET 3 OF 3

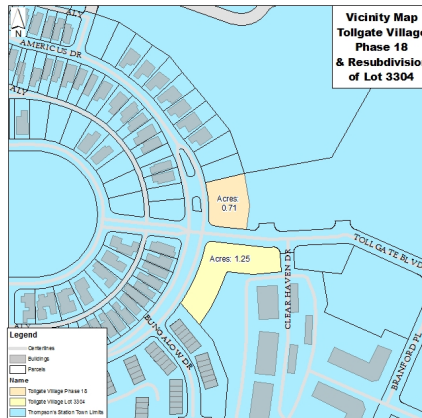


**Thompson's Station Planning Commission  
Staff Report –Item 5 (PP 2018-001)  
January 23, 2018**

**Preliminary plat for phase 18 which will create three single-family lots and re-subdivide lot 3304 within phase 33 into five lots for a total of eight (8) lots.**

**PROJECT DESCRIPTION**

A request to approve the preliminary plat for phase 18 and the re-subdivision of lot 3304 within phase 33 of Tollgate Village to create eight single family lots and one “residential” lot located at the northeast and southeast corners of Tollgate Boulevard and Americus Drive.



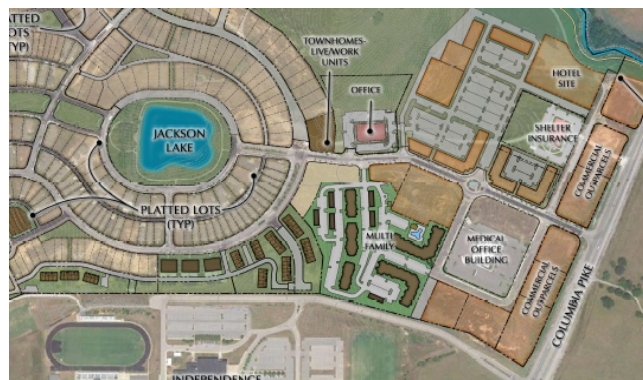
**BACKGROUND**

The Tollgate Village site development plan dated April 2014 consists of a variety of housing throughout the site with commercial/office located in proximity to Columbia Pike (State Route 6). The existing housing includes 201 apartments (located on Branford Place), 30 condominiums (located along Americus), 61 townhomes (along Bungalow Drive, Newark Lane and Rochelle Lane) and over 450 single-family residences within Sections 1-15 with preliminary plat approvals for phases 16 and 17. Existing commercial includes the medical office building and Shelter Insurance located in the front sections of the development along Tollgate Boulevard and Elliston Way.

**ANALYSIS**

**Preliminary Plat**

The preliminary plat provides an analysis of the site’s special features and the response to those features (LDO Section 5.4.3). This preliminary plat is for the creation of phase 18 and the resubdivision of phase 33 for the creation of eight single family lots and one future lot. The layout of this plat request is modification from the approved development plan (dated 4-15-14). The changes include a revision to the type of lots at the both corners of Americus and Tollgate Boulevard. As shown below, the northeast corner of Tollgate Boulevard and Americus was townhome/live work and the southeast corner was single-family.



The proposed plat consists of single-family lots on both corners with a .46-acre parcel designated as “residential.”

The single-family lots will vary in size from .14 acres to .25 acres with a minimum of 50 feet. Proposed setbacks are 10 feet for the front yard, seven and a half feet for the side yards and 20 feet for the rear yard with a minimum of a 20-foot driveway. Access is provided from a rear alley. Section 3.6 states that each lot should be designed as to not create any “foreseeable difficulties” for the construction and access of the lot. However, given the development of the townhomes to the south and the apartments to the east, access to the southeast corner is not well defined. Front access on Americus is obstructed by the existing median and no other access exists except via Tollgate Boulevard through the apartment site. Therefore, access is proposed from Tollgate Boulevard, through the private access for the apartments to an alley located in the rear of the lots.

#### Open Space

No open space is proposed with this phase. To date, Tollgate Village is 72% complete with the approval of plats and only 67% of the open space has been recorded. A significant portion of the remaining open space is located within phases 16 and 17, however, per section 5.4.7 of the Town’s LDO, all remaining open space will need to be platted prior to any future final plats.

#### Traffic Improvements

The February 2017 traffic study states that “one route of secondary access to Tollgate Village should be constructed and open to traffic prior to the final plat approval for Tollgate Village Section 16 or Section 17, whichever occurs first. If development in Tollgate Village occurs outside of Sections 15, 16 and 17, a route of secondary access should be constructed as part of that development. At this time, a secondary access sufficient for emergency access is installed, however, the route is not open to traffic. In addition, the traffic signal is temporary and the permanent poles are on order. Once the poles have arrived, the developer will install the permanent light and remove the temporary wooden poles.

#### **RECOMMENDATION**

Based on the lack of compliance with traffic mitigation requirements, Staff recommends denial of the preliminary plat for phase 18 which includes the re-subdivision of phase 33.

#### **ATTACHMENT**

Preliminary Plat

**GENERAL NOTES**

1. THE PURPOSE OF THIS PLAT IS TO SUBDIVIDE LOT 3304 INTO 5 SINGLE FAMILY RESIDENTIAL LOTS AND 1 FUTURE RESIDENTIAL LOT AND TO CREATE 3 SINGLE FAMILY RESIDENTIAL LOTS AT THE INTERSECTION OF TOLLGATE BOULEVARD AND AMERICUS DRIVE.
2. BEARINGS SHOWN HEREON ARE BASED ON TENNESSEE COORDINATE SYSTEM OF 1983.
3. ELEVATIONS SHOWN HEREON ARE BASED ON NAVD 88. CONTOURS ARE AT ONE FOOT INTERVALS AND ARE BASED ON A FIELD RUN SURVEY BY RAGAN-SMITH ASSOCIATES ON MARCH 31, 2017 USING RANDOM SPOT ELEVATIONS. CONTOURS WERE DERIVED USING SURFACE MODELING TECHNIQUES.
4. BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS NO. 47187C0335F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NO. 0335, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
5. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.

6. THE PROPERTY IS CURRENTLY ZONED D3 (HIGH DENSITY RESIDENTIAL). MAXIMUM LOT COVERAGE - 55% MINIMUM BUILDING SETBACKS PER TOWN OF THOMPSON'S STATION LAND DEVELOPMENT ORDINANCE DATED JUNE 13, 2017:

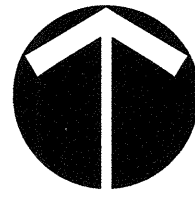
FRONT: 10'  
REAR: 20'  
SIDE: 7.5'

\*\* DRIVEWAYS SHALL BE A MINIMUM OF 20' IN LENGTH, EXCLUSIVE OF SIDEWALKS.

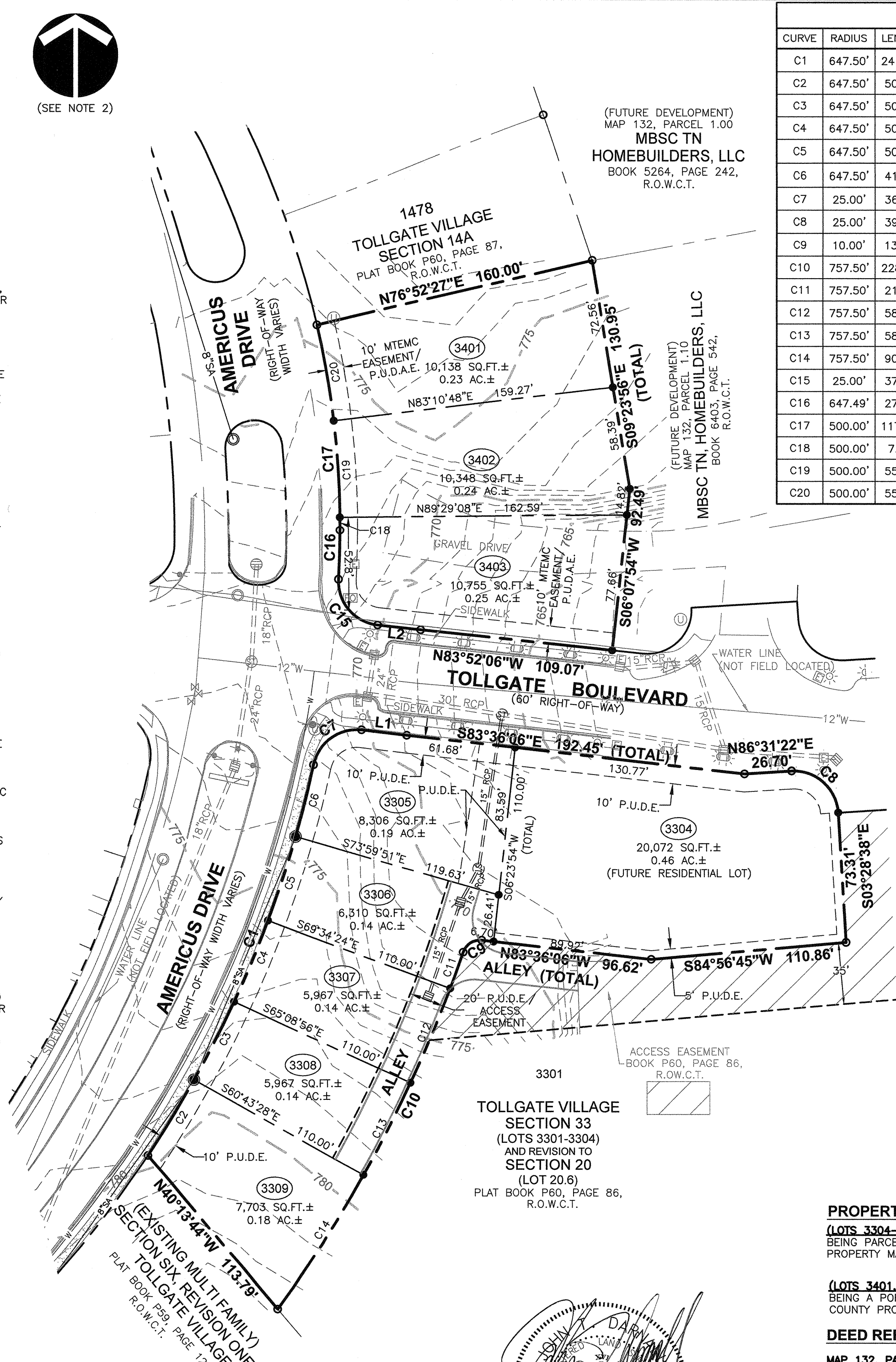
7. ALL STREETS ARE DESIGNATED AS PUBLIC AND AS SUCH ARE PUBLIC UTILITY, ACCESS AND DRAINAGE EASEMENTS.
8. ALL PUBLIC STREETS AND DRAINAGE STRUCTURES WITHIN THE RIGHTS-OF-WAY WILL BE MAINTAINED BY THE TOWN OF THOMPSON'S STATION.
9. OPEN SPACE AREAS, PUBLIC UTILITY AND DRAINAGE EASEMENTS (INCLUDING DRAINAGE AND DETENTION STRUCTURES), ALLEYS AND ALL LANDSCAPING WITHIN ROADWAY MEDIANS WILL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION.
10. SANITARY SEWER LINES AND STORM LINES SHOWN HEREON WERE TAKEN FROM A PRELIMINARY DESIGN FOR THIS SECTION. FINAL PLACEMENT OF UTILITIES WILL BE DEPICTED ON THE FINAL PLAT.
11. DOMESTIC WATER SUPPLY INFORMATION SHOWN HEREON IS BASED ON A PRELIMINARY DESIGN FOR THIS SECTION. FINAL PLACEMENT TO BE DESIGNED BY OTHERS AND INCLUDED ON THE FINAL PLAT. WATER TO BE PROVIDED BY H.B.&T.S.

12. I HEREBY STATE THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS BETTER THAN 1:15,000.

BY: *[Signature]* DATE: 12-12-17  
JOHN T. DARNALL, TN RLS #1571



(SEE NOTE 2)



(FUTURE DEVELOPMENT)  
MAP 132, PARCEL 1.00  
MBSC TN  
HOMEBUILDERS, LLC  
BOOK 5264, PAGE 242,  
R.O.W.C.T.

(FUTURE DEVELOPMENT)  
MAP 132, PARCEL 1.10  
MBSC TN, HOMEBUILDERS, LLC  
BOOK 6403, PAGE 542,  
R.O.W.C.T.

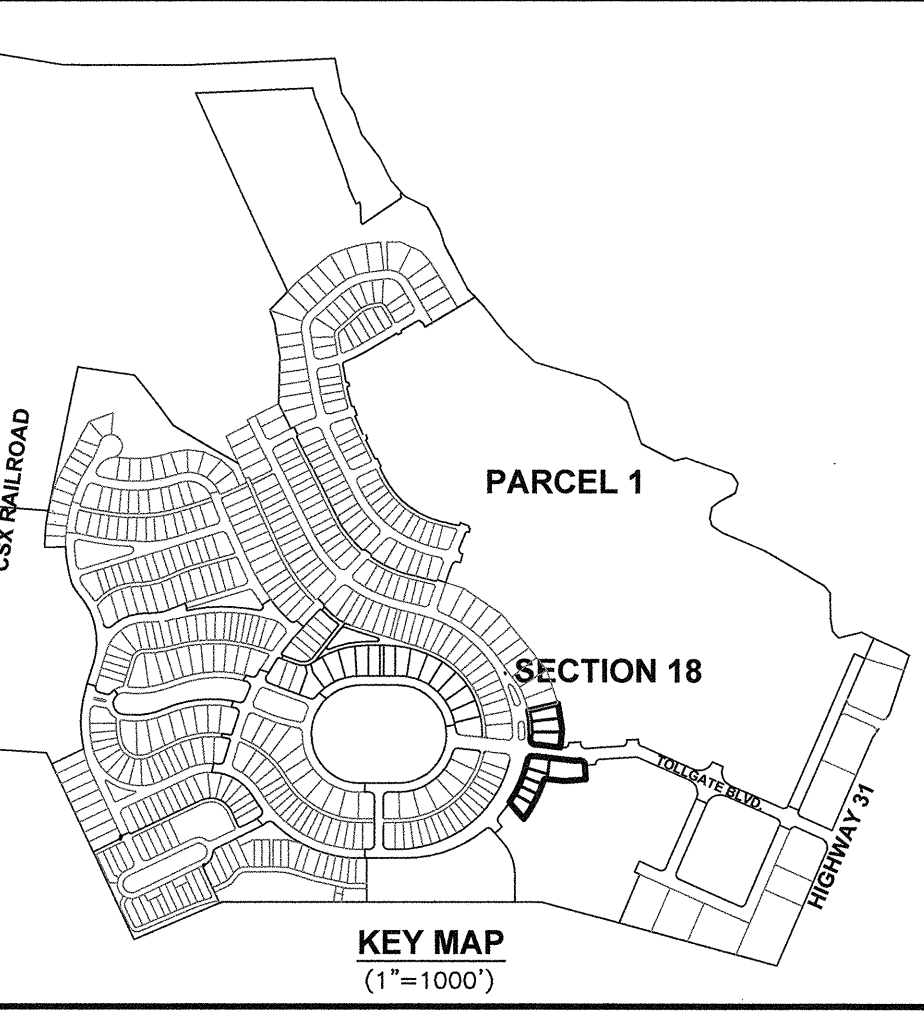
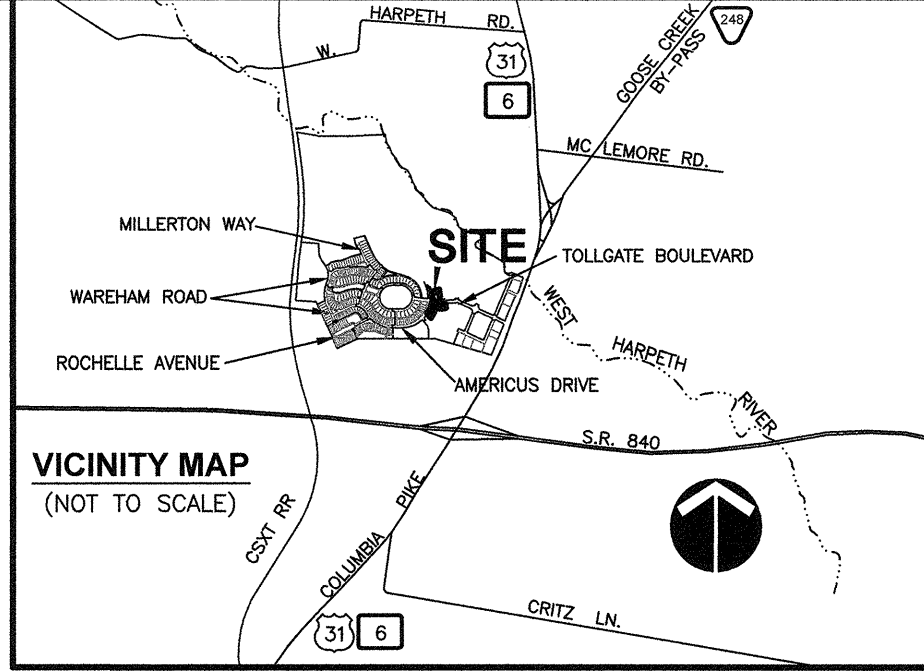
TOLLGATE VILLAGE  
SECTION 33  
(LOTS 3301-3304)  
AND REVISION TO  
SECTION 20  
(LOT 20.6)  
PLAT BOOK P60, PAGE 86,  
R.O.W.C.T.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C1	647.50'	241.73'	21°23'26"	122.29	240.33'	N23°00'17"E
C2	647.50'	50.00'	4°25'28"	25.01	49.99'	N31°29'16"E
C3	647.50'	50.00'	4°25'28"	25.01	49.99'	N27°03'48"E
C4	647.50'	50.00'	4°25'28"	25.01	49.99'	N22°38'20"E
C5	647.50'	50.00'	4°25'28"	25.01	49.99'	N18°12'53"E
C6	647.50'	41.74'	3°41'36"	20.88	41.73'	N14°09'21"E
C7	25.00'	36.70'	84°06'12"	22.55	33.49'	N54°21'14"E
C8	25.00'	39.28'	90°00'54"	25.01	35.36'	S48°28'38"E
C9	10.00'	13.55'	77°37'53"	8.04	12.54'	S57°34'57"W
C10	757.50'	228.94'	17°18'59"	115.35	228.07'	S27°25'30"W
C11	757.50'	21.95'	1°39'36"	10.97	21.94'	S19°35'49"W
C12	757.50'	58.49'	4°25'28"	29.26	58.48'	S22°38'20"W
C13	757.50'	58.49'	4°25'28"	29.26	58.48'	S27°03'48"W
C14	757.50'	90.00'	6°48'28"	45.06	89.95'	S32°40'46"W
C15	25.00'	37.76'	86°32'04"	23.53	34.27'	N40°20'18"W
C16	647.49'	27.59'	2°26'30"	13.80	27.59'	N01°35'08"E
C17	500.00'	117.73'	13°29'26"	59.14	117.46'	N06°22'50"W
C18	500.00'	7.67'	0°52'45"	3.84	7.67'	S00°04'29"E
C19	500.00'	55.03'	6°18'21"	27.54	55.00'	S03°40'02"E
C20	500.00'	55.03'	6°18'21"	27.54	55.00'	S09°58'22"E

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S83°17'01"E	25.77'
L2	N83°36'06"W	24.56'

**SURVEYOR**  
RAGAN-SMITH ASSOCIATES, INC.  
C/O TOM DARNALL, RLS  
315 WOODLAND STREET  
NASHVILLE, TENNESSEE 37206  
(615) 244-8591  
TDARNALL@RAGANSMITH.COM

**OWNER/DEVELOPER**  
MBSC TN HOMEBUILDERS, LLC  
C/O BRIAN ROWE  
312 S. GAY STREET, SUITE 200  
KNOXVILLE, TENNESSEE 37902  
(865) 408-8322



REVISED: DECEMBER 12, 2017  
REVISED: SEPTEMBER 29, 2017

**PRELIMINARY PLAT  
TOLLGATE VILLAGE  
PHASE 18  
(LOTS 3401-3403)  
AND  
RESUBDIVISION OF LOT 3304  
(LOTS 3304-3309)**

FOURTH CIVIL DISTRICT OF WILLIAMSON COUNTY, TENNESSEE  
JOB NO. 10081 W.O. 9260  
DRAWN BY: SLL/AMR DATE: SEPTEMBER 8, 2017

PRELIMINARY PLAT	
TOWN OF THOMPSON'S STATION PLANNING COMMISSION	
NET AREA: 1.96±	TOTAL LOTS: 9
ACRES NEW ROAD: 0	CIVIL DISTRICT: 4TH
MILES NEW ROAD: 0	CLOSURE ERROR: 1:10000
OWNER: MBSC TN HOMEBUILDERS, LLC	
SURVEYOR: RAGAN - SMITH - ASSOCIATES, INC.	
SCALE: 1" = 50'	

**PROPERTY MAP REFERENCE**

(LOTS 3304-3309)  
BEING PARCEL 1.09 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP 132.

**(LOTS 3401, 3402 AND 3403)**

BEING A PORTION OF PARCEL 1.10 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP 132.

**DEED REFERENCE**

**MAP 132, PARCEL 1.09 (LOTS 3304-3309)**

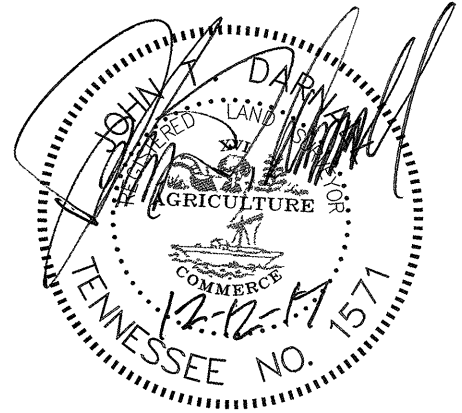
BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MBSC TN HOMEBUILDER, LLC, FROM TGF 2010, LLC OF RECORD IN BOOK 5264, PAGE 242, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

**MAP 132, PARCEL 1.10 (LOTS 3401, 3402 AND 3403)**

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO MBSC TN HOMEBUILDER, LLC FROM MBSC TN HOMEBUILDER, LLC BY QUITCLAIM DEED OF RECORD IN BOOK 6403, PAGE 542, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

**LEGEND**

○ IRON ROD (OLD)	—FM— FORCE MAIN
● PK NAIL (OLD)	⊠ ELECTRIC BOX
● IRON ROD (NEW)	⊡ FIBER OPTIC BOX
(1/2" x 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")	⊙ STORM MANHOLE
⊕ FIRE HYDRANT	⊙ UTILITY STUBOUT
⊕ WATER VALVE	⊙ LIGHT STANDARD
⊕ WATER METER	⊙ YARD LIGHT
⊕ CATCH BASIN/CURB INLET	⊙ SIGN
⊕ REINFORCED CONCRETE PIPE	⊕ STREET ADDRESS
⊕ 1234	⊕ LOT NUMBER
⊕ SANITARY SEWER MANHOLE	P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT
—SA— SANITARY SEWER LINE	P.U.D.A.E. PUBLIC UTILITY, DRAINAGE AND ACCESS EASEMENT
—G— GAS LINE	R.O.W.C.T. REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TN



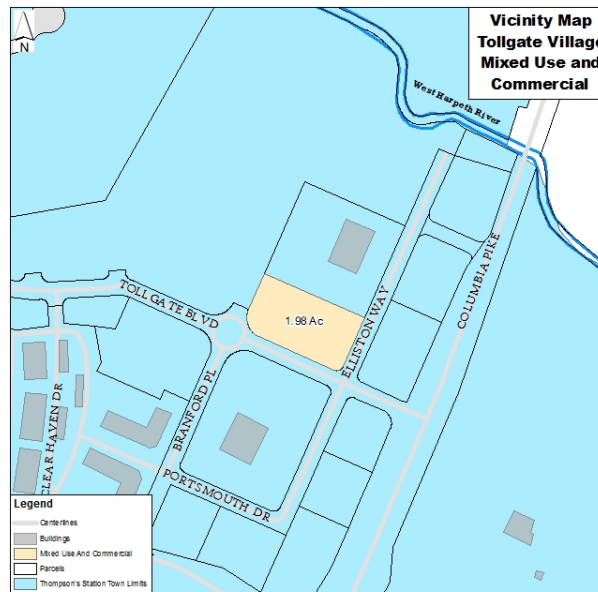


**Thompson's Station Planning Commission  
Staff Report - Item 6 (SP 2018-002, DR 2018-002)  
January 23, 2018**

**Request for site plan approval of two commercial and one mixed use buildings located at the northwest corner of Tollgate Boulevard/Elliston Way.**

**REQUEST**

The applicant, Ragan Smith, on behalf of Regent Homes is requesting approval of a site plan for the development of two commercial buildings and one mixed use building located along Tollgate Boulevard between Elliston Way and a future extension of Branford Place within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.



**BACKGROUND**

The Tollgate Village site development plan dated April 2014 consists of a variety of housing throughout the site with commercial/office located in proximity to Columbia Pike (State Route 6). The existing housing includes 201 apartments (located on Branford Place), 30 condominiums (located along Americus), 61 townhomes (along Bungalow Drive, Newark Lane and Rochelle Lane) and over 450 single-family residences within Sections 1-15 with preliminary plat approvals for phases 16 and 17. Existing commercial includes the medical office building and Shelter Insurance located in the front sections of the development along Tollgate Boulevard and Elliston Way.

**ANALYSIS**

**Site Plan**

Site plan is a plan presenting the general details of the development proposal and review by the Planning Commission is required for all multi-family and non-residential developments to ensure “compliance with the development and design standards” (Section 5.4.4) of the Land Development Ordinance.

**Plat Requirements**

The proposed lot is a portion of a larger lot and development of this site would require the construction of the extension of Branford Place. Therefore, Staff requested that the project site be platted to create a legal lot. By creating a legal lot, the property lines and roadway alignment will be set. In addition, the

creation of a legal lot is a necessary step prior to site plan approval. Therefore, until the lot is subdivided, Staff does not recommend approval of the site plan.

### Project Description

The project site consists of a portion of a large parcel at the corner of Tollgate Boulevard and Elliston Way along a future extension of Branford Place. The site, once platted, will be 1.9 acres. Building 1 is 13,064 square feet and is proposed to contain a restaurant, retail and office. Building 2 is 8,290 square feet and is proposed to contain retail and office. Building 3 is 11,046 square feet and is a mixed-use building with 67% residential and the remaining 33% commercial. The northwest corner of Tollgate Boulevard and Elliston Way is surrounded by an office building to the north, vacant land to the east (across Elliston Way), medical office and vacant land south (across Tollgate Boulevard) and vacant land to the west.

### Zoning

The Neighborhood Commercial zone “should include neighborhood commercial activities, small-scale businesses, and high intensity residential” (LDO Section 1.2.7). Commercial and office uses along with mixed use buildings are permitted.

### Neighborhood Commercial Standards

**Please note, the analysis of this project with regard to the development standards is based the assumption the property will be subdividing with the boundaries as submitted with this site plan. At the request of Staff, a plat was prepared and submitted, however, a plat cannot be approved at this time due to the lack of completion of the traffic improvements.**

Primary building frontage is a 12-foot maximum. Buildings 1 has a 7.3-foot setback along Elliston Way and a 7.5-foot setback along Tollgate Boulevard. Building 2 has a 7.5-foot setback along Tollgate Boulevard. Building 3 has a 10-foot setback along the future extension of Branford Place (*please note that should the plat alter the location of this property line, the setback may not be accurate*). Parking is required to have a 20-foot minimum setback. Access to the parking located behind the buildings is provided from Elliston Way and Branford Place and all parking will maintain a minimum of a 20-foot landscaped setback. Primary building frontage is 60% minimum and the proposed buildings will have a minimum frontage of 76%. Density is permitted at 12 units per acre. The proposed site area is 1.92 acres with four residential units within the mixed-use building. Mixed use buildings are defined as “residential use combined with commercial use within the same building through superimposition or adjacency. This building type is urban in character and frequently is a multi-story building with residential uses above commercial uses. Residential uses within a mixed-use building shall not exceed 75% of the total use except within the G3 sector” (Section 1.3). The mixed-use building is 11,046 square feet and will have four residential units using 7,364 square feet for a total of 67% of the overall building. The remaining square footage will be non-residential.

### Section 4.11.1

*Buildings should be located along road frontage with parking located in the rear.*

The buildings are located along the road frontage setback behind the required landscaping with all parking located in the interior of the site.

*Lot coverage shall not exceed the standards of Table 4.10 through Table 4.13, and shall include the footprint of all structures on the site.*

Maximum lot coverage permitted is 50%. The buildings total 32,400 square feet and the total lot area is 836,352 square feet for a lot coverage of 39%.

*Construction shall incorporate masonry and brick or shall match the character of the surrounding area. No vinyl is permitted. Metal siding is discouraged and shall be used only as an accent treatment. Building facades shall include varied wall planes and roof lines, projections and recesses, window articulation and natural color schemes.*

Building heights are limited to three stories. The ground floor can be no less than 11 feet in height. The proposed commercial buildings are proposed to be two stories and the mixed-use building is three stories. The buildings are proposed to consist of brick and stone materials with proportionate windows, projections and other recesses. The buildings do incorporate window treatments and other architectural features. The Design Guidelines seek to promote design excellence in character and compatibility of development to its surroundings and the project will be subject to design review by the DRC upon approval of the site plan. The Design Review Commission will review the project upon approval of the site plan.

*Groupings of buildings shall be used instead of long linear rows of buildings. Building massing shall incorporate varied rooflines, building heights and other architectural features.*

Buildings are broken up and front the roadways avoiding long linear rows of buildings.

*Entry drives shall be designed to incorporate enhanced paving, landscaping and other features which complement the building architecture.*

Enhanced paving will be incorporated by the use of pavers throughout the drive aisles for a low impact design.

*Each development shall include trash areas that will be designed to accommodate two trash bins, one which will be designed for recycling. The trash enclosure shall be enclosed by a masonry wall that matches the architecture of the buildings on site. In addition, a landscape planter shall be utilized to provide screening around the trash enclosure.*

A trash area is provided on site and is proposed to be enclosed by a masonry wall with landscaping.

*All ground or building mounted mechanical equipment shall be landscaped to reduce visibility from adjacent properties, rights-of-way and parking areas.*

Buildings 1 and 2 has roof mounted equipment that will be shielded from view by the proposed roofline. The mechanical equipment for the mixed-use building is located along the north elevation. Additional landscaping is recommended to reduce visibility.

*No temporary structures shall be permitted.*

No temporary structures are proposed.

### Parking

Given the potential for uses within the buildings, the applicant has provided a breakdown of parking that would require 119 parking spaces, however is proposing 105 parking spaces for the development. Shared parking is proposed for the development of the site. The Planning Commission may approve shared parking if the parking within available for more than two uses within one block, within 500 feet of the building it serves, is adjusted using the highest daily shared parking per the parking occupancy table and a written agreement is established. The project site is within the same block and all parking and buildings are within 500 feet. The table was used with the proposed uses and the highest daily parking is Monday through Friday 6:00 p.m. – midnight with 102 parking spaces required. The proposed number of parking spaces is 105 and the parking lot is designed using pervious pavers for driveways and parking spaces.

### Landscaping

The site is zone Neighborhood Commercial and the properties surrounding are zoned NC thereby requiring a type 1 buffer which is composed of “intermittent visual obstruction” along the property lines. The plan shows adequate trees and shrubs planted along the interior property line as the buffer between this site and the neighboring office building, which also has some property line plantings.

### Lighting

Lighting will be installed throughout the project site to provide lighting within the parking lot and on the buildings. A photometric plan was submitted demonstrating that the lighting will not have a negative impact to the surrounding roadways and properties.

### Sewer

The Tollgate Village neighborhood was approved with an allocation for 943 sewer taps. At this time, with the recorded plats and plat approvals (including phases 16 and 17 which are not yet recorded), the subdivision has accounted for 910 of the taps. Phase 18, if approved will use an additional eight taps, leaving 25 available taps. The sewage flow estimate provided for the proposed development requires 40 taps. Therefore, the project does not have available sewer for the approved preliminary plats and the site plan proposal.

### RECOMMENDATION

Without sewer availability, Staff recommends the Planning Commission deny the site plan.

Should the Planning Commission consider approval of the project, Staff recommends the following contingencies:

1. Prior to the issuance of grading or building permits, the project site shall be subdivided and the necessary roadway dedication for the extension of Branford Place be recorded Prior to the issuance of any grading or building permits, all sewer approvals necessary for the project shall be obtained.
2. Prior to the issuance of grading or building permits, approval of the project design by the Design Review Commission shall be obtained.
3. Prior to the issuance of grading or building permits, construction drawings shall be reviewed and approved. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.
4. Prior to the issuance of building permits, floor plans and parking analysis for each use shall be submitted and shall meet the requirements set forth within the Land Development Ordinance.
5. Within 60 days of project approval, a performance agreement and surety in the amount of \$42,000 for on-site landscaping improvements shall be submitted.
6. Prior to installation of the landscaping, the applicant shall meet with staff to confirm location of all landscaping.
7. Prior to the installation of signage, a master sign plan shall be submitted for review and approval.
8. Any change of use or expansion of the project site shall conform to the requirements set forth within the Zoning Ordinance and shall be approved prior to the implementation of any changes to the project.

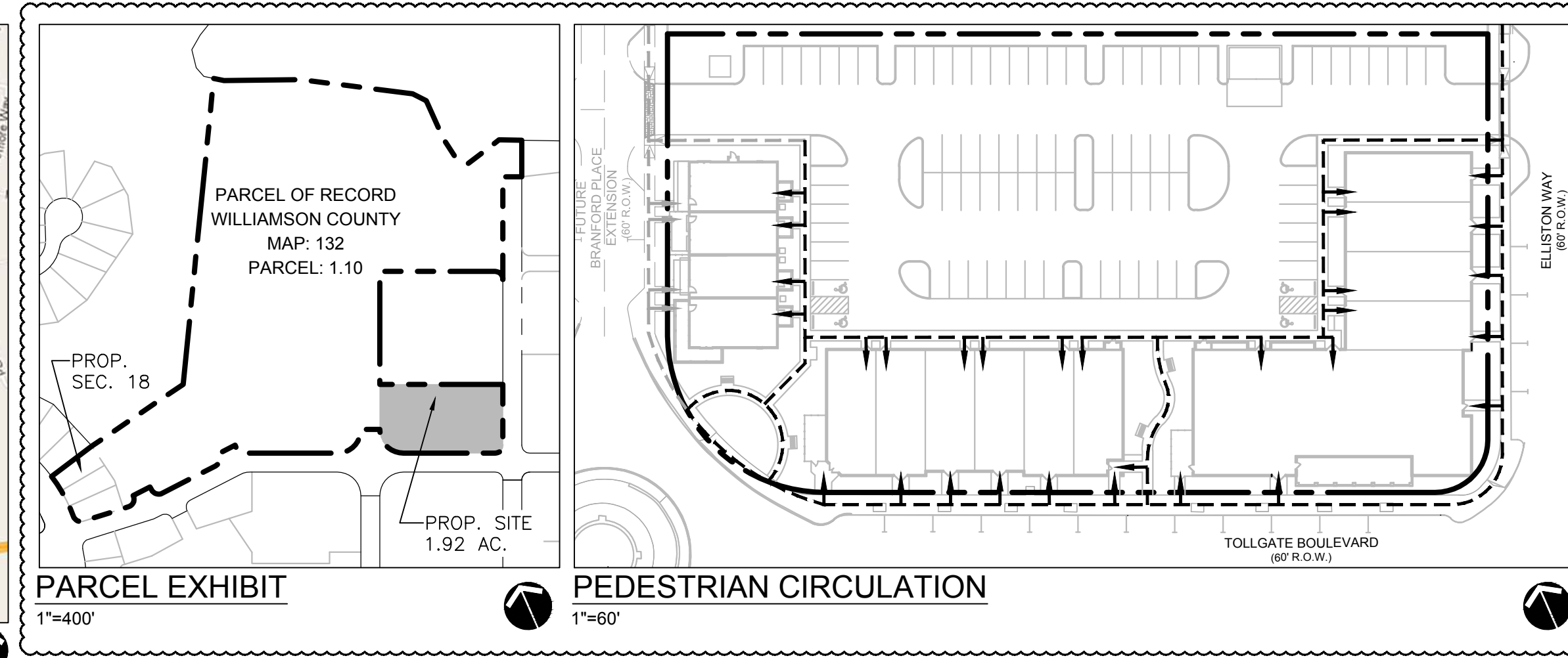
### ATTACHMENTS

Site plan packet





LOCATION MAP  
N.T.S.



Uses	M-F			Sat. & Sun.		Peak Hour
	8am-5pm	6pm-12am	12am-6am	8am-5pm	6pm-12am	
Residential	60%	100%	100%	80%	100%	4
Office	70%	100%	100%	70%	100%	11
Retail	90%	80%	5%	100%	70%	41
Restaurant	70%	100%	100%	70%	100%	63
Theater	40%	80%	10%	80%	100%	10
Entertainment	40%	100%	10%	80%	100%	50
Institutional	100%	20%	5%	10%	10%	5
Religious	20%	20%	5%	100%	50%	5
	94.4	102	69.6	88.85	96.25	119 Raw Maximum 102 Shared Maximum 17 Savings

SHARED PARKING CALCULATIONS

**SITE DATA:**  
**PROPERTY INFORMATION:**  
 ADDRESS: TOLLGATE BLVD & BRANFORD DRIVE & ELLISTON WAY  
 LOCAL JURISDICTION: TOWN OF THOMPSON'S STATION  
 COUNTY: WILLIAMSON  
 TAX MAP: 132  
 PARCEL: PORTION OF PARCEL 1.10  
 PROPOSED SITE AREA: 1.92 ACRES (SEE PARCEL EXHIBIT - THIS SHEET)

**ZONING INFORMATION:**  
 EXISTING ZONING: NC (NEIGHBORHOOD COMMERCIAL)

**PROJECT CONTACT INFORMATION:**  
 PROJECT REPRESENTATIVE: MBSC  
 BRIAN ROWE  
 312 S GAY ST, SUITE 200  
 KNOXVILLE, TN, 37402  
 BRIAN.ROWE@HENRYANDWALLACE.COM

**ARCHITECT:**  
 SMITH GEE STUDIO  
 MEREDITH BUCHER  
 209 10TH AVE SOUTH  
 NASHVILLE, TN, 37203  
 615-739-5555  
 MBUCHER@SMITHGEESTUDIO.COM

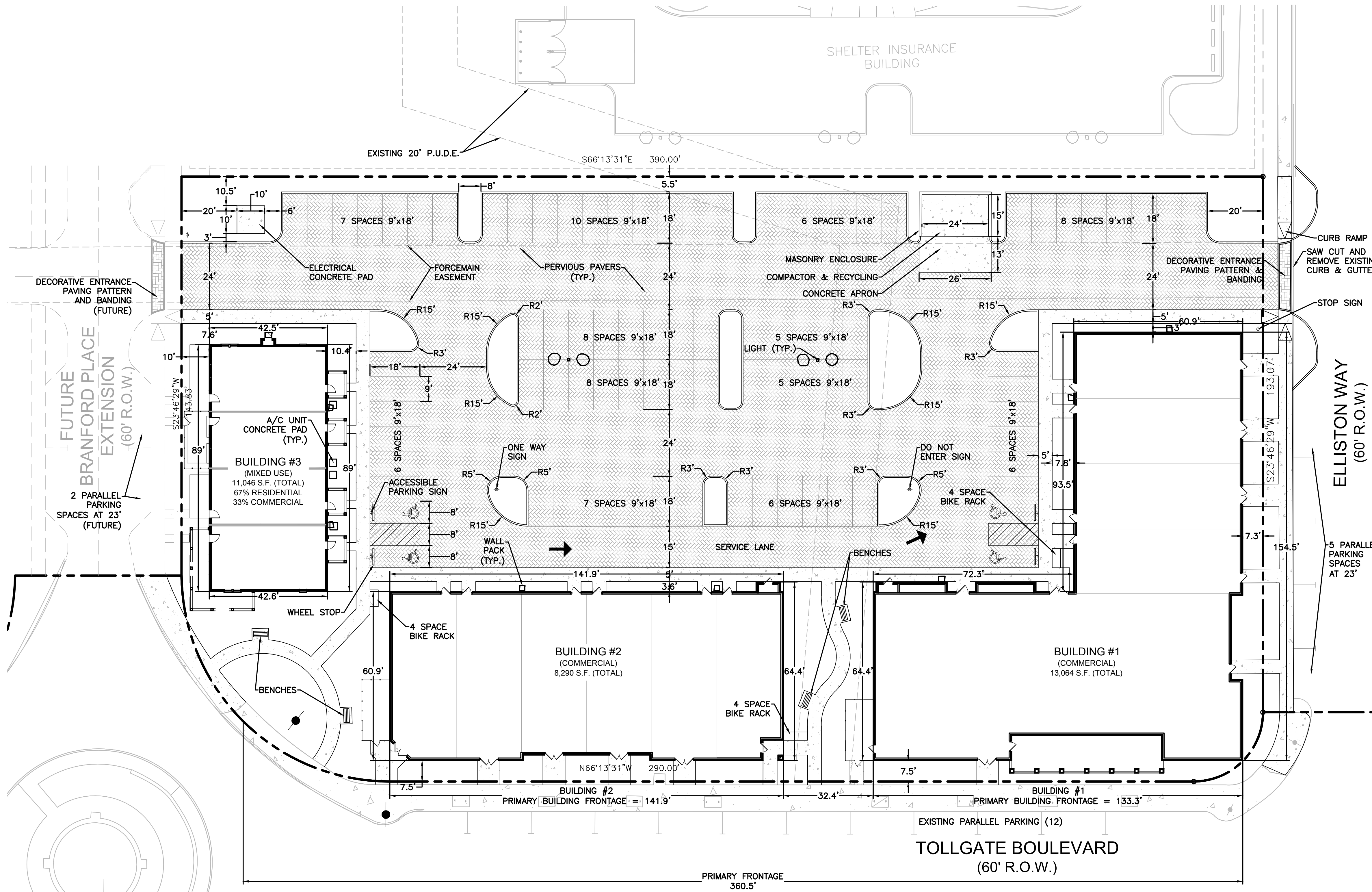
**CIVIL ENGINEER:**  
 RAGAN-SMITH AND ASSOCIATES, INC  
 BOB NICHOLS, PE.  
 315 WOODLAND ST, NASHVILLE, TN 37206  
 615-244-8591  
 BNICHOLS@RAGANSMITH.COM

**LANDSCAPE ARCHITECT/PLANNER:**  
 RAGAN-SMITH AND ASSOCIATES, INC  
 BRETT SMITH, RLA, AICP  
 315 WOODLAND ST, NASHVILLE, TN 37206  
 615-244-8591  
 BSMITH@RAGANSMITH.COM

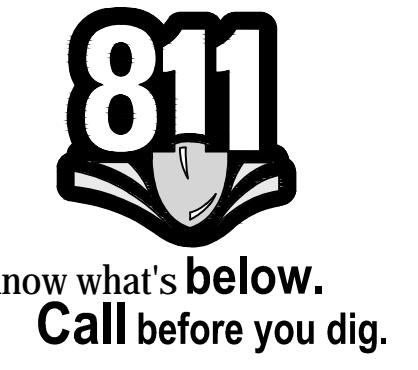
**SPECIFIC PLAN PROJECT INFORMATION:**

BUILDING #1:	13,064 S.F. (TOTAL)
	8,900 S.F. RESTAURANT
	4,051 S.F. RETAIL
	1,013 S.F. OFFICE
BUILDING #2:	8,290 S.F. (TOTAL)
	6,632 S.F. RETAIL
	1,658 S.F. OFFICE
BUILDING #3:	11,046 S.F. (TOTAL)
	2,946 S.F. RETAIL
	736 S.F. OFFICE
	7,364 S.F. RESIDENTIAL (4 DWELLING UNITS)
TOTAL BY USE:	8,000 S.F. RESTAURANT
	13,629 S.F. RETAIL
	3,407 S.F. OFFICE
	7,364 S.F. RESIDENTIAL (4 DWELLING UNITS)
TOTAL PARKING REQUIRED:	8,000 S.F. RESTAURANT
	63 SP. (1 PER 4 SEATS)
	13,629 S.F. RETAIL:
	41 SP. (3 PER 1,000 S.F.)
	3,407 S.F. OFFICE:
	11 SP. (1 PER 300 S.F.)
	4 DWELLING UNITS:
	4 SP. (1 PER UNIT)
	119
	102*
TOTAL SHARED PARKING REQUIRED:	119
	102*
PARKING SUMMARY:	9'x18' (TYPICAL)
	SIZE REQUIREMENT:
	SURFACE PARKING: 86 SPACES (82 STD SPACES, 4 ACC. SPACES)
	PARALLEL PARKING (ON STREET): 19 (12 EXISTING, 5 PROPOSED, 2 FUTURE)
	TOTAL PARKING: 105
	BIKE SPACES: 12
LOT COVERAGE:	32.9% (27,543 S.F. / 83,706 S.F.)
FRONTAGE PERCENTAGE:	76% (275.2 L.F. / 360.5 L.F.)

\*SEE SHARED PARKING CALCULATIONS - THIS SHEET.



- NOTES:**
- STORMWATER MANAGEMENT ACCOMMODATIONS WILL BE ACCOMPLISHED VIA THE USE OF PERVIOUS PAVERS AS SHOWN IN THE PROPOSED DRIVEWAY ACCESS AND PARKING AREAS ON THE SITE PLAN. WATER QUALITY TREATMENT MEASURES WILL BE SATISFIED BY THIS METHOD WITH THE EXTENT OF ANY STORMWATER DETENTION CONSIDERATIONS THAT MAY BE WARRANTED DETERMINED BY A DETAILED HYDROLOGIC ANALYSIS PREPARED DURING THE DETAILED DESIGN PHASE OF THE PROJECT. THE TOTAL AREA OF THE SITE UNDER CONSIDERATION IS 1.92 ACRES OR 83,636 FT<sup>2</sup>. OF THIS TOTAL, IT IS ESTIMATED THAT 21,045 FT<sup>2</sup> OR 0.48 ACRES IS COMPRISED OF PERVIOUS AREA WITH 62,590 FT<sup>2</sup> OR 1.44 ACRES BEING IMPERVIOUS AREA. THIS EQUATES TO A TOTAL SITE BREAKDOWN OF APPROXIMATELY 75% IMPERVIOUS TO 25% PERVIOUS.
  - WATER SERVICE TO THE PROJECT WILL BE PROVIDED BY THE HB&TS UTILITY DISTRICT. THERE IS CURRENTLY AN EXISTING 12" WATER LINE IN THE NORTHERLY MARGIN OF TOLLGATE BOULEVARD. SERVICE TO THE THREE PROPOSED BUILDINGS WILL BE PROVIDED VIA A TIE TO THE EXISTING LINE WITH AN 8" EXTENSION ALONG THE WESTERLY MARGIN OF ELLISTON WAY AND A 12" EXTENSION ALONG THE WESTERLY MARGIN OF BRANFORD PLACE. AN 8" LOOP INTERNAL TO THE SITE WILL RUN FROM THE NEWLY INSTALLED 12" LINE IN BRANFORD PLACE TO THE NEWLY INSTALLED 8" LINE IN ELLISTON WAY. EXISTING HB&TS WATER SYSTEM FLOWS AND PRESSURES ARE ASSUMED TO BE ADEQUATE TO SERVE THE THREE BUILDINGS. DESIGN AND SUBSEQUENT APPROVALS OF THE WATER SYSTEM NECESSARY TO SERVE THE PROJECT WILL BE THE RESPONSIBILITY OF HB&TS.
  - SANITARY SEWER SERVICE TO THE PROJECT WILL BE PROVIDED BY THOMPSON'S STATION. BUILDING 1 WILL BE SERVED BY THE EXTENSION OF AN 8" GRAVITY LINE TYING TO AN EXISTING MANHOLE IN ELLISTON WAY - BUILDINGS 2 AND 3 WILL BE SERVED BY THE EXTENSION OF AN 8" GRAVITY LINE TYING TO AN EXISTING MANHOLE AT THE INTERSECTION OF ELLISTON WAY AND THE SECONDARY ACCESS ROADWAY TO THE OVERALL TOLLGATE PROJECT. THE 8" EXTENSION WILL RUN ALONG THE NORTHERLY AND WESTERLY MARGINS OF THE SHELTER INSURANCE SITE TO THE BRANFORD PLACE ACCESS POINT TO THE PROPOSED SITE. ALL WASTEWATER FLOWS FROM THE SITE WILL BE CONVEYED VIA PROPOSED AND EXISTING 8" GRAVITY LINES TO THE COMMERCIAL AREA PUMP STATION LOCATED AT THE NORTHEAST CORNER OF THE TOLLGATE DEVELOPMENT.
  - TECHNICAL STUDIES ADDRESSING ENDANGERED SPECIES, NATURAL AND CULTURAL RESOURCES, AND GEOTECHNICAL CONSIDERATION WILL BE PREPARED AS APPLICABLE PENDING EVALUATION OF THE SITE PLAN SUBMITTAL BY THOMPSON'S STATION.
  - THE PROJECT WILL BE DEVELOPED AS A SINGLE PHASE.



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 NASHVILLE, TN 37203  
 (615) 244-8591  
 www.ragansmith.com

**FOR PLANNING COMMISSION REVIEW ONLY**

**TOWN CENTER SITE PLANS FOR**  
*Regent*  
 DEVELOPMENT

**TOLLGATE Village**

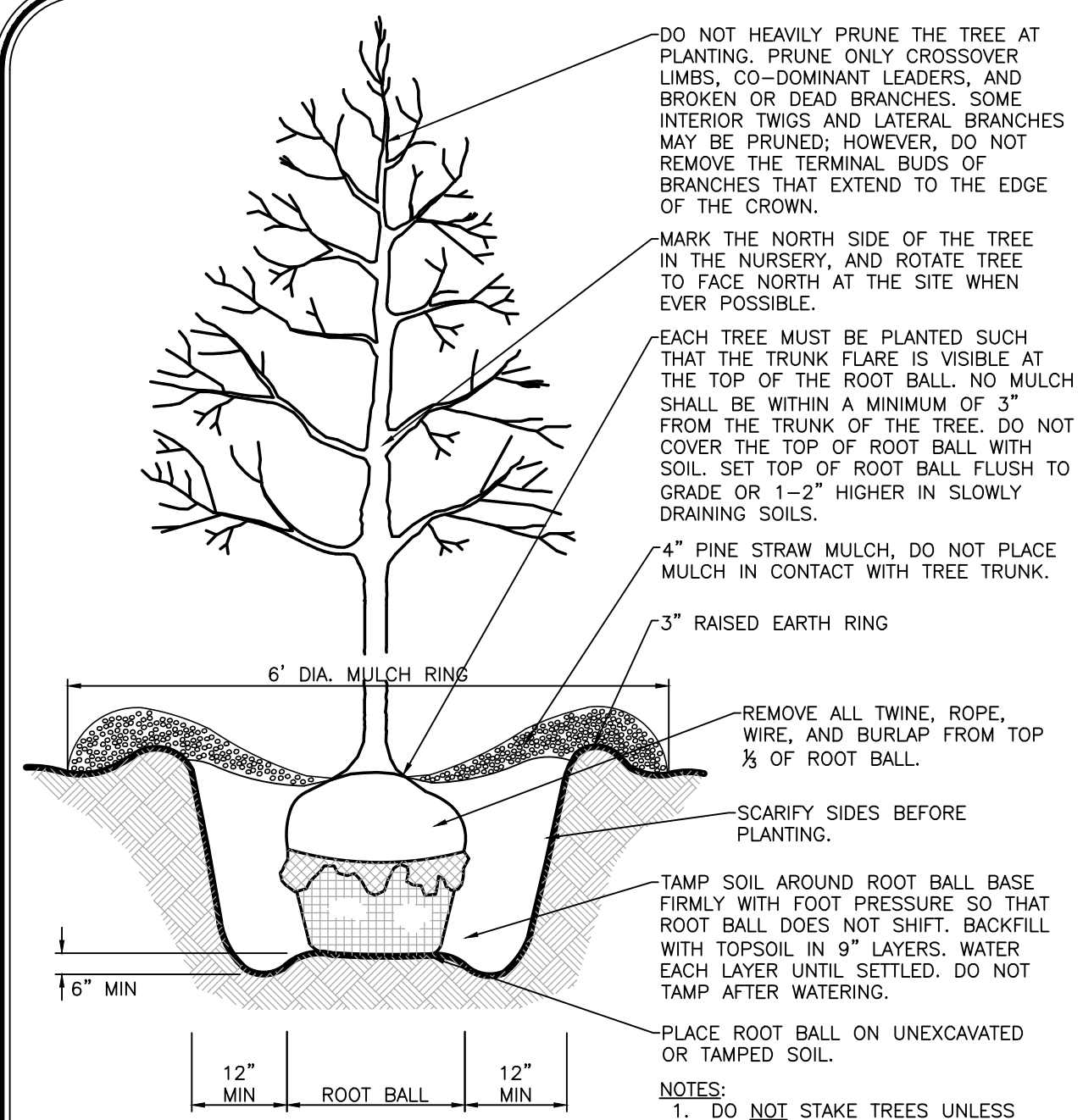
THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	10-081	WK ORDER	9260
DESIGNED:	B. SMITH	DRAWN:	SIEBERG
SCALE:	1"=20'	DATE:	DECEMBER 15, 2017

LAYOUT PLAN

**C1.1**





TREE PLANTING  
NOT TO SCALE

DO NOT HEAVILY PRUNE THE TREE AT PLANTING. PRUNE ONLY CROSSOVER LIMBS, CO-DOMINANT LEADERS, AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED; HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.

MARK THE NORTH SIDE OF THE TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHEN EVER POSSIBLE.

EACH TREE MUST BE PLANTED SUCH THAT THE TRUNK FLARE IS VISIBLE AT THE TOP OF THE ROOT BALL. NO MULCH SHALL BE WITHIN A MINIMUM OF 3" FROM THE TRUNK OF THE TREE. DO NOT COVER THE TOP OF ROOT BALL WITH SOIL. SET TOP OF ROOT BALL FLUSH TO GRADE OR 1-2" HIGHER IN SLOWLY DRAINING SOILS.

4" PINE STRAW MULCH, DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK.

3" RAISED EARTH RING

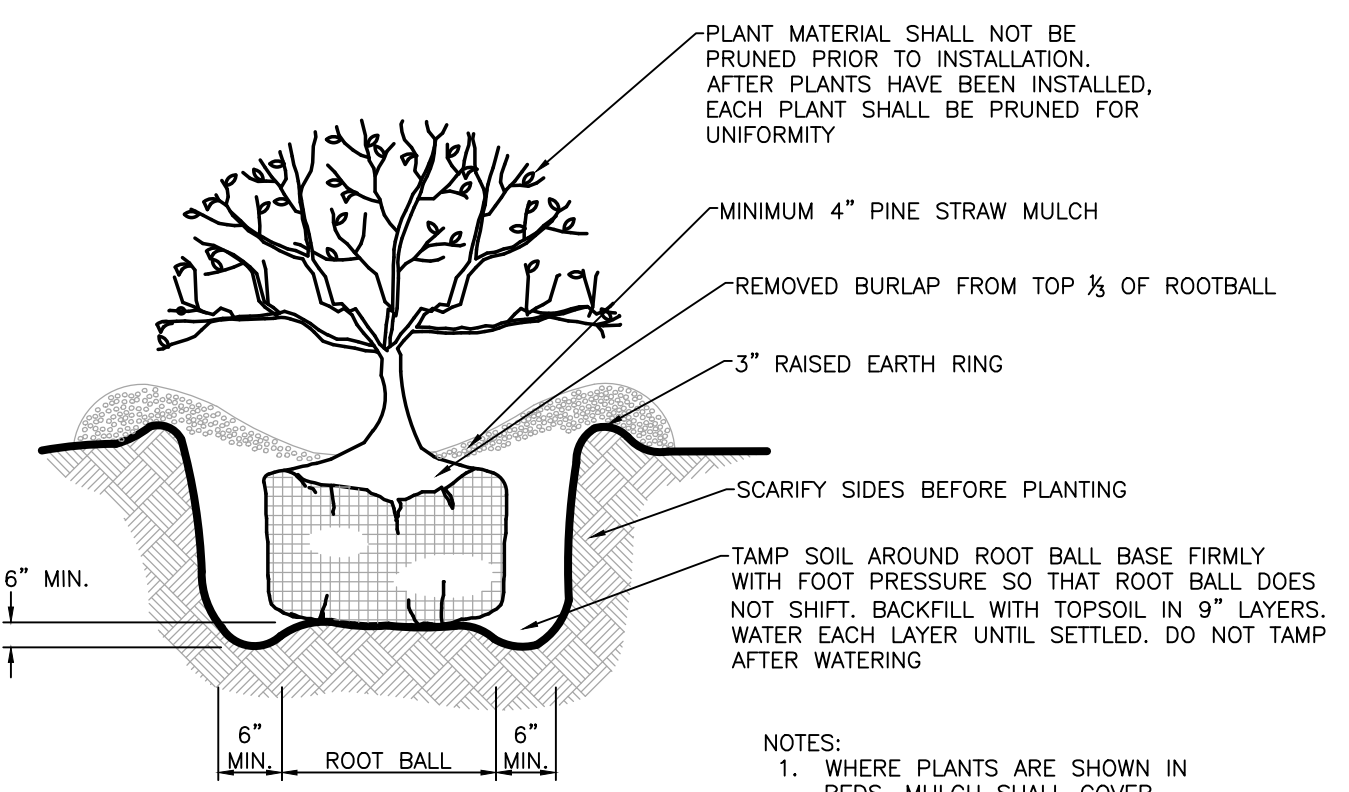
REMOVE ALL TWINE, ROPE, WIRE, AND BURLAP FROM TOP 1/2 OF ROOT BALL.

SCARIFY SIDES BEFORE PLANTING.

TAMP SOIL AROUND ROOT BALL BASE FIRMLY WITH FOOT PRESSURE SO THAT ROOT BALL DOES NOT SHIFT. BACKFILL WITH TOPSOIL IN 9" LAYERS. WATER EACH LAYER UNTIL SETTLED. DO NOT TAMP AFTER WATERING.

PLACE ROOT BALL ON UNEXCAVATED OR TAMPED SOIL.

- NOTES:
- DO NOT STAKE TREES UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. IF STAKED, REMOVE AFTER ONE GROWING SEASON. DO NOT WRAP TREE TRUNKS UNLESS APPROVED BY THE LANDSCAPE ARCHITECT. REMOVE WRAP AFTER PLANTING.
  - NON-BIODEGRADABLE BURLAP TO BE REMOVED OR ROLLED UNDER ROOT BALL AFTER PLANT IS PLACED IN HOLE.



SHRUB PLANTING  
NOT TO SCALE

- NOTES:
- WHERE PLANTS ARE SHOWN IN BEDS, MULCH SHALL COVER ENTIRE BED AS DENOTED ON THE PLANS.
  - CONTAINER GROWN PLANT MATERIAL MAY BE SUBSTITUTED FOR BURLAP MATERIAL.

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE	HEIGHT	SPACING	REMARKS
GF	3	GINKGO BILOBA 'FASTIGIATA' / FASTIGIATE MAIDENHAIR TREE	DECIDUOUS	3" CAL.		AS SHOWN	STRONG CENTRAL LEADER, LIMBED UP 6', MALE ONLY
IF	11	ILEX X ATTENUATA 'FOSTERI' / FOSTER'S HOLLY	EVERGREEN		6'-8' HT.	AS SHOWN	
LN	10	LAGERSTROEMIA INDICA X FAUREI 'NATCHEZ' / NATCHEZ CRAPE MYRTLE	DECIDUOUS	3" CAL.		AS SHOWN	4-5 STEMS AT 1/2" CAL. MIN.
QH	3	QUERCUS PHELLOS 'HIGHTOWER' / WILLOW OAK	DECIDUOUS	3" CAL.		AS SHOWN	STRONG CENTRAL LEADER, LIMBED UP 6'
TE	20	THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE	EVERGREEN		6-8' HT	AS SHOWN	
UE	5	ULMUS PARVIFOLIA 'EMER II' / 'EMER II' ALLEE ELM	DECIDUOUS	3" CAL.		AS SHOWN	STRONG CENTRAL LEADER, LIMBED UP 6'
ZG	4	ZELKOVA SERRATA 'GREEN VASE' / SAWLEAF ZELKOVA	DECIDUOUS	3" CAL.		AS SHOWN	STRONG CENTRAL LEADER, LIMBED UP 6'

SHRUBS	QTY	BOTANICAL NAME / COMMON NAME	TYPE	SIZE/HT	SPREAD	SPACING	REMARKS
BB	18	BUXUS MICROPHYLLA JAPONICA 'GREEN BEAUTY' / GREEN BEAUTY BOXWOOD	EVERGREEN	30" HT.		AS SHOWN	
II	9	ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY	EVERGREEN	30" HT.		AS SHOWN	
IV	15	ITEA VIRGINICA 'HENRY'S GARNET' / HENRY'S GARNET SWEETSPIRE	DECIDUOUS	30" HT.		AS SHOWN	

NOTE: ALL DISTURBED AREAS NOT OTHERWISE PLANTED TO BE SEEDED.

PLANTING NOTES

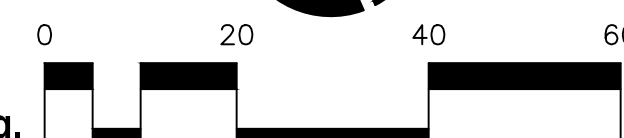
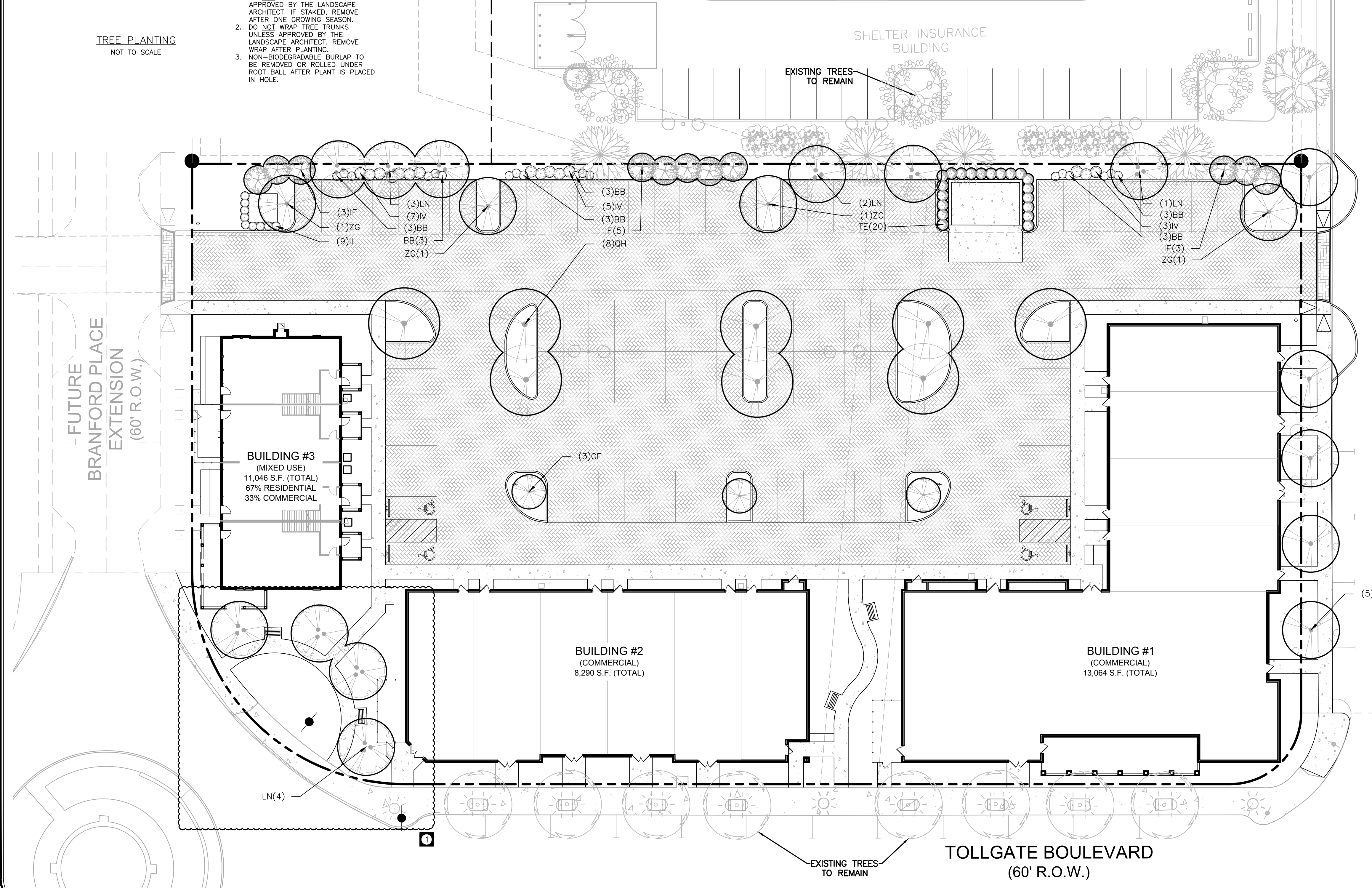
- ANY SERIES OF TREES TO BE PLACED IN A PARTICULAR ARRANGEMENT WILL BE FIELD CHECKED FOR ACCURACY. ANY PLANTS MISARRANGED WILL BE RELOCATED.
- SOIL USED IN BACKFILLING PLANTING PITS SHALL BE TOPSOIL AND MIXED WITH 50% PEAT BY VOLUME EXCEPT FOR ERICACEOUS PLANTS, VERY ACID OR SOUR SOIL (SOIL HAVING A pH LESS THAN 6) SHALL BE MIXED WITH SUFFICIENT LIME TO PRODUCE A SLIGHTLY ACID REACTION (A pH OF 6.0 TO 6.5). ADD 10-10-10 COMMERCIAL FERTILIZER AT THE RATE OF 2 POUNDS PER CUBIC YARD. MIX BOTH FERTILIZER AND PEAT THOROUGHLY BY HAND OR ROTARY TILLER.
- SOIL USED IN BACKFILLING ERICACEOUS PLANTS SHALL BE TOPSOIL MIXED WITH 50% PEAT BY VOLUME. ADD 5-10-5 COMMERCIAL FERTILIZER AT THE RATE OF 5 POUNDS PER CUBIC YARD. MIX BOTH FERTILIZER AND PEAT THOROUGHLY BY HAND OR ROTARY TILLER.
- UPON SECURING PLANT MATERIAL AND BEFORE INSTALLATION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR A PRE-INSTALLATION INSPECTION TO VERIFY ALL PLANT MATERIAL MEETS SPECIFICATION. MATCH TREES OF SAME SPECIES IN GROWTH CHARACTER AND UNIFORMITY.
- APPLY HERBICIDE (TRIFLORAL OR EQUIVALENT) TO ALL PLANT BEDS PRIOR TO PLANTING FOR NOXIOUS WEED CONTROL AT A RATE OF 2 POUNDS PER 1,000 SQUARE FEET.
- CONTRACTOR SHALL SUBMIT A 10 OUNCE SAMPLE OF THE TOPSOIL PROPOSED TO A TESTING LABORATORY FOR ANALYSIS. SUBMIT TEST RESULTS WITH RECOMMENDATIONS FOR SUITABILITY TO THE OWNER'S REPRESENTATIVE FOR APPROVAL.
- PLANTS SHALL BE ORIENTED FOR BEST APPEARANCE AND VERTICAL. ALL NON-BIODEGRADABLE ROOT CONTAINERS SHALL BE REMOVED.
- SELECTIVELY TRIM TREE BRANCHES BY 25%, MAINTAINING NATURAL SHAPE. PRUNE ALL DEAD AND BROKEN BRANCHES IN TREES AND SHRUBS. REMOVE TAGS, TWINE OR OTHER NON-BIODEGRADABLE MATERIAL.
- SCARIFY SUBSOIL PLANTING BEDS TO A DEPTH OF 3 INCHES. ALL PLANTING BEDS SHALL RECEIVE A MINIMUM OF 6 INCHES OF TOPSOIL.
- CONTRACTOR SHALL PROVIDE SMOOTH, NEATLY TRENCHED (3 INCH DEEP) BED EDGES.
- ALL PLANTING BEDS TO HAVE A MINIMUM 4 INCH DEEP PINE BARK MULCH, PINE STRAW MULCH OR OTHER MULCH AS SPECIFIED.
- DIMENSIONS FOR TRUNK CALIPER, HEIGHTS, AND SPREAD SPECIFIED ON THE MATERIAL SCHEDULE ARE A GENERAL GUIDE FOR THE MINIMUM REQUIRED SIZE OF EACH PLANT. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH A.N.S.I. Z80 "AMERICAN STANDARD FOR NURSERY STOCK" (CURRENT EDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERMEN, INC.
- THE QUANTITIES INDICATED ON THE MATERIAL SCHEDULE ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR, BUT SHOULD NOT BE ASSUMED TO ALWAYS BE CORRECT. IN THE EVENT OF A DISCREPANCY, THE PLANTING PLAN (PLANT SYMBOLS) WILL TAKE PRECEDENCE OVER THE MATERIAL SCHEDULE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATIONS AND THE LIABILITY PERTAINING TO THOSE QUANTITIES AND ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS.
- CONTRACTOR TO WARRANT ALL MATERIAL FOR ONE YEAR AFTER DATE OF FINAL ACCEPTANCE.

SEEDING NOTES

- SEED ALL DISTURBED AREAS WITH KY-31 AT THE RATE OF 5 POUNDS PER 1,000 S.F. ALL SEED TO BE 98% PURE WITH 85% GERMINATION AND CONFORM TO ALL STATE REQUIREMENTS FOR GRASS SEED. THE FERTILIZER TO BE 6-12-12 COMMERCIAL TYPE WITH 50% OF ITS ELEMENTS DERIVED FROM ORGANIC SOURCES.
- PLACE STRAW MULCH ON SEEDED AREAS. STRAW TO BE OATS OR WHEAT STRAW, FREE FROM WEEDS, FOREIGN MATTER DETRIMENTAL TO PLANT LIFE, AND DRY. HAY OR CHOPPED CORNSTALKS ARE NOT ACCEPTABLE.
- THE CONTRACTOR SHALL VERIFY THAT THE PREPARED SOIL BASE IS READY TO RECEIVE WORK. CULTIVATE THE TOPSOIL TO A DEPTH OF 4 INCHES WITH A MECHANICAL TILLER AND SUBSEQUENTLY RAKE UNTIL SMOOTH. REMOVE FOREIGN MATERIALS COLLECTED DURING CULTIVATION AND RAKING OPERATIONS.
- APPLY FERTILIZER ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. LIMESTONE MAY BE APPLIED WITH THE FERTILIZER. APPLY FERTILIZER AFTER SMOOTH RAKING AND PRIOR TO ROLLER COMPACTION AND MIX THOROUGHLY IN THE UPPER 2 INCHES OF TOPSOIL.
- APPLY SEED EVENLY IN TWO INTERSECTING DIRECTIONS AND RAKE IN LIGHTLY. WATER TOPSOIL LIGHTLY PRIOR TO APPLYING SEED. DO NOT SEED AREAS IN WHICH SEEDS OF THAT WHICH CAN BE MULCHED ON THE SAME DAY.
- ROLLER SEEDED AREA WITH ROLLER NOT EXCEEDING 112 POUNDS.
- IMMEDIATELY FOLLOWING SEEDING AND COMPACTING, APPLY STRAW MULCH AT THE RATE OF ONE AND ONE HALF BALES PER 1,000 SQUARE FEET. IMMEDIATELY AFTER MULCHING, APPLY WATER WITH A FINE SPRAY AND SATURATE THE GROUND TO A DEPTH OF 4 INCHES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING SEEDED AREAS TO PREVENT GRASS AND SOIL FROM DRYING OUT UNTIL THE INSTALLATION IS INSPECTED AND ACCEPTED BY THE OWNER'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR RESEEDING BARE SPOTS FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE OF INSTALLATION.

IRRIGATION NOTES

- ALL PROPOSED PLANTED AREAS ARE TO BE IRRIGATED UTILIZING FULL COVERAGE DESIGN.
- SUBMIT PROPOSED IRRIGATION PLAN TO THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE FOR GENERAL REVIEW AND ACCEPTANCE.
- PROPOSED IRRIGATION SYSTEM SHOULD UTILIZE ANY RECLAIMED/REUSED/GRAY WATER PUBLIC SYSTEMS IF ACCESSIBLE.
- SHOULD RECLAIMED/REUSED/GRAY WATER NOT BE AVAILABLE, BELOW GRADE CISTERNS OR ON-SITE RETENTION PONDS SHOULD BE CONSIDERED FOR AN IRRIGATION WATER SOURCE. USE OF PUBLIC POTABLE WATER SOURCE SHOULD BE A LAST CASE RESORT AND DESIGNED AS A TEMPORARY IRRIGATION SYSTEM UTILIZED TO ESTABLISHED PROPOSED PLANT MATERIAL THROUGH ITS FIRST TWO YEARS OF GROWTH.
- PROPOSED IRRIGATION DESIGN SHOULD UTILIZE WATER EFFICIENT DESIGN TECHNIQUES SUCH AS THE USE OF DRIP IRRIGATION, MOISTURE SENSORS AND RAIN SENSORS TO MAXIMIZE WATER EFFICIENCY.
- IRRIGATION CONTRACTOR IS RESPONSIBLE FOR INSTALLING AN IRRIGATION SYSTEM THAT FUNCTIONS PROPERLY PER THE INTENT OF THE DESIGN. SHOULD THE IRRIGATION CONTRACTOR SEE A FLAW IN THE PROPOSED DESIGN AND/OR FINDS A PROBLEM IN THE FIELD THAT WILL NEGATIVELY AFFECT THE PERFORMANCE OF THE PROPOSED IRRIGATION SYSTEM, THE SAID CONTRACTOR IS RESPONSIBLE FOR INFORMING THE LANDSCAPE ARCHITECT/OWNER'S REPRESENTATIVE PRIOR TO INSTALLING OR ORDERING MATERIAL FOR THE PROPOSED IRRIGATION SYSTEM.



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(615) 262-0000  
www.ragan-smith.com

FOR PLANNING  
COMMISSION  
REVIEW ONLY

TOWN CENTER SITE PLANS  
FOR  
*Regent*  
DEVELOPMENT  
THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

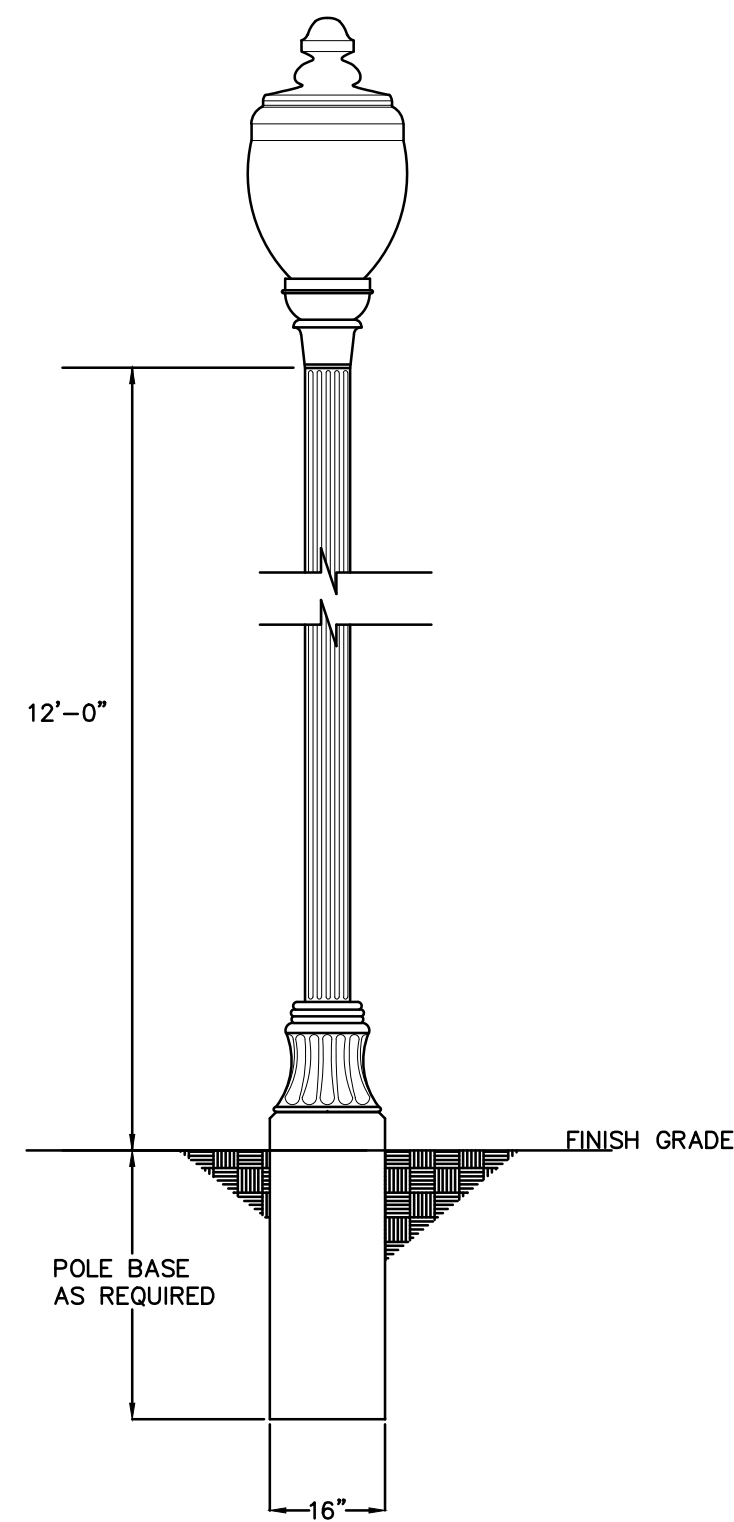


JOB NO.	10-081	WK ORDER	9260
DESIGNED BY	B. SMITH	DRAWN BY	SIEBERG
SCALE	1"=30'	DATE	DECEMBER 15, 2017
REVISIONS	01-09-2018 (TPG) PER TOWN COMMENTS		

LANDSCAPE PLAN

L1.1





POLE BASE/PARKING LOT LIGHT FIXTURE DETAIL  
NO SCALE



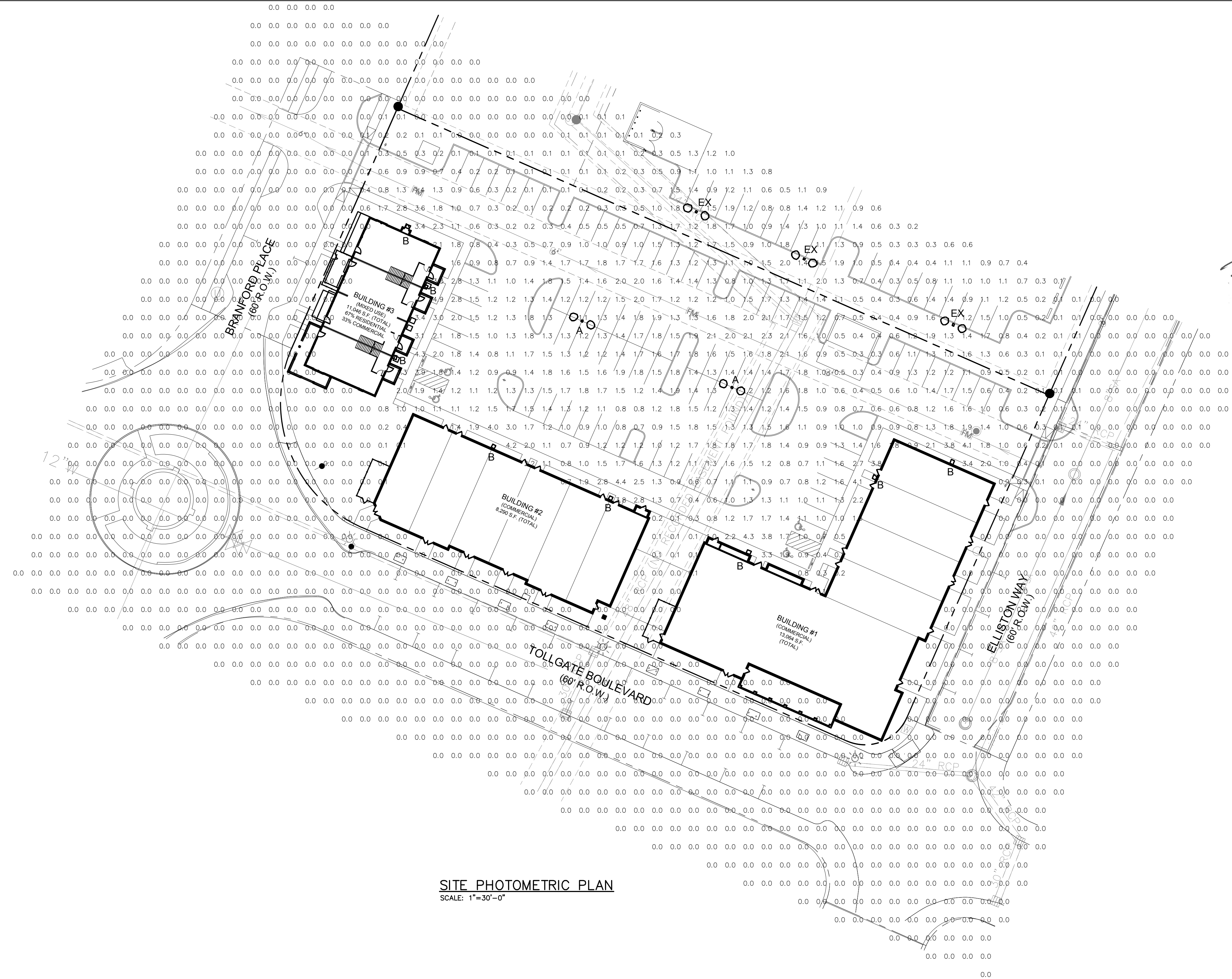
FIXTURE "A" & "EX" DETAIL  
NO SCALE



FIXTURE "B" DETAIL  
NO SCALE

Statistics					
Description	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #1	0.4 fc	4.9 fc	0.0 fc	N/A	N/A
Parking Lot	1.3 fc	4.4 fc	0.1 fc	44.0:1	13.0:1
Property Line	0.3 fc	1.7 fc	0.0 fc	N/A	N/A

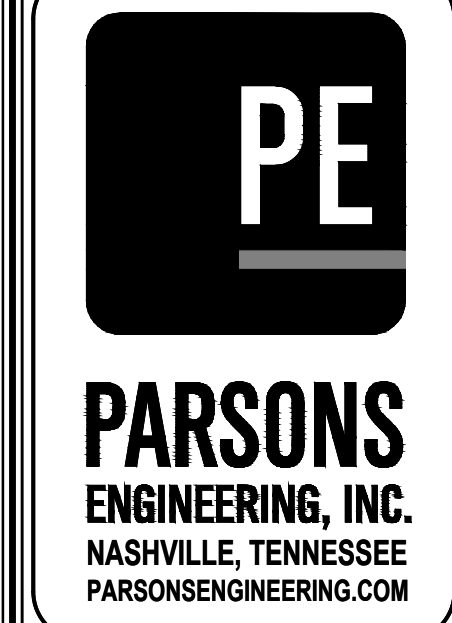
Schedule												
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage	Mounting Height
○	EX	3	Holophane	GV100HP00XX3RXX	EXISTING FIXTURE	100W CLEAR HPS	1	GV100HP00XX3RXX.jes	9500	0.81	256	13'-0"
○	A	2	Holophane	GVD2 P40 40K AH 5 N	GranVille II LED, LED Package 40, 90W, 4000K, 347-480V, Type 5 distribution, Pole selection and fixture trims by owner	LED COB	1	GVD2_P40_40K_AH_5_N.jes	9299	0.91	180	13'-0"
□	B	8	EATON - McGRAW-EDISON (FORMER COOPER LIGHTING)	IST-AF-800-LED-E1-T4FT	IMPACT ELITE LED TRAPEZOID LUMINAIRE LIGHT SQUARE WITH ACCULED OPTICS-TYPE IV FORWARD THROW	(16) 4000K CCT, 70 CRI LEDs ABSOLUTE PHOTOMETRY IS BASED ON CALIBRATION FACTORS CREATED USING LAB LUMEN STANDARDS IN GONIOPHOTOMETER	16	IST-AF-800-LED-E1-T4FT.jes	323	0.91	43.5	12'-0"



SITE PHOTOMETRIC PLAN  
SCALE: 1"=30'-0"

SITE PHOTOMETRIC NOTES

- CALCULATIONS SHOWN REPRESENT MAINTAINED LIGHTING LEVELS IN FOOTCANDLES AT GRADE WITH A TOTAL LIGHT LOSS FACTOR OF 0.81. CALCULATIONS DO NOT INCLUDE CONTRIBUTIONS FROM OTHER LIGHT SOURCES.
- CIVIL BASE PLAN AS PROVIDED TO PARSONS ENGINEERING, INC. SHOWED NO OVERHEAD UTILITIES. THE CIVIL ENGINEER SHALL VERIFY THAT THERE ARE NO CONFLICTS WITH EXISTING OR PROPOSED UTILITY LINES OR EASEMENTS.
- THESE CALCULATIONS HAVE BEEN GENERATED FROM MANUFACTURER SUPPLIED PHOTOMETRIC FILES. PARSONS ENGINEERING, INC. HAS MADE A REASONABLE ATTEMPT TO OBTAIN THE MOST CURRENT PHOTOMETRIC REPORT. PARSONS ENGINEERING, INC. IS NOT RESPONSIBLE FOR ERRANT RESULTS DUE TO MANUFACTURERS' QUALITY CONTROL OR DESIGN CHANGES.



TOWN CENTER SITE PLANS  
FOR  
*Regent*  
DEVELOPMENT  
THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE



WK. ORDER	9260	RDR	SEJ	1"=20'	REVISIONS
JOB NO.	10-081	DESIGNED:	DRAWN:	SCALE:	DATE:
					JANUARY 9, 2018

SITE PHOTOMETRIC PLAN

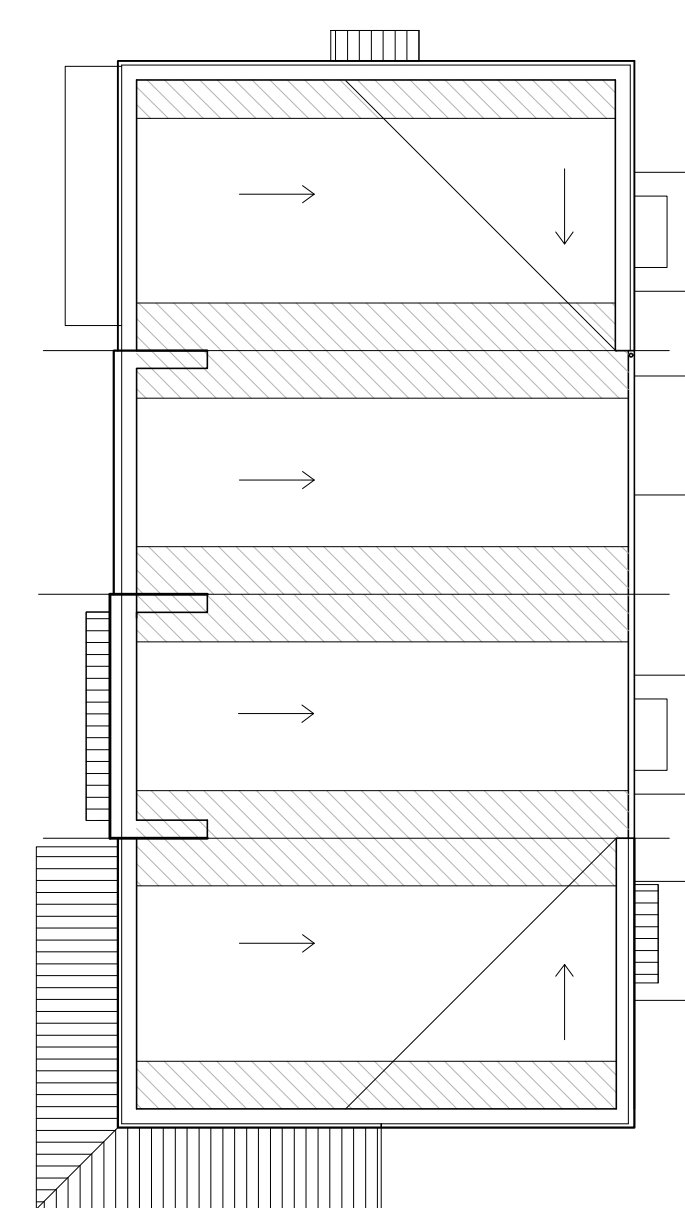
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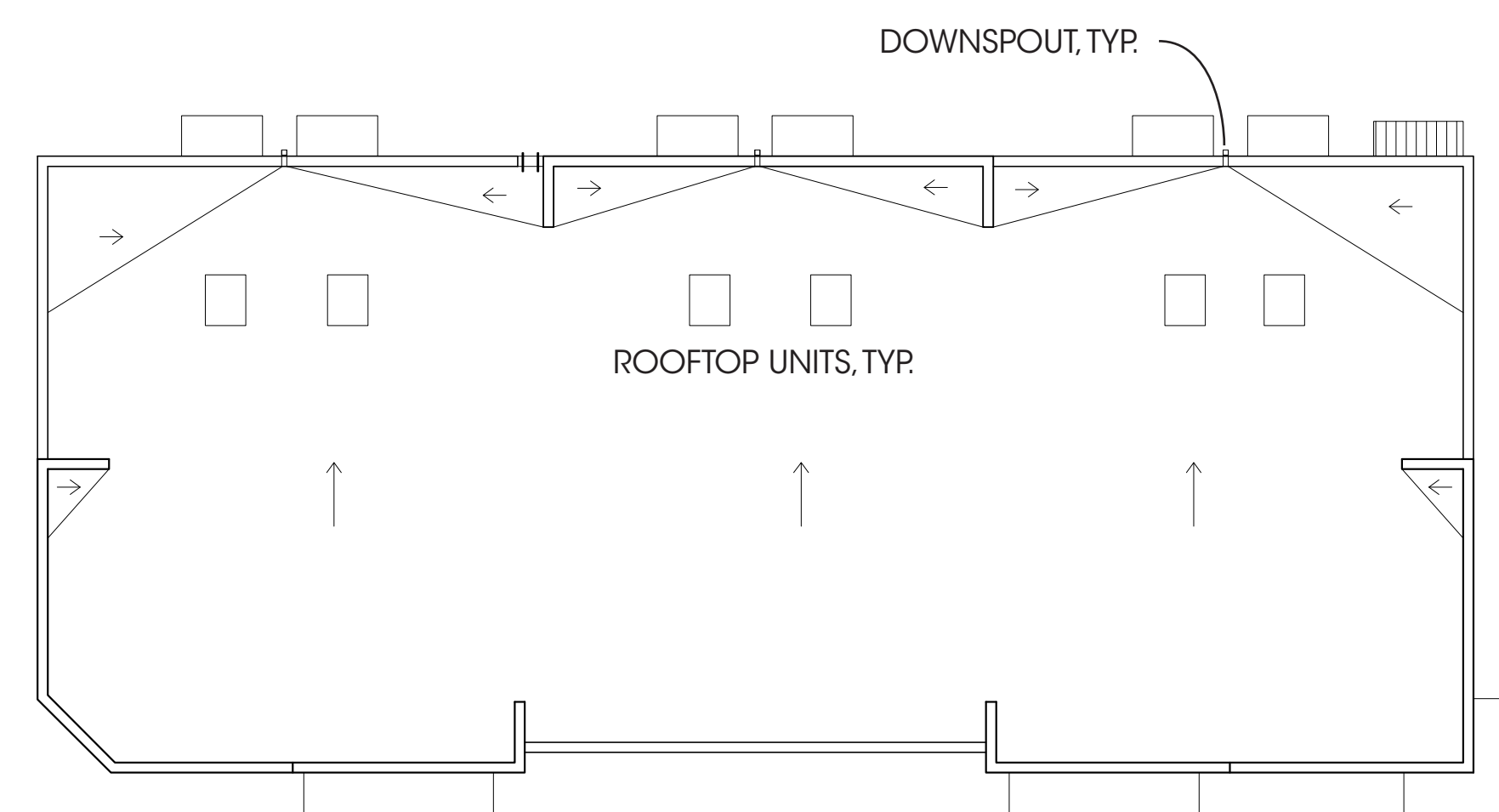


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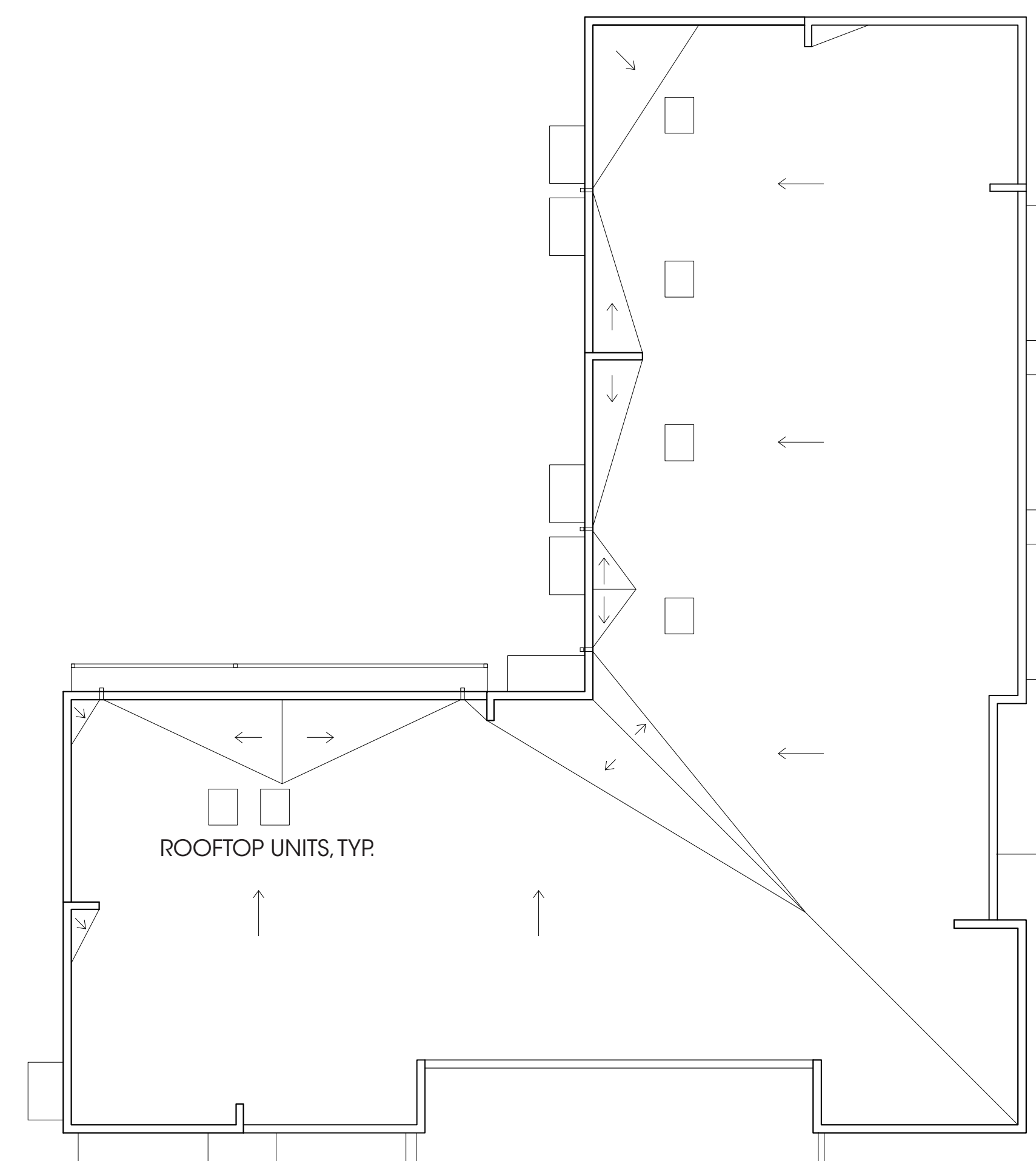
No: 01/09/2018 Date: Set Type: City Submittal



MIXED USE BUILDING



RETAIL BUILDING #2



RETAIL BUILDING #1

ROOF PLANS

SCALE: 1/16" = 1'-0"

OWNER: Regent Development  
 SGS Contact: Meredith Bucher  
 SGS Project Number: 17099.00

Project Address:  
 Tollgate Village  
 Thompson's Station, TN 37179

TOLLGATE VILLAGE MIXED  
 USE AND RETAIL BUILDINGS

Notes:

For Planning  
 Commission  
 Review Only

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Drawing:

A100





RETAIL BUILDING #1 - EAST ELEVATION - ELLISTON WAY



RETAIL BUILDING #1 - SOUTH ELEVATION - TOLLGATE BOULEVARD

SCALE: 3/16" = 1'-0"



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A300





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OWNER: Regent Development  
 SGS Contact: Meredith Bucher  
 SGS Project Number: 17099.00

Project Address:  
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**TOLLGATE VILLAGE MIXED  
 USE AND RETAIL BUILDINGS**

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**A301**

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RETAIL BUILDING #1 - WEST ELEVATION

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #1 - NORTH ELEVATION

SCALE: 3/16" = 1'-0"





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RETAIL BUILDING #2 - SOUTH ELEVATION - TOLLGATE BOULEVARD

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #2 - EAST ELEVATION

SCALE: 3/16" = 1'-0"

OWNER: Regent Development  
 SGS Contact: Meredith Bucher  
 SGS Project Number: 17099.00

Project Address:  
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 Thompson's Station, TN 37179

**TOLLGATE VILLAGE MIXED  
 USE AND RETAIL BUILDINGS**

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RETAIL BUILDING #2 - NORTH ELEVATION

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #2 - WEST ELEVATION

SCALE: 3/16" = 1'-0"

OWNER: Regent Development  
 SGS Contact: Meredith Bucher  
 SGS Project Number: 17099.00

Project Address:  
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 Thompson's Station, TN 37179

**TOLLGATE VILLAGE MIXED  
 USE AND RETAIL BUILDINGS**

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Drawing:

**A303**





MIXED USE - WEST ELEVATION - BRANFORD PLACE

SCALE: 3/16" = 1'-0"



MIXED USE - SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



MIXED USE - EAST ELEVATION

SCALE: 3/16" = 1'-0"



MIXED USE - NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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TOLLGATE VILLAGE MIXED  
USE AND RETAIL BUILDINGS

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Drawing:

A304



### KEYNOTES

① BRICK: AMP CHEROKEE - BEAUMONT BRICK W/ 1/2 BUFF MORTAR	⑪ BRICK: PAINT GRADE BRICK W/ HERBAL WASH - SW 7739
② BRICK: PAINT GRADE BRICK W/ PAVESTONE PAINT - SW 7642	⑫ WINDOWS: DARK BRONZE
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⑩ BRICK: PAINT GRADE BRICK W/ WARM STONE - SW 7032	⑳ * SUGGESTED SIGNAGE LOCATION

\*SIGNAGE TO BE SUBMITTED BY TENANT AND REVIEWED/APPROVED BY THOMPSON STATION AT THAT TIME.



RETAIL BUILDING #1 - EAST ELEVATION - ELLISTON WAY

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #1 - SOUTH ELEVATION - TOLLGATE BOULEVARD

SCALE: 3/16" = 1'-0"



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TOLLGATE VILLAGE MIXED  
USE AND RETAIL BUILDINGS

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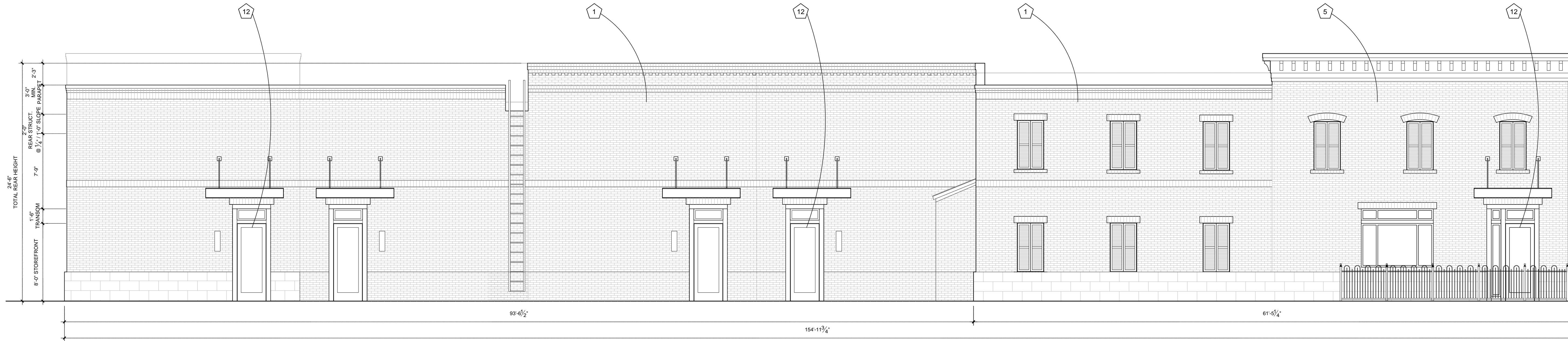
Drawing:

A305

### KEYNOTES

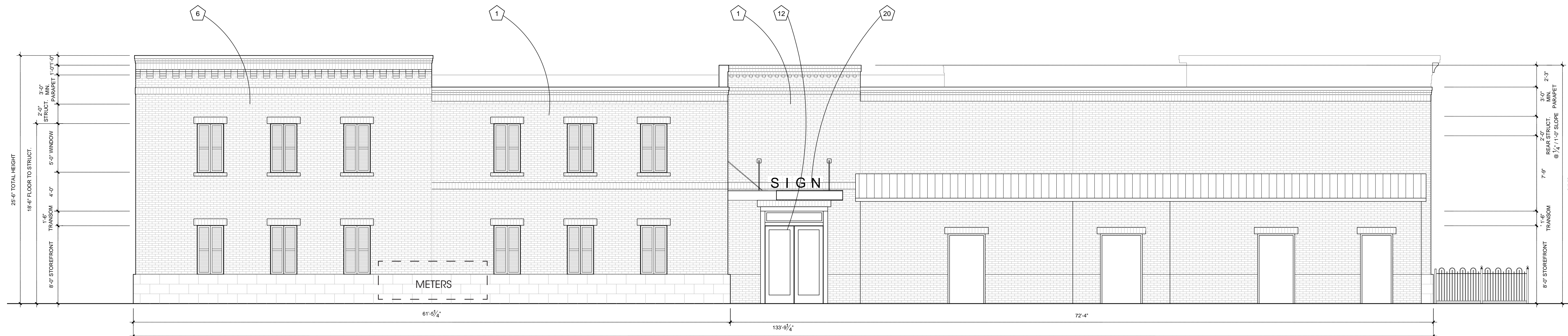
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RETAIL BUILDING #1 - WEST ELEVATION

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #1 - NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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No: Date: Set Type:  
01/09/2018 City Submittal

OWNER: Regent Development  
SGS Contact: Meredith Bucher  
SGS Project Number: 17099.00

Project Address:  
Tollgate Village  
Thompson's Station, TN 37179

## TOLLGATE VILLAGE MIXED USE AND RETAIL BUILDINGS

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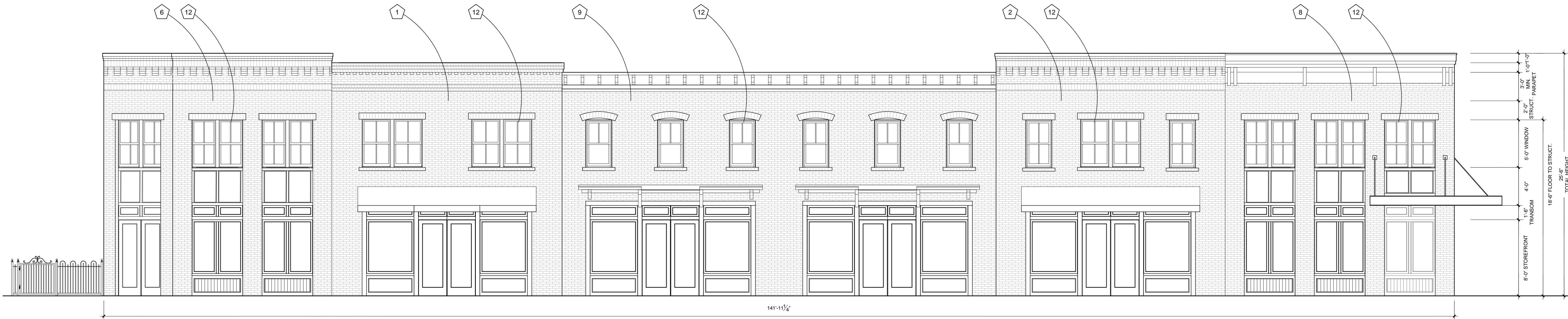
A306



### KEYNOTES

① BRICK: AMP CHEROKEE - BEAUMONT BRICK W/ 1/2 BUFF MORTAR	⑪ BRICK: PAINT GRADE BRICK W/ HERBAL WASH - SW 7739
② BRICK: PAINT GRADE BRICK W/ PAVESTONE PAINT - SW 7642	⑫ WINDOWS: DARK BRONZE
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RETAIL BUILDING #2 - SOUTH ELEVATION - TOLLGATE BOULEVARD

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #2 - EAST ELEVATION

SCALE: 3/16" = 1'-0"



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OWNER: Regent Development  
SGS Contact: Meredith Bucher  
SGS Project Number: 17099.00

Project Address:  
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Thompson's Station, TN 37179

## TOLLGATE VILLAGE MIXED USE AND RETAIL BUILDINGS

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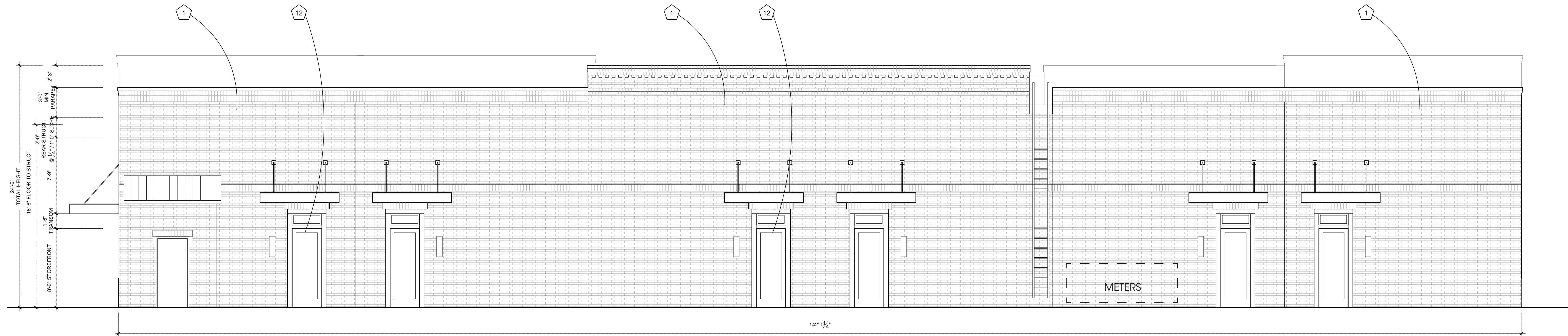
A307



### KEYNOTES

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RETAIL BUILDING #2 - NORTH ELEVATION

SCALE: 3/16" = 1'-0"



RETAIL BUILDING #2 - WEST ELEVATION

SCALE: 3/16" = 1'-0"



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Thompson's Station, TN 37179

## TOLLGATE VILLAGE MIXED USE AND RETAIL BUILDINGS

Notes:

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Drawing:

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**KEYNOTES**

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MIXED USE - WEST ELEVATION - BRANFORD PLACE

SCALE: 3/16" = 1'-0"

MIXED USE - SOUTH ELEVATION

SCALE: 3/16" = 1'-0"



MIXED USE - EAST ELEVATION

SCALE: 3/16" = 1'-0"

MIXED USE - NORTH ELEVATION

SCALE: 3/16" = 1'-0"



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No: 01/09/2018  
 Date: 01/09/2018  
 Set Type: City Submittal

OWNER: Regent Development  
 SGS Contact: Meredith Bucher  
 SGS Project Number: 17099.00

Project Address:  
 Tollgate Village  
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**TOLLGATE VILLAGE MIXED USE AND RETAIL BUILDINGS**

Notes:

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**A309**



**Thompson's Station Planning Commission**  
**Staff Report – Item 7 (File: Zone Amend 2018-001)**  
**January 23, 2018**  
**Land Development Ordinance Amendments**

**PROJECT DESCRIPTION**

A request from Ragan Smith to amend the Land Development Ordinance to revise Section 1.3 – Definitions; Table 4.4 - Permitted Uses; Section 4.6 - Building Placement Standards; Section 4.7 Height Restrictions; Table 4.12 - D3 Lot Standards; Table 4.13 - NC lot standards, Section 4.10.2 - Townhouse Residential Standards; and Section 4.12.2 - Parking Standards. The request is presented to the Town to “facilitate development standards of the site based on the proven expertise of the same developer of similar successful form-based design, mixed use local projects” (Applicant Statement).

**PROPOSED REVISIONS**

**Section 1.3 Definitions (page 12).**

Frontage, line: a lot line bordering a public frontage **or common open space.**

Staff Response:

Frontage is typically along a public right-of-way, while common areas are typically located to the side or rear of a property and not designated as a frontage.

**Table 4.4 O2, G1, G2 Use Zones Land Use (page 78 - 79).**

Permit the following uses in the NC zone:

**Live-work unit**

**Townhome**

**Animal services, Day care**

**Animal services, Kennels**

**Drive through facility**

**Non banking financial services**

Staff Response:

The NC district was developed to accommodate the non-residential land uses within the front of the proposed Tollgate Village community. Mixed use was built into the permitted use table to permit a limited number of residential units within commercial buildings in the front of the neighborhood. Permitting additional residential uses can be considered for this zone. Density is limited to 12 units per acre regardless of the type of residential unit.

Animal services including day care and kennels may be a bit intensive for the neighborhood commercial district given the potential for noise and/or odor. This district is intended for non-residential uses that include “small scale businesses” that can blend or transition without impact to residential uses.

Drive through facilities related to the sale of food were considered during the development of the standards for the NC zone and were determined to be too intensive for the area. However, it may be appropriate to permit drive throughs for businesses that are not food related, such as banks and pharmacies which have a lower impact to the community.

Non-banking financial services are typically office uses and can be permitted within the NC zone without significant impact to the community.

**Section 4.6 Building Placement Standards (page 81).**

Correct the tables listed in Sections 4.6.1 – 4.6.5 from Table 4.3 4.6 through Table 4.13 4.16. Modify Section 4.6.5. Setbacks for principal buildings shall be as shown in Table 4.36 through 4.136. Setbacks may be adjusted by up to 10% or as necessary to accommodate easements for utilities by administrative waiver to accommodate specific site conditions.

Staff response:

Correction to the tables is appropriate. Utility easements vary in width adjacent to property lines and in some cases, may create an avoidable conflict with a setback, therefore, providing allowance to deviate from the setback to the edge of the easement is appropriate.

**Section 4.7.1 Height Restrictions (page 82).**

Building height is limited according to Table 4.36 through Table 4.136 measured as follows:

Staff Response:

Correction to the tables is appropriate.

**Table 4.12 D3 Lot Standards (page 89).**

Modify the following standards:

Rear Lot Line ~~20 feet~~ 5 feet

Townhome Lot Width ~~20 feet~~ 16 feet

Staff Response:

Rear setbacks require adequate area for backyard spaces and provides for separation between residences. Reducing the setback would eliminate yard area for all land within the D3 zoning district creating a denser character within the zone.

Townhome lot width was considered during the development of the standards for townhomes and it was determined that 20 feet was an appropriate width.

**Table 4.13 NC Lot Standards (page 90).**

Modify the following standards:

*Under diagram* Street or common open space

Lot Coverage ~~50%~~ 80% max.

Lot Width ~~50~~ 20 – 200 feet

Correct Table 4.147 under Building Frontage

Building Entry Requirements 1 per ~~50~~ 20 feet of primary frontage and 1 per 80 feet of secondary frontage

Staff Response:

The diagram provides an illustration of the setback and frontage information for lots within the zone. Frontages are adjacent to public rights-of-way and common space is typically designated elsewhere.

Lot coverage for the Neighborhood Commercial district is set at 50% which is adequate for the scale permitted within the zone. Remaining areas on site will be utilized for parking, trash areas, landscaping or other pedestrian areas.

Lot width for townhomes can be identified as 20 feet if townhomes are permitted within the zone, however the lot width for other lots should be maintained as adopted.



Correction to the table is appropriate.

Reducing building entry requirements to one per 20 feet of primary frontage may create a hardship for larger tenant spaces. Instead, it may be appropriate to remove this requirement to permit businesses to determine the need for entry points.

**Section 4.10.2.b Townhouse Residential Standards (page 100).**

Townhouses shall not contain more than six units within one structure and shall each have a minimum of a one-car garage with a driveway apron no less than 20 feet, exclusive of the sidewalk, or 5 feet or 20 feet in the NC zone, or if alley loaded.

Staff Response:

Permitting five foot driveways within Tollgate Village resulted in the lack of adequate areas for parking. In order to address the lack of parking, any lot that had a five-foot driveway was required to have an additional parking pad. Staff and the Planning Commission then considered amending the code to require a minimum driveway length. It was recommended that a minimum of 20 feet be adopted to ensure parking was provided for the lots. Permitting driveway lengths back to five feet will likely result in the same problem with adequate parking areas and may create additional conflicts along streets and alleys entering and exiting lots.

**Section 4.12.2 Parking Standards (page 108).**

e. On street parking may be counted toward required parking along the subject frontage.

Staff Response:

On-street parking can be utilized for the businesses, therefore may be appropriate to count to meet parking requirements

**RECOMMENDATION**

Staff is requesting the Planning Commission provide a recommendation to the Board of Mayor and Aldermen related to these amendments to the Land Development Ordinance.

nents. Frontage is divided into private frontage and public frontage.

**Frontage, building:** the linear distance of an exterior building wall of a ground floor.

**Frontage, street:** the portion of a lot or parcel which borders a public street.

**Frontage, buildout:** the percentage of the lot width that is occupied by the building facade within the first lot layer.

**Frontage, line:** a lot line bordering a public frontage. **or common open space**

**Functionally dependent use:** a use which cannot perform its intended purpose unless it is located or carried out in close proximity to water. The term includes only docking facilities but does not include long-term storage or related manufacturing facilities.

**Gallery:** a private frontage wherein the facade is aligned close to the frontage line with an attached cantilevered shed or lightweight colonnade overlapping the sidewalk.

**Garage:** a building either detached or attached to a primary residential building designated for the use of parking vehicles.

**Garage/estate sale:** the sale of personal property, such as household items, clothing, etc. conducted on the premises of a personal residence. All goods should be the personal property of the resident/occupant.

**General Plan:** the General Plan of the Town of Thompson's Station that refers to the goals and policies for the development and maintenance of the Town outlined by the Board of Mayor and Aldermen. The official statement of the Planning Commission which sets forth major policies concerning future development of the jurisdictional area and meeting the provisions set forth in Tenn. Code Ann. §§ 13-4-201 through 13-4-203.

**Grade:** The slope of a public way or a site specified in percentage terms.

**Grading:** the process of excavation or fill or a combination thereof.

**Green:** a civic space type for unstructured recreation, spatially defined by landscaping rather than building frontages.

**Group home:** any home in which eight (8) or fewer unrelated persons with disabilities reside, and may include three (3) additional persons acting as support staff or guardians, who need not be related to each other or to any of the persons with disabilities residing in the home and that are classified as "single family residence" under Tenn. Code Ann. 13-24-102 et seq. Does not include residences operated on a commercial basis or for persons that do not qualify as "individuals with a disability" as defined by the above statute.

**Guesthouse:** a detached accessory building that may have bathroom facilities but may not have any kitchen facilities located on the same site as a primary residence which will provide a temporary residence for the occupants of the house or their guests.

**Hamlet (HAM):** a community type structured by a short or standard pedestrian shed oriented toward a common destination such as a general store, meeting hall, schoolhouse, and/or church. A hamlet takes the form of a small settlement standing free in the countryside. (Syn: cluster)

**Height:** See building height.

**Highest adjacent grade:** the highest natural elevation of the ground surface, prior to construction, adjacent to the proposed walls of a structure.

**Highway (HW):** a rural and suburban thoroughfare of long distance and high vehicular speed and capacity. A highway should be relatively free of intersections, driveways, and adjacent buildings. This type is allocated to the more rural transect zoning districts (T1, T2, and T3).

**Highway, Limited Access:** A freeway or expressway providing a trafficway for through traffic, in respect to which owners or occupants of abutting property(s) or lands and other persons have no legal right of access to or from the trafficway, except at such points and in such manner as may be determined by the public authority having jurisdiction over such trafficway.

**Historic structure:** any structure that is:

- a. Listed individually in the National Register of Historic Places (a listing maintained by the U.S. Department of Interior) or preliminarily determined by the Secretary of the Interior as meeting the



# ZONING

# LAND DEVELOPMENT ORDINANCE

Town of Thompson's Station

**TABLE 4.3 TRANSECT ZONE NON-RESIDENTIAL USES**

USE	T1	T2	T3	T4	T4O	T5
Nature conservancy	P	P	P	P		
Park		P	P	P		
Green			P	P	P	P
Square			P	P	P	P
Plaza					P	P
Playground	P	P	P	P	P	P
Community garden	P	P	P	P	P	P
Neighborhood multipurpose field			P	P	P	
Ramble			P	P		
Recreation and sports facility		P				
Parking facilities						P
Religious institution		S	S	P	S	S
Theater					P	P
Utility substation		P	P	P	P	P
Sports stadium						
Wireless communications facility						
<b>AGRICULTURE</b>						
Beekeeping		P	P	P		
Crop production other than community gardens		P	P	P		
Dairy		S				
Equestrian facility		P	S	S		
Horticulture		P			P	P
Plant and forest nursery		P			P	
<b>AUTOMOTIVE</b>						
Automotive sales						
Auto cleaning and repair						
Auto painting						
Auto towing						
Auto wash						
Boat sales and repair						
Commercial storage						
Gasoline sales						
<b>INDUSTRIAL</b>						
Light industrial						
Medium industrial						
Recycling facilities						
Warehousing						

KEY: "P" = Permitted by Right; "S" = Special Exception (BZA Approval required); "" = Prohibited

**TABLE 4.4 O2, G1, G2 USE ZONES LAND USE**

USE	D1	D2	D3	NC	CC	IL	IM
<b>RESIDENTIAL</b>							
Accessory dwelling unit	P	P	P				
Apartment building							
Assisted living		S	S	S	P		
Convalescent care		S	S	S	P	P	
Day care in home (adult, child, group)	S	S	S	S			
Duplex		P	P				
Garden apartment							
Group home	P	P	P	P			
Live-work unit			P	P			
Mixed use building				P	P	P	

KEY: "P" = Permitted by Right; "S" = Special Exception (BZA Approval required); "" = Prohibited

# LAND DEVELOPMENT ORDINANCE

# ZONING

Town of Thompson's Station

**TABLE 4.4 O2, G1, G2 USE ZONES LAND USE**

USE	D1	D2	D3	NC	CC	IL	IM
Single family	P	P	P				
Senior housing	P	P	P				
Townhome			P	P			
<b>LODGING</b>							
Bed & Breakfast (up to 6 rooms)		P		S	P		
Hotel (no room limit)				P	P		
Inn (up to 12 rooms)				S	P		
<b>COMMERCIAL</b>							
Adult business							S
Animal services							
Breeding	S	S					
Day care	P	P		P		P	
Grooming				P	P		
Kennels				P		P	
Riding and livery stables	S	S					
Veterinarian hospital/clinic				P	P	P	
Commercial laundries				P	P	P	
Coin operated laundromat					P	P	
Dry cleaner				P	P	P	
Day care				P	P	P	
Drive through facility				P	P	P	P
Equipment rental					S	P	P
Financial service				P	P	P	
Food truck				P	P		
Funeral homes and crematory services					P	P	P
Gallery				P	P		
Kiosk					P		
Large format retail, over 50,000 sq. ft.					P	P	
Live-work unit				P			
Medical clinic				P	P	P	P
Microbrewery					P		
Microdistillery					P		
Mixed use building				P	P	P	
Non-banking financial services				P	P	P	
Office building				P	P	P	P
Open market building						P	P
Personal service				P	P	P	
Recording studios				P	P	P	P
Retail building				P	P	P	P
Restaurant				P	P	P	P
Self-storage						S	S
<b>INSTITUTIONAL</b>							
Cemetery						P	P
Clubs – public or private					P	P	
Community buildings, public or private	P	P	P	P	P		
Convention or exhibition halls					P	P	
Correction and detention institutions							P
Cultural centers				P	P		
<b>Education</b>							
College						P	
Elementary, middle school	P	P	P		P	P	
High school					P	P	

KEY: "P" = Permitted by Right; "S" = Special Exception (BZA Approval required); "" = Prohibited



Town of Thompson’s Station

**TABLE 4.5 BUILDING INTENSITY**

USE	RESTRICTED		LIMITED		OPEN	
RESIDENTIAL	The number of dwellings on each lot is restricted to one principle residence and one accessory residence. Both dwellings shall be under single ownership. The habitable area of the accessory unit shall not exceed 900 sq. ft. of living area.	T2			The number of dwellings on each lots is only restricted by the bulk standards of this Article.	T4
		T3				T4O
		D1				T5
		D2				
		D3				
LODGING	The number of bedrooms available for lodging per lot is limited to six. The lodging shall be owner occupied. Food service may be provided in the morning. The maximum length of stay shall not exceed ten days.	T2	The number of bedrooms available for lodging per lot is limited to six. Food service may be provided in the morning. The maximum length of stay shall not exceed fourteen days.	T4	The number of bedrooms available for lodging per lot are only restricted by the bulk standards of this Article. Food service may be provided at all times.	T4O
		T3				T5
						NC
OFFICE	The building area available for office use on each lot is restricted to 600 sq. ft. within the principal building or to the accessory building.	T2	The building area available for office use on each lot is limited to the first story of the principal building and/or to the accessory building.	T4	The office area within a building or a lot is only restricted by the bulk standards of this Article.	T4O
		T3				T5
		D1				NC
						CC
RETAIL	The building area available for retail use may not exceed 1,500 square feet. Food service is limited to no more than 600 square feet of seating area.	T3	Food service is limited to no more than 1,800 square feet of seating area.	T4	The retail area within a building or a lot is only restricted by the bulk standards of this article.	T4O
						T5
						NC
						CC

**4.6 Building Placement Standards**

- 4.6.1 Buildings shall be setback from the boundaries of the lot as specified in Table ~~4-3~~<sup>4.6</sup> through Table ~~4-13~~<sup>4.16</sup>.
- 4.6.2 For lots with more than one frontage, front setback requirements pertain to the primary frontage and secondary front setback requirements pertain to the secondary frontages. See Table 3.2 Facades, Elevations, and Lot Lines Illustrated.
- 4.6.3 Lot coverage by buildings shall not exceed the percentage of net lot area specified in Table ~~4-3~~<sup>4.6</sup> through Table ~~4-13~~<sup>4.16</sup>.
- 4.6.4 Building facades shall occupy a minimum percentage of the primary frontage as specified in Table ~~4-3~~<sup>4.6</sup> through Table ~~4-13~~<sup>4.16</sup> as minimum frontage buildout.
- 4.6.5 Setbacks for principal buildings shall be as shown in Table ~~4-3~~<sup>4.6</sup> through Table ~~4-13~~<sup>4.16</sup>. Setbacks may be adjusted by up to 10% by administrative waiver to accommodate specific site conditions. The Town

or as necessary to accommodate easements for utilities

Planner or designee shall make the following written findings:

- a. The waiver is consistent with the provisions of §1.2 Intent.
- b. The waiver is consistent with the General Plan.
- c. The building placement will not materially endanger the public health or safety.
- d. The building placement will not substantially injure the value of adjoining property; or that the use is a public necessity.
- e. The location and character of the building placement, if developed according to the plans and information approved, will be in harmony with proximate land uses, and consistent with the purposes of the district.
- f. The building placement will not adversely affect the district by altering its character.

4.6.6 Rear setbacks for accessory buildings shall be a minimum of 5 feet measured from the property line. In the absence of rear alley or rear lane, the rear setback shall be as shown in Table 4.3 through Table 4.13.

4.6.7 Fireplaces and bay windows may encroach side setbacks up to 2.5 ft. in all zones. Distances between structures shall meet building and fire code restrictions.

#### **4.7 Height Restrictions**

4.7.1 Building height is limited according to Table ~~4.3~~<sup>4.6</sup> through Table ~~4.13~~<sup>4.16</sup>, measured as follows:

- a. Building height is measured in above ground stories and feet.
- b. Stories are measured from finished floor to finished ceiling.
- c. Stories above the ground floor are limited to 14 feet after which height they are counted as two stories.
- d. For residential uses, a ground floor story of 18 feet or less is counted as one story. Ground floors exceeding 18 feet in height are counted as two stories.
- e. For non-residential and mixed-uses a ground floor story shall be no less than 11 feet in height. A ground floor story of 25 feet or less is counted as one story. Ground floors exceeding 25 feet in height are counted as two stories.
- f. Height limits do not apply to unfinished attics, masts, belfries, clock towers, chimney flues, water tanks, or elevator bulkheads.

4.7.2 Parking structure height is measured as follows:

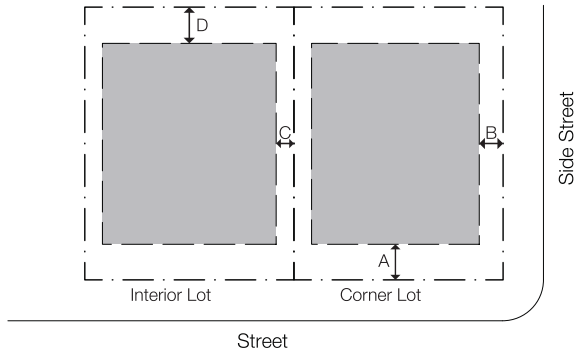
- a. Parking structure height is measured in feet above average adjacent grade but in no case shall exceed 45 feet in height.
- b. Parking structures lined for a minimum of 80% along frontages may exceed height restrictions and are limited in height to the eave of lining buildings.



Town of Thompson's Station

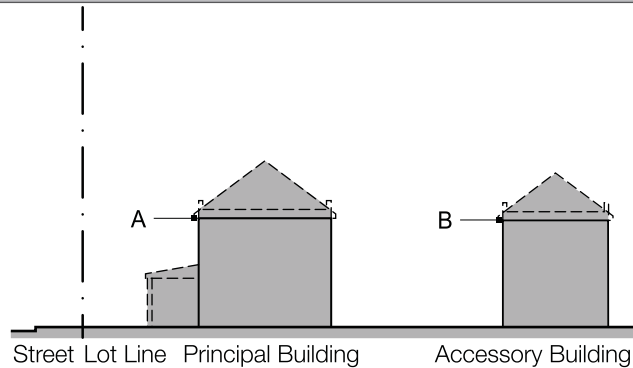
**TABLE 4.12 D3 LOT STANDARDS**

**BUILDING SETBACKS AND LOT REQUIREMENTS**



SETBACKS		LOT REQUIREMENTS	
A Primary Frontage	10 ft. min.	Lot Coverage (single family)	55% max.
B Secondary Frontage	10 ft. min.	Density (units per acre)	3.0
C Side Lot Line Aggregate	15 ft. total, 5 ft. min.	Access Drive Width to setback	20 ft. max.
D Rear Lot Line	<del>20 ft. min.</del> 5 ft. min	Lot Width	50 ft. min.
		Townhome Lot Width	<del>20 ft. min.</del> 16 ft. min
ENCROACHMENTS			
Fireplace	2.5 ft. max.	Balcony and/or bay window	3 ft. max.

**BUILDING HEIGHT**

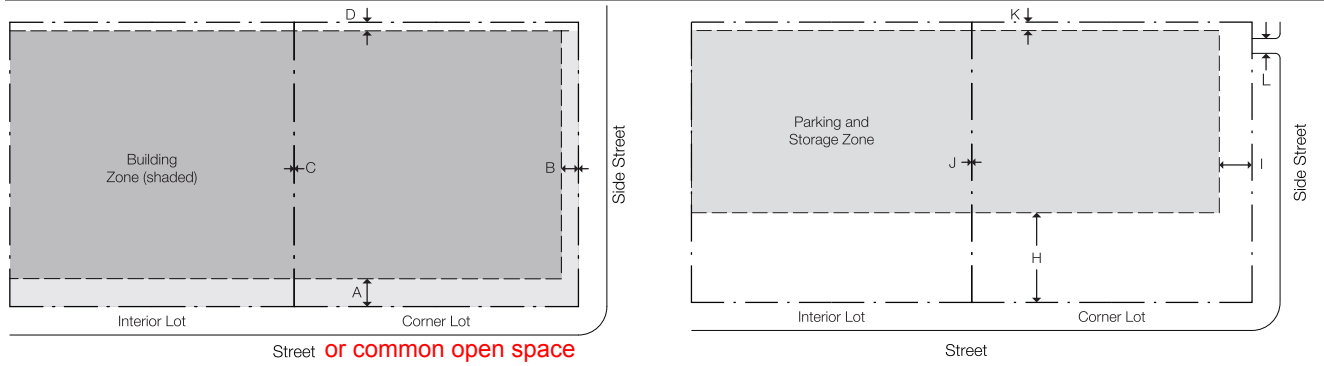


SINGLE FAMILY		MULTI-FAMILY	
A. Main Building	3 stories	A. Main Building	3 stories.
B. Accessory Buildings	3 stories	B. Accessory Buildings	2 stories



**TABLE 4.13 NC LOT STANDARDS**

**BUILDING SETBACKS AND LOT REQUIREMENTS**



MAIN BUILDING SETBACKS		PARKING AND STORAGE SETBACKS			
A	Primary Frontage	12 ft. max.	H	Primary Frontage	20 ft. min.
B	Secondary Frontage	10 ft. max.	I	Secondary Frontage	20 ft. min.
C	Side Lot Line	0 ft. min.	J	Side Lot Line	0 ft. min.
D	Rear Lot Line	5 ft. min.	K	Rear Lot Line	3 ft. min.

**ACCESSORY BUILDING SETBACKS**  
 Accessory buildings are subject to the setback standards of principal buildings.

LOT REQUIREMENTS	
Lot Coverage	<del>50%</del> max. <b>80% max.</b>
Primary Building Frontage	60% min.
Density (units per acre)	12.0
Access Drive Width to setback	24 ft. max.
Lot Width	<b>20</b> <del>50</del> - 200 ft.

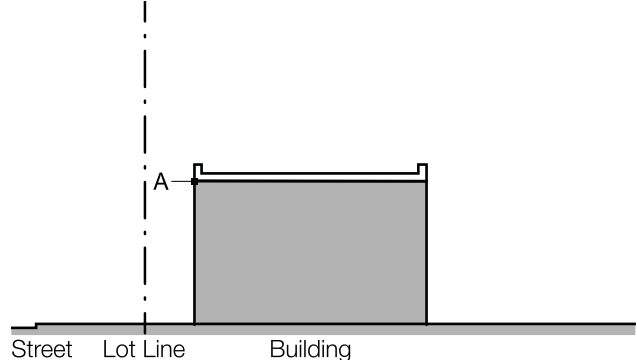
**BUILDING FRONTAGE 4.17**

REQUIRED PRIVATE FRONTAGE TYPES (SEE TABLE 4.14 PRIVATE FRONTAGES)	
Primary Frontage	stoop, terrace, common entry, gallery, forecourt, shopfront
Secondary Frontage	stoop, terrace, common entry, gallery, forecourt, shopfront
Entry Requirements	<del>1 per 50 ft. of primary frontage</del> and 1 per 80 ft. of secondary frontage <b>1 per 20 ft. primary frontage</b>

ENCROACHMENTS	
Balcony and/or bay window	100% max. up to 6 ft.
Stoop or terrace	100% max. up to 8 ft.
Fireplace	2.5 ft. max.

MINIMUM GLAZING		AMBIENT STANDARDS	
Ground Floor	50%	Light Level	2 fc. max.
Upper Floors	25%	Noise: 12am to 7am	60 dBa
		Noise: 7am to 10pm	75 dBa
		Noise: 10pm to 12am	65 dBa

**BUILDING HEIGHT**



BUILDING HEIGHT	
A. Main Building	3 stories
B. Accessory Buildings	N/A



low any vehicle or vehicle parts in the required front yard or any additional area of a residential lot that is not predominantly screened from a public or private street by solid fencing, walls or vegetation.

#### 4.10.2 Townhouse Residential Standards

- a. Townhouses shall not exceed the maximum allowable density for the zone and shall be platted as individual lots.
- b. Townhouses shall not contain more than six units within one structure and shall each have a minimum of a one-car garage with a driveway apron no less than 20 feet, exclusive of the sidewalk., 5 feet or 20 feet in NC zone, or if alley loaded.
- c. Front-loaded townhouses shall have adjacent overflow parking lots provided at a rate of .5 per unit.
- d. Townhouses shall not exceed three stories or 35 feet, whichever is more restrictive.

#### 4.10.3 Multi-family Residential Standards

- a. Multi-family developments shall be located on a minimum of five (5) acres.
- b. Required front and side yard setbacks shall be landscaped and permanently maintained in a healthy manner. Irrigation systems shall be utilized for all required landscaped areas. Landscape areas in excess of the requirements of this ordinance do not require irrigation systems.
- c. Construction shall incorporate masonry and brick. No vinyl or metal siding is permitted. Building facades shall include varied wall planes, projections and recesses, window articulation and natural color schemes. All elevations facing roadways shall include additional design and landscaping to soften and improve the appearance of the building mass.
- d. Groupings of buildings shall be used instead of long linear rows of buildings. Building massing shall incorporate varied rooflines, building heights and other architectural features. No residential building shall exceed 200 feet in length regardless of the number of dwelling units within the building.
- e. Entry drives shall be designed to incorporate enhanced paving, landscaping and other features which complement the building architecture.
- f. Masonry walls shall be required for noise attenuation between multi-family and single-family land uses. Masonry walls shall be designed to match the architecture of the residential structures.
- g. Each multi-family development shall incorporate a minimum of two of the following: children's playground, swimming pool with amenities center, and trails throughout the open space where feasible (significant slopes exceeding 25% may be excluded), or other options approved by the Planning Commission.
- h. Each unit shall have one (1) designated parking spaces located in proximity to the unit it serves. Long rows of garages shall be broken up into groupings to serve the units.
- i. Each multi-family development shall include trash areas that will be designed to accommodate two (2) trash bins, one which will be designed for recycling. The trash enclosure shall be enclosed by a masonry wall that matches the architecture of the residential buildings. In addition, a landscape planter shall be utilized to provide screening around the trash enclosure.

#### 4.10.4 Accessory Dwelling Unit Standards

- a. One accessory dwelling unit (ADU) or guest house is permitted on all lots developed with a primary residence. The unit may be attached or detached. Attached units shall be limited to half the square footage of the primary dwelling or 900 square feet, whichever is less.
- b. The secondary unit shall not exceed the height of the primary residence on the lot.
- c. The height of an ADU shall not exceed the maximum height for accessory structures.
- d. One additional paved, off street parking space shall be provided for an ADU.
- e. The ADU shall be compatible with the primary residence and shall keep with the character of the



- vi. Any establishment that sells beer or alcoholic beverages, including restaurants, grocery, convenience or packaged liquor stores
- b. Measurements related to this subsection shall be made in a straight line, without regard to intervening objects or structures, from the nearest portion of the building or structure used as part of the premises where an adult-oriented establishment is conducted to the nearest property line of the premises of a use listed in subsection a. above. The presence of a city jurisdictional boundary shall be irrelevant for the purposes of calculating and applying the distance requirements of this subsection. An adult-oriented establishment lawfully operating as a conforming use shall not be rendered a nonconforming use by the location, subsequent to the commencement of operations of said establishment, of a use listed in subsection a. above within 500 feet of the adult-oriented establishment.

**4.12 Parking Standards**

All multi-family and non-residential developments require a parking plan that will be submitted and reviewed with the site plan for development. The parking plan shall identify all parking areas, required landscaping, bicycle parking and loading areas throughout the project site.

**4.12.1 Minimum Required Automobile Parking**

Use district parking requirements are determined by lot use(s) according to Table 4.16 Use District Parking Requirements. Transect zoning district parking requirements are governed by market demand and have no minimums.

**4.12.2 Required parking may be adjusted downward by shared parking according to Table 4.15 Parking Occupancy Rates. Shared parking is determined as follows:**

- a. Shared parking is available for two or more uses on one lot or within one block.
- b. Parking facilities may utilize shared parking for uses within 500 feet of the facility.
- c. The adjusted required parking resulting from the shared parking table is the highest daily shared parking requirement determined by completing the shared parking table.
- d. A written agreement shall be drawn to the satisfaction of the Town Attorney and executed by all parties concerned assuring the continued availability of the number of spaces designated for the joint use.

**e. On street parking may be counted toward required parking along subject property frontage(s).**

**TABLE 4.18 PARKING OCCUPANCY RATES**

USES	M - F	M - F	M - F	SAT & SUN	SAT & SUN	SAT & SUN
	8 AM-6 PM	6 PM-12 AM	12 AM-8 AM	8 AM-6 PM	6 PM-12 AM	12 AM-8 AM
RESIDENTIAL	60%	100%	100%	80%	100%	100%
LODGING	70%	100%	100%	70%	100%	100%
OFFICE	100%	20%	5%	5%	5%	5%
RETAIL	90%	80%	5%	100%	70%	5%
RESTAURANT	70%	100%	100%	70%	100%	100%
THEATER	40%	80%	10%	80%	100%	10%
ENTERTAINMENT	40%	100%	10%	80%	100%	50%
INSTITUTIONAL	100%	20%	5%	10%	10%	5%
RELIGIOUS	20%	20%	5%	100%	50%	5%

Planning Staff shall provide a spreadsheet that will perform calculations for specific applications based upon the occupancy rates in this table.

**4.12.3 Required parking may be adjusted downwards where the following provisions for cyclists are provided:**

- a. 1 automobile parking space may be reduced for every 4 bicycle parking spaces provided in excess of that required up to a 10% reduction.
- b. 1 automobile parking space may be reduced for every shower provided for non-residential uses, not







Town. The land south of this property to State Route 840, when annexed, was designated as G1- Controlled Growth, which “should consist of lands of primarily rural character, including hamlets and villages” (LDO Section 1.2.5.d) as allowed in the transect community zoning. However, given the characteristics of this site, natural constraints on the property, surrounding large lot developments and overall suitability of the area, Staff recommends the subject site be designated as O2- Rural Open Space which “should consist of lands of rural character, including hamlets, in which development should be limited to that which will not overburden the resources or natural systems” to ensure that development is in keeping with the rural character.

**ZONING**

Three parcels (Tax Map 104 Parcel 40.07, Tax Map 104 Parcel 39.04 and Tax Map 119 Parcel 002.00) for a total of 686.92 acres were annexed by referendum in December 2016 and are not zoned. The property is part of a larger area intended for development of a transect community that would offer a variety of housing options along with a golf course and other nonresidential uses. The applicant is requesting to zone these parcels as the TC (transect community) district.

The transect is a district that is intended to allow multiple zoning options within a community that will define the physical form and character. Depending on the community type, the zones are determined by the standards within the Land Development Ordinance for the community type, such as a hamlet set forth in Table 2.3.

**TABLE 2.3 COMMUNITY TYPES, AREAS AND CIVIC SPACE**

STANDARDS	SIZE (ACRES)	TYPE OF MAIN CIVIC SPACE	CIVIC SPACE % OF AREA	ZONING DISTRICTS (PERCENT OF COMMUNITY AREA)			
				T1 OR T2	T3	T4	T5
COMMUNITY TYPES							
HAMLET	10 – 60	Green or Square	0 - 5%	60% min.	10 - 20%	10 - 20%	0 - 10%

The minimum open space (or T1/T2 zones) is 60% within the hamlet and the remaining land will be allocated into the remaining zones (T3, T4 and T5). The T3 – Neighborhood Low Intensity consists of “low density residential areas, with some mix of use, home occupations and accessory buildings. The T4 – Neighborhood Medium Intensity consists of a “mix of neighborhood commercial and service uses, but is primarily mixed density residential” with a range of building types. The T5 – Neighborhood High Intensity consists of “higher density mixed-use buildings that accommodate retail, offices, townhouses and apartments.” (See Section 1.2.6 for full definitions of each transect zone).

**STAFF FINDINGS**

The subject site is located south of Coleman Road, north of West Harpeth and currently developed with a single-family residence and formerly zoned RP – 1 (Rural Preservation 1) under the County zoning. The property south of the subject site is zoned Transect Community (TC). The land surrounding the subject property north, east and west is located within the County and is predominantly zoned Rural Preservation RP-1 which is one unit an acre or zoned Rural Preservation (RP)- 5 which is one unit per five acres.

Zoning this property to TC would be consistent with the existing zoning previously adopted for the properties south to State Route 840. The proposed project is a multi-phase project that is intended to include these properties and the land south of West Harpeth, adjacent to State Route 840. The TC zone can provide the mechanism to create a mixed-use development that permits not only a variety of housing and civic options, but has the potential for commercial uses too.



Development of the property as proposed in the draft concept plan consists of 17 hamlets with T5 zoning for the ancillary uses related to the golf course. The future development of the property to the south of West Harpeth Road, if developed as part of this project includes additional area for T5 zoning, however the majority of the project consists of T3 and T4 zoning with the required T2 for open space. Given the characteristics of the proposed community including preservation of land, inclusion of civic spaces and development in conjunction with the development standards for each transect district, Staff is supportive of the rezone. However, several constraints exist within the project area and further technical studies related to traffic and biological/natural resources will be required. No development will or should occur or be approved prior to the evaluation of these necessary studies are reviewed by the Town.

### **LAND DEVELOPMENT CODE AMENDMENT**

The Land Development Ordinance does not have any standards for the development of golf courses. In the interest of public health, safety and welfare in regulating land uses so that any potential impacts are reduced, Staff believes it's necessary to identify standards to ensure approval of any golf courses would not negatively impact the surrounding land uses and overall community. Therefore, Staff recommends appropriate regulations be incorporated into the Land Development Ordinance to regulate golf courses.

Staff recommends the following definition: "golf course: an area of land for playing golf with at least nine holes that may include a driving range, putting green and other ancillary uses to support the golf course, such as beverage and food concessions, comfort stations, restaurant and related retail establishments not intended to serve the needs of the general public." Staff would also recommend the inclusion of standards for the golf course use to include the following:

1. Development features (including structures, fairways, greens, service facilities) shall be located to minimize impacts to the adjacent properties.
2. Any non-residential structures shall be set back 75 feet from any property line of a residential lot.
3. The golf course shall comply with landscaping standards within Section 4.14 and shall include a semi-opaque screen buffer between non-residential structures and residential lots.
4. Ancillary uses shall be limited to practice and short game areas, sale and consumption of food and beverage on the premises, comfort stations, and the sale and rental of golf equipment unless otherwise permitted by the zoning.
5. No more than 50% of the golf course can be counted toward the total open space requirement.

### **RECOMMENDATION**

Staff recommends the following:

1. Staff recommends that the Planning Commission designate the Tax Map 104 Parcel 040.07; Tax Map 104 Parcel 039.04; and Tax Map 119 Parcel 002.00 as O2- Rural Open Space on the Town's Sector Map.
2. Staff is requesting that the Planning Commission provide a recommendation to the Board of Mayor and Aldermen for the zoning of these three parcels (Tax Map 104 Parcel 040.07; Tax Map 104 Parcel 039.04; and Tax Map 119 Parcel 002.00) totaling 686.92



acres. A recommendation to adopt an ordinance to zone the land TC should include the following contingencies:

1. An acceptable school building site must be identified and dedicated from within the project site.
  2. An acceptable public safety building must be identified and dedicated from within the project site.
  3. All proposed trails within the community must be made to allow for future connections to the public trail system.
  4. The wastewater treatment facility must be located in an area at least 1000 feet away from any existing adjacent residential structure.
  5. All off site infrastructure improvements necessary to serve this project will be paid for entirely by the applicant.
3. Staff recommends that the Planning Commission recommend an amendment to the Land Development Ordinance to establish a definition along with development standards for golf courses as follows:

*Section 1.3*

Golf Course - an area of land for playing golf with at least nine holes that may include a driving range, putting green and other ancillary uses to support the golf course, such as beverage and food concessions, comfort stations, restaurant and related retail establishments not intended to serve the needs of the general public.

*Section 4.11.14 Golf Course Standards*

1. Development features (including structures, fairways, greens, service facilities) shall be located to minimize impacts to the adjacent properties.
2. Any non-residential structures shall be set back 75 feet from any property line of a residential lot.
3. The golf course shall comply with landscaping standards within Section 4.14 and shall include a semi-opaque screen buffer between non-residential structures and residential lots.
4. Ancillary uses shall be limited to practice and short game areas, sale and consumption of food and beverage on the premises, comfort stations, and the sale and rental of golf equipment.
5. No more than 50% of the golf course can be counted toward the total open space requirement.

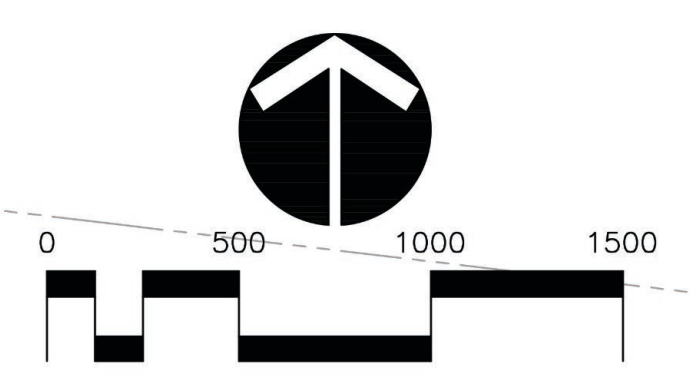
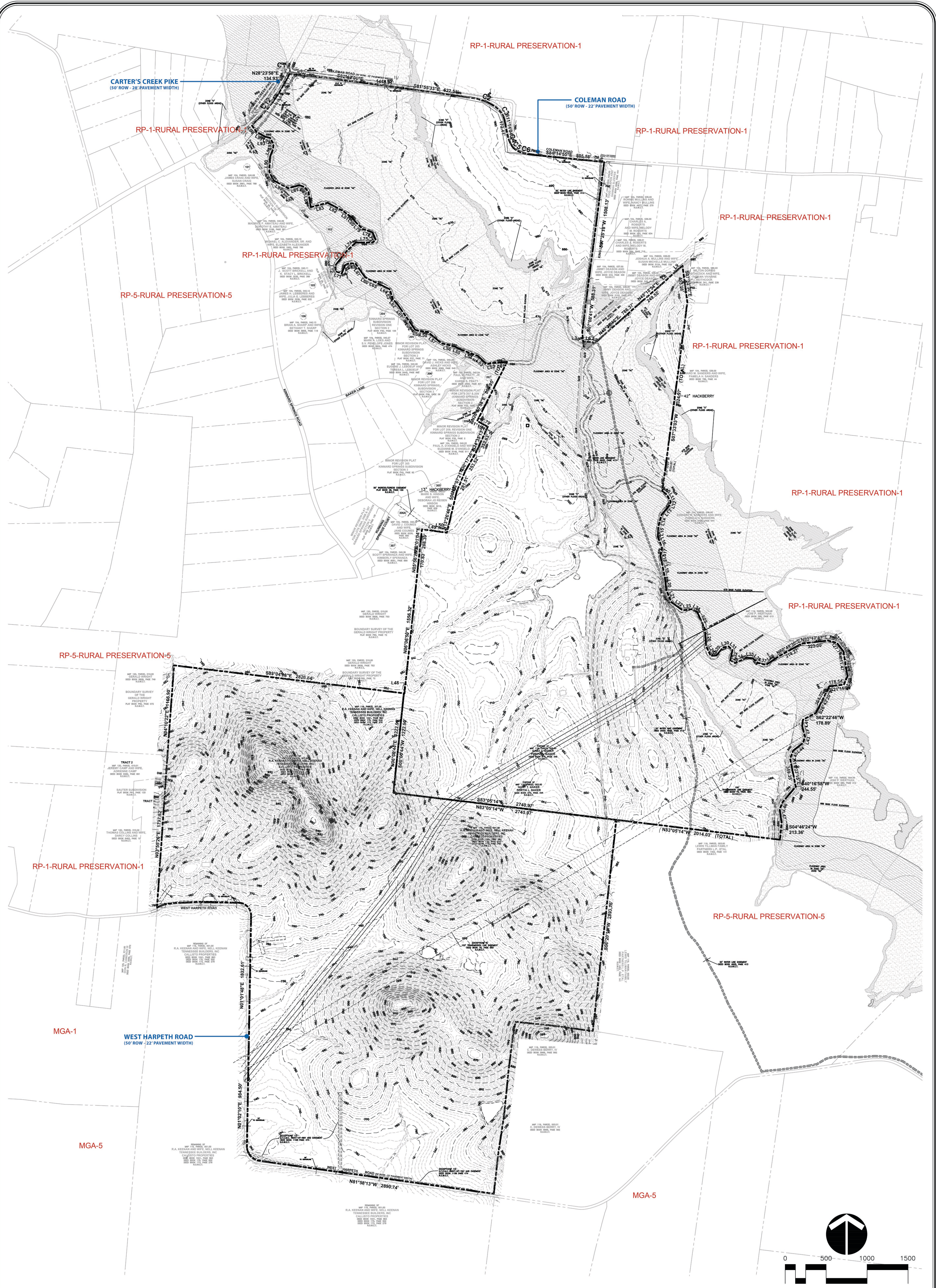
**ATTACHMENTS**

Zoning Plan

Hamlet Plan

Conceptual Master Plan





<b>Z1</b>	JOB NO.	WK. ORDER	REVISIONS
	14110	0403	
	DESIGNED:	B. SMITH	
	DRAWN:	D. SIEBERG	
	SCALE:	1"=500'	
DATE:	JAN. 05, 2018		

# TWO FARMS

TOWN OF THOMPSON'S STATION, TENNESSEE

RAGAN SMITH

LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS

NASHVILLE  
 315 WOODLAND STREET  
 P.O. BOX 19070 SUITE 200  
 NASHVILLE, TN 37208  
 (615) 244-8591

CHATTANOOGA  
 1415 COWART STREET  
 SUITE 200  
 CHATTANOOGA, TN 37408  
 (423) 490-9400

www.ragan-smith.com



# MASTER PLAN SUMMARY

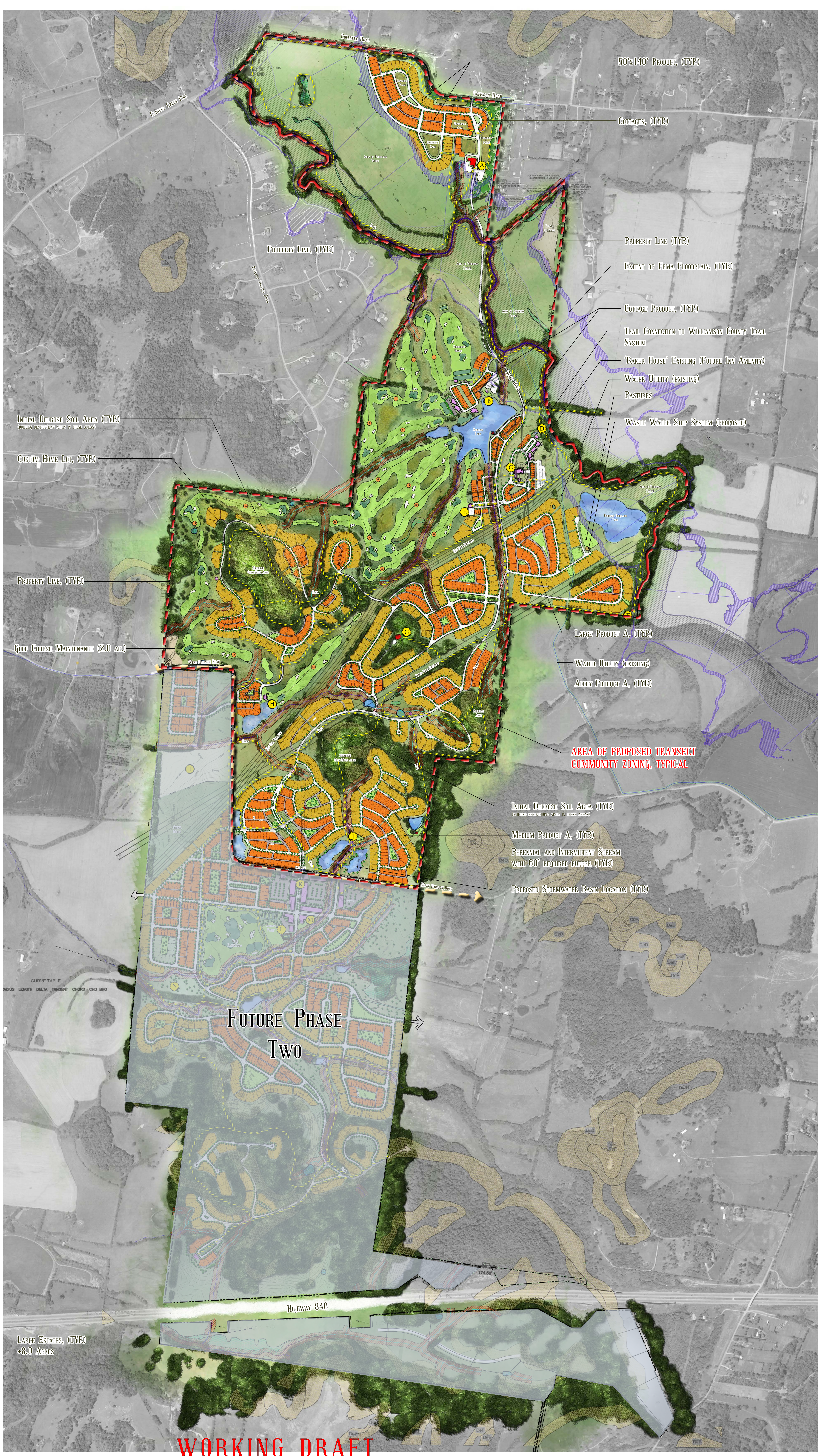
## AMENITIES:

- A CULINARY VILLAGE**
  - Organic Working Farm
  - (30) Culinary Cottages
  - Farm to Table Restaurant
  - Trail Connectivity
  - Culinary School
- B GOLF CLUB CORE (10,000 sf)**
  - Golf Shop
  - Men's and Womens Locker Rooms
  - Restaurant and Bar
  - Golf Cottages
- C THE INN**
  - (12) Guest Suites
  - Community Event & Dining Spaces
  - Hilltop and Lake Front Cottages
- D SPA (10,000 sf)**
  - Spa Wellness and Pool Area
- E THE BARN (3,500 sf)**
  - Event and Gathering Space
  - Chef's Garden
  - Golf Comfort Station
- F EAGLE'S NEST RETREAT**
  - Trail Destination Overlooking West Harpeth River
- G HILLTOP OVERLOOK**
  - Trail Destination to Community Water Tower
  - Overlooking Golf Course
- H THE SILO'S (2,500 sf)**
  - Event & Gathering Space
  - Golf Comfort Station
- I FUTURE PHASE TWO: SCHOOL AND ADMINISTRATIVE BUILDINGS (20 acres)**
- J FUTURE PHASE TWO: TWO FARMS PARK**
  - Trail Destination and Community Open Space
- K FUTURE PHASE TWO: MARKET STREET**
  - Mixed Use Regional Gathering Space
  - 100,000 sf of Shops, Restaurants, Offices, and Live/Work Residential Space
- L FUTURE PHASE TWO: TWO FARMS RECREATIONAL CENTER (15,000 sf)**
  - Indoor and Outdoor Recreation, Ice Rink, and Family Golf Park
- M COMMUNITY CENTER**
- N COMMUNITY GARDEN SPACE**

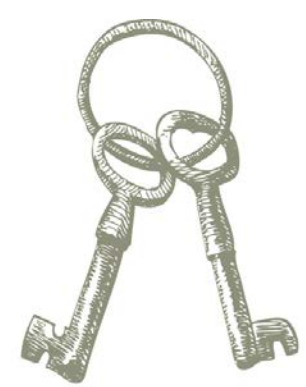
## LEGEND:

- EXISTING ROADWAYS
- PROPERTY BOUNDARY
- TRAIL NETWORK (CONNECTED TO REGIONAL TRAIL SYSTEM) 17 MILES
- NEIGHBORHOOD ROAD
- ALLEY

## RESIDENTIAL SUMMARY:

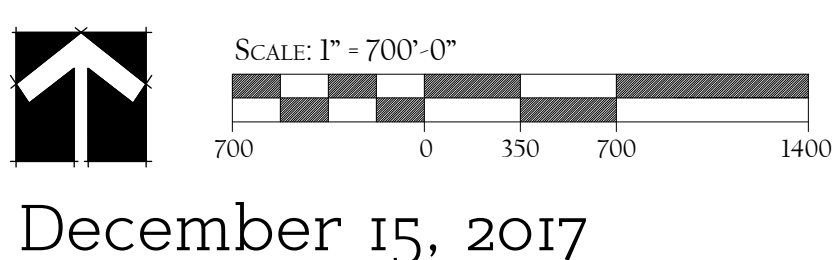


WORKING DRAFT



**TWO FARMS**  
AT THOMPSON'S STATION

**CONCEPTUAL MASTER PLAN**  
APPLICANT: BEACON LAND DEVELOPMENT  
CONTACT: MICHAEL ABBOTT



December 15, 2017





# HAMLET PLAN SUMMARY

## COMMUNITY UNIT TYPES:

TABLE 2.2 COMMUNITY TYPES, CRITERIA

COMMUNITY TYPES	WASTEWATER SERVICE	TRANSPORTATION ADJACENCY	COMMUNITY ADJACENCY
FARM	Optional	Not Applicable	Not Applicable
VILLAGE	Optional	Should be within 1/2 mile of junctions between principal arterial	Should be within 1/4 mile of junctions between principal arterial
TOWN	Required	Adjacent to or on both sides of at least one junction between principal arterial	Should be within 1/2 mile of junctions between principal arterial
RESIDENTIAL SUBDIVISION	Required	Should be within 1/2 mile of junctions between principal arterial	Should be within 1/4 mile of junctions between principal arterial
WORKPLACE	Required	Adjacent to or on both sides of a principal arterial	Not Applicable
COMMERCIAL CENTER	Required	Adjacent to or on both sides of a principal arterial within 1/4 mile of a highway interchange	Not Applicable

TABLE 2.3 COMMUNITY TYPES, AREAS AND CIVIC SPACE

COMMUNITY TYPES	STANDARDS SIZE (ACRES)	TYPE OF MAIN CIVIC SPACE	CIVIC SPACE % OF AREA	ZONING DISTRICTS (PERCENT OF COMMUNITY AREA)				
				T1 OR T2	T3	T4	T5	TS
HAMLET	10 - 60	N/A	0 - 5%	60% min.	10 - 20%	10 - 20%	0 - 10%	
VILLAGE	40 - 200	Green Square	10-20%	40% min.	0-30%	30-60%	0-15%	
TOWN	40 - 200	Square or Plaza	5-15%	N/A	0-20%	40-70%	10-25%	
RESIDENTIAL SUBDIVISION	Varies	Green Square	5 - 10%	45% min.	N/A	N/A	N/A	
WORKPLACE	Varies	Optional	5 - 10%	N/A	N/A	N/A	N/A	
COMMERCIAL CENTER	Varies	Square or Plaza	5 - 10%	N/A	N/A	N/A	N/A	

(1) At least 60% of the area of a hamlet shall consist of land in either or both the T1 or T2 zoning districts.  
 (2) The land to be dedicated as a main civic space shall be assigned to an appropriate zoning district per Table 3.1 Civic Space Types and Table 4.1 Land Use and Building Type.

### 2.2.4 Mixed-use Community Types, Design

Hamlets, villages, and towns are termed "mixed-use community types." They shall be designed according to the following procedure:

- Structure of a mixed-use community type. The land area of each mixed-use community type shall be allocated according to the percentages of land area in Table 2.3 Community Types, Areas and Civic Space, except that a town shall be aggregated from 2-3 community types per 2.2.2 Town.
- Structure and placement of a pedestrian shed. A pedestrian shed is a notional circle with a radius of 1/4 mile. Each pedestrian shed is placed on the site of a community type. The pedestrian shed should be located according to existing conditions, such as traffic intersections, adjacent developments, transit stations, and natural features.
- Adjustment. Each pedestrian shed shall then be adjusted to include the land falling outside it or between (both) and other pedestrian sheds under the same application, but shall not exceed the size limitations in Table 2.3 Community Types, Areas and Civic Space (The adjusted pedestrian shed(s) or sheds shall then become(s) the boundary of its community type).
- Transect zoning districts. The transect zoning district standards shall be allocated to the community type in the percentage specified in Table 2.3 Community Types, Areas and Civic Space.
- Civic space. (a) A main civic space shall be assigned to each mixed-use community type per Table 2.3 Community Types, Areas and Civic Space (2) The land on which the civic space is to be located shall be assigned to a zoning district that permits the civic space per Table 3.1 Civic Space Types and Table 4.1 Land Use and Building Type (3) The remaining acreage of the community type required to be assigned as civic space shall be computed per the percentage indicated in Table 2.3 Community Types, Areas and Civic Space (4) The remaining acreage shall then be assigned to one or more of the civic spaces of Table 3.1 Civic Space Types. (5) The land on which that those civic space(s) is/are to be located shall then be assigned to corresponding zoning district(s) within the mixed-use community type per Table 2.3 Civic Space Types and Table 4.1 Land Use and Building Type (6) Where a civic space is permitted in more than one zoning district, the zoning district may be assigned from any of the zoning districts in which the civic space is permitted.
- Subdivision Design Standards for Community Types. Each community type shall conform to Article 3 Subdivision Regulations.
- A mixed-use community shall have the wastewater services, types of civic spaces, and the percentages of land allocated to civic space and Transect zoning districts specified in Table 2.2 Community Types, Criteria.

### 2.2.5 Hamlet

- A hamlet is a mixed-use community type.
- A hamlet shall be structured by one pedestrian shed.
- A hamlet shall have a common destination such as a general store, meeting hall, schoolhouse, and/or place of worship.
- A minimum of 60% of the area of the hamlet shall be permanently set aside as the hamlet's "undeveloped portion," and the balance shall be its "developed portion." The undeveloped portion shall be exclusively for agricultural use or any uses permitted in the T1 or T2 zoning districts. This area

Hamlet	Transsect Zone Compliance - Hamlet T1, T2, T3, T4, T5	Transsect Zone Compliance - Hamlet T1, T2, T3, T4, T5																																
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