

**Town of Thompson's Station
Parks Board
Meeting Agenda
March 6, 2018**

Meeting Called To Order

New Business:

1. Approval Of Minutes

Documents:

FEBRUARY 2018 MINUTES.PDF

2. Budget Report

Documents:

2018 02 PARKS BUDGET.PDF

3. Request For Sarah Benson Park Use (Katelynn Stoll)

Request to hold fitness classes at the park

Documents:

CAMP GLADIATOR PARK USAGE LETTER.PDF

4. Approval Of Preservation Park Construction Drawings

Documents:

AMPHITHEATER PLANS.PDF

Adjourn

This meeting will be held at 6:00 p.m. at the Community Center

1555 Thompson's Station Road West

Minutes of the Meeting
of the Municipal Parks and Recreation Advisory Board
of the Town of Thompson 's Station, Tennessee
February 6 , 2018

Call to Order:

The meeting of the Parks and Recreation Advisory Board of the Town of Thompson's Station was called to order at 6:00 p.m. on the 6th day of February 2018 at the Thompson's Station Community Center with the required quorum. Members, aldermen and staff in attendance were: Chairman Jim VanVleet; Vice Chairman David Coleman; Board Member Sheila Shipman; Board Member Layla Bell; Board Member Becky Clark; Board Member Kreis White, Alderman Brian Stover and Town Planner Wendy Deats.

Business:

1. **Approval of Minutes** The minutes of the January 3, 2018 meeting were submitted.

Board Member Shipman made a motion to approve the minutes of the January 2, 2018 meeting as submitted. The motion was seconded and carried unanimously.

2. **Budget Report**

Town Planner Wendy Deats reviewed her report and noted that there is \$8000 in tables, benches, etc., \$13,198 in the amphitheater & outbuilding design for Preservation Park. There is \$47,300 for the Amphitheater, \$18,000 for the Equestrian Loop, \$12,538 for MTEMC and \$15,925 for the Entry Sign. BOMA will review the Resolution for the Jarvis contract at their February meeting and if approved, the work will start soon after.

After discussion, Board Member Coleman made a motion to approve the budget as submitted. The motion was seconded and carried by all.

3. **Preservation Park Updates** – Chris Mantel from Hodgson Douglas came forward to speak on the progress of Preservation Park stating the project is on schedule.

- a. **Amphitheater** – Mrs. Deats informed the board that a bid would need to be released and as was done with the sign, the Parks Board would choose a contract, then BOMA will have to approve the actual expenditure.
- b. **Trail Signs** – Mrs. Deats informed the board that we're waiting for the signs so that we can make them. Post holes have been dug and when the signs come in, Tyler will start making them.

4. **Fundraiser** – Alderman Stover approached the Board about a fundraising event in Sarah Benson Park for the new school PTO. Dates yet to be determined.

5. **Parks Board Letter to BOMA**

Chairman Van Vleet presented a letter written on behalf of the Parks Board to BOMA in opposition of using Preservation Park for drip fields.

Board Member White made a motion to present the letter to BOMA in the form of a non-binding Resolution. The motion was seconded and carried by all.

Minutes of the Meeting
of the Municipal Parks and Recreation Advisory Board
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Board Member White thanked BOMA for the Wastewater presentations to inform the Public.

Adjourn.

The meeting was adjourned at 6:25 p.m.

Jim Van Vleet, Chairman



TOWN OF THOMPSON'S STATION
PARKS AND RECREATION ADVISORY BOARD
FY 2017 - 2018

SUMMARY OF PARKS CAPITAL REVENUE AND EXPENDITURES:

	FY 2017-18			
	Nov-17	Dec-17	Jan-18	Feb-18
Beginning Balance	\$ 132,725	\$ 132,725	\$ 132,725	\$ 118,923
Revenue				
Description				
From General Fund	\$ -	\$ -	\$ -	\$ -
Total Revenues	\$ -	\$ -	\$ -	\$ -
Total Revenues & Fund Balance	\$ 132,725	\$ 132,725	\$ 132,725	\$ 118,923
Expenditures				
Description				
Consulting Fees	\$ -	\$ -	\$ -	\$ -
Park Improvements - Benson Park:				
* Trees	\$ -	\$ -	\$ -	\$ -
* Sign	\$ -	\$ -	\$ -	\$ -
Park Improvements - Preservation Park:				
* Unpaved Pedestrian Trail	\$ -	\$ -	\$ -	\$ -
* Tables, Benches, etc.	\$ -	\$ -	\$ -	\$ -
* Amphitheater Design	\$ -	\$ -	\$ 13,802	\$ -
Total Expenditures	\$ -	\$ -	\$ 13,802	\$ -
Ending Fund Balance	\$ 132,725	\$ 132,725	\$ 118,923	\$ 118,923

Funds encumbered as of February 28, 2018:

Preservation Park

In Progress: Tables, benches, etc. = \$8,000; Amphitheater & Outbuilding (Design) = \$13,198

Not yet started: Amphitheater = \$47,300; Equestrian Loop = \$18,000; MTEMC = \$12,538;

Entry Sign = \$15,925

Unencumbered funds at February 28, 2018: \$118,923 - \$114,961 = \$3,962

Hey Wendy,

I hope you are having a wonderful day! I'm reaching out to you today to discuss possibly utilizing the parks of Thompson around 3pm-4pm or even later times like 4:30 or 5:30pm a couple days a week, starting in March for a large group workout. I sat down with Brian Stover Wednesday and discussed using the parks and he gave me your contact information. We are looking to only use the parking lot area, and possibly any covered areas for our classes. We would be sure to utilize areas that are going to be out of the way of any traffic flow or events that you will have on site.

I am a Trainer with Camp Gladiator (CG) a fitness company coming to Nashville Tennessee this March. CG is not only launching in Nashville but the surrounding areas as well. I hope to work with the parks in Thompson's Station so that I can help bring exercise/fitness to the community. Our goal is to make exercise convenient and fun so that everyone can join in.

Partnering with Thompson's station parks could be mutually beneficial; I anticipate that CG would appeal to your community and any staff members on the parks board. This can help promote a health and fitness throughout your community and allow anyone in the surrounding area or people at the parks see Camp Gladiator and what we promote to get them out doors and getting in shape. Also this will bring more people out to the parks to enjoy the outdoors and to enjoy what your park offers. As a fitness professional, I've learned that two of the most common reasons people don't exercise are due to time and convenience. By allowing us to utilize the parking lot, grassy areas, and covered areas we make it convenient for everyone to come outside and get active. The best part about Camp Gladiator is we never cancel! We would be willing to offer specials, spouse discounts, free month passes, etc.) Exercise is extremely important for overall health and wellness!

If you are interested, and this is a possibility, I would love to come by and talk about the opportunity to speak with you about CG and give more details about us. Below I have some quick details of our liability insurance, certifications, etc.

Our Liability insurance allows us to lift the weight of injury off your shoulders. CG has a \$2 million aggregate insurance policy to make sure any injuries or problems are covered. All participants that sign up with CG that are working out at Independence WILL sign a waiver that takes the liability off the facility, which means you absorb ZERO risk! Which is awesome!

All CG trainers are Certified Personal Trainers (CPT) and are CPR and first aid certified! So you are in good hands!

Our mission is to positively impact the physical fitness and ultimately the lives of as many people as possible! This means we are 100% committed to meeting each and every camper where they are. We make sure to NOT push campers beyond appropriate limits, but we challenge everyone to move their bodies and reach their goals. We believe WE ARE BETTER TOGETHER!

I appreciate your time in reading this request, and hope to hear from you soon!

Thank you, and have a wonderful day!

Check out our website for more information or give me a call!

www.campgladiator.com

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Katelynn Stoll

Partner Trainer

(863) 873-3363

Katelynnstoll@campgladiator.com

www.campGladiator.com

AMPHITHEATER AT PRESERVATION PARK

Thompson's Station, Tennessee

GENERAL NOTES

1. WRITTEN DIMENSIONS PREVAIL OVER SCALED DIMENSIONS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
2. THE CONTRACTOR BARES ALL RESPONSIBILITY FOR VERIFYING ALL UNDERGROUND UTILITIES, PIPES, STRUCTURES, WALKS AND CURBS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DAMAGE TO BEFORE MENTIONED INFRASTRUCTURE THAT ARE TO REMAIN SHALL BE REPAIRED IMMEDIATELY AT NO EXPENSE TO THE OWNER. HODGSON AND DOUGLAS ASSUMES NO RESPONSIBILITY FOR ANY NOT SHOWN ON PLANS.
3. ALL PROPOSED AND FINISHED GRADES ARE BASED ON INFORMATION PROVIDED BY THE OWNERS SURVEY AND/OR CIVIL ENGINEER. ANY DISCREPANCIES IN ACTUAL FIELD MEASUREMENTS ARE TO BE REPORTED TO THE LANDSCAPE ARCHITECT IMMEDIATELY.
4. PRIOR TO COMMENCEMENT OF HARDSCAPE CONSTRUCTION, ALL PIERS, FOOTINGS, AND WALLS ARE TO BE SURVEYED, LAID OUT AND STAKED FOR REVIEW BY LANDSCAPE ARCHITECT. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ANY DEMOLITION, ADJUSTMENTS OR RECONSTRUCTION RESULTING FROM UNAUTHORIZED CONSTRUCTION ACTIVITIES.
5. CONTRACTOR IS RESPONSIBLE FOR ALL QUANTITIES PER DRAWINGS AND SPECIFICATIONS. ANY QUANTITIES PROVIDED BY HODGSON AND DOUGLAS ARE PROVIDED FOR CONVENIENCE ONLY. CONTRACTORS ARE TO BID THEIR OWN QUANTITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES.
6. EASEMENTS, BUILDING SETBACKS, CURB AND GUTTER AND UNDERGROUND UTILITIES HAVE BEEN SUPPLIED TO HODGSON AND DOUGLAS BY THE PROJECT CIVIL ENGINEER. REFER TO CIVIL DRAWINGS FOR ADDITIONAL INFORMATION.
7. CONTRACTOR TO REFER TO STRUCTURAL DRAWINGS FOR ALL SITE CONCRETE DETAILS AND MIXES.
8. CONTRACTOR TO VERIFY THAT A MIN. DEPTH OF 3' OF SPECIFIED PLANTING MIX PROVIDED FOR ALL PROPOSED PLANTING AREAS. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY.

LAYOUT NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY PERMITS, GIVING NOTICES, AND PAYING FEES. THE CONTRACTOR SHALL COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING CODES AND ORDINANCES RELATING TO THIS CONSTRUCTION PROJECT.
2. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS, OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL BE REQUIRED TO NOTIFY LANDSCAPE ARCHITECT BEFORE PROCEEDING WITH THE WORK.
3. WHERE PLAN DETAILS DIFFER FROM CITY STANDARDS, THE LATTER SHALL BE SUBSTITUTED IF APPROVED IN WRITING BY THE LANDSCAPE ARCHITECT.
4. DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WORK.
5. NO SUBSTITUTIONS OF ANY MATERIALS SHALL BE ALLOWED WITHOUT WRITTEN CONSENT OF LANDSCAPE ARCHITECT.
6. PROVIDE VERTICAL EXPANSION JOINTS WHERE ALL PAVEMENT ABUTS WALLS OR OTHER VERTICAL SURFACES (TYP.).
7. CONTRACTOR TO LAYOUT ALL **PROPOSED WALLS, STEPS, PAVERS, WALLS, HANDRAILS AND LIGHTING** AND RECEIVE LANDSCAPE ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.

ENGINEERED SHOP DRAWINGS AND SUBMITTALS

CONTRACTOR SHALL PREPARE/ PROVIDE SHOP DRAWINGS FOR REVIEW BY LANDSCAPE ARCHITECT FOR THE FOLLOWING ITEMS:

- 1: (S-1) STONE SEAT WALL

MOCK-UP

CONTRACTOR SHALL PREPARE/ PROVIDE MOCK-UP'S FOR REVIEW BY LANDSCAPE ARCHITECT FOR THE FOLLOWING ITEMS: MOCKUPS TO BE MINIMUM 3'X3' IN SIZE .

- 1: (S-1) STONE SEAT WALL

SAMPLES

CONTRACTOR SHALL PREPARE/ PROVIDE SAMPLES FOR REVIEW BY LANDSCAPE ARCHITECT FOR THE FOLLOWING ITEMS:

- 1: (S-1) STONE CAP
2: (S-2) STONE VENEER

ABBREVIATIONS

E.J.	EXPANSION JOINT	+00.00	PLAN DATUM
C.J.	CONTROL JOINT	+00.00 TOS	TOP OF STEP
	REVISION TAG	+00.00 BOS	BOTTOM OF STEP
	ANGLE	+00.00 TOW	TOP OF WALL
	PERPENDICULAR	+00.00 BOW	BOTTOM OF WALL
	DIAMETER		POINT OF BEGINNING
	ELEVATION DATUM	PIP	POURED IN PLACE

SYMBOLS LEGEND

	MATCHLINE		MATCHLINE
	CENTERLINE		
	L.O.W.		LIMIT OF WORK
	E.J.		EXPANSION JOINT
	C.J.		CONTROL JOINT
	SECTION CUT LINE		POINT OF BEGINNING
	ENLARGEMENT AREA		ALIGN ELEMENTS
	(C-1) CONCRETE PAVING		MATERIAL CALLOUT
	CALLOUT		CALLOUT
			DETAIL CALLOUT
			ELEVATION CALLOUT
			SECTION CALLOUT

MATERIAL LEGEND

CONCRETE

(C-1) CONCRETE WALL	
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PATTERN: RUNNING BOND
COLOR: LIMESTONE GRAY
FINISH: #13, NO BEVELS, SQUARE EDGES
MANUFACTURER: HANOVER PAVERS

STONE

(S-1) LIMESTONE CAP	
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TYPE: INDIANA LIMESTONE
COLOR: RUSTIC BUFF
JOINTING: SEE DETAILS
INSTALLATION AND PATTERN: SEE DETAIL
SUPPLIER: LOCAL SUPPLIER

(S-2) STONE VENEER	
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TYPE: TENNESSEE FIELDSTONE
COLOR: RUSTIC BUFF
JOINTING: SEE DETAILS
INSTALLATION AND PATTERN: SEE DETAIL
SUPPLIER: LOCAL SUPPLIER

NO. Date Issues/Revisions

STAMP

NOT FOR CONSTRUCTION

PROJECT NAME
**PRESERVATION PARK
AMPHITHEATER**
Thompson's Station,
Tennessee

Stage CD

PROJECT NO.: 171868
DRAWN BY:
CHECKED BY:

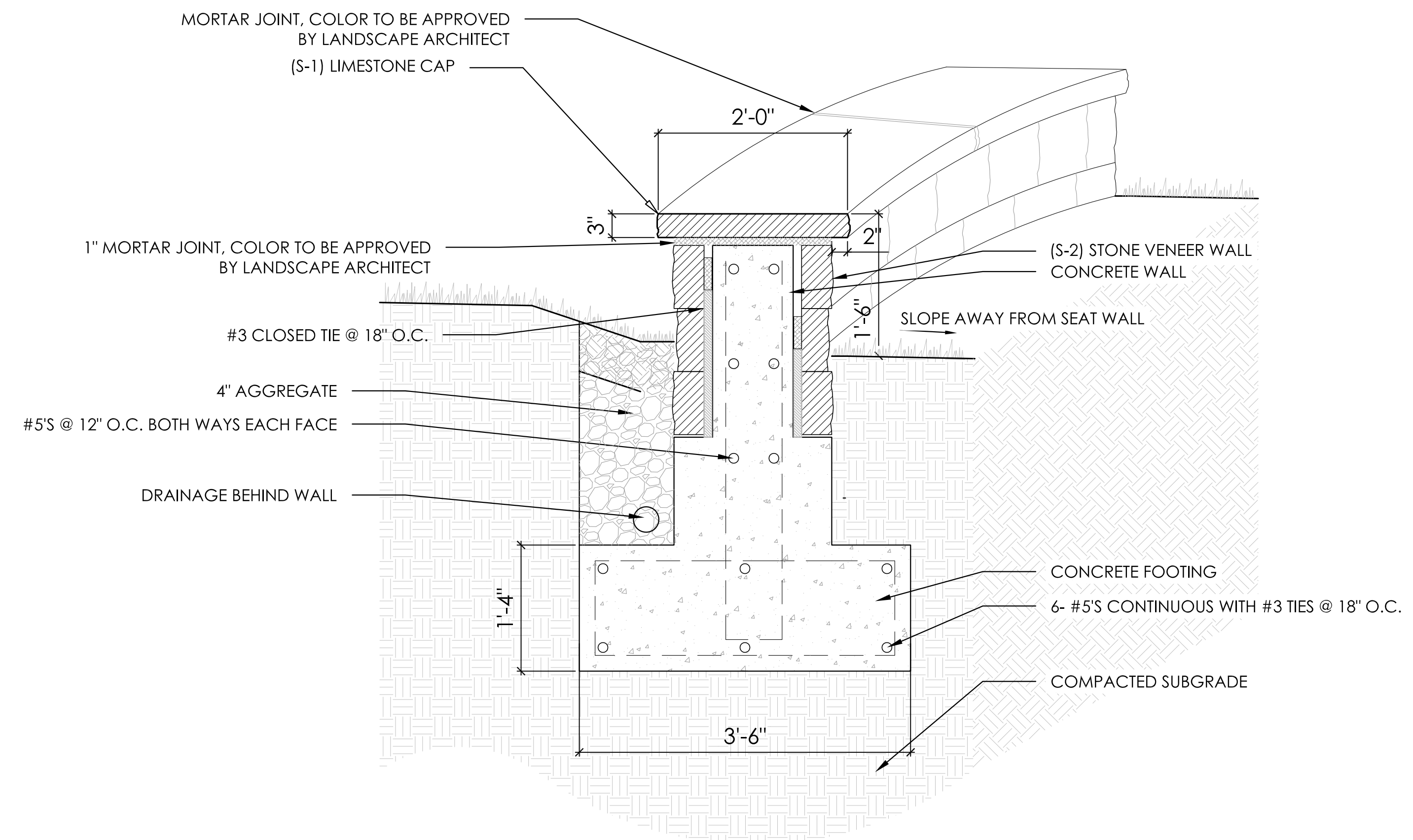
DRAWING TITLE

MATERIALS
LEGEND

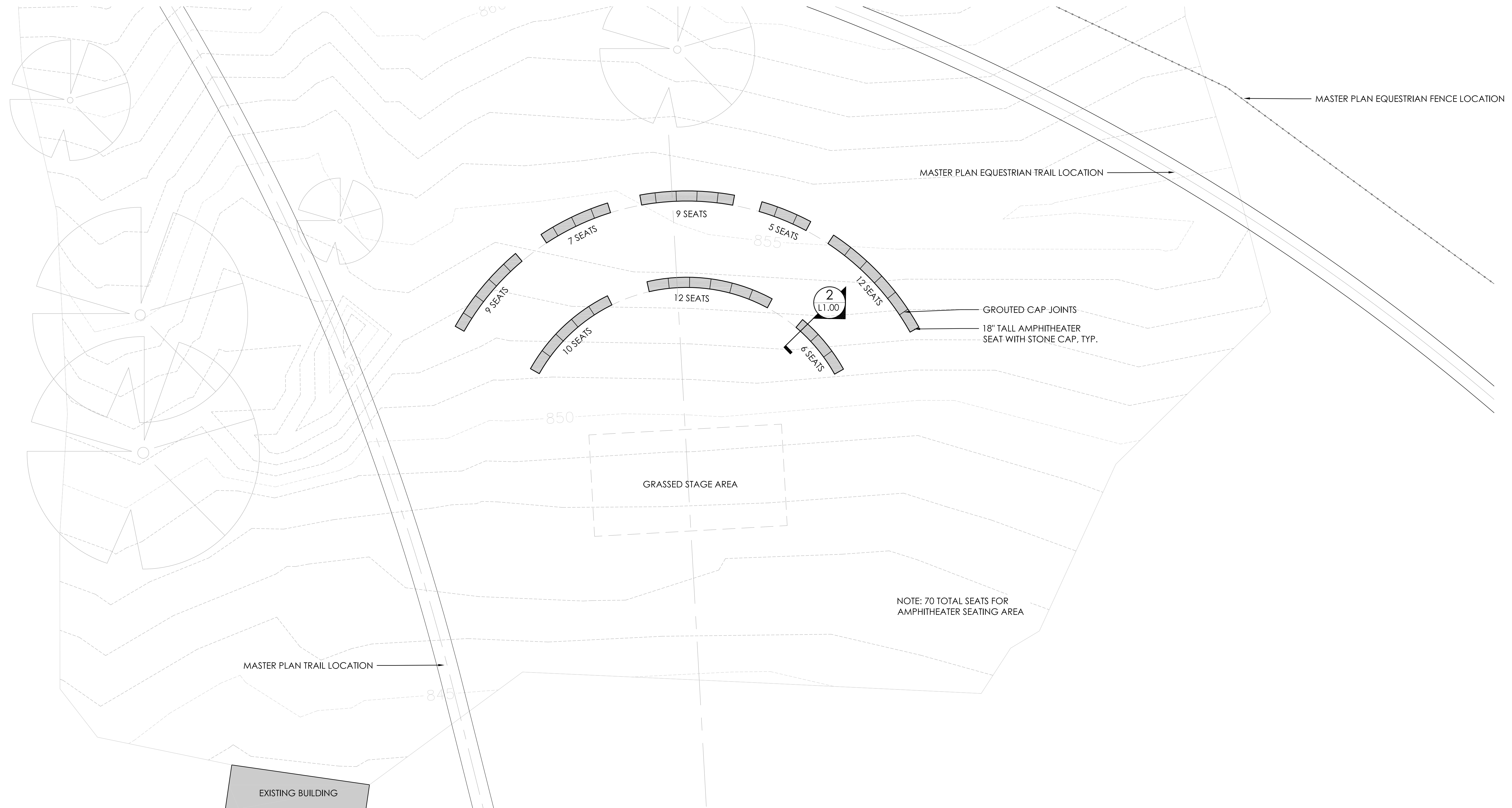
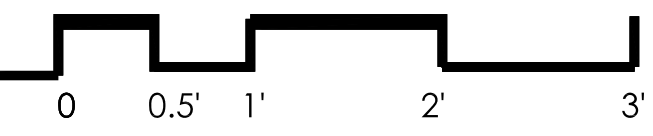
DATE: Jan. 09, 2018
SCALE:

DRAWING NUMBER

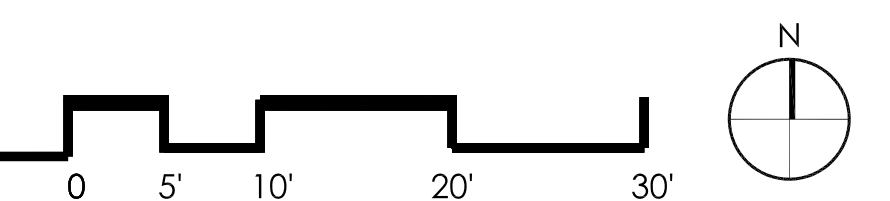
L0.00



2 STONE BENCH DETAIL



1 SITE PLAN



NO.	Date	Issues/Revisions

STAMP
 NOT FOR CONSTRUCTION

PROJECT NAME
PRESERVATION PARK AMPHITHEATER
 Thompson's Station, Tennessee

Stage CD

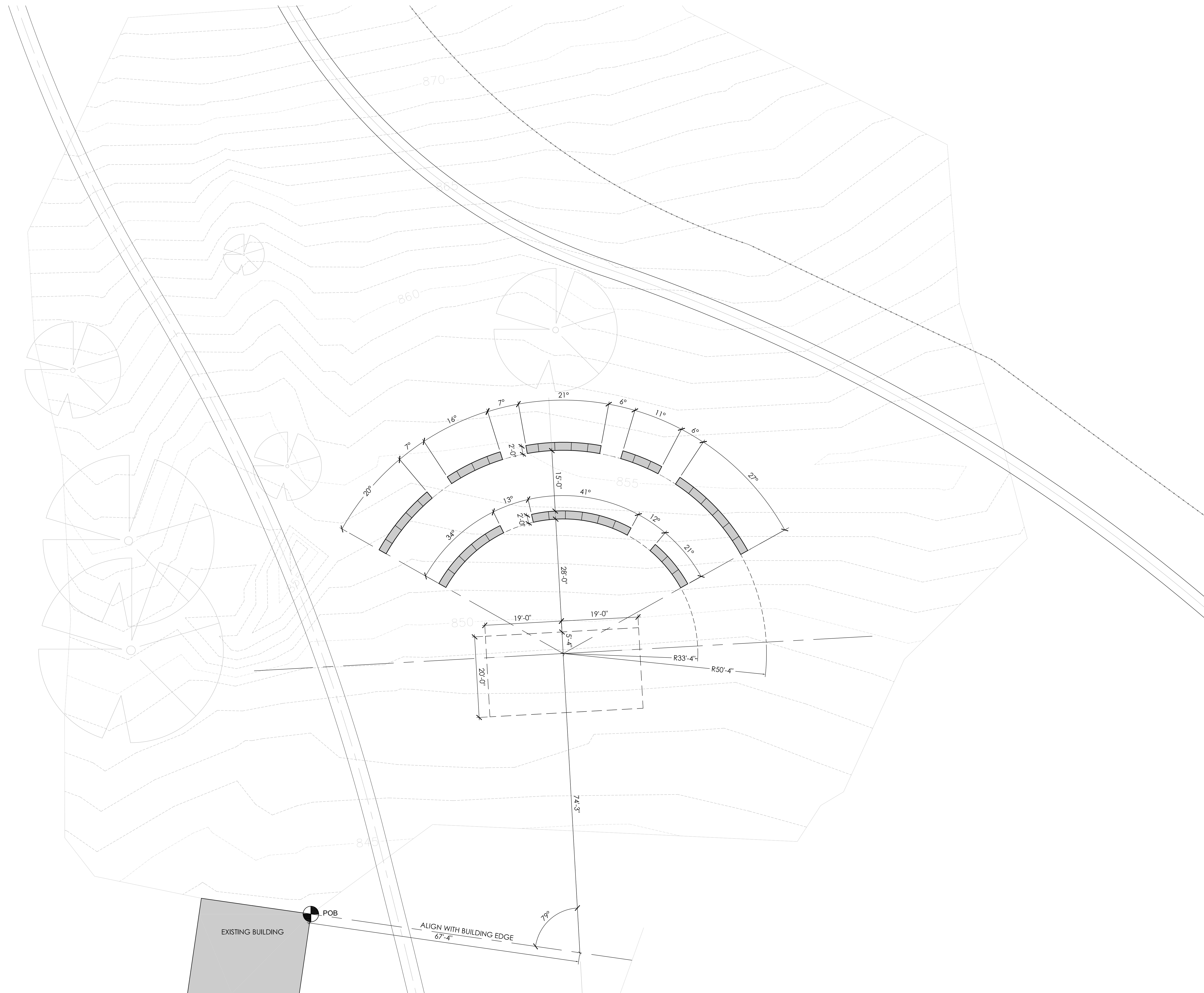
PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

DRAWING TITLE
SITE PLAN & DETAIL

DATE: Jan. 09, 2018
 SCALE:

DRAWING NUMBER

L1.00



NO. Date Issues/Revisions

STAMP
 NOT FOR CONSTRUCTION

PROJECT NAME
**PRESERVATION PARK
 AMPHITHEATER**
 Thompson's Station,
 Tennessee

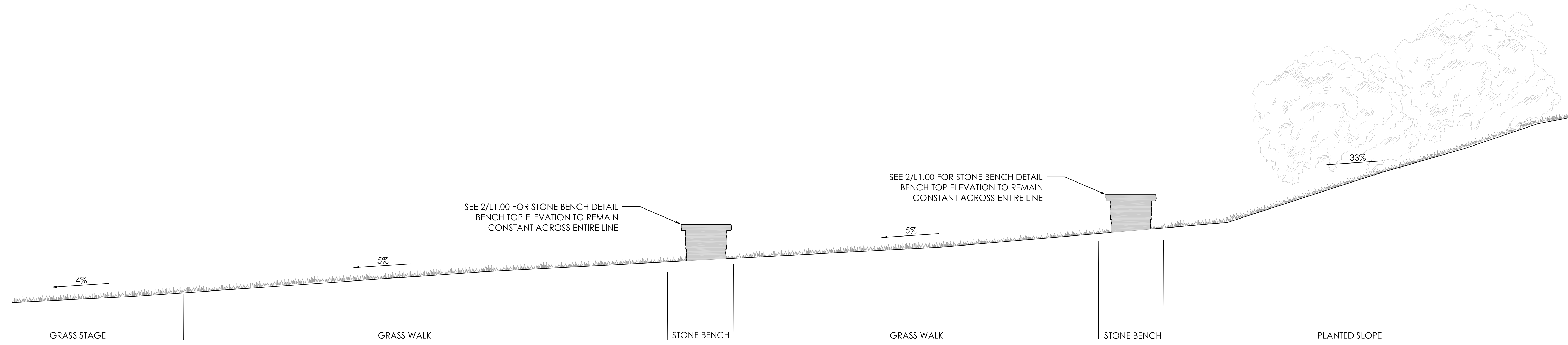
Stage CD

PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

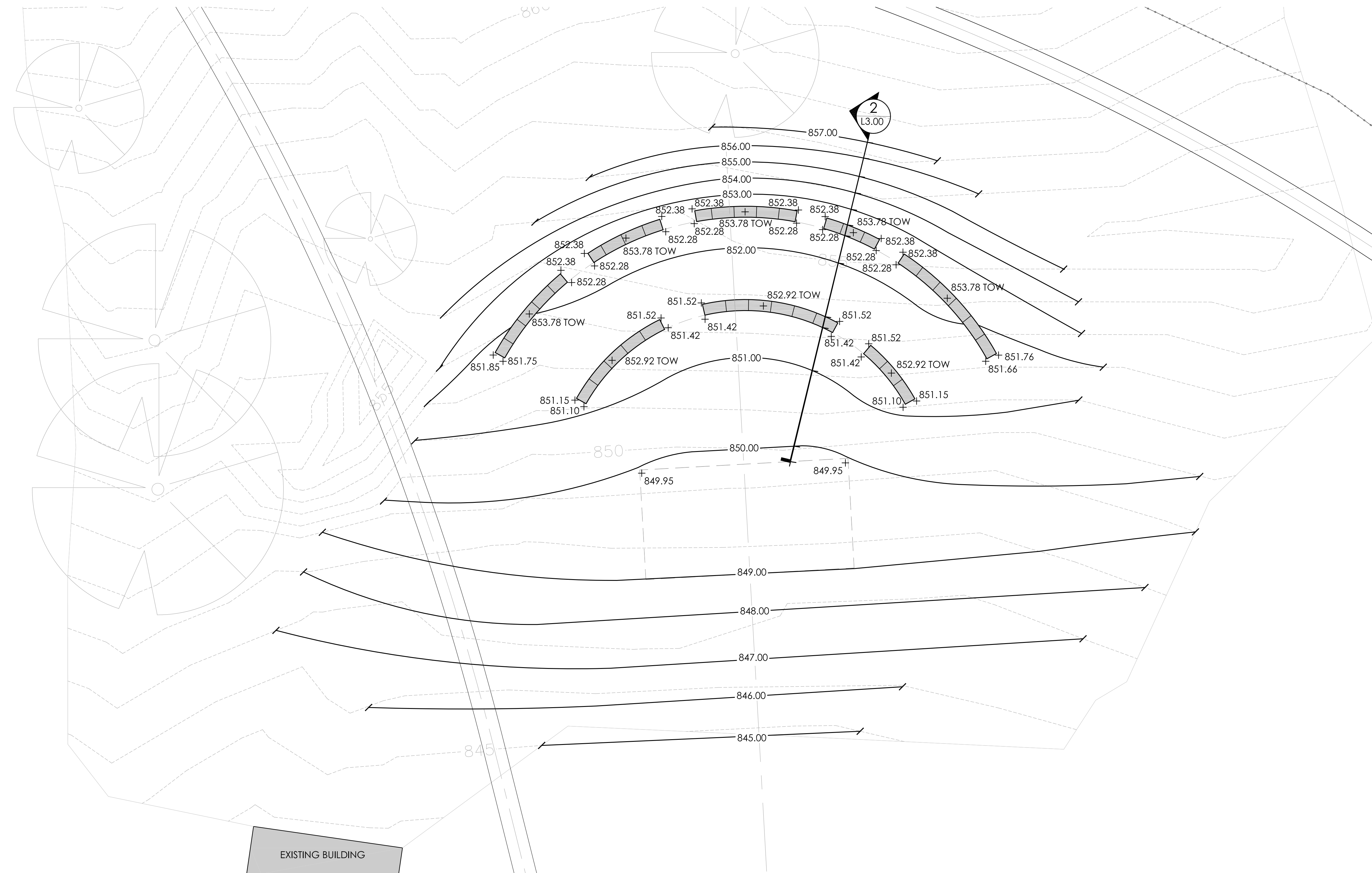
DRAWING TITLE
LAYOUT PLAN

DATE: Jan. 09, 2018
 SCALE:

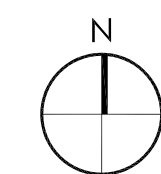
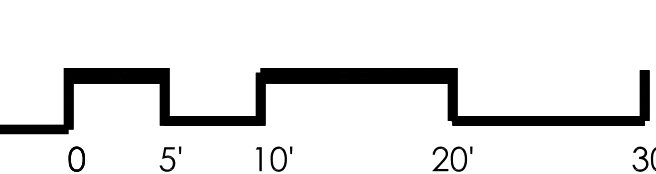
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2 AMPITHEATER SECTION



1 GRADING PLAN



NO.	Date	Issues/Revisions

STAMP
 NOT FOR CONSTRUCTION

PROJECT NAME
PRESERVATION PARK
AMPITHEATER
 Thompson's Station, Tennessee

Stage CD

PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

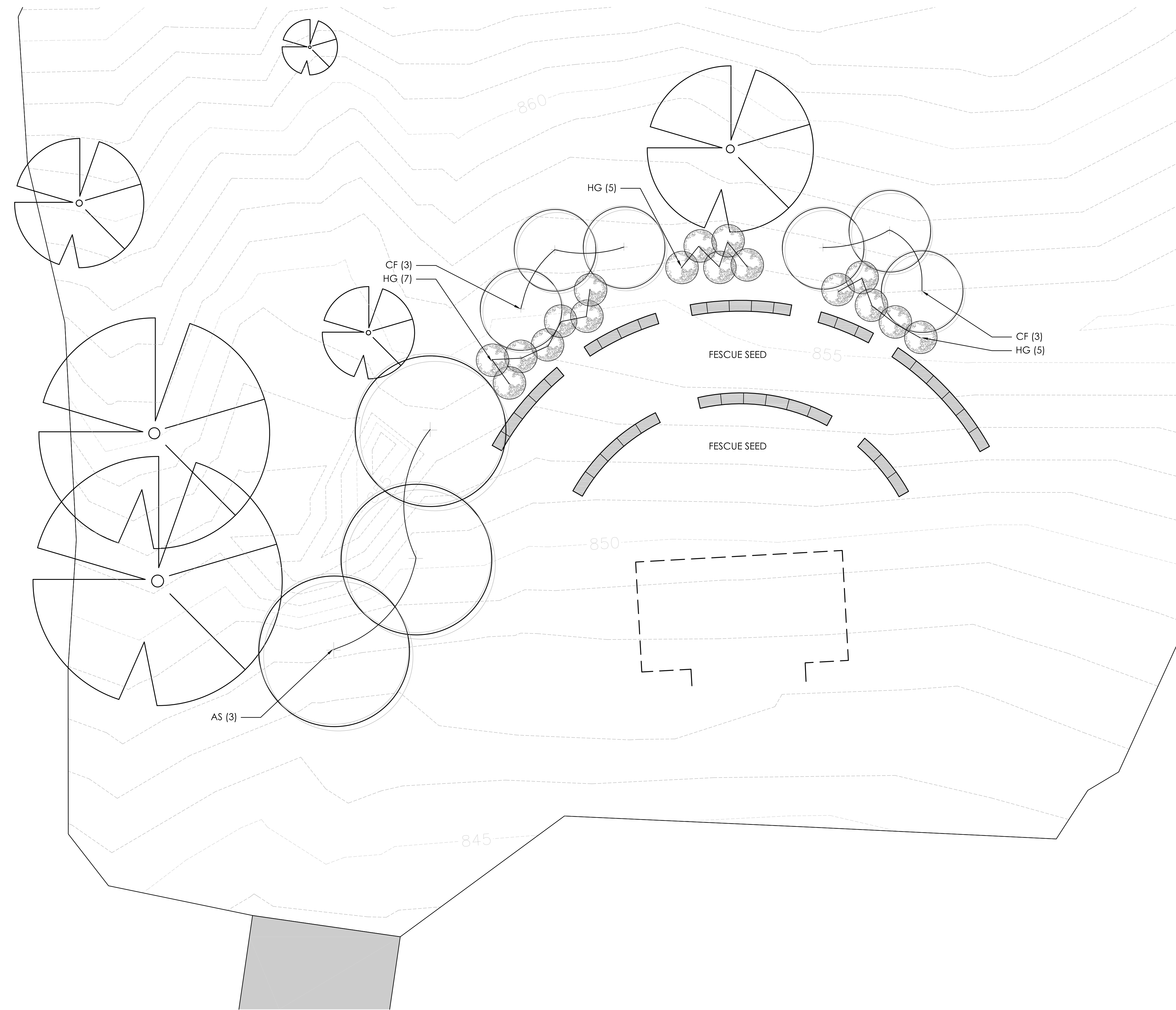
DRAWING TITLE
GRADING PLAN & SECTION

DATE: Jan. 09, 2018
 SCALE:

DRAWING NUMBER

L3.00

PLANT SCHEDULE										
Group	Qty	Plant Key	Botanical Name	Common Name	Hgt	Sprd.	Caliper	Root	Spacing	Notes
Trees		AS	Acer saccharum 'Green Mountain'	Sugar Maple 'Green Mountain'	12'	4'	3" cal.	B&B	As Shown	Dense, well-branched, full crown
		CF	Cornus florida 'Cherokee Chief'	Cherokee Chief Dogwood	8'		2 1/2" cal.	B&B		Matched, full head
Shrubs		HG	Hydrangea grandiflora	Oakleaf	4'	4'		3 gal.	4' O.C.	Well-branched, dense, matched



1 PLANTING PLAN

NO. Date Issues/Revisions

STAMP

NOT FOR CONSTRUCTION

PROJECT NAME
**PRESERVATION PARK
 AMPHITHEATER**
 Thompson's Station,
 Tennessee

Stage CD

PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

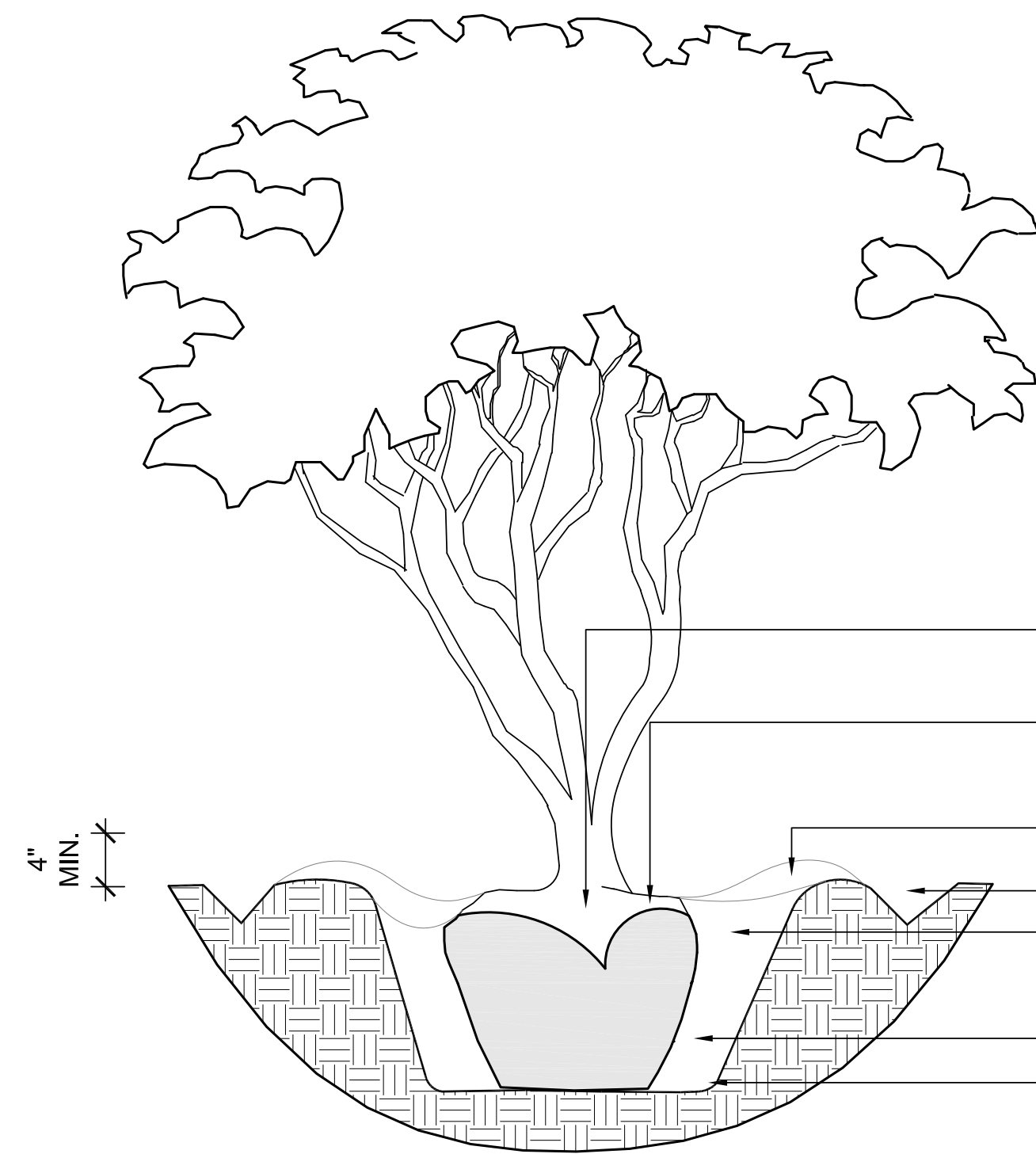
DRAWING TITLE

PLANTING PLAN

DATE: Jan. 09, 2018
 SCALE:

DRAWING NUMBER

L5.00



SELECT PRUNE 1/3 BRANCHING HABIT. CONFORM TO HORTICULTURAL PRACTICES AS ESTABLISHED BY AMERICAN ASSOC. OF NURSERYMEN AMERICAN STANDARD FOR NURSERY STOCK, 1980. (TYPICAL FOR ALL TREE AND SHRUB PLANT MATERIAL.)

IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK TO LIMITS SHOWN & PROVIDE DRAINAGE AWAY FROM EACH TREE PIT.

TREES OF THE SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY.

ROOT BALL AND ROOT FLARE TO BE VISIBLE AND EVEN W/ PROPOSED GRADE.

ROOT BALL AND ROOT FLARE TO BE VISIBLE AND EVEN W/ PROPOSED GRADE.

TOP OF ROOT BALL TO MATCH PREVIOUS GROWING CONDITIONS. REMOVE TOP 1/3 PORTION OF BURLAP.

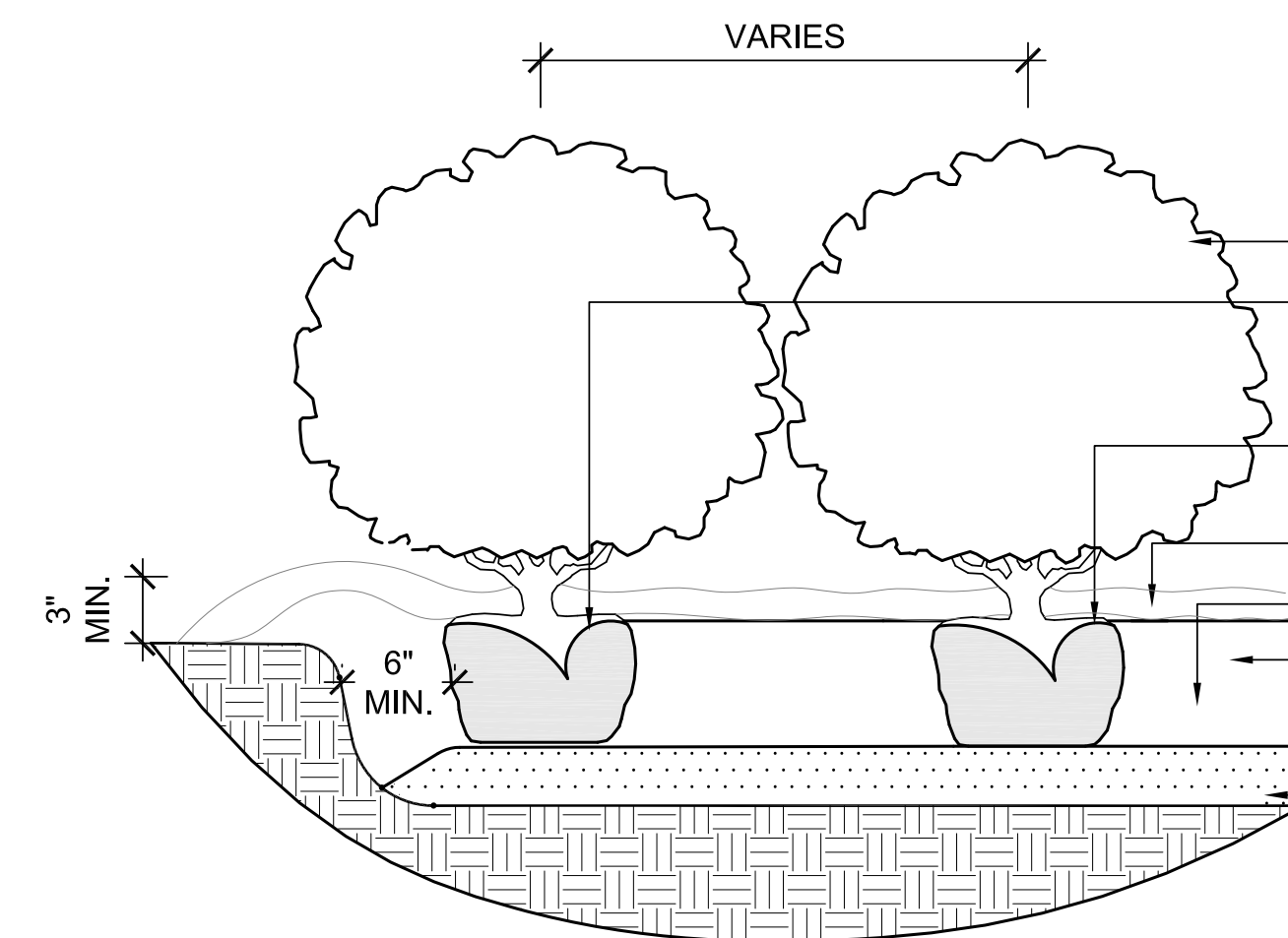
MULCH

NEATLY TRENCH EDGE OF SAUCER. FILL W/ PLANT SOIL MIXTURE, ONE PART PEAT, ONE PART SAND, & TWO PARTS NATIVE TOPSOIL.

PLANTER SOIL TAMPED FIRM. SCARIFY BEFORE PLANTING.

1 MULTI-TRUNK TREE PLANTING

N.T.S.



VARIES

DO NOT PRUNE BEFORE ACCEPTANCE.

TOP OF ROOT BALL TO MATCH PREVIOUS GROWING CONDITIONS. REMOVE TOP 1/3 PORTION OF BURLAP.

FOR HEDGE PLANTING ON SLOPED AREA FORM SAUCER FOR EACH SHRUB.

COVER SAUCER W/ 3" OF MULCH.

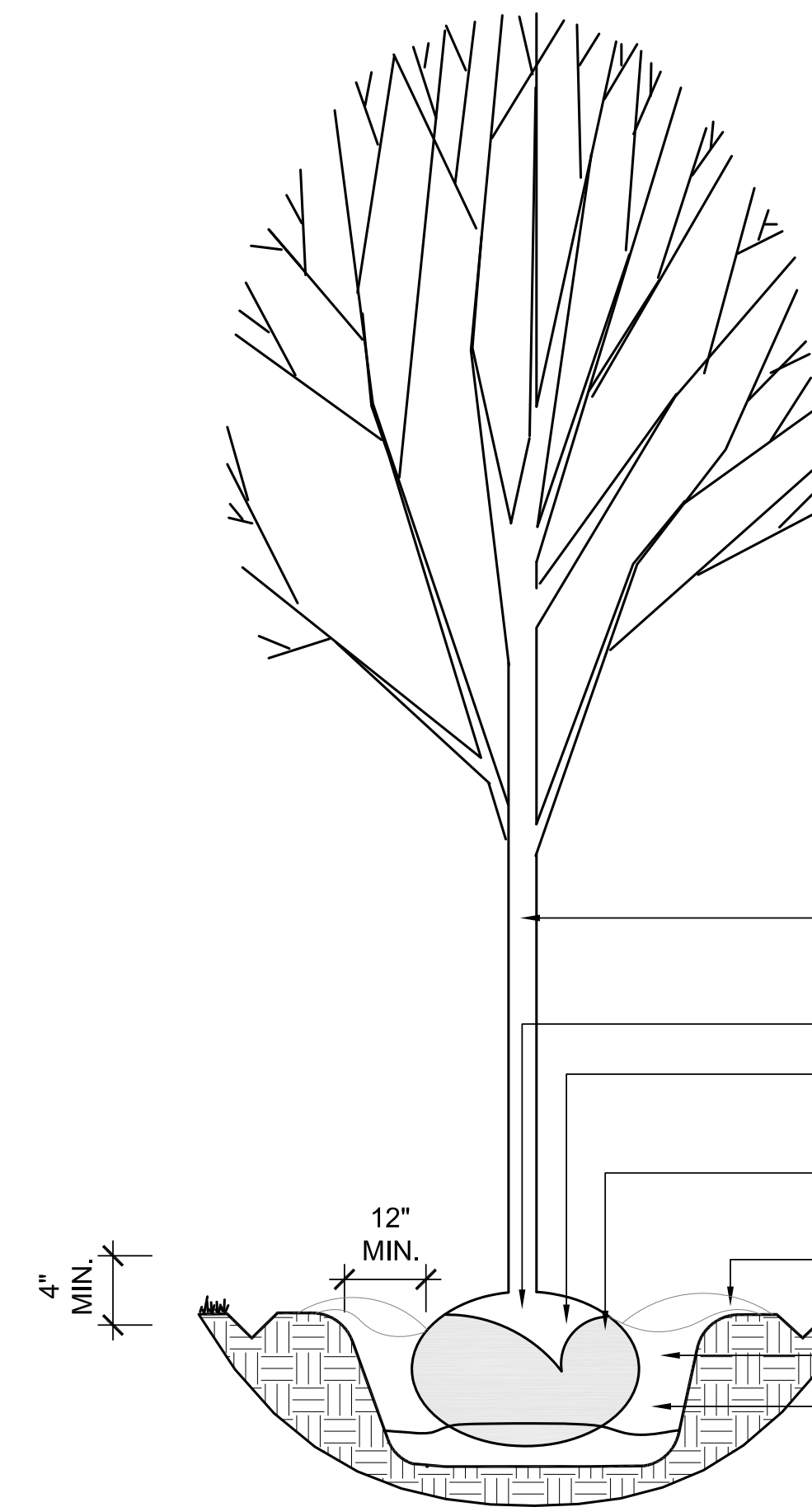
SCARIFY SIDES OF TRENCH BEFORE PLANTING.

FILL W/ PLANT SOIL MIXTURE, ONE PART PEAT, ONE PART SAND, & TWO PARTS NATIVE TOPSOIL.

TOPSOIL MIXTURE TAMPED FIRM (4" MIN.)

2 MASS SHRUB PLANTING

N.T.S.



TOP OF ROOTBALL TO MATCH PREVIOUS GROWING CONDITIONS

IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK TO LIMITS SHOWN & PROVIDE DRAINAGE AWAY FROM EACH TREE PIT.

TOPSOIL TAMPED BEFORE PLANTING (3" TYP.)

TREES OF THE SAME SPECIES TO BE MATCHED IN GROWTH AND UNIFORMITY.

THIN BRANCHES BY 25%. RETAIN NATURAL SHAPE IN GROWTH AND UNIFORMITY.

PROTECT SMOOTH BARK FROM SUN SCALD PRIOR TO PLANTING.

DO NOT MULCH AROUND TRUNK.

ROOT BALL AND ROOT FLARE TO BE VISIBLE AND EVEN W/ PROPOSED GRADE.

REMOVE TOP 1/3 PORTION OR BURLAP. NEATLY TRENCH EDGE OF SAUCER.

4" SAUCER-FILL WITH MULCH & WATER IMMEDIATELY AFTER PLANTING.

SCARIFY BEFORE PLANTING.

FILL W/ PLANT SOIL MIXTURE, ONE PART PEAT, ONE PART SAND, & TWO PARTS NATIVE TOPSOIL.

3 TREE PLANTING

N.T.S.

PLANTING NOTES

- TREAT ALL GROUND COVER BEDS WITH PRE-EMERGENT HERBICIDE PRIOR TO PLANTING. CONTRACTOR IS RESPONSIBLE FOR ALL WEEDING UNTIL FINAL ACCEPTANCE.
- ALL PLANT BEDS TO BE NEATLY LAID IN WITH 3" DEEP TRENCH EDGING BORDER.
- ALL GROUND COVER AND PLANT BEDS SHALL HAVE 2" OF SAND AND 2" OF PEAT MOSS OR FINE BARK PLACED OVER THE ENTIRE AREA AND THEN MIXED INTO THE TOP 8" OF SOIL WITH A TILLER. FINAL GRADES FOR ALL PLANT BEDS SHALL BE 1" BELOW EDGE OF WALK OR CURBING SO THAT WHEN 3" OF MULCH IS ADDED THE MULCH WILL BE 2" ABOVE THE WALKS. TAPER MULCH DOWN TO EDGE OF WALK OR CURB.
- ALL AREAS WITHIN PLANT BEDS TO BE MULCHED WITH 3" DEEP LAYER OF DECOMPOSED SHREDDED HARDWOOD BARK.
- ALL TREES OF A SIMILAR SPECIES TO BE MATCHED IN SIZE AND UNIFORMITY.
- CONTRACTOR TO WARRANTY ALL PLANTINGS FOR A PERIOD OF ONE YEAR AFTER DATE OF FINAL ACCEPTANCE BY OWNER. WARRANTY TO INCLUDE ALL DEFECTS INCLUDING DEATH OR UNSATISFACTORY GROWTH; EXCEPT FOR DEFECTS RESULTING FROM LACK OF ADEQUATE MAINTENANCE, NEGLIGENCE OR ABUSE BY OWNER, OR ABNORMAL WEATHER CONDITIONS UNUSUAL FOR WARRANTY PERIOD.
- CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE OF PLANTS UNTIL TIME OF FINAL ACCEPTANCE.
- PROVIDE TREES, SHRUBS, AND PLANTS OF QUALITY, SIZE, GENUS, SPECIES AND VARIETY SHOWN AND SCHEDULED FOR LANDSCAPE WORK AND COMPLYING WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PROVIDE HEALTHY, VIGOROUS STOCK, GROWN IN A RECOGNIZED NURSERY IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE AND FREE OF DISEASE, INSECTS, EGGS, LARVAE, AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. HEIGHT AND WIDTH SHOWN ARE MINIMUM SIZES.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM A MINIMUM OF 6 SUPPLIERS TO LANDSCAPE ARCHITECT, TOGETHER WITH A PROPOSAL FOR USE OF EQUIVALENT MATERIAL PRIOR TO FINAL BID DATE.
- SUBMIT TYPEWRITTEN INSTRUCTIONS RECOMMENDING PROCEDURES TO BE ESTABLISHED BY OWNER FOR MAINTENANCE OF LANDSCAPE WORK FOR ONE FULL YEAR; SUBMIT PRIOR TO EXPIRATION OF REQUIRED MAINTENANCE PERIOD.
- DELIVER PACKAGED MATERIALS IN CONTAINERS SHOWING WEIGHT, ANALYSIS, AND NAME OF MANUFACTURER. PROTECT MATERIALS FROM DETERIORATION DURING DELIVERY AND WHILE STORED AT THE SITE.
- DELIVER TREES AND SHRUBS AFTER PREPARATIONS FOR PLANTING HAS BEEN COMPLETED AND PLANT IMMEDIATELY. IF PLANTING IS DELAYED MORE THAN 6 HOURS AFTER DELIVERY, SET TREES AND SHRUBS IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST BY COVERING WITH MULCH, BURLAP, OR OTHER ACCEPTABLE MEANS OF RETAINING MOISTURE.
- DETERMINE LOCATION OF UNDERGROUND UTILITIES AND PERFORM WORK IN A MANNER WHICH WILL AVOID POSSIBLE DAMAGE. HAND EXCAVATE AS REQUIRED. MAINTAIN GRADE STAKES SET BY OTHERS UNTIL REMOVAL IS MUTUALLY AGREED UPON BY PARTIES CONCERNED.
- PROVIDE NEW TOPSOIL WHICH IS FERTILE, FRIABLE, NATURAL LOAM, SURFACE SOIL THAT IS REASONABLY FREE OF SUBSOIL, CLAY LUMPS, BRUSH, WEEDS, AND OTHER LITTER, AND FREE OF ROOTS, STUMPS, STONES LARGER THAN 2" IN ANY DIMENSION, AND OTHER EXTRANEOUS OR TOXIC MATTER HARMFUL TO PLANT GROWTH. TOPSOIL TO HAVE A MINIMUM OF 5-8% ORGANIC MATERIAL. ESTABLISHED BY LABORATORY BURN TEST. OBTAIN TOPSOIL FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL CHARACTERISTICS TO THAT FOUND ON SITE. OBTAIN TOPSOIL ONLY FROM NATURALLY, WELL-DRAINED, SITES WHERE TOPSOIL OCCURS IN A DEPTH OF NO LESS THAN 4"; DO NOT OBTAIN FROM BOGS OR MARSHES.
- BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING. MAINTAIN TREES, SHRUBS, AND OTHER PLANTINGS BY PRUNING, WATERING, CULTIVATING AND WEEDING AS REQUIRED FOR HEALTHY GROWTH. RESTORE PLANTING SAUCERS, RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE. MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREAS.
- WHERE INSPECTED LANDSCAPE WORK DOES NOT COMPLY WITH REQUIREMENTS, REPLACE REJECTED WORK AND CONTINUE SPECIFIED MAINTENANCE UNTIL REINSPECTED BY LANDSCAPE ARCHITECT AND FOUND TO BE ACCEPTABLE. REMOVE REJECTED PLANTS AND MATERIALS PROMPTLY FROM PROJECT SITE.
- ANY AND ALL QUANTITIES INDICATED ON THE PLANT SCHEDULE AND PLAN ARE PROVIDED FOR THE CONVENIENCE OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN QUANTITY CALCULATION AND THE LIABILITY WHICH PERTAINS TO THOSE QUOTATIONS. ANY DISCREPANCY SHALL BE CALLED TO THE ATTENTION OF THE LANDSCAPE ARCHITECT IMMEDIATELY.
- LOCATIONS OF ALL PLANT BEDS AND TREES TO BE STAKED AND APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PLANTING.
- SCARIFY ALL TREE PITS BEFORE PLANTING. VERIFY THAT ALL TREE PITS ADEQUATELY DRAIN BEFORE PLANTING TREES.
- IF ROCK IS ENCOUNTERED, CONTRACTOR TO REMOVE ROCK AND PROVIDE DRAINAGE AWAY FROM EACH TREE PIT.
- SHRUBS AND GROUND COVER BEDS TO BE PLANTED IN A TRIANGULAR SPACING. SEE PLANTING SCHEDULE FOR DISTANCES.
- PROVIDE TRUE RADII FOR THE LAYOUT OF ALL PLANT BEDS.
- REFER TO PROJECT MANUAL REGARDING TREE FERTILIZATION AND PRUNING.
- SEED APPLICATION MUST OCCUR IN EITHER THE SPRING OR FALL.
- ADD POLYMER PLANTING GEL AROUND TREES DURING PLANTING.

NURSERY NOTES:

TREES TO BE OF THE HIGHEST GRADE AND MUST BE PROVIDED BY THE FOLLOWING APPROVED NURSERIES:

- SELECT TREES, ATHENS, GA. (706) 769-9879
- BOLD SPRINGS NURSERY, HAWKINSVILLE, GA. (478) 783-4975
- SHADY GROVE PLANTATION AND NURSERY, ORANGEBURG, S.C. (800) 849-5723
- WATKINS NURSERIES, MIDLOTHIAN, VA. (804) 379-8733
- HUNTER TREES NURSERY, LLC. BIRMINGHAM, AL (866) 348-6837
- HAWKERSMITH NURSERY, TULLAHOMA, TN (931) 455-5436
- GREEN RIDGE TREE FARM, ELIZABETHTOWN, KY 42701 (270) 737-2399
- SOUTHEASTERN GROWERS, INC. WATKINSVILLE, GA. (706) 310-1151

NO. Date Issues/Revisions

STAMP
 NOT FOR CONSTRUCTION

PROJECT NAME
PRESERVATION PARK
AMPHITHEATER
 Thompson's Station, Tennessee

Stage CD

PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

DRAWING TITLE
PLANTING NOTES & DETAILS

DATE: Jan. 09, 2018
 SCALE:

DRAWING NUMBER

L5.01



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NO DRAWINGS OR TEXT BEYOND THIS LINE

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ELECTRICAL LEGEND					
SYMBOL	DESCRIPTION	MOUNTING HT TO CENTERLINE UNO	SYMBOL	DESCRIPTION	MOUNTING HEIGHT TO CENTERLINE UNO
FIRE ALARM SYSTEM					
[L]	FLASHING LIGHT	80"	[C]	CONDUIT CONCEALED IN WALL OR CEILING.	
[L-C]	CHIME FLASHING LIGHT COMBINATION	80"	[C-F]	CONDUIT CONCEALED IN FLOOR	
[F]	MANUAL PULL STATION	46"	[C-E]	CONDUIT EXPOSED ON WALL OR CEILING.	
[SD]	SMOKE DETECTOR	CEILING	[H]	HOMERUN CONDUIT	
[SDS]	DUCT-SMOKE DETECTOR (DAMPER) OR (EXHAUST)		[C-U]	CONDUIT TURNING UP	
[HD]	AUTOMATIC HEAT DETECTOR (RATE OF RISE TYPE)		[C-D]	CONDUIT TURNING DOWN	
[S]	SYSTEM CONNECTED SMOKE DETECTOR FOR FIREMAN'S RECALL	CEILING	[S]	SURFACE MOUNTED LIGHT FIXTURE ON NORMAL BRANCH CIRCUIT	
[FSD]	FIRE SMOKE DAMPER		[S-E]	SURFACE MOUNTED FIXTURE ON EMERGENCY BRANCH CIRCUIT	
[SH]	SMOKE DOOR HOLDER	6'-0"	[S-C]	SURFACE MOUNTED FIXTURE ON CRITICAL BRANCH CIRCUIT	
[TS]	TAMPER SWITCH		[R]	RECESSED LIGHT FIXTURE ON NORMAL BRANCH CIRCUIT	
[FS]	FLOW SWITCH	CEILING	[R-E]	RECESSED LIGHT FIXTURE ON EMERGENCY BRANCH CIRCUIT	
[L-H]	FLASHING LIGHT/HORN SIGNAL STATION	80"	[S-W]	SURFACE MOUNTED WALL LIGHT FIXTURE ON NORMAL BRANCH CIRCUIT	
[FNS]	FLASHING LIGHT SPEAKER SIGNAL STATION	80"	[S-EW]	SURFACE MOUNTED WALL LIGHT FIXTURE ON EMERGENCY BRANCH CIRCUIT	
[FACP]	CONTROL PANEL		[R-W]	RECESSED WALL LIGHT FIXTURE ON NORMAL BRANCH CIRCUIT	
[FAA]	REMOTE ANNUNCIATOR		[R-EW]	RECESSED MOUNTED WALL LIGHT FIXTURE ON EMERGENCY BRANCH CIRCUIT	
[DC]	DOOR CONTACTOR		[R-CW]	RECESSED MOUNTED WALL LIGHT FIXTURE ON CRITICAL BRANCH CIRCUIT	
MISCELLANEOUS					
[RGA]	REMOTE GENERATOR ANNUNCIATOR		[S-S]	SURFACE/SUSPENDED MOUNTED LIGHT FIXTURE ON NORMAL BRANCH CIRCUIT	
[CR]	CARD READER		[S-E-S]	SURFACE/SUSPENDED MOUNTED LIGHT FIXTURE ON EMERGENCY BRANCH CIRCUIT	
[EDS]	ELECTRIC DOOR STRIKE		[S-C-S]	SURFACE/SUSPENDED MOUNTED LIGHT FIXTURE ON CRITICAL BRANCH CIRCUIT	
[MEL]	MAGNETIC DOOR STRIKE		[R]	RECESSED LIGHT FIXTURE ON NORMAL BRANCH CIRCUIT	
[RMD]	REQUEST TO EXIT MOTION DETECTOR		[R-E]	RECESSED LIGHT FIXTURE ON EMERGENCY BRANCH CIRCUIT	
[RPF]	REQUEST TO EXIT PUSH DETECTOR		[R-C]	RECESSED LIGHT FIXTURE ON CRITICAL BRANCH CIRCUIT	
[D]	DATA DUPLEX	18"	[E]	EXIT LIGHT, CEILING MOUNTED	
[A-C]	ABOVE COUNTER DATA DUPLEX	46"	[E-W]	EXIT LIGHT, WALL MOUNTED	
[WAP]	WIRELESS ACCESS POINT		[Y-E]	TWO HEAD BATTERY POWERED EMERGENCY EGRESS LIGHT	
[T]	TELEPHONE OUTLET	18"	[REB]	REMOTE EMERGENCY BATTERY PACK	
[T-D]	TELEPHONE DATA OUTLET		[L]	LIGHTING FIXTURE TYPE DESIGNATION-SEE LIGHTING FIXTURE SCHEDULE	
[P]	PHOTOCELL		[A]	AREA OR STREET LIGHT FIXTURE	
[AV]	AUDIO/VISUAL CONNECTION		[A-S]	AREA OR STREET LIGHT FIXTURE	
[TV]	TV		[D]	DISCONNECT SWITCH, NON-FUSIBLE	
[EPO]	EMERGENCY POWER OFF SWITCH		[D-F]	DISCONNECT SWITCH, FUSIBLE	
[KP]	KEYPAD		[D-3R]	DISCONNECT SWITCH, NON-FUSIBLE RT DENOTES NEMA-3R	
[A]	AREA OF REFUGE INTERCOM		[D-F-3R]	DISCONNECT SWITCH, FUSIBLE RT DENOTES NEMA-3R	
[ARA]	AREA OF REFUGE HEADEND		[M]	MOTOR CONNECTION WITH APPROXIMATE HORSE-POWER SHOWN	
ABBREVIATIONS					
[AFF]	ABOVE FINISHED FLOOR		[V]	SOLENOID VALVE	
[AFG]	ABOVE FINISHED GRADE		[RS]	RELAY	
[ABV]	MOUNT ABOVE COUNTER		[T]	TRANSFORMER	
[ABC]	ABOVE CEILING		[J]	JUNCTION BOX - NOT WALL MOUNTED	
[CLG]	CEILING		[J-W]	JUNCTION BOX - WALL MOUNTED	
[EWC]	ELECTRIC WATER COOLER		[PB]	PUSH BUTTON	
[EM]	EMERGENCY		[H]	HAND HOLE	
[EX]	EXISTING		[MH]	MAN HOLE	
[RW]	ROOM WIZARD		[CB]	ENCLOSED CIRCUIT BREAKER	
[FBO]	FURNISHED BY OTHERS, INSTALLED BY ELECTRICAL CONTRACTOR		[P]	POWER POLE	
[GND]	GROUND		[M/CO]	CEILING MOUNTED DUAL TECHNOLOGY OCCUPANCY SENSOR	
[R]	RELOCATED		[S]	SINGLE POLE SWITCH (WHITE)	46"
[LON]	UNLESS OTHERWISE NOTED		[S ₂]	TWO POLE SWITCH (WHITE)	46"
[WH]	WATER HEATER		[S ₃]	THREE-WAY SWITCH (WHITE)	46"
[WP]	WEATHER PROOF, NEMA 3R		[S ₄]	FOUR WAY SWITCH (WHITE)	46"
			[S _D]	SINGLE POLE DIMMER SWITCH	46"
			[S _{W/SC}]	WALL MOUNTED OCCUPANCY SENSOR SWITCH (WHITE)	46"
			[S _{3P}]	THREE-WAY DIMMER SWITCH	46"
			[S _T]	THERMAL MOTOR SWITCH (FBE)	46"
			[S _{TRP}]	THERMAL MOTOR SWITCH, WEATHERPROOF (FBE)	46"
			[S _{TP}]	THERMAL MOTOR SWITCH, WITH PILOT LIGHT (FBE)	46"
			[S _V]	LOW VOLTAGE SWITCH	46"
			[P]	POWER PACK	
			[ELC]	EMERGENCY LIGHTING CONTROLLER - FUNCTIONAL DEVICES ESRB	
			[S _{WP}]	SINGLE POLE SWITCH, WEATHERPROOF	46"
			[R]	20A 120V, DUPLEX RECEPTACLE	18"
			[R-A]	20A 120V, DUPLEX RECEPTACLE ABOVE COUNTER	AS SPECIFIED
			[R-E]	20A 120V, DUPLEX RECEPTACLE ABOVE COUNTER ON EMERGENCY BRANCH CIRCUIT (RED)	AS SPECIFIED
			[R-TV]	20A 120V, DUPLEX RECEPTACLE FOR TV POWER	AS NOTED
			[R-Q]	* 6" TO CENTERLINE BELOW FINISH CEILING	*
			[R-Q]	20A 120V, QUADRAPLEX RECEPTACLE	18"
			[R-Q]	SINGLE RECEPTACLE, AMPERAGE, VOLTAGE, NEMA CONFIGURATION AS REQUIRED BY EQUIP. SUPPLIER OR AS NOTED	18"
			[R-Q-E]	20A 120V, QUADRAPLEX RECEPTACLE ABOVE COUNTER	AS SPECIFIED
			[R-Q-E]	20A 120V, QUADRAPLEX RECEPTACLE ABOVE COUNTER ON EMERGENCY BRANCH CIRCUIT	AS SPECIFIED
			[R-Q-F]	20A GROUND FAULT TYPE RECEPTACLE	18"
			[R-Q-FWP]	20A GROUND FAULT RECEPTACLE WEATHERPROOF	AS SPECIFIED
			[R-Q]	TWO GANG FLOOR BOX WITH ONE DUPLEX RECEPTACLE AND ONE DATA OUTLET	FLOOR BOX
			[R-Q]	TWO GANG FLOOR BOX WITH ONE QUAD 20A RECEPTACLE AND ONE DATA OUTLET	FLOOR BOX
			[R-Q]	TWO GANG FLOOR BOX WITH ONE HARD CONNECTION 20A RECEPTACLE, & ONE DATA OUTLET	FLOOR BOX
			[R-Q]	THREE GANG FLOOR BOX WITH TWO DUPLEX 20A RECEPTACLES, & ONE TELEPHONE OUTLET	FLOOR BOX
			[R-Q]	THREE GANG FLOOR BOX WITH ONE QUAD 20A RECEPTACLE AND ONE DATA OUTLET AND ONE AV CONNECTION	FLOOR BOX
			[R-Q]	THREE GANG FLOOR BOX WITH ONE DUPLEX 20A RECEPTACLE AND ONE DATA OUTLET AND ONE AV CONNECTION	FLOOR BOX
			[R-Q]	THREE GANG FLOOR BOX WITH ONE HARDWARE CONNECTION AND ONE DATA OUTLET AND ONE AV CONNECTION	FLOOR BOX
			[R-Q]	WALL MOUNTED FURNITURE BASE POWER FEED	
			[R-Q]	POWER DISTRIBUTION MODULE	
			[R-Q]	ACCESS FLOOR MODULE	
			[R-Q]	20A DUPLEX RECEPTACLE AND SINGLE POLE SWITCH UNDER COMMON PLATE	
			[R-Q]	20A 120V, DUPLEX USB TYPE	18"
			[R-Q]	20A DUPLEX RECEPTACLE, ISOLATED GROUNDING,	18"
			[R-Q]	20A DUPLEX RECEPTACLE, ISOLATED GROUNDING, INSTALL ABOVE COUNTER	46"
			[R-Q]	20A QUADRAPLEX RECEPTACLE, ISOLATED GROUNDING	18"
			[R-Q]	20A WEATHERPROOF DUPLEX RECEPTACLE	18"
			[R-Q]	120V DUPLEX RECEPTACLE, CEILING MOUNTED	CEILING
			[R-Q]	FLOOR BOX WITH (1) SINGLE RECEPTACLE - AMPERAGE, VOLTAGE, NEMA CONFIGURATION AS REQUIRED BY EQUIP. SUPPLIER OR AS NOTED	FLOOR BOX
			[R-Q]	FLOOR BOX WITH (1) DUPLEX RECEPTACLE	FLOOR BOX
			[R-Q]	FLOOR BOX WITH (1) QUADRAPLEX RECEPTACLE	FLOOR BOX
			[R-Q]	WIREMOLD #300 WITH HUBBELL 5352 DUPLEX 20A RECEPTACLES 24" ON CENTER	46"
			[R-Q]	FLUGMOLD #200 WITH 20A DUPLEX RECEPTACLES 24" ON CENTER	46"
			[R-Q]	PUSHPAD FOR AUTOMATIC DOORS (F.B.O.)	

SYMBOLS GENERAL NOTES:

- ALL MOUNTING HEIGHTS GIVEN IN THE LEGEND, SCHEDULES, PLANS, AND DRAWING NOTES ARE TO THE CENTERLINE OF THE DEVICE, UNLESS OTHERWISE NOTED.
- INSTALL ALL SWITCHES AT A CENTERLINE HEIGHT OF 46" A.F.F. UNLESS OTHERWISE NOTED. WHERE SWITCHES OR RECEPTACLES ARE MOUNTED ABOVE CASEWORK OR MILLWORK, LOCATE AT A HEIGHT OF 3'-8" MAX. ABOVE FINISH FLOOR OR 3" ABOVE BACKSPASH TO CENTERLINE.
- SEE ARCHITECTURAL MOUNTING HEIGHTS.
- ADDITIONAL SYMBOLS MAY BE SHOWN OR DENOTED ON OTHER SHEETS.
- ALL SYMBOLS, NOTES, AND ABBREVIATIONS SHOWN ON THE LEGEND ARE NOT NECESSARILY USED IN THIS SET OF CONTRACT DOCUMENTS.
- NUMERICAL SUBSCRIPT ADJACENT TO DEVICE FIXTURE, EQUIPMENT OR JUNCTION BOX SYMBOL ON THE DRAWINGS DENOTES THE PANELBOARD CIRCUIT NUMBER TO WHICH DEVICE, FIXTURE, EQUIPMENT OR WIRING IN JUNCTION BOX IS CONNECTED.

NO. Date Issues/Revisions

STAMP

NOT FOR CONSTRUCTION

PROJECT NAME
PRESERVATION PARK AMPHITHEATER
 Thompson's Station, Tennessee

Stage

PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

DRAWING TITLE
ELECTRICAL LEGEND AND SCHEDULES

DATE: Dec. 01, 2017
 SCALE:

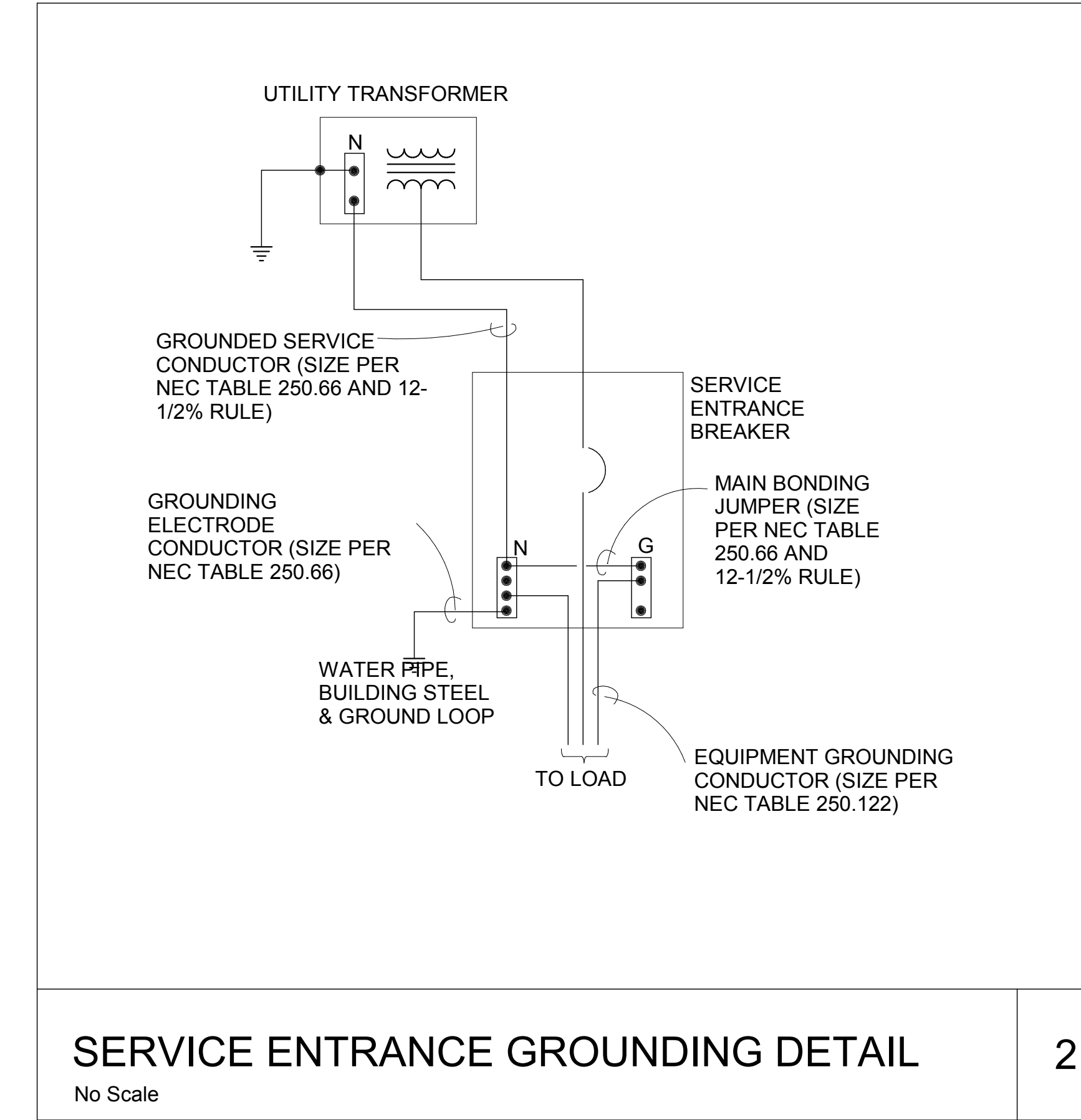
DRAWING NUMBER
E0.01

NO DRAWINGS OR TEXT BEYOND THIS LINE



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PROJECT NAME
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Thompson's Station, Tennessee

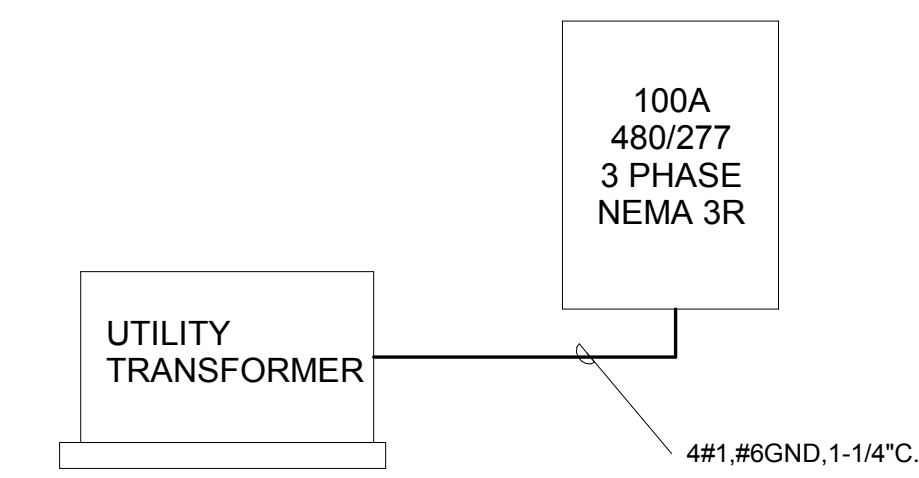
Stage

PROJECT NO.: 171868
DRAWN BY:
CHECKED BY:

DRAWING TITLE
ELECTRICAL DETAILS

DATE: Dec. 01, 2017
SCALE:

DRAWING NUMBER
E1.01



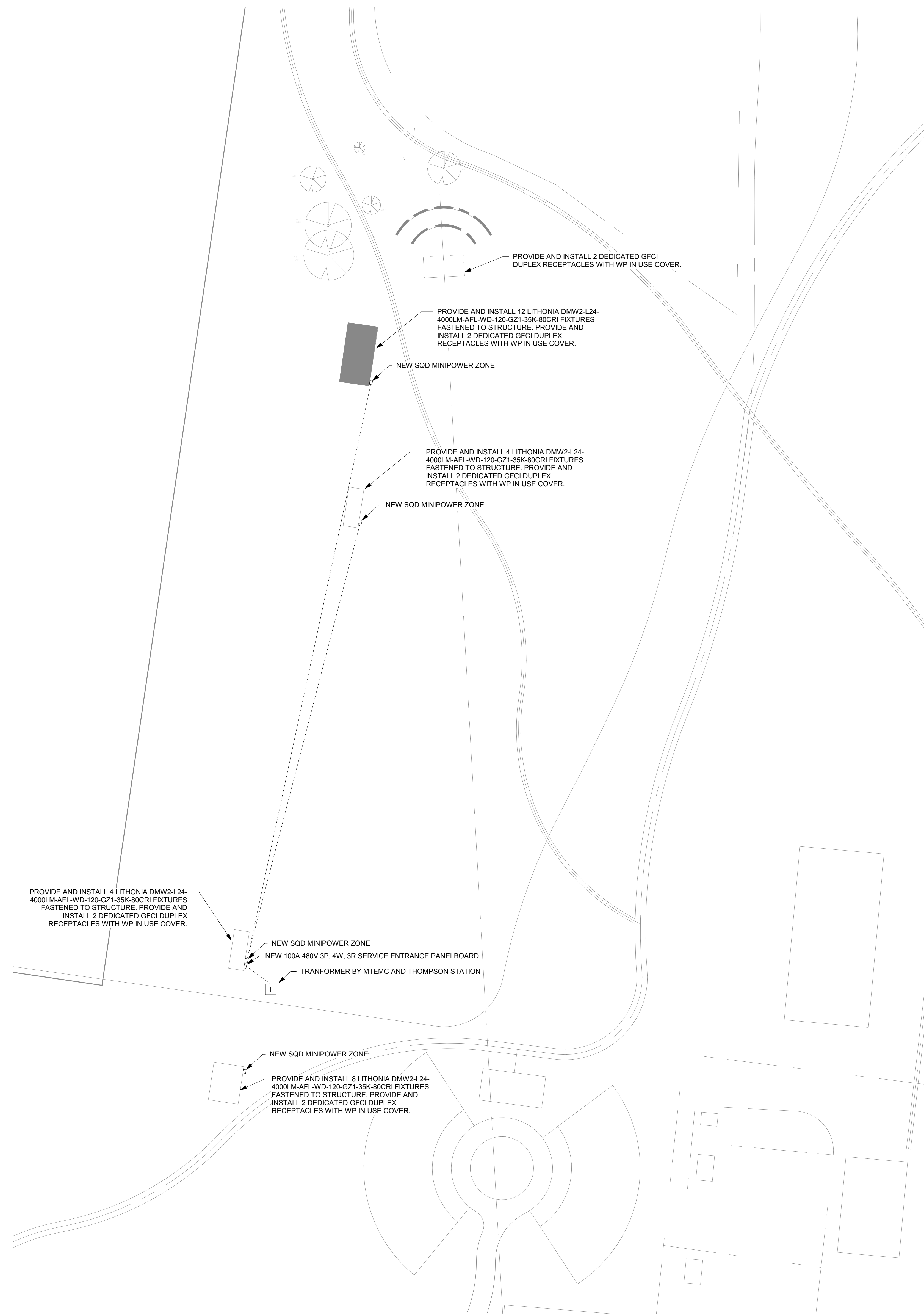
ELECTRICAL RISER DIAGRAM
N.T.S.



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GENERAL NOTES:

- A. THE EXISTING UTILITY LOCATIONS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE NOT GUARANTEED TO BE EITHER ACCURATE OR ALL INCLUSIVE. PRIOR TO EXCAVATION IN ANY AREA, OBTAIN THE AID OF ALL UTILITY OWNERS TO IDENTIFY AND LOCATE THEIR RESPECTIVE FACILITIES. ANY UTILITY DAMAGE CAUSED BY THE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO EXPENSE TO THE OWNER.
- B. EXISTING UTILITIES, WHICH ARE NOT SHOWN, THAT ARE DISCOVERED DURING EXCAVATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVES FOR PROPER COORDINATION. REMOVE, REWORK AND/OR REROUTE THE EXISTING UTILITIES, AS DIRECTED BY THE OWNER'S REPRESENTATIVES.
- C. FULLY COORDINATE ALL REQUIREMENTS WITH MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION (MTEMC).
- D. REFERENCE MTEMC GUIDELINES FOR ADDITIONAL DETAILS.

NO. Date Issues/Revisions

STAMP

NOT FOR CONSTRUCTION

PROJECT NAME
PRESERVATION PARK AMPHITHEATER
 Thompson's Station, Tennessee

Stage 100% CHECKSET

PROJECT NO.: 171868
 DRAWN BY:
 CHECKED BY:

DRAWING TITLE
ELECTRICAL - SITE PLAN

DATE: Dec. 22, 2017
 SCALE:

DRAWING NUMBER
ES.01

1 SITE PLAN
 ES.01
 1" = 50'-0"

NO DRAWINGS OR TEXT BEYOND THIS LINE