

Town of Thompson's Station  
Design Review Commission  
Meeting Agenda  
March 6, 2019

**Meeting Called To Order**

**Minutes-**

**Consideration Of The Minutes Of The November 7, 2018 Meeting**

Documents:

[11072018 MINUTES.PDF](#)

**New Business:**

**1. Design Review For The Addition Of Classrooms And Cafeteria At Independence High School Located At 1776 Declaration Way (SP 2019-001; DR 2019-001)**

Documents:

[DESIGN REVIEW STAFF REPORT INDY.PDF](#)  
[SCHOOL SITE PLAN AND ELEVATIONS.PDF](#)

**2. Design Review For The Construction Of The New Town Hall Located At 1555 Thompson's Station Road West (SP 2019-002; DR 2019-002).**

Documents:

[DESIGN REVIEW STAFF REPORT TOWN HALL.PDF](#)  
[ITEM 2 SITE PLAN TOWN HALL.PDF](#)

**Adjourn**

*This meeting will be held at **4:00 p. m.** at the Thompson's Station Town Hall,*

*1550 Thompson's Station Road West*

Town of Thompson's Station  
Design Review Commission  
Minutes of the Meeting  
November 7, 2018

**Call to Order.**

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:10 p.m. on Wednesday, November 7, 2018 with the required quorum. Members and staff in attendance were Commissioners Huntly Gordon, Steve Bennett, Kim Peterson and Charles Starck, Town Planner Wendy Deats and Town Clerk Jennifer Jones. Commissioner Sarah Alexander was unable to attend.

**Consideration of Minutes.**

The minutes of the August 8, 2018 meeting were previously submitted.

**Commissioner Bennett moved for the approval of the August 8, 2018 minutes. The motion was seconded and carried unanimously.**

**New Business**

- 1. Design Review for the development of new buildings for the amphitheater at Graystone Quarry (SP 2018-008; DR 2018-005).**

Mrs. Deats reviewed her Staff report and based on the consistency with the Design Guidelines and the existing buildings on site, recommends that the DRC approve the project design.

**After discussion, Commissioner Peterson made a motion to approve Item 1, Design Review for the development of new buildings for the amphitheater at Graystone Quarry (SP 2018-008; DR 2018-005). The motion was seconded and approved by all.**

- 2. Design Review approval of 12 condominiums, two live work buildings and one mixed use building located at the southwest corner of Tollgate Boulevard/Branford Place (SP 2018-007; DR 2018-004).**

Mrs. Deats reviewed her Staff report and based on the project's consistency with the Town's Design Guidelines, Staff recommends that the Design Review Commission approve the design as proposed.

**After discussion, Commissioner Bennett made a motion to approve Item 2, Design Review approval of 12 condominiums, two live work buildings and one mixed use building located at the southwest corner of Tollgate Boulevard/Branford Place (SP 2018-007; DR 2018-004). The motion was seconded and approved by all.**

There being no further business, the meeting was adjourned at 4:29 p.m.

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Huntly Gordon, Chairman

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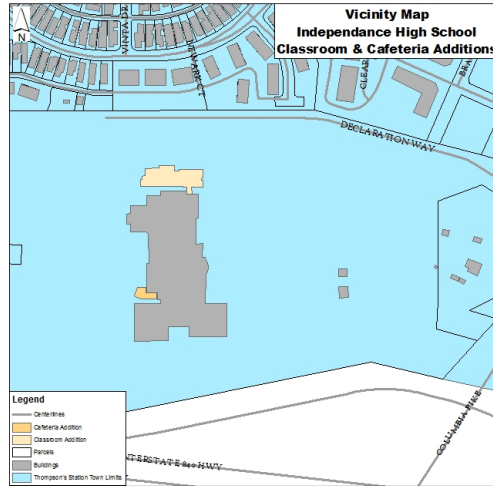
Kim Peterson, Vice Chairman

**Thompson's Station Design Review Commission  
Staff Report – Item 1 (File: SP 2019-001; DR 2019-001)  
March 6, 2019**

**Design Review for the construction of an addition to Independence High School located at  
1776 Declaration Way.**

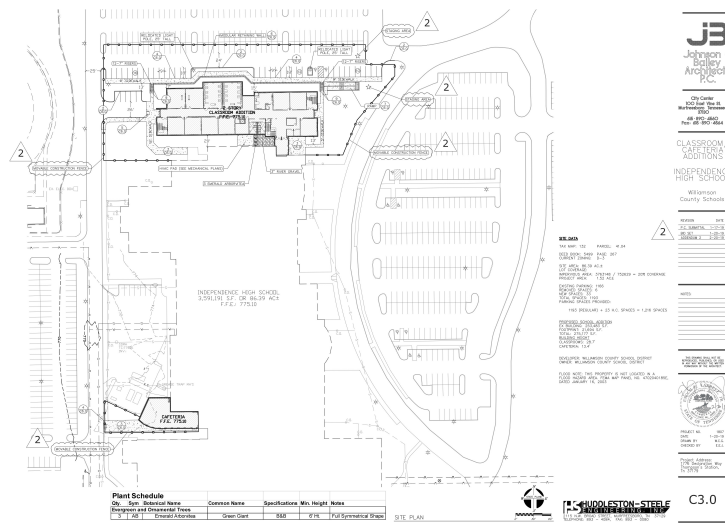
**PROJECT DESCRIPTION**

The applicant, Williamson County Schools has submitted a site plan for an addition to the cafeteria in addition to classrooms at Independence High School located at 1776 Declaration Way.



**BACKGROUND**

The project site is 86.39 acres and located within the D3 (High Intensity) zoning district and is currently developed with a two-story, 253,486 square foot high school, Independence High School. On February 26, 2019, the Planning Commission approved a site plan for an addition of 3,401 square feet to the cafeteria, 41,925 square feet for classrooms and the installation of temporary portables for use as classrooms during the construction of the addition.

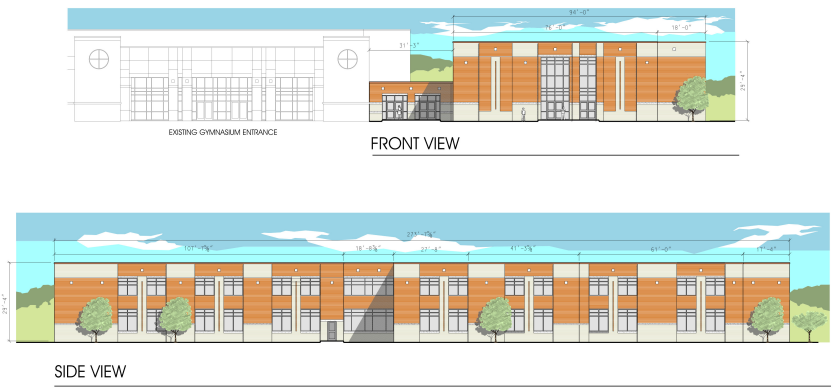


The Planning Commission approved the project with the following contingencies:

1. Prior to the issuance of grading permits, construction plans shall be submitted and approved. Any upgrades to the utility infrastructure necessary for the project shall be completed by the applicant.
2. Prior to the issuance of a building permit, design review approval shall be obtained.
3. Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.

**ANALYSIS**

The proposed high school is a two-story brick building. The proposed cafeteria addition is 3,401 square feet and the two-story classroom addition is a total of 41,925 square feet will be consistent with the existing building. The addition will be constructed to match the existing school for height and for building materials and colors. Roof mounted equipment will be screen from view of the public right of way.



CLASSROOM ADDITION - INDEPENDENCE HIGH SCHOOL  
WILLIAMSON COUNTY SCHOOLS  
FEBRUARY 22, 2019

**RECOMMENDATION**

Based on the project’s substantial compliance with the Land Development Ordinance and Design Guidelines, Staff recommends that the Design Review Commission approve the project.

**ATTACHMENTS**

Design Review Packet

| REVISION       | DATE    |
|----------------|---------|
| P.C. SUBMITTAL | 1-17-19 |
| BID SET        | 1-20-19 |
| ADDENDUM 2     | 2-20-19 |

2

**SITE DATA**

TAX MAP: 132 PARCEL: 41.04  
DEED BOOK: 5499 PAGE: 267  
CURRENT ZONING: D-3  
SITE AREA: 86.39 AC.±  
LOT COVERAGE:  
IMPERVIOUS AREA: 3763148 / 752629 = 20% COVERAGE  
PROJECT AREA: 1.52 AC.±  
EXISTING PARKING: 1166  
REMOVED SPACES: 6  
NEW SPACES: 33  
TOTAL SPACES: 1193  
PARKING SPACES PROVIDED:  
1193 (REGULAR) + 23 H.C. SPACES = 1,216 SPACES

**PROPOSED SCHOOL ADDITION**  
EX BUILDING: 253,483 S.F.  
FOOTPRINT: 21,694 S.F.  
TOTAL: 275,177 S.F.  
**BUILDING HEIGHT**  
CLASSROOMS: 28.7'  
CAFETERIA: 13.4'

DEVELOPER: WILLIAMSON COUNTY SCHOOL DISTRICT  
OWNER: WILLIAMSON COUNTY SCHOOL DISTRICT

FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA. FEMA MAP PANEL NO. 4702040185E, DATED JANUARY 16, 2003

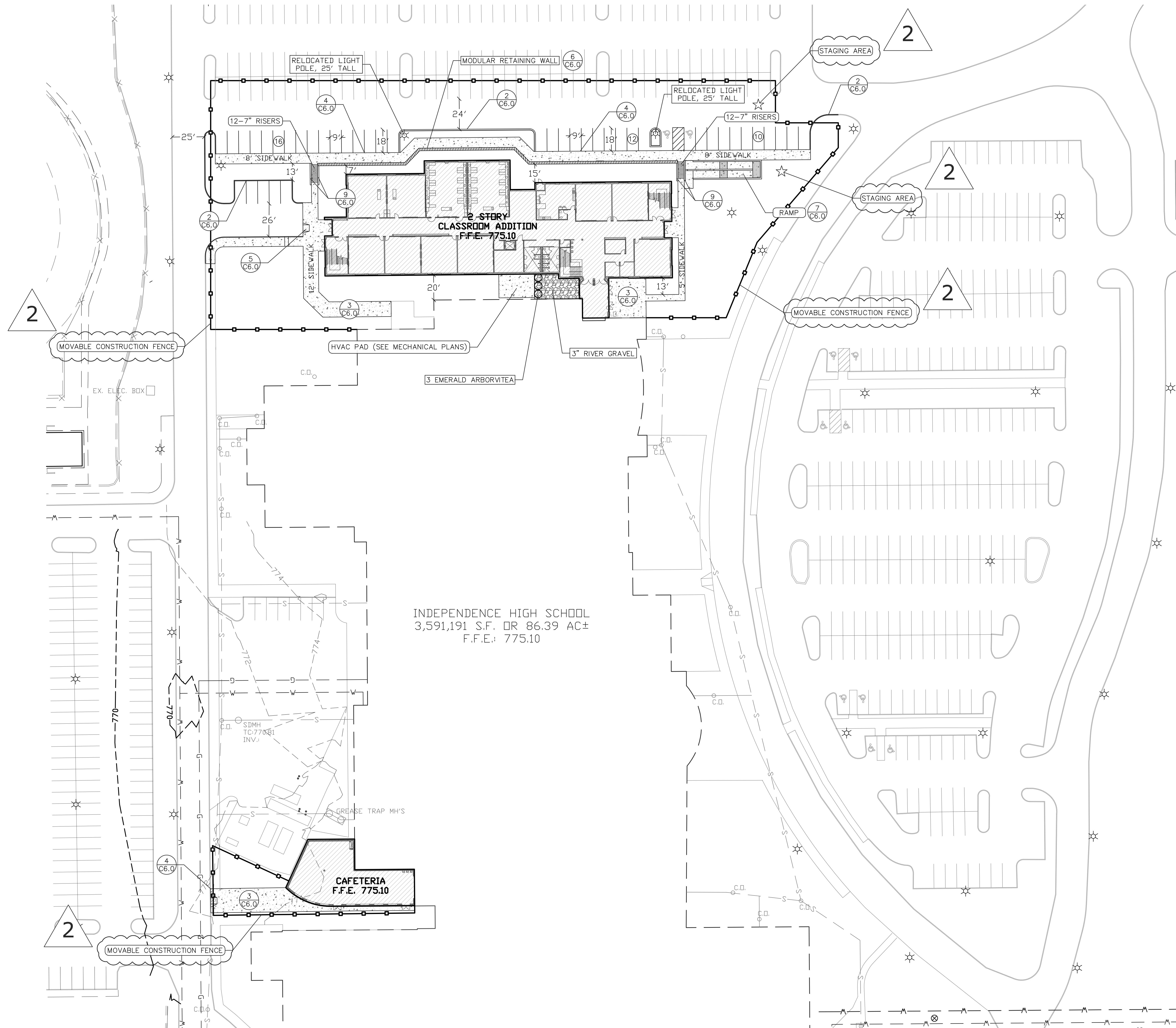
THIS DRAWING SHALL NOT BE REPRODUCED, PUBLISHED, OR USED IN ANY WAY WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT.



PROJECT NO. 1807  
DATE 1-20-19  
DRAWN BY W.C.G.  
CHECKED BY E.E.J.

Project Address:  
1776 Declaration Way  
Thompson's Station,  
Tn 37179

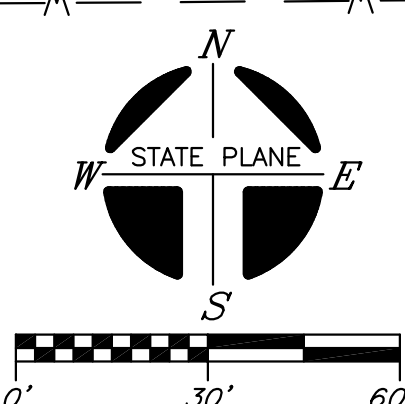
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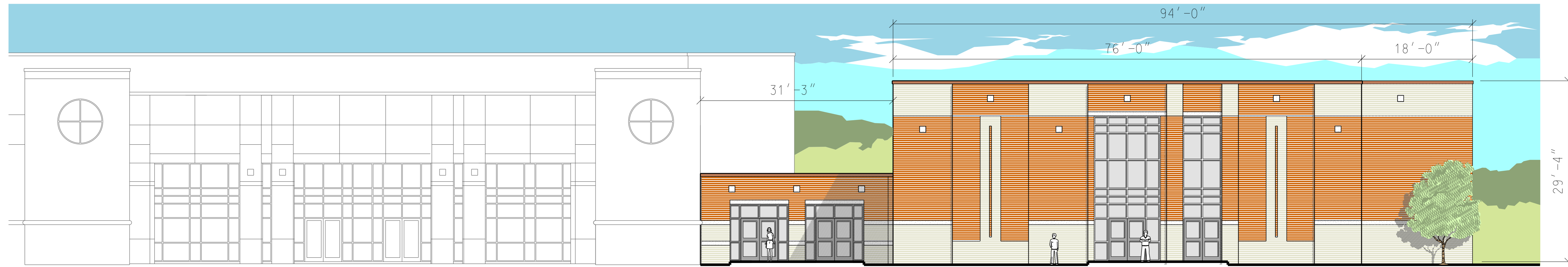


INDEPENDENCE HIGH SCHOOL  
3,591,191 S.F. OR 86.39 AC.±  
F.F.E.: 775.10

| Plant Schedule                        |     |                    |             |                |             |                        |
|---------------------------------------|-----|--------------------|-------------|----------------|-------------|------------------------|
| Qty.                                  | Sym | Botanical Name     | Common Name | Specifications | Min. Height | Notes                  |
| <b>Evergreen and Ornamental Trees</b> |     |                    |             |                |             |                        |
| 3                                     | AB  | Emerald Arborvitae | Green Giant | B&B            | 6' Ht.      | Full Symmetrical Shape |

SITE PLAN





EXISTING GYMNASIUM ENTRANCE

FRONT VIEW



SIDE VIEW

CLASSROOM ADDITION - INDEPENDENCE HIGH SCHOOL  
 WILLIAMSON COUNTY SCHOOLS

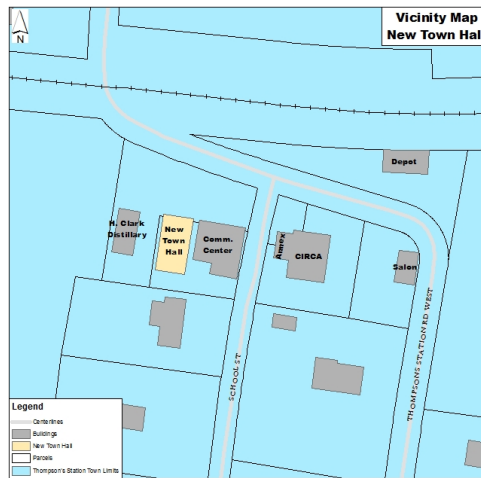
FEBRUARY 22, 2019

**Thompson's Station Design Review Commission  
Staff Report - (SP 2019-002, DR 2019-002)  
March 6, 2019**

**Request for design review approval for the construction of the new town hall located at 1555 Thompson's Station Road West.**

**REQUEST**

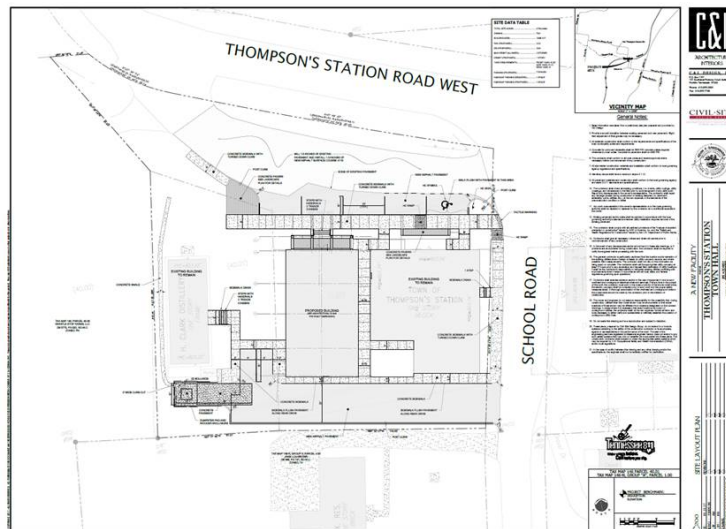
The applicant, C&I Design, on behalf of the Town of Thompson's Station is requesting approval of a site plan for the development of a new town hall building located at 1555 Thompson's Station Road West within the T4 Open zoning district. In addition, site improvements, including parking and landscaping are proposed to 1557 Thompson's Station Road West.



**ANALYSIS**

**Project Description**

The project site is approximately ¼ acre and consists of the development of a 5,610 square foot two story building adjacent to the existing 3,648 square foot community center.





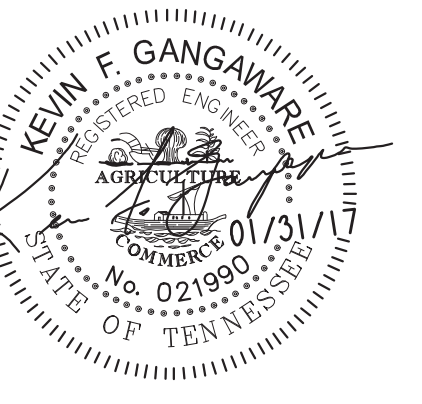




ARCHITECTURE  
INTERIORS

C & I DESIGN, INC.  
P.O. Box 1197  
101 Southeast Parkway Court, Suite 120  
Franklin, Tennessee 37065  
Phone: 615.599.2525  
Fax: 615.599.7755

CIVIL SITE  
DESIGN GROUP



A NEW FACILITY  
FOR THE  
**THOMPSON'S STATION  
TOWN HALL**  
SITE ADDRESS  
1656 THOMPSON STATION ROAD WEST  
THOMPSON'S STATION, TENNESSEE 37179

EXISTING CONDITIONS

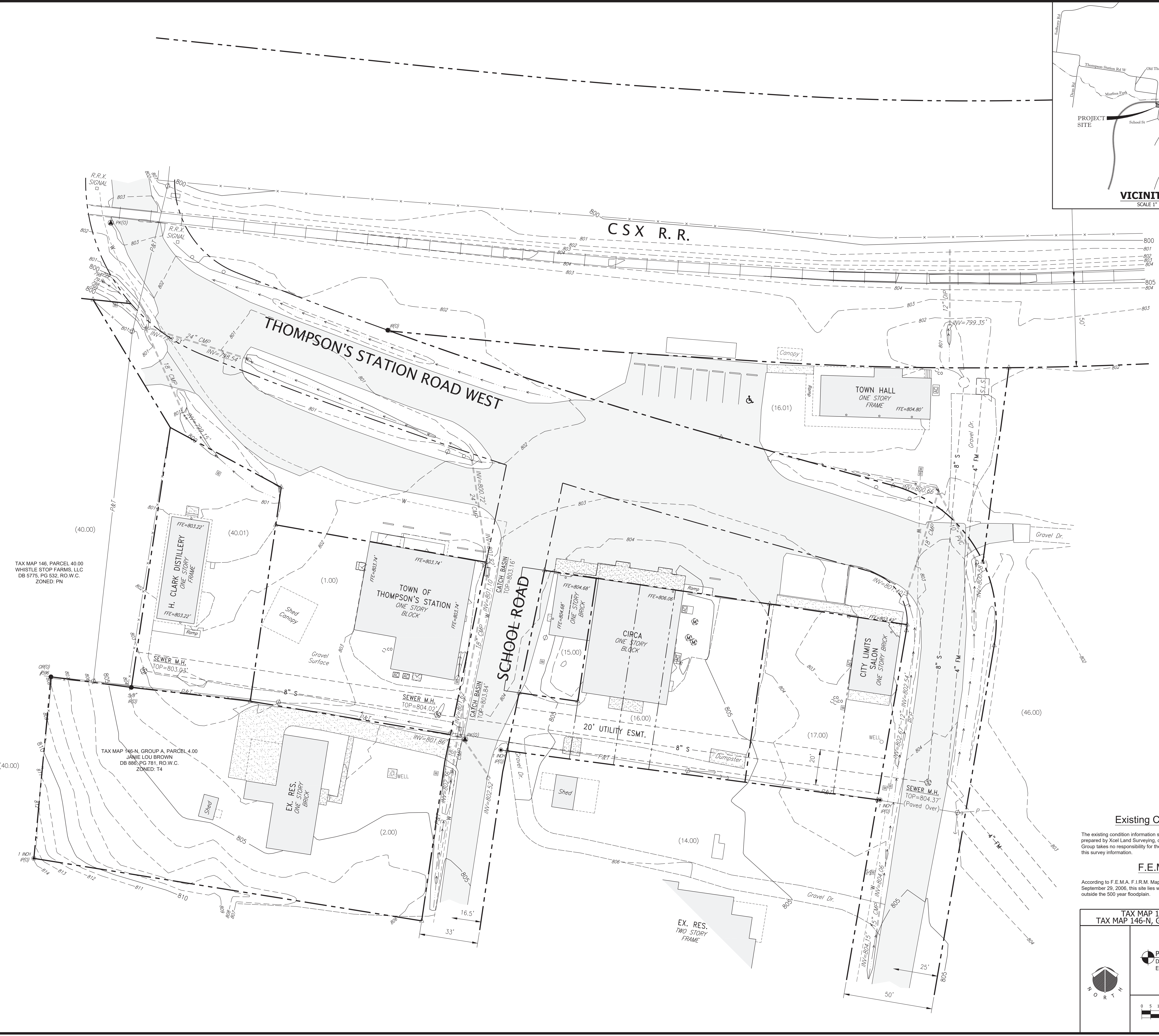
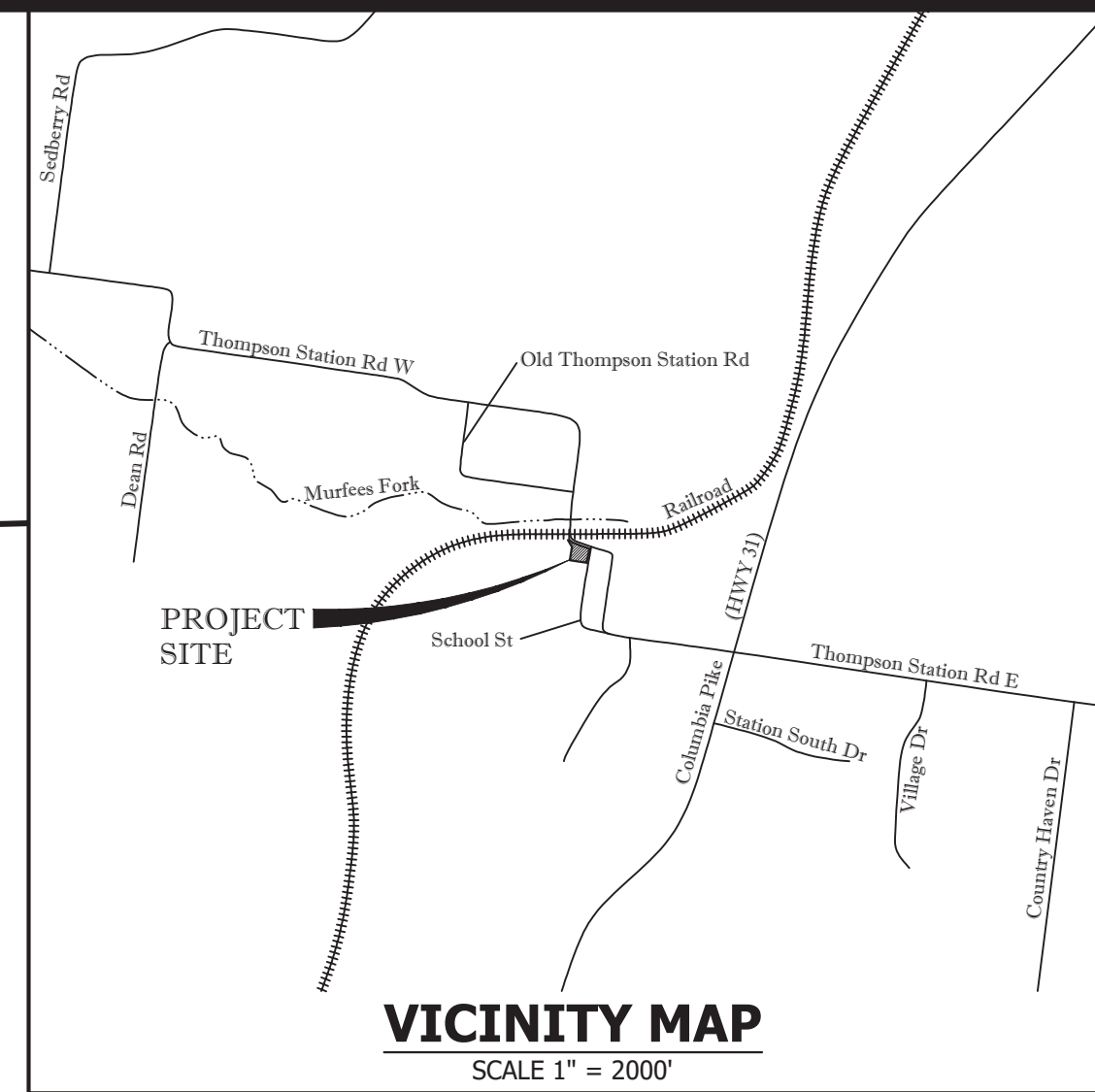
|            |          |
|------------|----------|
| DATE:      | 01.31.17 |
| JOB NO.:   | 15009.00 |
| DR. BY:    | AM       |
| CK. BY:    | KG       |
| FILE NAME: |          |

REVISIONS:

|   |  |  |  |  |
|---|--|--|--|--|
| 1 |  |  |  |  |
| 2 |  |  |  |  |
| 3 |  |  |  |  |
| 4 |  |  |  |  |
| 5 |  |  |  |  |

PROJECT BENCHMARK:  
DESCRIPTION:  
ELEVATION:

GRAPHIC SCALE 1"=20'



TAX MAP 146, PARCEL 40.00  
WHISTLE STOP FARMS, LLC  
DB 5775, PG 532, RO.W.C.  
ZONED: FN

TAX MAP 146-N, GROUP A, PARCEL 4.00  
JANIE LOU BROWN  
DB 886, PG 781, RO.W.C.  
ZONED: T4

**Existing Conditions Note:**  
The existing condition information shown on this sheet was taken from a survey prepared by Xcel Land Surveying, dated December 11, 2015. Civil Site Design Group takes no responsibility for the correctness, accuracy, or completeness of this survey information.

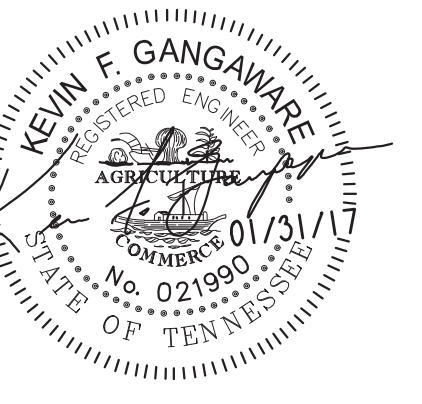
**F.E.M.A. Note:**  
According to F.E.M.A. F.I.R.M. Map number 47187C0345F, effective date September 29, 2006, this site lies within Zone X which is determined to be outside the 500 year floodplain.

TAX MAP 146 PARCEL 40.01  
TAX MAP 146-N, GROUP "A", PARCEL 1.00

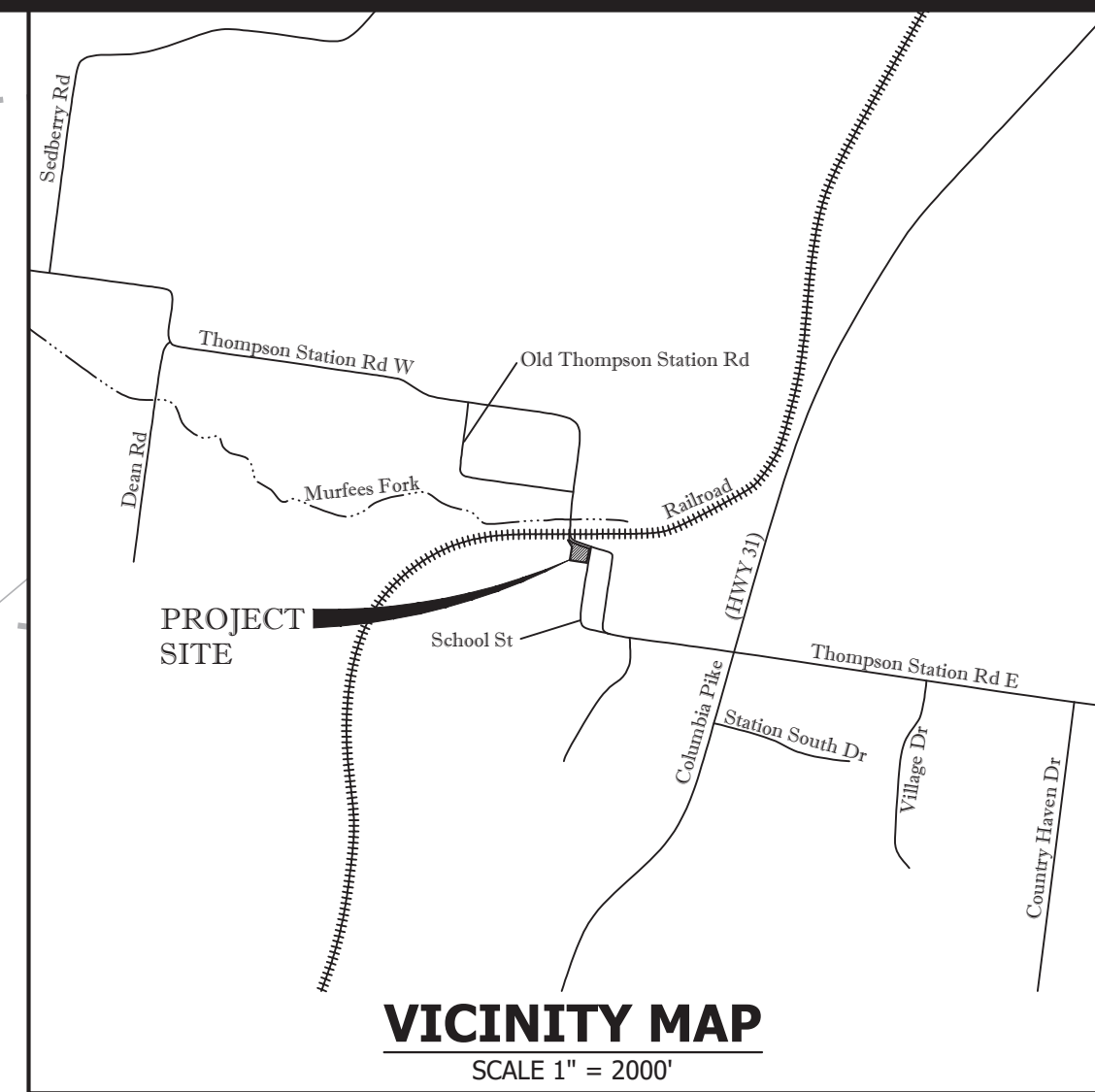
**PROJECT BENCHMARK:**  
DESCRIPTION:  
ELEVATION:

**GRAPHIC SCALE 1"=20'**

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| SITE DATA TABLE              |   |
|------------------------------|---|
| TOTAL SITE ACRES:            | 0.76± Acres   |
| ZONING:                      | T4O   |
| BUILDING AREA:               | 2,800 S.F.  |
| FAR (PROPOSED):              | 0.23  |
| ISR (PROPOSED):              | 0.93  |
| MAX HEIGHT (ALLOWED):        | 2 STORIES   |
| HEIGHT (PROPOSED):           | 1 STORY   |
| YARD REQUIREMENTS:           | FRONT YARD: 5'-0"<br>SIDE YARD: 0'-12"<br>REAR YARD: 5' |
| PARKING (PROPOSED):          | 7 SPACES  |
| HANDICAP PARKING (REQUIRED): | 1 SPACE   |
| HANDICAP PARKING (PROPOSED): | 1 SPACE   |

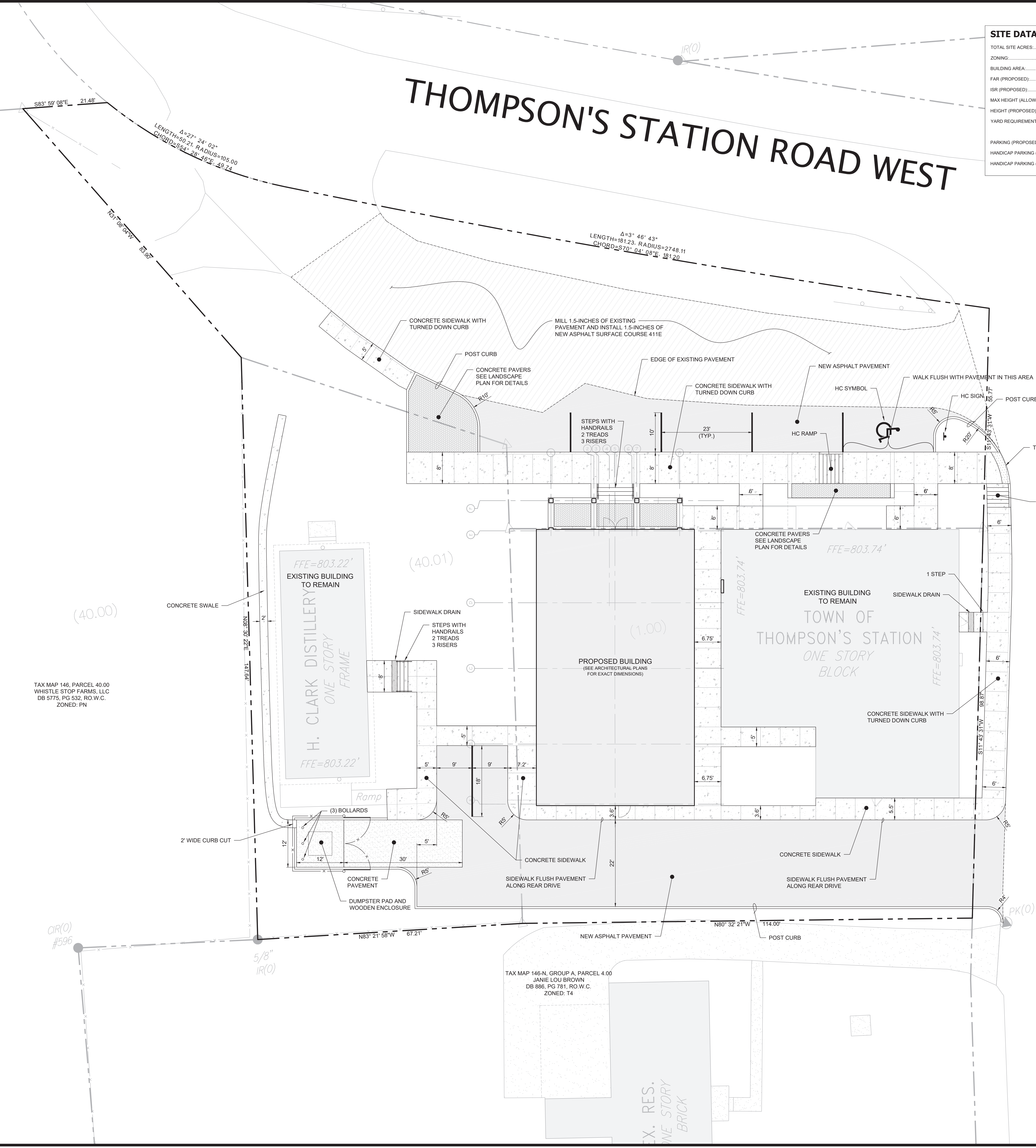


**General Notes:**

1. Base information was taken from a preliminary site plan prepared and provided by C&I Design.
2. Provide a smooth transition between existing pavement and new pavement. Slight field adjustment of final grades may be necessary.
3. All sidewalk construction shall conform to the requirements and specifications of the local municipality codes and requirements.
4. Concrete for curbs and sidewalks shall be 3500 PSI concrete unless required otherwise by local codes. Concrete for pavement shall be 4000 PSI.
5. The contractor shall conform to all local codes and receive approval where necessary before commencement of any construction.
6. All site related construction materials and installation shall conform to local governing agency regulations and specifications.
7. All pavement materials and construction shall conform to the local governing agency and state D.O.T. standards and specifications.
8. Handicap ramps shall have a maximum slope of 1:12.
9. The contractor shall check all existing conditions, (i.e. inverts, utility routings, utility crossings, and dimensions) in the field prior to commencement of any utility work. Report any discrepancies to the owner's representative. The contractor shall repair any damage caused during construction to existing features (i.e. pavement, sidewalks, curbs, utilities, etc.), at his own expense, to the standards of the reconstruction condition or better.
10. Any work unacceptable to the owner's representative or to the local governing authority shall be repaired or replaced by the contractor at no additional expense to the owner.
11. Existing pavement and/or walks shall be patched in accordance with the local governing authority's standards wherever utility installation requires removal of the existing pavement.
12. The contractor shall comply with all pertinent provisions of the "Manual of Accident Prevention in Construction" issued by AGC of America, Inc. and the "Safety and Health Regulations for Construction" issued by the U.S. Department of Public Works.
13. Contractor shall give all necessary notices and obtain all permits prior to commencement of any construction.
14. In the event of any discrepancies and/or errors found in these site drawings, or if problems are encountered during construction, the contractor shall be required to notify the engineer before proceeding with the work.
15. The general contractor is particularly cautioned that the location and/or elevation of the existing utilities shown hereon is based on utility company records, and where possible, field measurements. The contractor shall not rely on this information as being exact or complete. The contractor shall call the appropriate utility company at least 72 hours prior to any excavation and request field verification of utility locations. It shall be the contractor's responsibility to relocate existing utilities conflicting with improvements shown hereon in accordance with all local, state, and federal regulations governing such operations.
16. Contractor shall exercise extreme caution in the use of equipment in and around overhead and underground electrical wires and services. If at any time in the pursuit of this work the contractor must work in the close proximity of the above-noted wires, the electric company shall be contacted prior to such work and the proper safety measures taken. A thorough examination of the overhead and underground wires in the project area should be made by the contractor prior to the initiation of construction.
17. The owner and engineer do not assume responsibility for the possibility that, during construction, utilities other than those shown may be encountered or that actual locations of those shown may be different from locations designated on the contract drawings. In areas where it is necessary that exact locations be known of underground utilities, the contractor shall, at his own expense, furnish all labor and tools necessary to either verify and substantiate or definitely establish the position of underground utility lines.
18. Do not scale this drawing as it is a reproduction and subject to distortion.
19. These plans, prepared by Civil Site Design Group, do not extend to or include systems pertaining to the safety of the construction contractor or its employees, agents or representatives in the performance of the work. The seal of the engineering services registered professional engineer hereon does not extend to any such safety systems that may now or hereafter be incorporated into these plans. The contractor shall prepare or obtain the appropriate safety systems which may be required by U.S. Occupational Safety and Health Administration (OSHA) and/or local regulations.
20. In the case of conflict between this drawing and any other drawing and/or the specifications, the engineer shall be immediately notified for clarification.

# THOMPSON'S STATION ROAD WEST

# SCHOOL ROAD



TAX MAP 146-N, GROUP A, PARCEL 4.00  
TAX MAP 146-N, GROUP "A", PARCEL 1.00

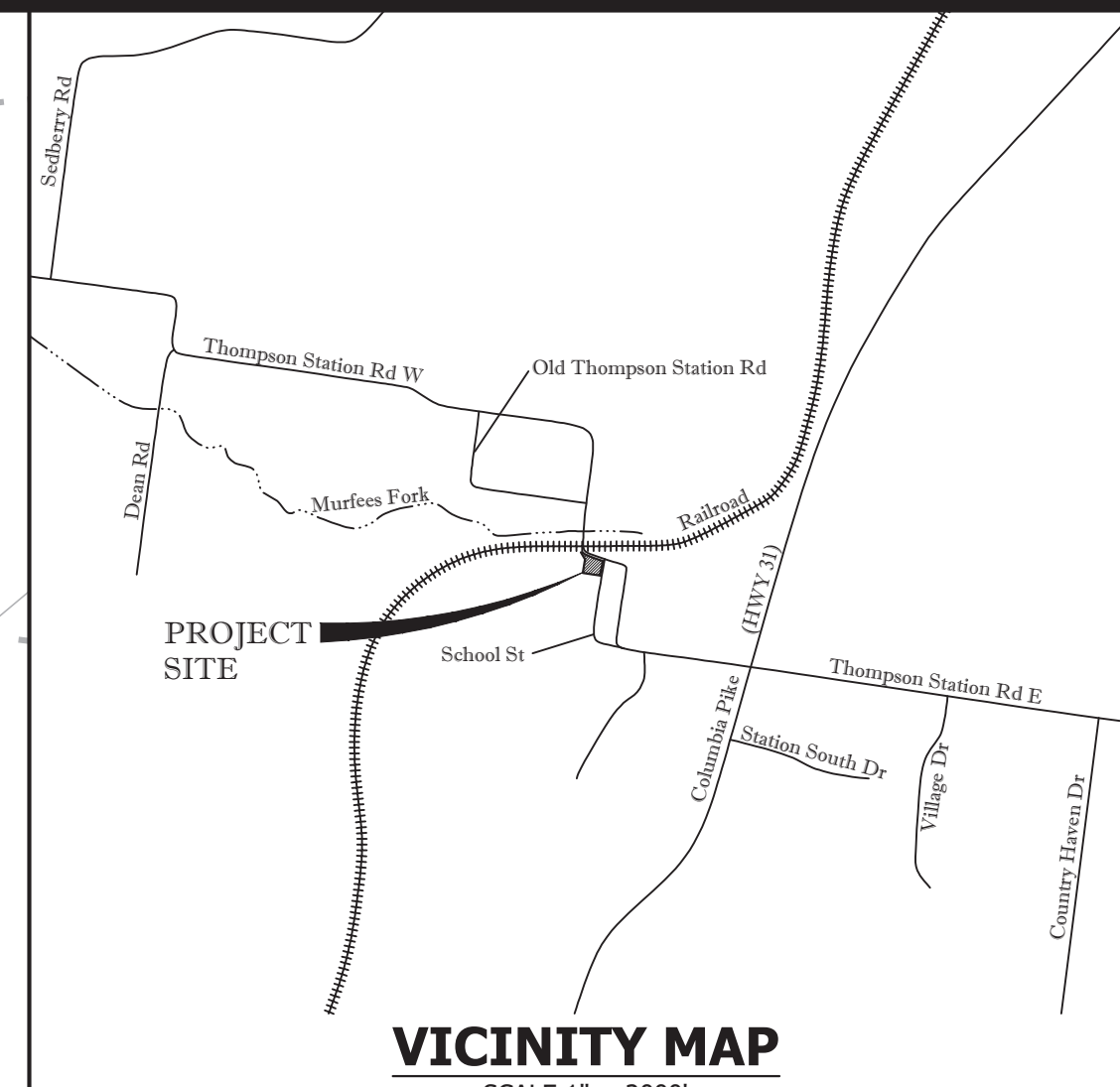
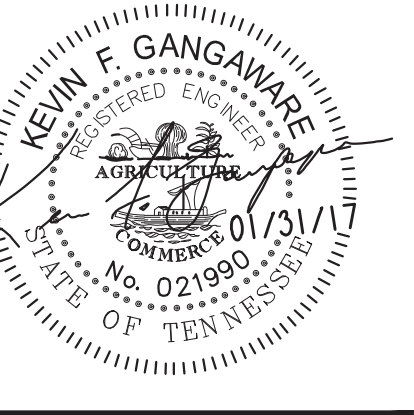
**PROJECT BENCHMARK:**  
DESCRIPTION:  
ELEVATION:

GRAPHIC SCALE 1"=20'

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DB 5775, PG 532, RO.W.C.  
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TAX MAP 146-N, GROUP A, PARCEL 4.00  
JANIE LOU BROWN  
DB 686, PG 781, RO.W.C.  
ZONED: T4

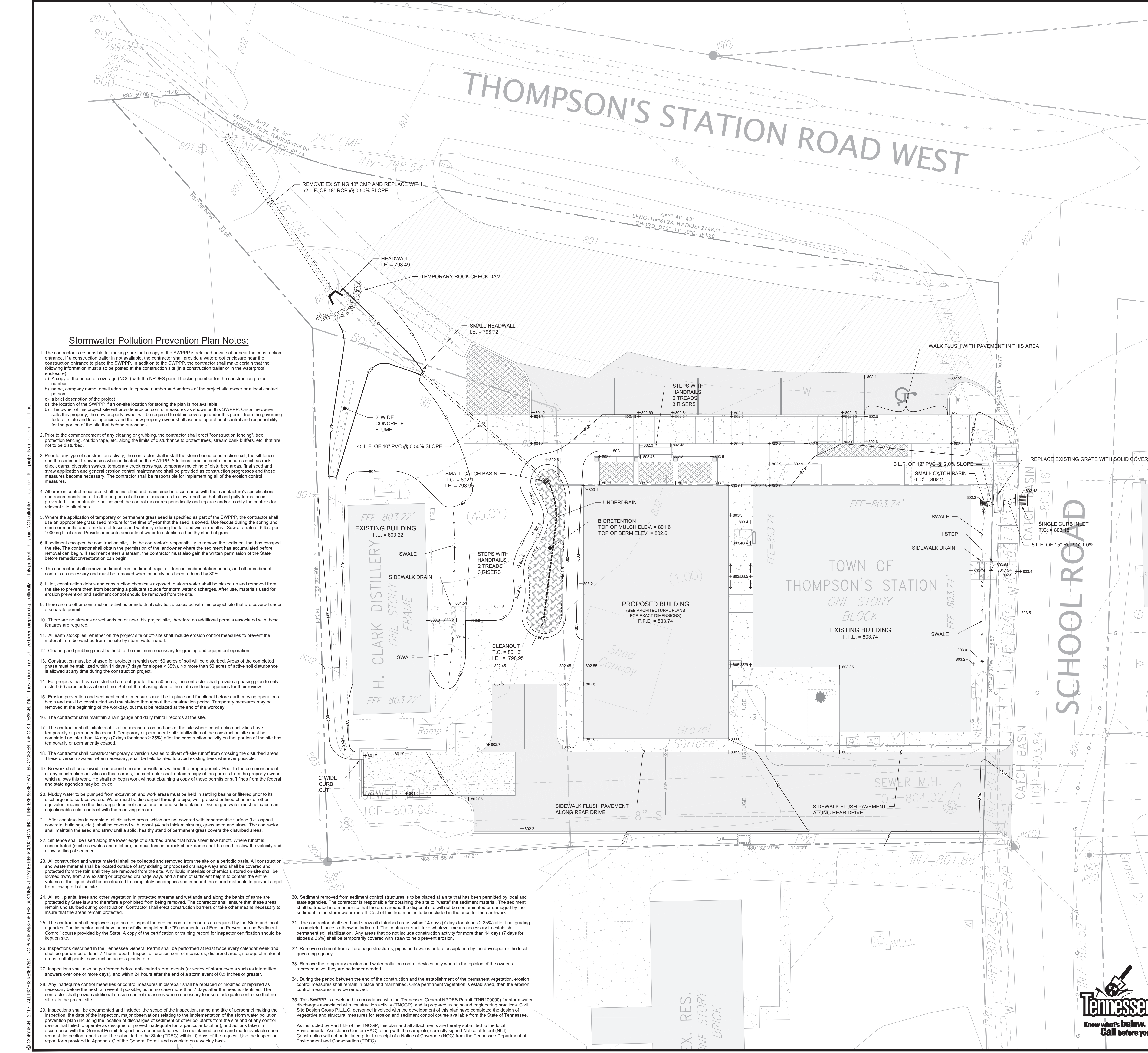


**VICINITY MAP**  
SCALE 1" = 2000'

**Site Grading, Drainage & Erosion Control Notes:**

- The disturbed area for this project is approximately 0.9 acres.
- The contractor shall comply with all pertinent provisions of the manual of accident prevention and construction issued by AGC of America, Inc. and the safety and health regulations of construction issued by the U.S. Department of Labor.
- The contractor shall call "Tennessee One Call" (811) 72 hours prior to proceeding with any excavation.
- If any springs or underground streams are exposed during construction, permanent French drains may be required. The drains shall be specified and located during construction as required by the conditions which are encountered, and shall be approved by the engineer.
- Stockpiled topsoil or fill material shall be treated so no sediment run-off will contaminate surrounding areas or enter nearby streams.
- Clean silt barriers when they are approximately 30% filled with sediment or as directed by the owner's representative. Silt barriers shall be replaced as effectiveness is significantly reduced, or as directed by the owner's representative.
- All new pipes under existing paved areas shall be backfilled to the top of subgrade with # 57 crushed stone.
- Sediment removed from sediment control structures is to be placed at a site approved by the local governing authority. It shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the run-off. Cost for this treatment is to be included in the bid price for earthwork. The contractor shall obtain the disposal site as part of his work.
- Reinforced concrete storm drainage pipe shall be Class III. Corrugated metal pipe shall be 14 gauge unless otherwise noted.
- Minimum grade on barriers or concrete paving shall be 1.0%.
- Construct silt ditches before beginning any grading operations.
- This grading & drainage plan is not a determination or guarantee of the suitability of the subsurface conditions for the work indicated. Determination of the subsurface conditions for the work indicated is solely the responsibility of the contractor.
- Do not disturb vegetation or remove trees except when necessary for grading purposes.
- Any site used for disposal and/or stockpile of any material shall be properly permitted for such activity. It is the responsibility of the contractor to see that all required permits are secured for each property utilized. A copy of the approved permit must be provided to the inspector prior to commencement of work on any property. Failure to do so may result in the contractor removing any illegally placed material at his own expense.
- Re-spread topsoil (6 inch minimum thickness), seed, and straw all disturbed areas as soon as possible after final grading is completed, unless otherwise indicated. Contractor shall take whatever means necessary to establish permanent soil stabilization.
- Proposed contour lines and spot elevations are the result of an engineer's grading design and should be planned in conjunction with drainage and movement of materials. Should the contractor have any question of the intent or any problem with the continuity of grades, the engineer shall be contacted immediately.
- All cut and fill slopes shall be 3 horizontal to 1 vertical or flatter unless otherwise indicated on plans.
- Positive drainage shall be established as the first order of work and shall be maintained at all times during and after construction. Soil softened by perched water in foundation and pavement areas must be undercut and replaced with suitable fill material.
- Remove sediment from all drainage structures before acceptance by local governing agency, or as directed by the owner's representative.
- Contractor shall conform to all applicable codes and obtain approval as necessary before beginning construction.
- Remove the temporary erosion and water pollution control devices only after a solid stand of grass has been established on graded areas and when in the opinion of the owner's representative, they are no longer needed.
- Provide temporary construction access(es) at the point(s) where construction vehicles exit the construction area. Maintain public roadways free of tracked mud and dirt.
- All earthwork, including the excavated subgrade and each layer of fill, shall be monitored and approved by a qualified geotechnical engineer, or his representative.
- All fill material on this project shall be approved by the geotechnical engineer prior to placement. This material shall be placed in lifts and compacted as directed by the geotechnical engineer. The contractor shall be responsible for employing a geotechnical engineer if one is not provided by the owner.
- All drainage construction materials and installation shall conform to the requirements and specifications of the local governing agency.
- It shall be the contractor's responsibility to waste excess earth material off site at no additional cost to the owner. The contractor shall first offer the excess material to the owner. If not accepted by the owner, the contractor shall dispose of earth material off site. It shall also be the contractor's responsibility to import suitable material (at no additional cost to the owner) for earthwork operations if sufficient amounts of earth material are not available on site.
- The contractor shall check all existing grades and dimensions in the field prior to beginning work and report any discrepancies to the engineer. Commencement of any grading work constitutes the contractor's acceptance of the existing grade as matching those shown on the plans.
- Strip topsoil from all cut and fill areas and stockpile. Upon completion of general grading re-spread the topsoil over all disturbed areas, to a minimum depth of 6". Contractor shall supply additional topsoil if insufficient quantities exist on site. Remove any excess topsoil from site.
- The contractor shall take special care to compact fill sufficiently around and over all pipes, structures, valve stems, etc., inside the proposed paved areas to avoid settlement. Any settlement during the warranty period shall be restored by the contractor at an additional cost to the owner.
- In no case shall slope height, slope inclination, or excavation depth, including trench construction, exceed those specified in local, state and federal regulations, specifically the current OSHA Health and Safety Standards for Excavations (29 CFR Part 1926) shall be followed.
- All fill slopes and cut slopes on this project shall be reviewed by the owner's geotechnical engineer during construction to confirm that the slopes are (will be) stable. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- All fill on this project shall be installed and compacted in accordance with the owner's geotechnical engineer's recommendation. The owner's geotechnical engineer shall review all filling operations to confirm the earthwork is properly installed and compacted. It is the contractor's responsibility to have this confirmation in writing from the geotechnical engineer.
- All horizontal and vertical information of proposed culverts shown hereon which accept/discharge flows to/from existing channels are approximate utilizing topographic drawings. The final horizontal and vertical alignments shall be field located by the contractor prior to the ordering of materials or commencement of construction and shall notify the engineer of any discrepancies to what was designed.

# THOMPSON'S STATION ROAD WEST



**Stormwater Pollution Prevention Plan Notes:**

- The contractor is responsible for making sure that a copy of the SWPPP is retained on-site at or near the construction entrance. If a construction trailer is not available, the contractor shall provide a waterproof enclosure near the construction entrance to place the SWPPP. In addition to the SWPPP, the contractor shall make certain that the following information must also be posted at the construction site (in a construction trailer or in the waterproof enclosure):
  - A copy of the notice of coverage (NOC) with the NPDES permit tracking number for the construction project number
  - name, company name, email address, telephone number and address of the project site owner or a local contact person
  - a brief description of the project
  - the location of the SWPPP if an on-site location for storing the plan is not available.
- Prior to the commencement of any clearing or grubbing, the contractor shall erect "construction fencing", tree protection fencing, caution tape, etc. along the limits of disturbance to protect trees, stream bank buffers, etc. that are not to be disturbed.
- Prior to any type of construction activity, the contractor shall install the stone based construction exit, the silt fence and the sediment traps/basins as indicated on the SWPPP. Additional erosion control measures such as rock check dams, diversion swales, temporary creek crossings, temporary mulching of disturbed areas, final seed and straw application and general erosion control maintenance shall be provided as construction progresses and these measures become necessary. The contractor shall be responsible for implementing all of the erosion control measures.
- All erosion control measures shall be installed and maintained in accordance with the manufacturer's specifications and recommendations. It is the purpose of all control measures to slow runoff so that silt and gully formation is prevented. The contractor shall inspect the control measures periodically and replace and/or modify the controls for relevant site situations.
- Where the application of temporary or permanent grass seed is specified as part of the SWPPP, the contractor shall use an appropriate grass seed mixture for the time of year that the seed is sowed. Use fescue during the spring and summer months and a mixture of fescue and winter rye during the fall and winter months. Sow at a rate of 6 lbs. per 1000 sq. ft. of area. Provide adequate amounts of water to establish a healthy stand of grass.
- If sediment escapes the construction site, it is the contractor's responsibility to remove the sediment that has escaped the site. The contractor shall obtain the permission of the landowner where the sediment has accumulated before removal can begin. If sediment enters a stream, the contractor must also gain the written permission of the State before remediation/reconstruction can begin.
- The contractor shall remove sediment from sediment traps, silt fences, sedimentation ponds, and other sediment controls as necessary and must be removed when capacity has been reduced by 30%.
- Litter, construction debris and construction chemicals exposed to storm water shall be picked up and removed from the site to prevent them from becoming a pollutant source for storm water discharges. After use, materials used for erosion prevention and sediment control should be removed from the site.
- There are no other construction activities or industrial activities associated with this project site that are covered under a separate permit.
- There are no streams or wetlands on or near this project site, therefore no additional permits associated with these features are required.
- All earth stockpiles, whether on the project site or off-site shall include erosion control measures to prevent the material from being washed from the site by storm water.
- Clearing and grubbing must be held to the minimum necessary for grading and equipment operation.
- Construction must be phased for projects in which over 50 acres of soil will be disturbed. Areas of the completed phase must be stabilized within 14 days (7 days for slopes  $\geq$  35%). No more than 50 acres of active soil disturbance is allowed at any time during the construction project.
- For projects that have a disturbed area of greater than 50 acres, the contractor shall provide a phasing plan to only disturb 50 acres or less at one time. Submit the phasing plan to the state and local agencies for their review.
- Erosion prevention and sediment control measures must be in place and functional before earth moving operations begin and must be constructed and maintained throughout the construction period. Temporary measures must be removed at the beginning of the workday, but must be replaced at the end of the workday.
- The contractor shall maintain a rain gauge and daily rainfall records at the site.
- The contractor shall initiate stabilization measures on portions of the site where construction activities have temporarily or permanently ceased. Temporary or permanent soil stabilization at the construction site must be completed no later than 14 days (7 days for slopes  $\geq$  35%) after the construction activity on that portion of the site has temporarily or permanently ceased.
- The contractor shall construct temporary diversion swales to divert off-site runoff from crossing the disturbed areas. These diversion swales, when necessary, shall be field located to avoid existing trees wherever possible.
- No work shall be allowed in or around streams or wetlands without the proper permits. Prior to the commencement of any construction activities in these areas, the contractor shall obtain a copy of the permits from the property owner which allows this work. He shall not begin work without obtaining a copy of these permits or stiff fines from the federal and state agencies may be levied.
- Muddy water to be pumped from excavation and work areas must be held in settling basins or filtered prior to its discharge into surface waters. Water must be discharged through a pipe, well-grassed or lined channel or other equivalent means so the discharge does not cause erosion and sedimentation. Discharged water must not cause an objectionable color contrast with the receiving stream.
- After construction is complete, all disturbed areas, which are not covered with impermeable surface (i.e. asphalt, concrete, buildings, etc.), shall be covered with topsoil (4-inch thick minimum), grass seed and straw. The contractor shall maintain the seed and straw until a solid, healthy stand of permanent grass covers the disturbed areas.
- Silt fence shall be used along the lower edge of disturbed areas that have sheet flow runoff. Where runoff is concentrated (such as swales and ditches), bump fences or rock check dams shall be used to slow the velocity and allow settling of sediment.
- All construction and waste material shall be collected and removed from the site on a periodic basis. All construction and waste material shall be located outside of any existing or proposed drainage ways and shall be covered and protected from the rain until they are removed from the site. Any liquid materials or chemicals stored on-site shall be located away from any existing or proposed drainage ways and a berm of sufficient height to contain the entire volume of the liquid shall be constructed to completely encompass and impound the stored materials to prevent a spill from flowing off of the site.
- All soil, plants, trees and other vegetation in protected streams and wetlands and along the banks of same are protected by State law and therefore a prohibited from being removed. The contractor shall ensure that these areas remain undisturbed during construction. Contractor shall erect construction barriers or take other means necessary to insure that the areas remain protected.
- The contractor shall employ a person to inspect the erosion control measures as required by the State and local agencies. The inspector must have successfully completed the Fundamentals of Erosion Prevention and Sediment Control course provided by the State. A copy of the certification or training record for inspector certification should be kept on site.
- Inspections described in the Tennessee General Permit shall be performed at least twice every calendar week and shall be performed at least 72 hours apart. Inspect all erosion control measures, disturbed areas, storage of material areas, outfall points, construction access points, etc.
- Inspections shall also be performed before anticipated storm events (or series of storm events such as intermittent showers over one or more days), and within 24 hours after the end of a storm event of 0.5 inches or greater.
- Any inadequate control measures or control measures in disrepair shall be repaired or modified or replaced as necessary before the next rain event if possible, but in no case more than 7 days after the need is identified. The contractor shall provide additional erosion control measures where necessary to insure adequate control so that no silt exits the project site.
- Inspections shall be documented and include: the scope of the inspection, name and title of personnel making the inspection, the date of the inspection, major observations relating to the implementation of the storm water pollution prevention plan (including the location of discharges of sediment or other pollutants from the site and of any control device that failed to operate as designed or proved inadequate for a particular location), and actions taken in accordance with the General Permit. Inspection documentation will be maintained on site and made available upon request. Inspection reports must be submitted to the State (TDEC) within 10 days of the request. Use the inspection report form provided in Appendix C of the General Permit and complete on a weekly basis.
- Sediment removed from sediment control structures is to be placed at a site that has been permitted by local and state agencies. The contractor is responsible for obtaining the site to "waste" the sediment material. The sediment shall be treated in a manner so that the area around the disposal site will not be contaminated or damaged by the sediment in the storm water run-off. Cost of this treatment is to be included in the price for the earthwork.
- The contractor shall seed and straw all disturbed areas within 14 days (7 days for slopes  $\geq$  35%) after final grading is completed, unless otherwise indicated. The contractor shall take whatever means necessary to establish permanent soil stabilization. Any areas that do not include construction activity for more than 14 days (7 days for slopes  $\geq$  35%) shall be temporarily covered with straw to help prevent erosion.
- Remove sediment from all drainage structures, pipes and swales before acceptance by the developer or the local governing agency.
- Remove the temporary erosion and water pollution control devices only when in the opinion of the owner's representative, they are no longer needed.
- During the period between the end of the construction and the establishment of the permanent vegetation, erosion control measures shall remain in place and maintained. Once permanent vegetation is established, then the erosion control measures may be removed.
- This SWPPP is developed in accordance with the Tennessee General NPDES Permit (TNR100000) for storm water discharges associated with construction activity (TNCP), and is prepared using sound engineering practices. Civil Site Design Group P.L.L.C. personnel involved with the development of this plan have completed the design of vegetative and structural measures for erosion and sediment control course available from the State of Tennessee.

As instructed by Part III.F of the TNCP, this plan and all attachments are hereby submitted to the local Environmental Assistance Center (EAC), along with the complete, correctly signed Notice of Intent (NOI). Construction will not be initiated prior to receipt of a Notice of Coverage (NOC) from the Tennessee Department of Environment and Conservation (TDEC).

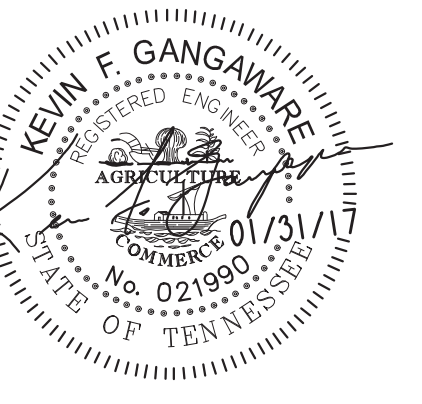
A NEW FACILITY  
FOR THE  
**THOMPSON'S STATION  
TOWN HALL**  
SITE ADDRESS  
1555 THOMPSON STATION ROAD WEST  
THOMPSON STATION, TENNESSEE 37179

**GRADING, DRAINAGE & UTILITY PLAN**  
REVISIONS:  
DATE: 01.31.17  
JOB NO.: 15009.00  
DR. BY: AM  
CK. BY: KG  
FILE NAME:  
TAX MAP 146 PARCEL 40.01  
TAX MAP 146-N, GROUP "A", PARCEL 1.00



**PROJECT BENCHMARK:**  
DESCRIPTION:  
ELEVATION:





A NEW FACILITY  
FOR THE  
**THOMPSON'S STATION  
TOWN HALL**  
SITE ADDRESS  
1555 THOMPSON STATION ROAD WEST  
THOMPSON'S STATION, TENNESSEE 37179

SITE UTILITY PLAN  
REVISIONS:  
DATE: 01.31.17  
JOB NO.: 15009.00  
DR. BY: AM  
CK. BY: KG  
FILE NAME:  
TAX MAP 146-N, GROUP "A", PARCEL 1.00  
PROJECT BENCHMARK:  
DESCRIPTION:  
ELEVATION:  
GRAPHIC SCALE 1"=20'  
C400



**Site Utility Notes:**

- The proposed water line shall be Type K copper piping.
- Provide a minimum 36" of cover over all water lines unless required otherwise by the local water department.
- All water lines and appurtenances shall be of materials and construction that conform to the local water department/district's requirements and specifications.
- Safeguard existing utilities from damage during construction of this project. In the event that special equipment is required to work over and around the utilities, the contractor will be required to furnish such equipment at no additional cost to the owner.
- Reduced Pressure Backflow Preventer (RPBP) or dual check valves will be required on all test and fill lines (jumper) needed for water main construction and must be approved by the local water department/district.
- Before connections are made into existing utilities, the new lines are to be flushed and tested by the contractor in accordance with the local water department/district specifications.
- The contractor shall adjust the alignment of the water lines (horizontally and/or vertically) to allow the required bracing at bends and tees.
- The contractor shall provide all horizontal and vertical bends to attain the alignment indicated on the plans. Provide vertical bends where necessary to allow water lines to pass under or over other utility lines. (All bends and braces needed may not be actually shown). Provide bracing and/or ridding at all bends and tees as required by local utility department/district.
- Contractor shall mark the location of all new PVC lines with #8 wire.
- The location of existing utilities shown on these plans are approximate only. The contractor shall notify each individual utility owner of his plan of operation in the area of the utilities. Prior to commencing work, the contractor shall contact the utility owners and request them to properly locate their respective utility on the ground in the area of private utility lines. The contractor shall have an underground locator mark the location of the existing lines. This notification shall be given at least three (3) business days prior to commencement of operations around the utility.
- The contractor shall field verify the exact horizontal and vertical location of existing water lines and sewer line at the point of connection prior to the commencement of construction or ordering materials, report any discrepancies to the engineer immediately.
- Repair existing pavement, curbs, walks, landscaping, etc. that are damaged by construction activities to a like new condition at no additional cost to the owner.
- Some utilities can be located by call the "Tennessee One Call" System, Inc. The contractor shall call "Tennessee One Call" (dial 811) 72 hours prior to proceeding with any excavation.
- All trenches cut in existing roads or drives shall utilize a clean saw cut and shall be backfilled (100%) to final sub grade with #57 stone. Repair pavement in accordance with the local governing agency requirements.
- The contractor shall comply with all pertinent provisions of the manual of Accident Prevention and Construction issued by AGC of America.

# THOMPSON'S STATION ROAD WEST

# SCHOOL ROAD

TOWN OF THOMPSON'S STATION  
ONE STORY BLOCK  
EXISTING BUILDING  
F.F.E. = 803.74

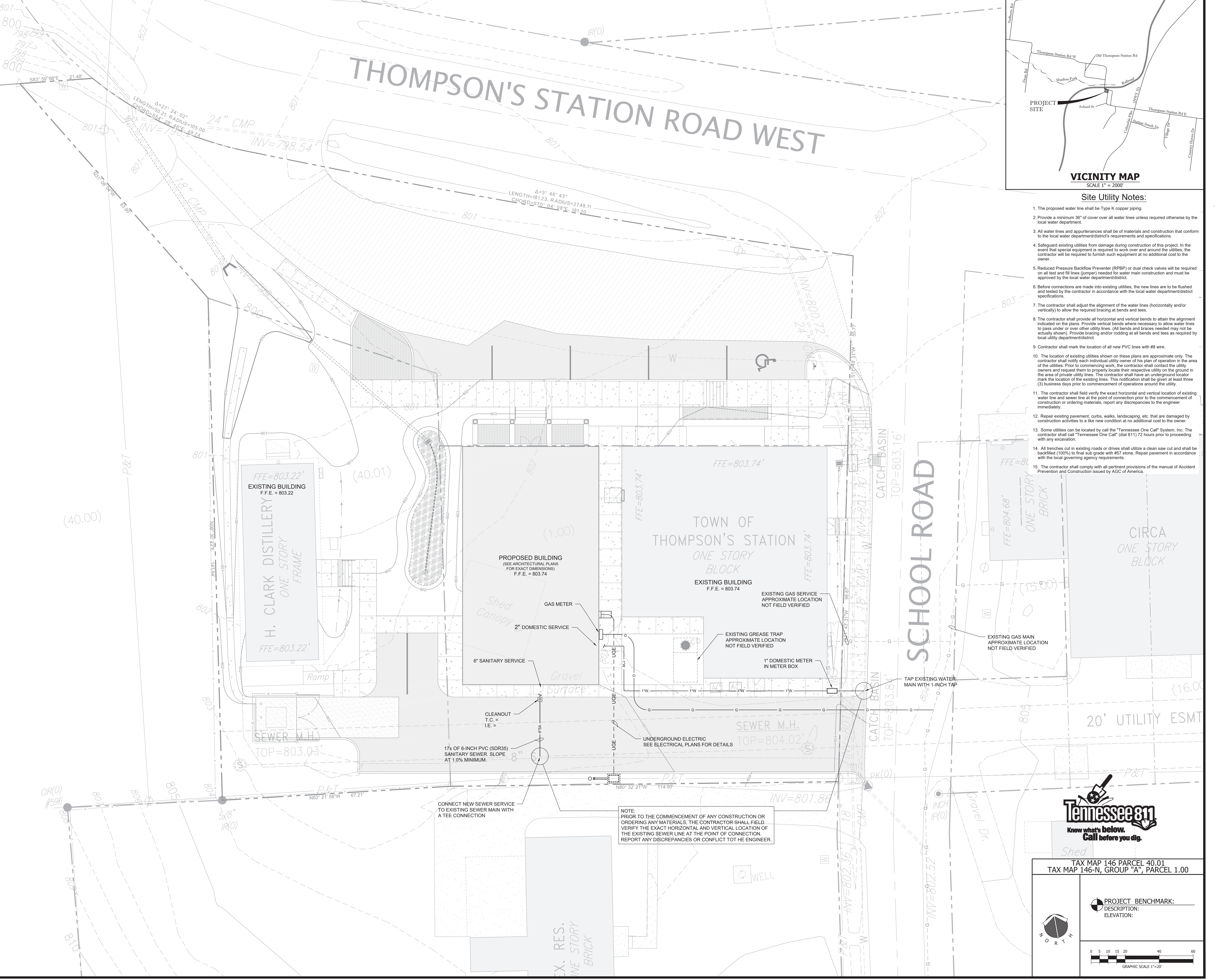
H. CLARK DISTILLERY  
ONE STORY FRAME  
EXISTING BUILDING  
F.F.E. = 803.22

PROPOSED BUILDING  
(SEE ARCHITECTURAL PLANS FOR EXACT DIMENSIONS)  
F.F.E. = 803.74

ONE STORY BRICK  
F.F.E. = 804.66

CIRCA ONE STORY BLOCK

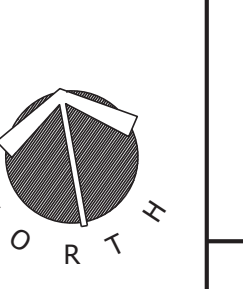
X. RES.  
ONE STORY BRICK



NOTE:  
PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION OR ORDERING ANY MATERIALS, THE CONTRACTOR SHALL FIELD VERIFY THE EXACT HORIZONTAL AND VERTICAL LOCATION OF THE EXISTING SEWER LINE AT THE POINT OF CONNECTION. REPORT ANY DISCREPANCIES OR CONFLICT TO THE ENGINEER.



TAX MAP 146 PARCEL 40.01  
TAX MAP 146-N, GROUP "A", PARCEL 1.00



**PLANT SCHEDULE**

| TREES        | QTY | COMMON NAME / BOTANICAL NAME   | CONT              | CAL   | SIZE       |
|--------------|-----|--|-------------------|-------|------------|
|              | 1   | Commemoration Sugar Maple / Acer saccharum 'Commemoration'<br>6' Clear Trunk, Single, Straight Central Leader, Evenly Branched,<br>Full Symmetrical Crown, Street Tree Quality. See Tree Specifications.   | B & B             | 4'Cal | 14'-16' HT |
|              | 3   | Patt Faye Decid. Cedar / Cedrus deodara 'Patt Faye'<br>Full, Dense, Upright Specimen   | B & B             |       | 8' HT      |
|              | 2   | Hearts of Gold Redbud / Cercis canadensis 'Hearts of Gold'<br>4' Clear Single Trunk, Evenly Branched, Full Symmetrical Crown,<br>See Tree Specifications   | B & B             |       | 10' HT     |
|              | 10  | Blue Arrow Juniper / Juniperus virginiana 'Blue Arrow'<br>Full, Dense Form. See Tree Specifications  | B & B             |       | 6' HT      |
|              | 4   | Dynamite Grape Myrtle / Lagerstroemia indica 'Dynamite'<br>3 Equal Cane, Full Rounded Head. See Tree Specifications,<br>MATCHED  | B & B             |       | 12' HT     |
|              | 1   | Urban Pinnacle Bur Oak / Quercus macrocarpa 'Urban Pinnacle'<br>6' Clear Trunk, Single, Straight Central Leader, Evenly Branched,<br>Full Symmetrical Crown, Street Tree Quality. See Tree Specifications. | B & B             | 4'Cal | 14'-16' HT |
| SHRUBS       | QTY | COMMON NAME / BOTANICAL NAME   | CONT              |       |            |
|              | 10  | Little Bluestem / Andropogon scoparius 'The Blues'<br>Full, Dense Form   | #1 Container      |       |            |
|              | 11  | Rheinland Astilbe / Astilbe x arendsii 'Rheinland'<br>Full, Heavy, Well-Rooted.  | #1 Container      |       |            |
|              | 6   | Blue Chip Dwf. Butterfly Bush / Buddlejia davidii 'Blue Chip'  | 16' HT            |       |            |
|              | 35  | Green Velvet Boxwood / Buxus x 'Green Velvet'<br>Full, Dense Form. Unsheered   | 18' HT / 18' SP   |       |            |
|              | 8   | Yellow Twig Dogwood / Cornus sericea 'Flaviramea'<br>Full, Dense Form  | 24' HT            |       |            |
|              | 2   | Tardiva Hydrangea / Hydrangea paniculata 'Tardiva'<br>Tree Form. Full, Dense Crown   | 48' HT            |       |            |
|              | 50  | Mondo Grass / Ophiopogon japonicus 'Silver Dragon'   | 1 Pint Container  |       |            |
|              | 22  | Harmel Dwarf Fountain Grass / Pennisetum alopecuroides 'Harmel'  | #1 Container      |       |            |
|              | 23  | Mini Sunglo Spirea / Spiraea japonica 'Mini Sunglo'<br>Full, Dense Dwarf Habbit (Can be sub with 'Magic Carpet')   | #3 Container      |       |            |
|              | 16  | Danica Globe Cedar / Thuja occidentalis 'Danica' TM<br>Full, Dense Form  | #3 Container      |       |            |
|              | 3   | Rheingold Arborvitae / Thuja occidentalis 'Rheingold'<br>Full, Dense Form  | 36' HT            |       |            |
| BIORETENTION | QTY | COMMON NAME / BOTANICAL NAME   | CONT              |       |            |
|              | 23  | Butterfly Milkweed / Asclepias tuberosa<br>Full, Dense Form, Well Rooted   | 1 Pint Containers |       |            |
|              | 11  | Palm Sedge / Carex muskingumensis<br>Full, Dense Form  | #1 Container      |       |            |
|              | 5   | Wild Hydrangea / Hydrangea arborescens<br>Full Form  | 24' HT            |       |            |
|              | 5   | Henry's Garnet Sweetspire / Itea virginica 'Henry's Garnet'<br>Full, Heavy, Well Branched  | #3 Cont. 16' HT   |       |            |
|              | 5   | Autumn Joy Sedum / Sedum x 'Autumn Joy'<br>Full, Dense   | #1 Container      |       |            |
|              | 6   | Autumn Goldenrod / Solidago sphacelata 'Golden Fleece'<br>Full Dense   | 1 Pint Container  |       |            |
|              | 16  | Prairie Dropseed / Sporobolus heterolepis<br>Full, Dense   | #1 Container      |       |            |
|              | 26  | New England Aster / Symphytrichum novae-angliae 'Purple Dome'<br>Full, Dense   | 1 Pint Container  |       |            |

**PLAN NOTES:**

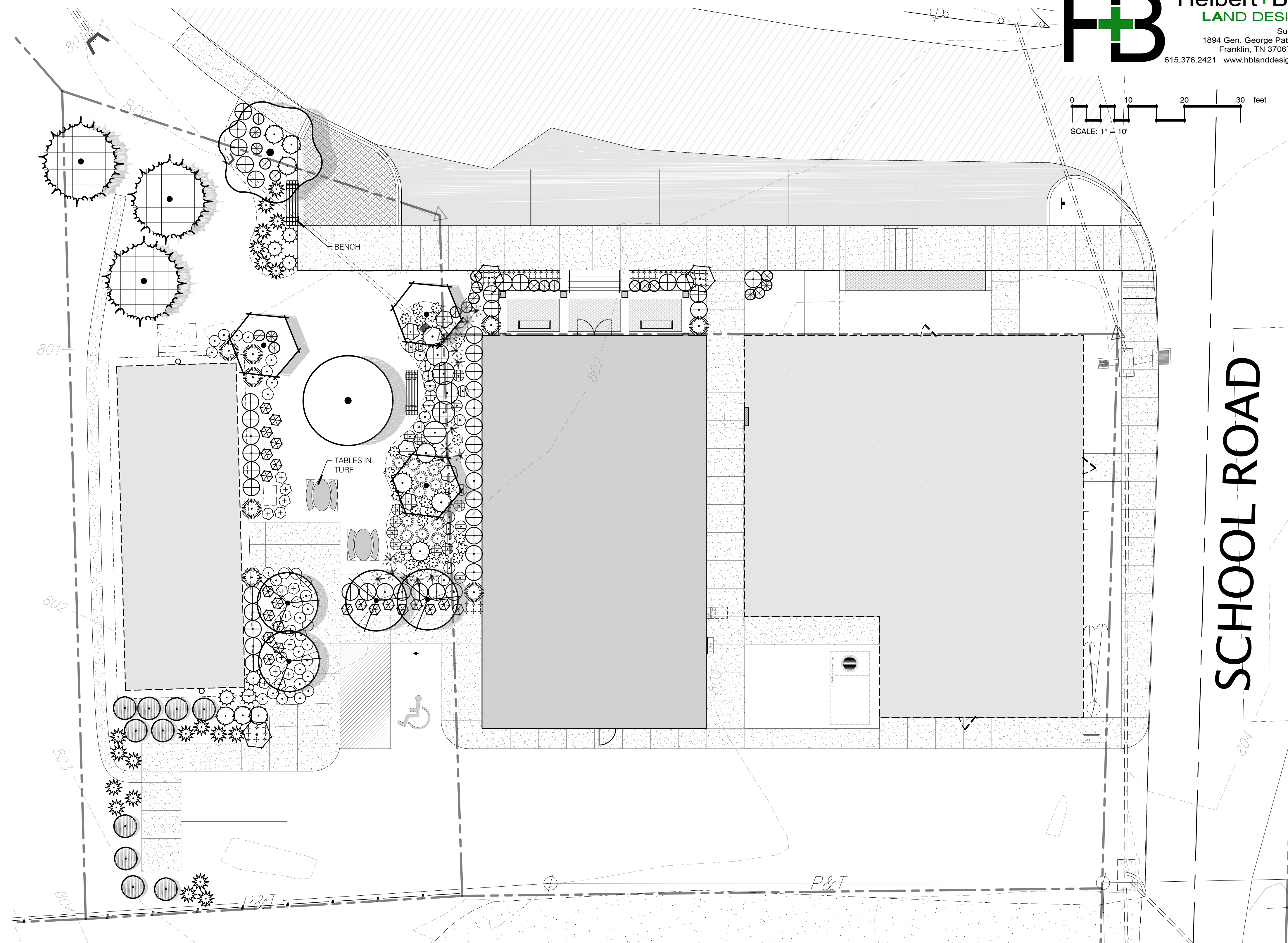
- ALL LANDSCAPE BEDS SHALL BE NEATLY TRENCHED WITH A BED EDGE AND HAVE 4" MINIMUM DEPTH OF SHREDED HARDWOOD MULCH.
- ALL TREES AND SHRUBS SHALL BE COORDINATED WITH LIGHTING PLAN PRIOR TO INSTALLATION.
- ALL TREES AND SHRUBS SHALL BE PLANTED 3" BEHIND BACK OF CURB.
- ALL AREAS OF DISTURBANCE OUTSIDE OF LANDSCAPE BEDS SHALL BE REPAIRED WITH REBEL III FESCUE SOD.

**PLANTING SCHEDULE NOTES:**

- SHRUBS AND TREES TO BE OF THE HIGHEST QUALITY.
- NO SUBSTITUTIONS ALLOWED WITHOUT PRIOR WRITTEN APPROVAL OF THE OWNER AND LANDSCAPE ARCHITECT OF RECORD.
- SUBSTITUTIONS AND DEVIATIONS MAY OR MAY NOT BE APPROVED.
- REVISED LANDSCAPE PLANS MUST BE SUBMITTED AND APPROVED BY THE CITY OF MURFREESBORO URBAN ENVIRONMENTAL DEPARTMENT 615-895-8059 PRIOR TO INSTALLATION.
- ALL IRRIGATION, LAWN AND PLANT MATERIALS WITHIN THE ROW MUST BE MAINTAINED BY THE PROPERTY OWNER.

**Notes:**

- The landscape contractor shall verify the exact location of all utilities and take necessary precautions to prevent damage to these utilities.
- The landscape contractor shall coordinate all construction with the appropriate utility company and shall be responsible for any damage to utilities.
- Plant materials and stumps indicated for removal shall be removed and disposed off-site by the contractor. Backfill holes with topsoil free of roots and rocks.
- All planting and mulch beds shall be hand weeded or sprayed with round-up (contractor's option) prior to the installation of mulch.
- The landscape contractor shall be responsible for the fine grading of all planting areas.
- The landscape contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- The landscape contractor shall be responsible for completely maintaining the work of all planting areas and lawns per landscape notes on drawing until substantial completion.
- The standards set forth in 'American Standard for Nursery Stock' represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- The landscape contractor shall completely guarantee all work for a period of two(2) years beginning at the date of acceptance. The landscape contractor shall make all replacements of any dead or damaged plant material promptly (as per direction of owner).
- The landscape contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to substantial completion.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- All deciduous trees, existing and proposed shall be pruned to provide 4' minimum clear trunk unless otherwise noted.
- ATTENTION OWNER/INSTALLER:  
This landscape plan has been designed to meet the minimum requirements of the Murfreesboro zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements; Thus problems may arise with releasing the performance/maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Heibert + Ball, Land Design and then obtaining approval from either the planning commission or the planning department.



**SUBSTITUTION NOTE:**

- Requirements shown are as per City Zoning Ordinance.
- Substitutions are not allowed unless approved by Heibert+Ball Land Design.
- After installation, the landscape will be maintained by the owner.
- Additional screening may be required if the inspection for the release of the performance bond reveals that the screening is not effective.

**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
In the event proposed canopy trees are in conflict (within 10') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**UTILITY SCREENING**  
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations.

**PLANT STANDARDS**  
The standards set forth in 'American Standard for Nursery Stock' represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. And meet the characteristics stated on this drawing. All material installed on the site MUST meet or exceed these specifications. Any trees or shrubs not meeting these standards can be rejected at time of inspection.

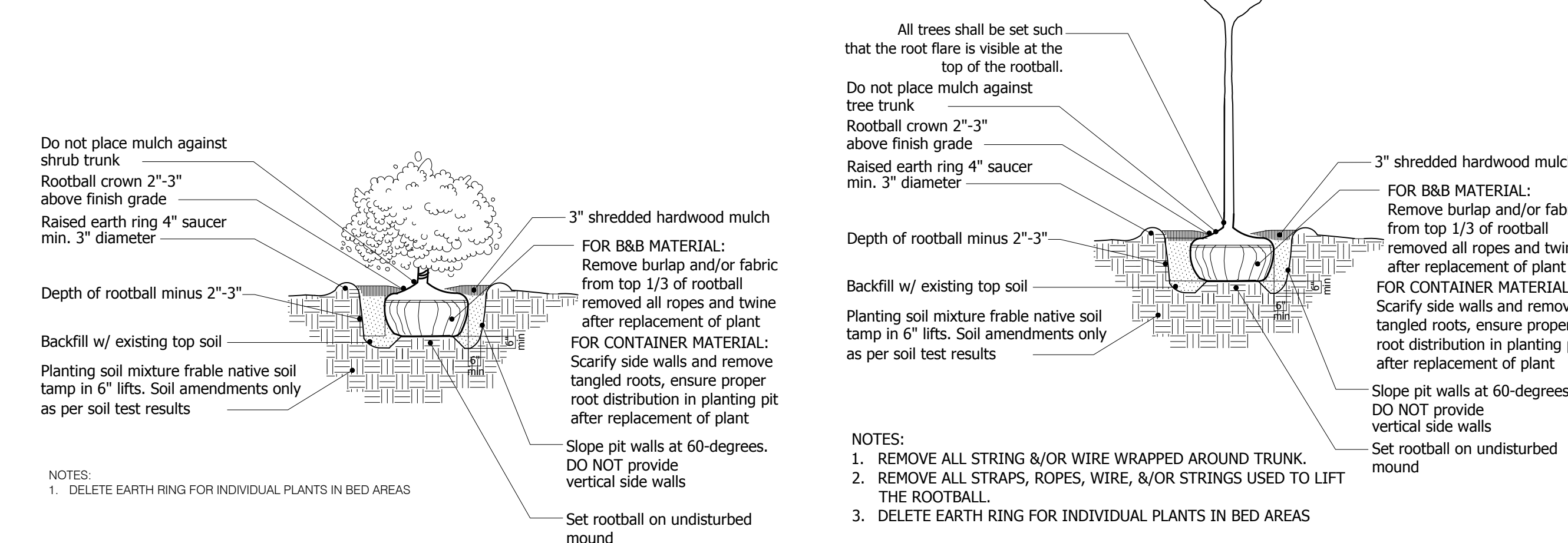
**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
- Trees with forked trunks are acceptable if all the following conditions are met:
  - The fork occurs in the upper 1/3 of the tree.
  - One fork is less than 2/3 the diameter of the dominant fork.
  - The top 1/3 of the smaller fork is removed at the time of planting.
  - No branch is greater than 2/3 the diameter of the trunk directly above the branch.
  - The trunk and/or major branches shall not touch.
  - Several branches are larger in diameter and obviously more dominant.
  - Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
  - Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
  - Crown spread shall look proportional to the tree.
  - NO flush cuts or open trunk wounds or other bark injury.
  - Root ball meets all ANSI standards and is appropriately sized.

**DEFICIENCIES NOT ACCEPTED:**

- Tip dieback on 5% of branches
- Crown thin/sparsely foliated
- Included bark
- Major Branches touching
- Asymmetrical branching

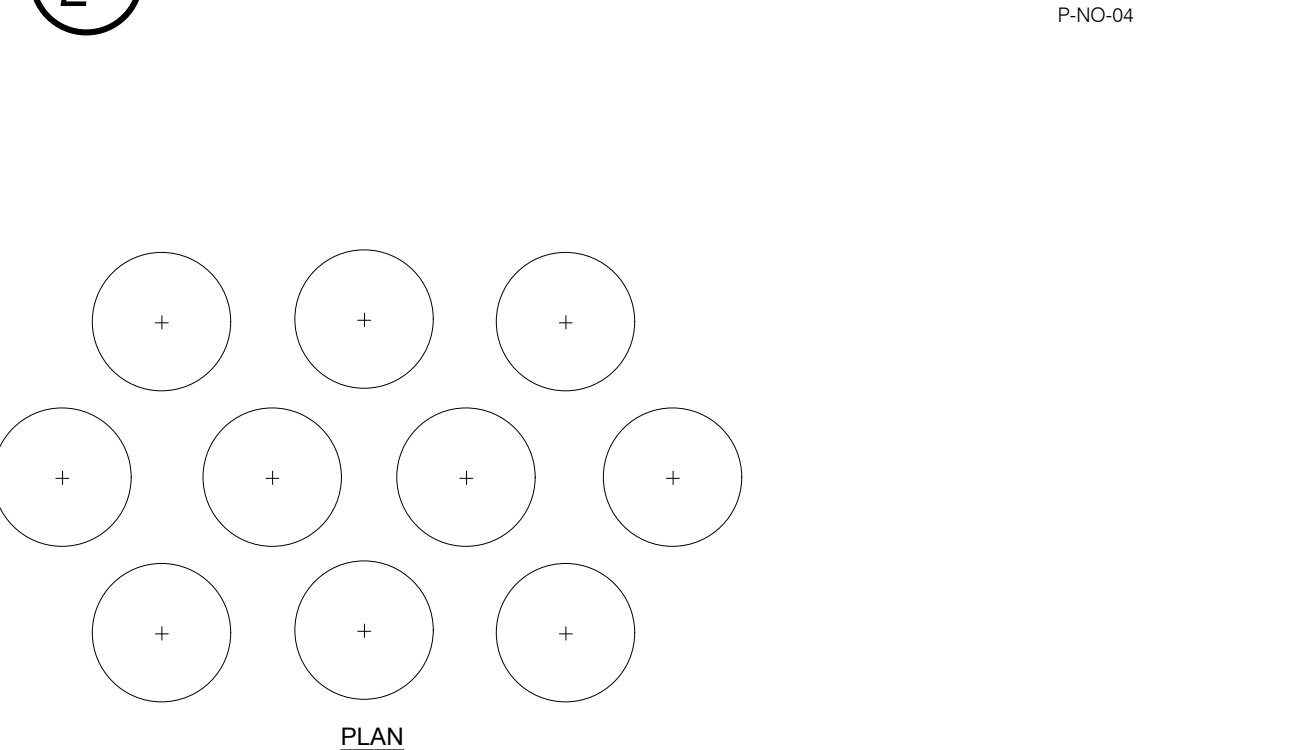
**LANDSCAPE SHALL NOT OBSTRUCT VISIBILITY OR ACCESS TO FIRE PROTECTION EQUIPMENT INCLUDING, BUT NOT LIMITED TO, FIRE HYDRANTS AND FIRE DEPARTMENT CONNECTIONS**



**1 SHRUB PLANTING**

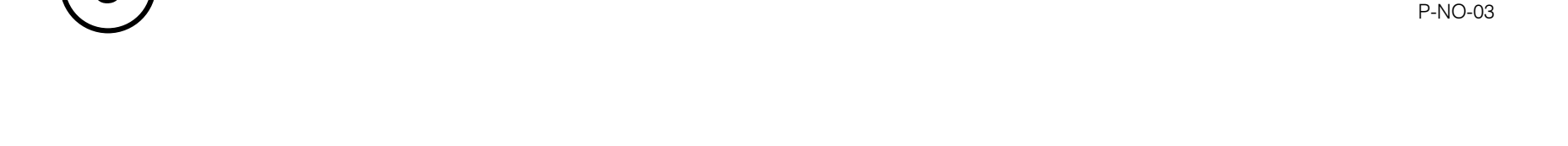


**2 TREE PLANTING**



**GROUND COVER / PERENNIAL PLANTING**

**3 GROUND COVER PLANTING**



**C & I DESIGN, INC.**  
P.O. Box 1197  
101 Southeast Parkway Court, Suite 120  
Franklin, Tennessee 37065  
Phone: 615.599.2525  
Fax: 615.599.7755

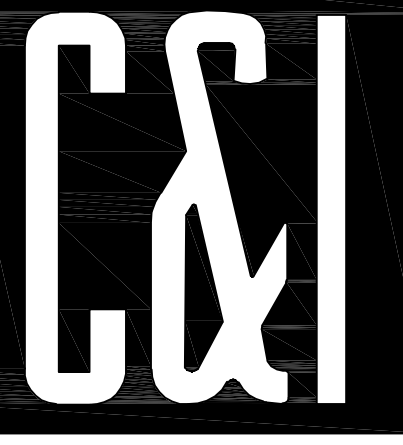


A NEW FACILITY FOR THE  
**THOMPSON'S STATION CITY HALL**  
SITE ADDRESS  
1555 THOMPSON STATION ROAD WEST  
THOMPSON'S STATION, TENNESSEE 37179

**L100 LANDSCAPE PLAN**

| REVISIONS | DATE     | BY | CHK |
|-----------|----------|----|-----|
| 1         | 01.31.17 |    |     |
| 2         | 15009.00 |    |     |

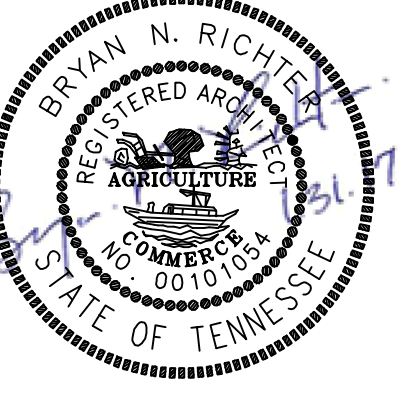
DATE: 01.31.17  
JOB NO.: 15009.00  
DR. BY:  
CHK. BY:  
FILE NAME:  
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ARCHITECTURE  
INTERIORS

C & I DESIGN, INC.

P.O. Box 1197  
101 Southeast Parkway Court, Suite 120  
Franklin, Tennessee 37065  
Phone: 615.599.2525  
Fax: 615.599.7755



A NEW FACILITY  
FOR THE  
**THOMPSON'S STATION  
TOWN HALL**

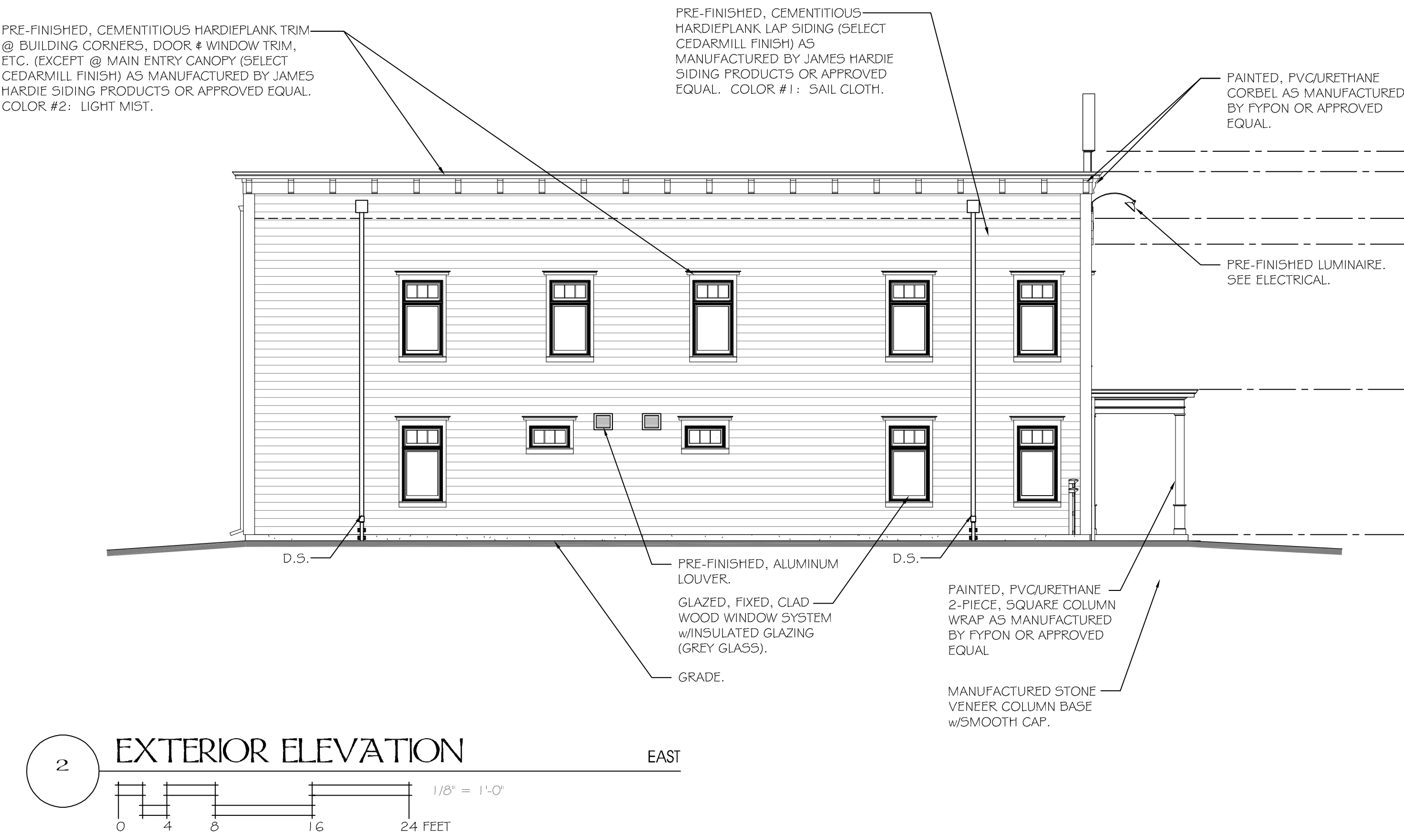
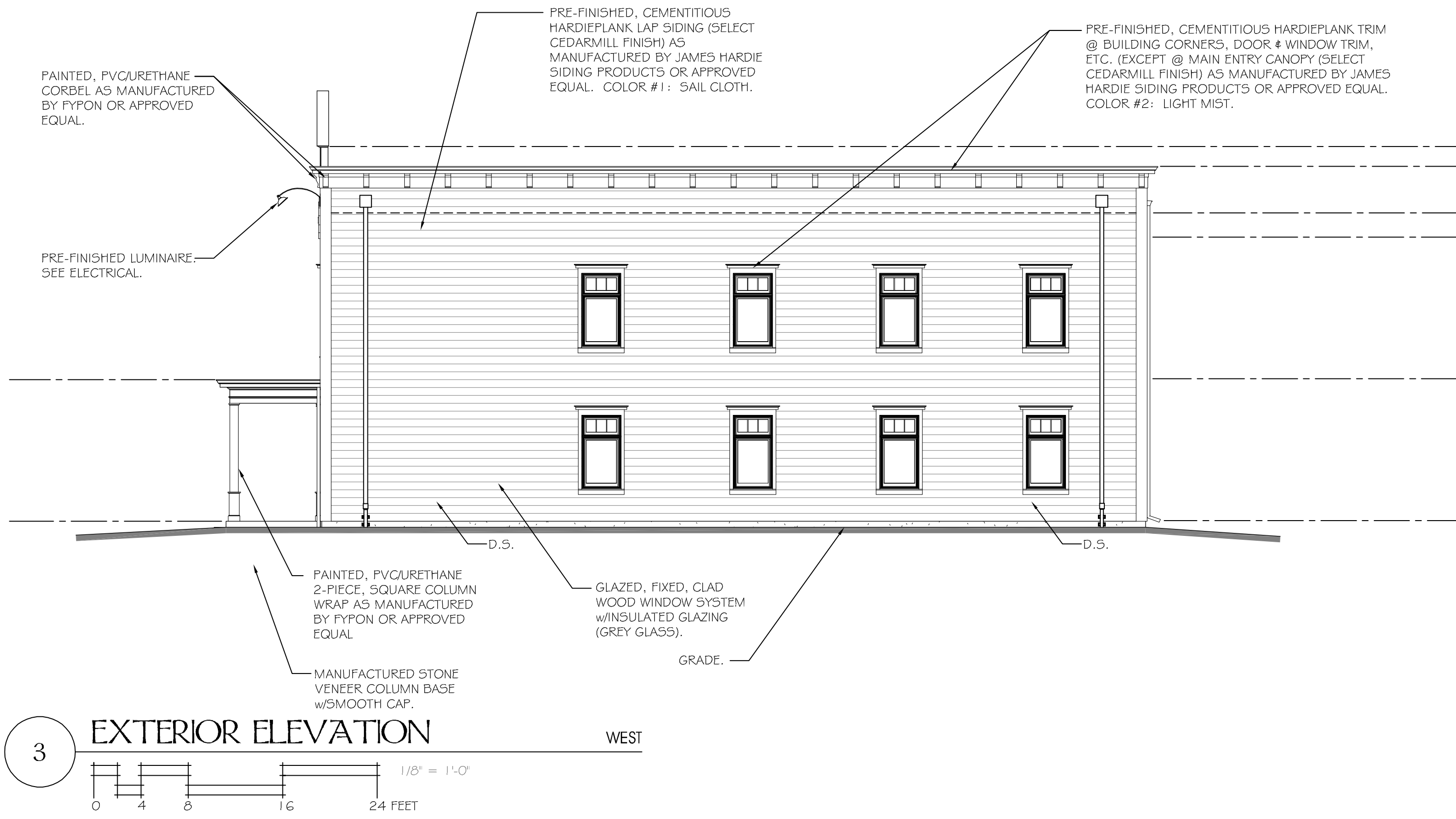
SITE ADDRESS  
1655 THOMPSON STATION ROAD WEST  
THOMPSONS STATION, TENNESSEE 37179

EXTERIOR ELEVATIONS

REVISIONS:

|  |                    |            |   |
|--|--------------------|------------|---|
| DATE:  | 06.04.18           | REVISIONS: | Δ |
| JOB NO.:   | 15009.00           | Δ          |   |
| DR. BY:  | b.                 | Δ          |   |
| CK. BY:  | BP                 | Δ          |   |
| FILE NAME:   | 15009_sch-c400.dwg | Δ          |   |
| THESE ELEVATIONS SHALL BE USED IN CONJUNCTION WITH THE ARCHITECTURAL AND MECHANICAL CONTRACTS FOR THIS PROJECT. ALL RIGHTS RESERVED. COPYRIGHT 2018. |                    |            |   |

A400



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