

Town of Thompson's Station
Design Review Commission
Meeting Agenda
April 6, 2016

Meeting Called To Order

Minutes-

Consideration Of The Minutes Of The November 4, 2015 Meeting.

Documents:

[110415 DRC MINUTES.PDF](#)

New Business:

1. Design Review For The Development Of Williamson County School Located At Located Within Roderick Place. (File: SP 2016-002 & DR 2016-002).

Documents:

[ITEM 1 WCS SCHOOL STAFF REPORT.PDF](#)
[SITE PLAN PACKET WCS SCHOOLS.PDF](#)

2. Design Review For The Addition Of A 1,800 Square Foot Building For An Expansion Of The Existing Automotive Facility Located At 4713 Trader's Way (File: SP 2016-001; DR 2016-001).

Documents:

[ITEM 2 - FAST LUBE STAFF REPORT.PDF](#)
[SITE PLAN PACKET FOR FAST LUBE.PDF](#)

Adjourn

*Meetings are held at 4:00 pm in Thompson's Station Town Hall
1550 Thompson's Station Rd West*

Town of Thompson's Station
Design Review Commission
Minutes of the Meeting
November 4, 2015

Call to Order.

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:01 p.m. on Wednesday, November 4, 2015 with the required quorum. Members and staff in attendance were Commissioners Steve Bennett, Kim Peterson and Wanda Bradley; Town Planner Wendy Deats and Town Recorder Chandra Boughton and Town Clerk Jennifer Jones. Commissioners Darryl Stevens and Mary Khim were unable to attend.

Consideration of Minutes.

The minutes of the October 7, 2015 meeting were previously submitted.

Commissioner Bradley moved for approval of the October 7, 2015 Design Review Commission meeting minutes. The motion was seconded and carried unanimously.

New Business:

1. Design Review for the development of a restaurant/gas station located within Roderic k Place. (File: SP 2015-008 & DR 2015-007).

Mrs. Deats reviewed the request. Based on the project's consistency with the approvals granted for the Specific Plan, Mrs. Deats recommended that the Design Review Commission approve the project as presented. Mr. Michael Hathaway, on behalf of the applicant, answered questions regarding location, restaurant type and seating.

After discussion, Commissioner Bradley moved for approval of the Design Review for the development of a restaurant/gas station located within Roderick Place, contingent upon Planning Commission approval. The motion was seconded and carried unanimously.

2. Design Review for the development of 39 townhomes located within Section 9B of the Fields of Canterbury (File: SP 2015-009, DR 2015-008).

Mrs. Deats reviewed the request. Based on the project's consistency with the Town's Zoning Ordinance, Mrs. Deats recommended that the Design Review Commission approve the project as presented. Mr. Bucky Ingram, the applicant, answered questions regarding variation of building colors, and how they would maintain design consistency within the development.

After discussion, Commissioner Peterson moved for the approval of the Design Review for the development of 39 townhomes located within Section 9B of the Fields of Canterbury. The motion was seconded and carried unanimously.

3. Design Review for a 10,300 square foot administrative building located a 2604 Thompson's Station Road East (File SP 2015-007, DR 2015-009).

Mrs. Deats reviewed the request. Based on the project's consistency with the Town's Zoning Ordinance, Mrs. Deats recommended that the Design Review Commission approve the project as presented, noting the Commission had approved a similar project and outlining the changes with

this project. Mrs. Deats also noted that the Planning Commission approval had an added contingency of wrapping plantings around the entire foundation. The Commission asked questions regarding building location and parking.

After discussion, Commissioner Peterson moved for the approval of the Design Review for a 10,300 square foot administrative building located at 2604 Thompson's Station Road East. The motion was seconded and carried unanimously.

Additional Discussion: Mrs. Deats informed the Commission that they would no longer review townhome projects. Going forward, the Commission will review commercial use projects and apartments.

Next Meeting Date: Mrs. Deats informed the Commission that the DRC would not meet in December.

Adjourn.

There being no further business, the meeting was adjourned at 4:38 p.m.

Steve Bennett, Chairman

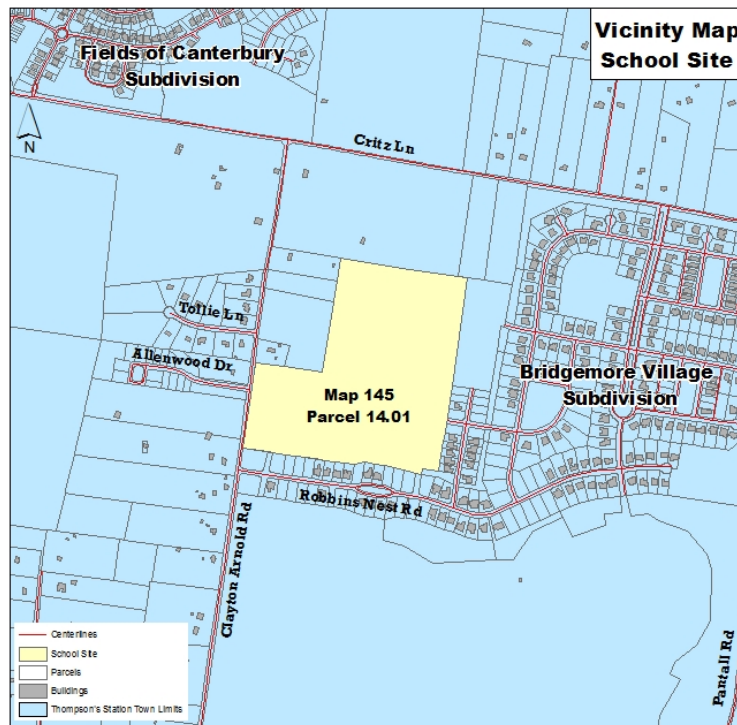
Wanda Bradley, Secretary

**Thompson's Station Design Review Commission
Staff Report – Item 1 (File: DR 2016-002)
April 6, 2016**

Site Plan for the development of an elementary and middle school located at 2638 and 2640 Clayton Arnold Road.

PROJECT DESCRIPTION

The applicant, Williamson County Schools has submitted a site plan for the development of an elementary and middle school located on a 46.87-acre site along the east side of Clayton Arnold Road. The school will be 233,880 square feet and will include grades K – 8 with separate gym facilities, a football fields, multi-sport field, a baseball field and a softball field.



ANALYSIS

Site Plan

The applicant is proposing the development of a new elementary and middle school. The project was reviewed and approved by the Planning Commission on March 29, 2016.

Architecture

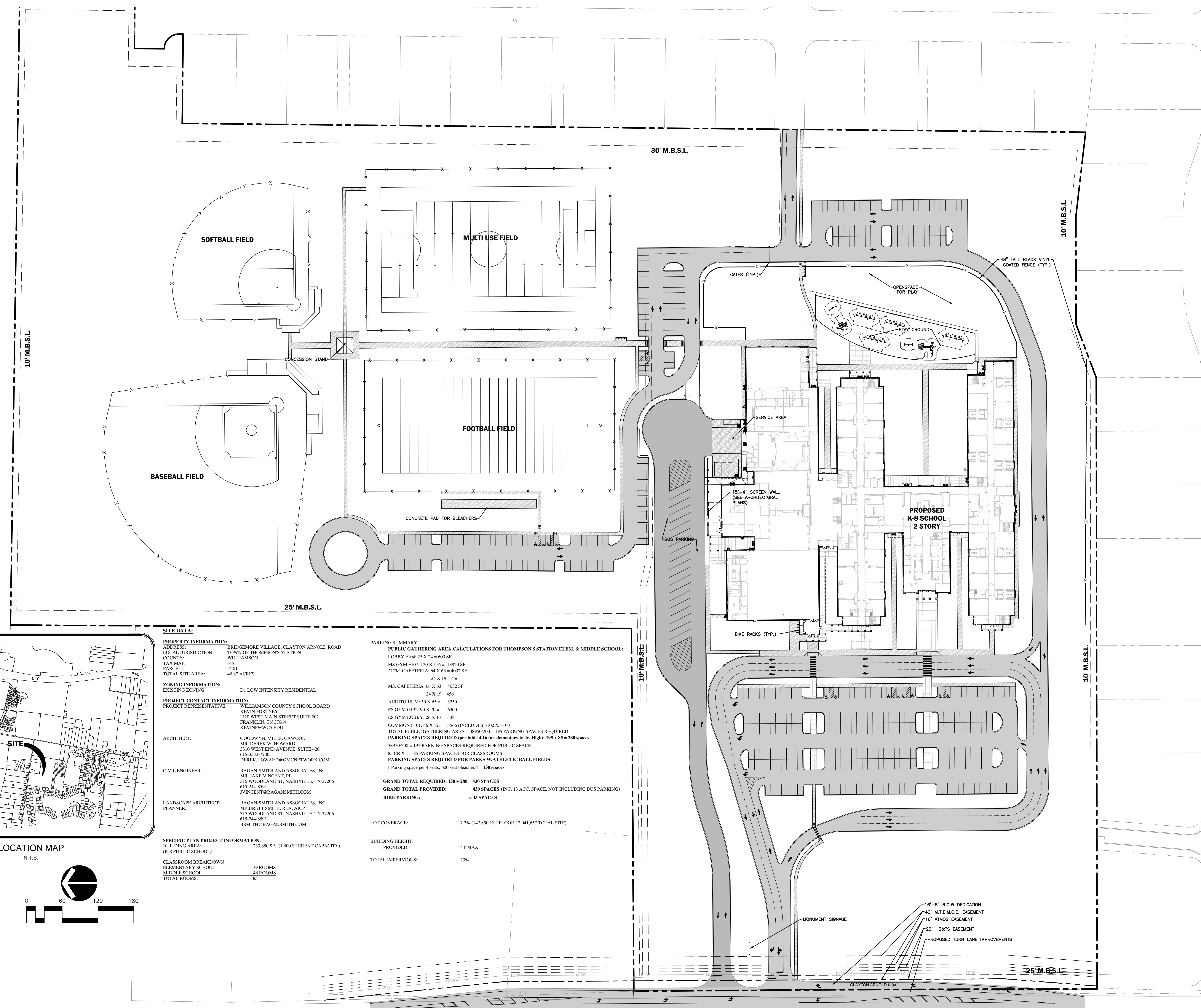
Building height is measured in stories above ground and the code permits three stories. The proposed school will have two stories and a height of 44 feet. The building will be constructed as a predominantly red brick building with asphalt composition roofing which consists of varied roof lines. The building will have two wings for each school with a main office entry in the center of the building along the front elevation (west). The west elevation has varied wall planes with a turned accent brick band consisting of a lighter tan brick color along the roofline and at the midpoint of the building. The west elevation entry is recessed and defined with gable roof overhang at the height of the building. The west elevation also incorporates overhangs to frame the first floor and most entry points have awnings over the doors. The rear elevation (east) consists of similar architectural features to the west elevation.

RECOMMENDATION

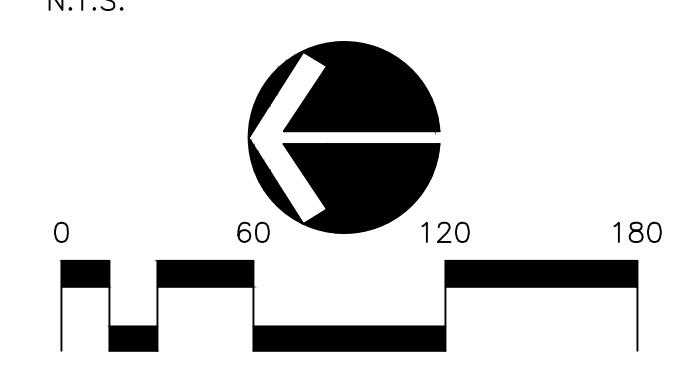
Staff recommends that the Design Review Commission approved the project design.

ATTACHMENTS

Site Plan Packet



LOCATION MAP



SITE DATA:

PROPERTY INFORMATION:
 ADDRESS: BRIDGEMORE VILLAGE, CLAYTON ARNOLD ROAD
 LOCAL JURISDICTION: TOWN OF THOMPSON'S STATION
 COUNTY: WILLIAMSON
 TAX MAP: 145
 PARCEL: 14.01
 TOTAL SITE AREA: 46.87 ACRES

ZONING INFORMATION:
 EXISTING ZONING: D1 LOW INTENSITY RESIDENTIAL

PROJECT CONTACT INFORMATION:
 WILLIAMSON COUNTY SCHOOL BOARD
 KEVIN FORTNEY
 1320 WEST MAIN STREET SUITE 202
 FRANKLIN, TN 37064
 KEVIN@WCS.EDU

ARCHITECT:
 GOODWYN, MILLS, CAWOOD
 MR. DEREK W. HOWARD
 3310 WEST END AVENUE, SUITE 420
 615.333.7200
 DEREK.HOWARD@GMCNETWORK.COM

CIVIL ENGINEER:
 RAGAN-SMITH AND ASSOCIATES, INC.
 MR. JAKE VINCENT, PE
 315 WOODLAND ST, NASHVILLE, TN 37206
 615.244.8501
 JVINCENT@RAGANSMITH.COM

**LANDSCAPE ARCHITECT/
 PLANNER:**
 RAGAN-SMITH AND ASSOCIATES, INC.
 MR. BRETT SMITH, RLA, AICP
 315 WOODLAND ST, NASHVILLE, TN 37206
 615.244.8501
 BSMITH@RAGANSMITH.COM

SPECIFIC PLAN PROJECT INFORMATION:
 BUILDING AREA (K-8 PUBLIC SCHOOL): 233,880 SF. (1,600 STUDENT CAPACITY)
 CLASSROOM BREAKDOWN
 ELEMENTARY SCHOOL: 39 ROOMS
 MIDDLE SCHOOL: 46 ROOMS
 TOTAL ROOMS: 85

PARKING SUMMARY:

PUBLIC GATHERING AREA CALCULATIONS FOR THOMPSON'S STATION ELEM. & MIDDLE SCHOOL:
 LOBBY F104: 25 X 24 = 600 SF
 MS GYM F107: 120 X 116 = 13920 SF
 ELEM. CAFETERIA: 64 X 63 = 4032 SF
 24 X 19 = 456
 MS. CAFETERIA: 64 X 63 = 4032 SF
 24 X 19 = 456
 AUDITORIUM: 50 X 65 = 3250
 ES GYM G132: 90 X 70 = 6300
 ES GYM LOBBY: 26 X 13 = 338
 COMMON F101: 46 X 121 = 5566 (INCLUDES F102 & F103)
 TOTAL PUBLIC GATHERING AREA = 38950/200 = 195 PARKING SPACES REQUIRED
PARKING SPACES REQUIRED (per table 4.16 for elementary & Jr. High): 195 + 85 = 280 spaces
 38950/200 = 195 PARKING SPACES REQUIRED FOR PUBLIC SPACE
 85 CR X 1 = 85 PARKING SPACES FOR CLASSROOMS
PARKING SPACES REQUIRED FOR PARKS W/ATHLETIC BALL FIELDS:
 1 Parking space per 4 seats; 600 seat bleacher/4 = 150 spaces

GRAND TOTAL REQUIRED: 150 + 280 = 430 SPACES
GRAND TOTAL PROVIDED: = 430 SPACES (INC. 13 ACC. SPACE, NOT INCLUDING BUS PARKING)
BIKE PARKING: = 43 SPACES

LOT COVERAGE: 7.2% (147,850 1ST FLOOR / 2,041,657 TOTAL SITE)

BUILDING HEIGHT: PROVIDED: 44' MAX

TOTAL IMPERVIOUS: 23%



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 3310 West End Avenue, Suite 420 | Nashville, TN 37203
 Tel 615.333.7200
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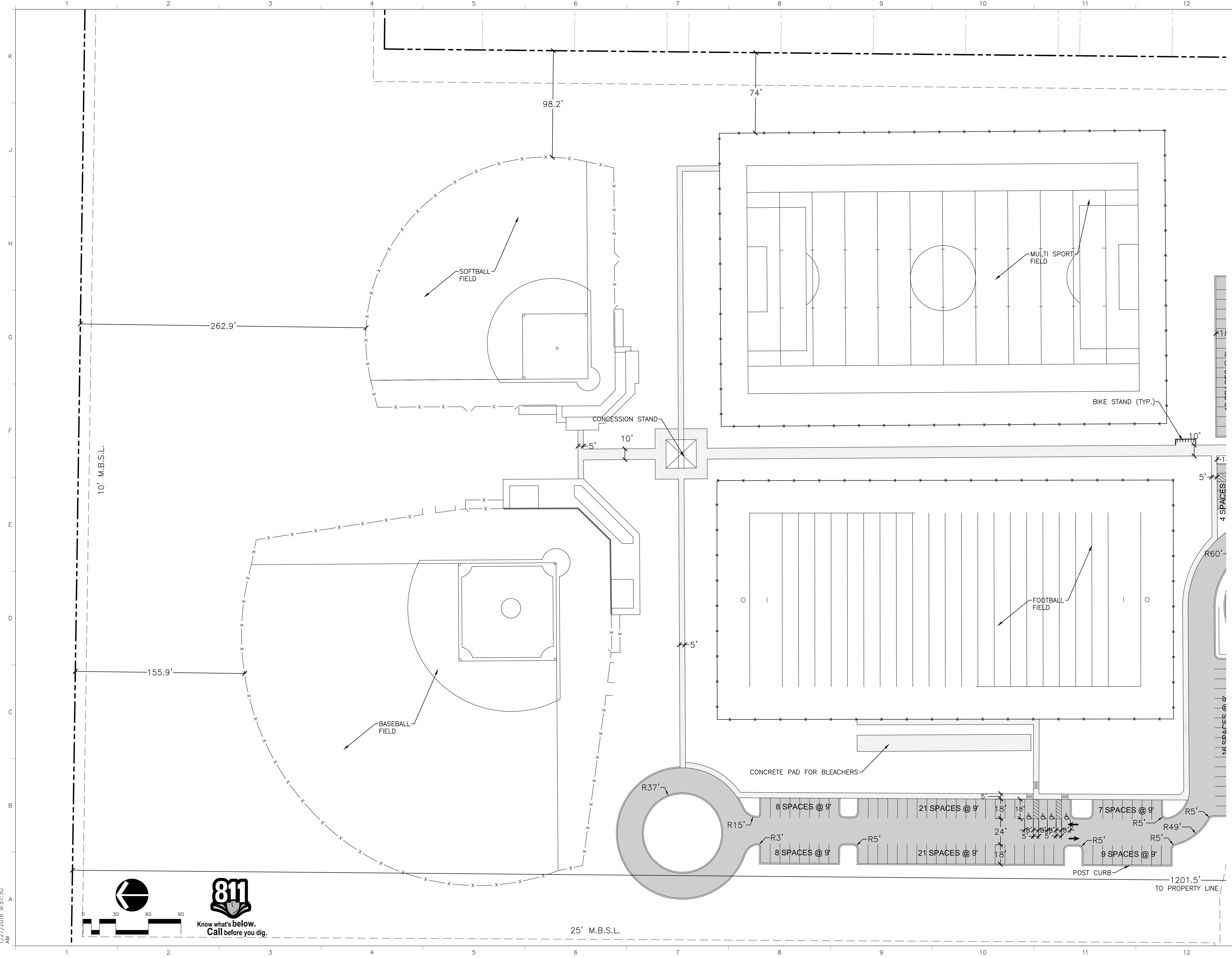
ISSUE DATE	DATE
INITIAL SUBMITTAL	02/24/16
TOWN COMMENTS	03/07/16

drawn by: D.SIEBERG
 checked by: B.SMITH

THOMPSON'S STATION K-8
 THOMPSON'S STATION, TN 37179

OVERALL LAYOUT PLAN

C1.0
Sheet of



811
Know what's below.
Call before you dig.

ENLARGED LAYOUT PLAN

THOMPSON'S STATION K-8

THOMPSON'S STATION, TN 37179

INITIAL SUBMITTAL 02/24/16
 TOWN COMMENTS 03/07/16

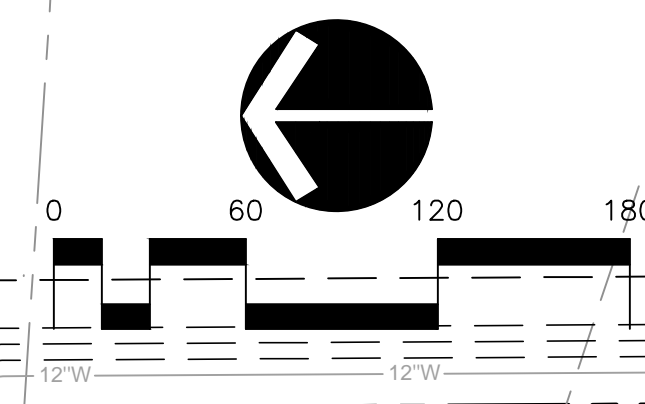
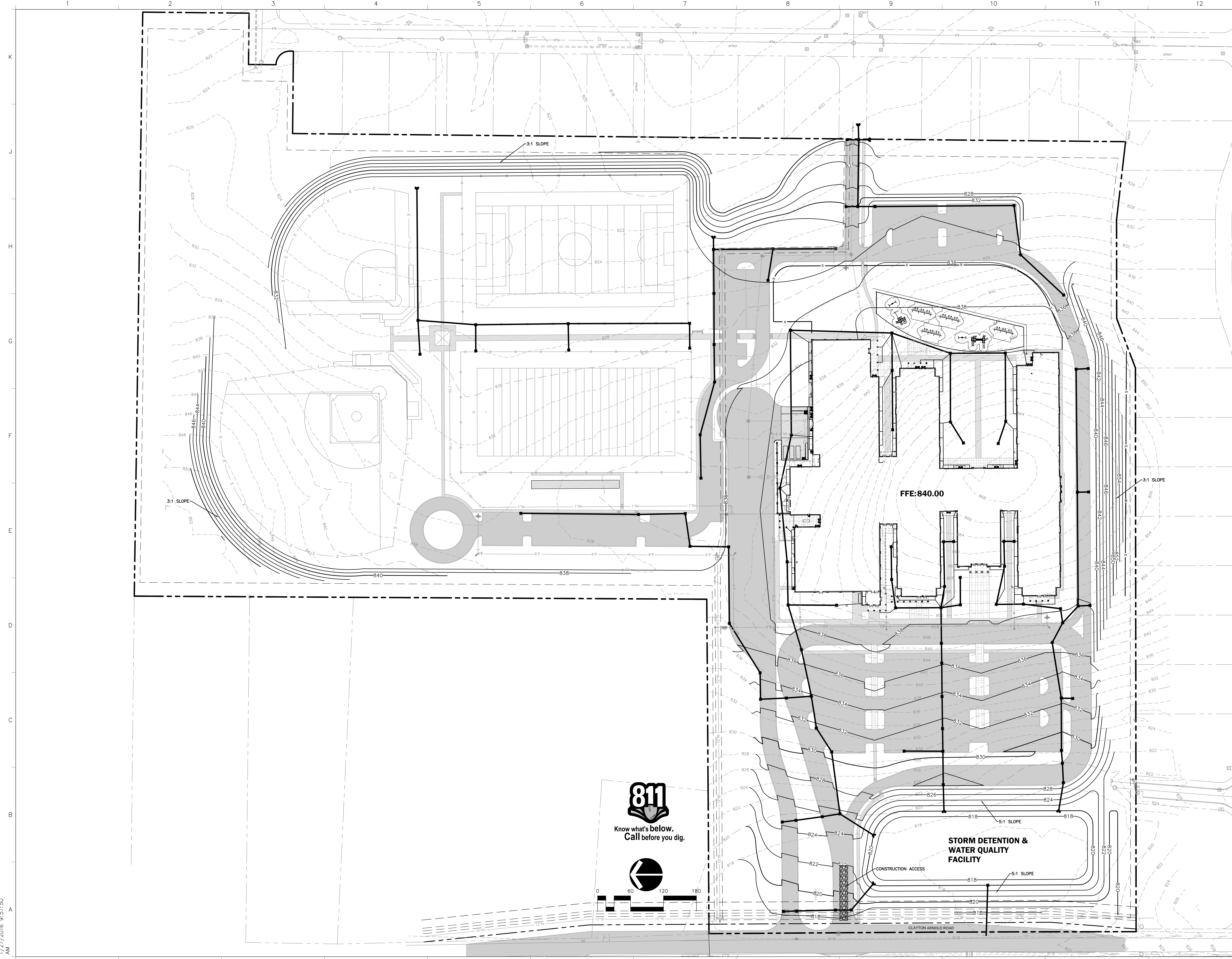
ISSUE DATE

drawn by: D.SIEBERG
 checked by: B.SMITH

C1.3
Sheet of

RAGAN SMITH
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 LANDSCAPE ARCHITECTS • SURVEYORS
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OVERALL GRADING PLAN

THOMPSON'S STATION K-8

THOMPSON'S STATION, TN 37179

C2.0
Sheet of

ISSUE DATE

INITIAL SUBMITTAL 02/24/16
TOWN COMMENTS 03/07/16

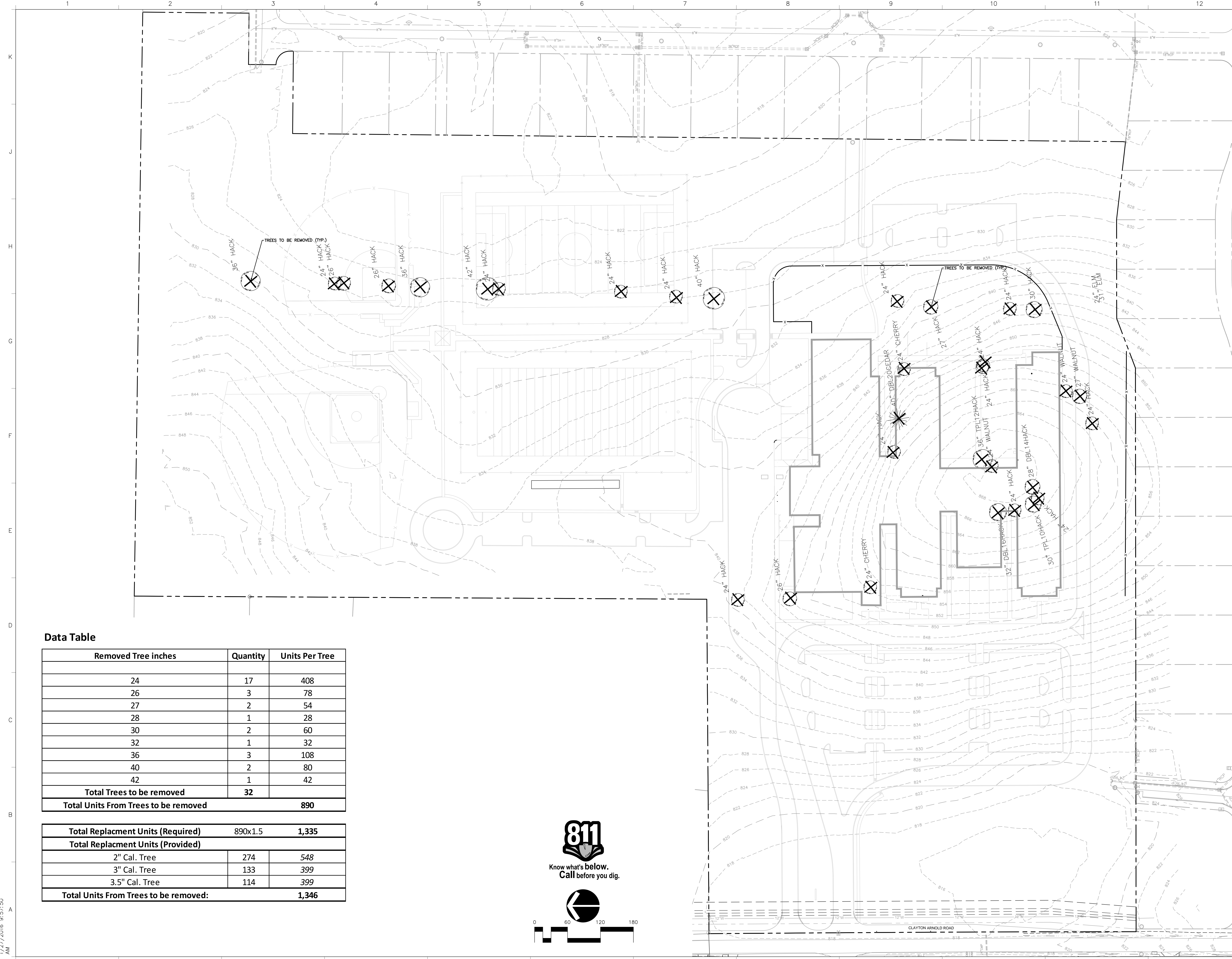
drawn by: D.SIEBERG
checked by: B.SMITH



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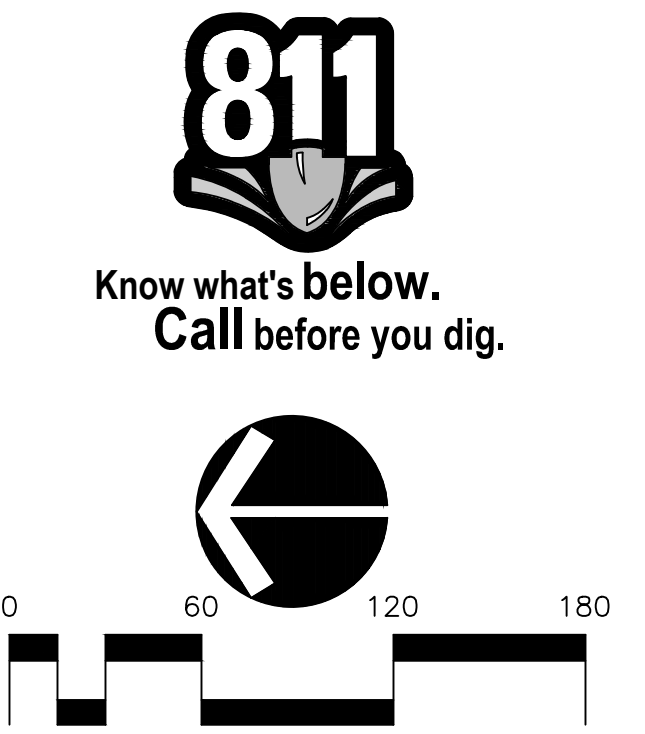
1/4/17 4:00 PM 3:31:30



Data Table

Removed Tree inches	Quantity	Units Per Tree
24	17	408
26	3	78
27	2	54
28	1	28
30	2	60
32	1	32
36	3	108
40	2	80
42	1	42
Total Trees to be removed	32	
Total Units From Trees to be removed		890

Total Replacement Units (Required)	890x1.5	1,335
Total Replacement Units (Provided)		
2" Cal. Tree	274	548
3" Cal. Tree	133	399
3.5" Cal. Tree	114	399
Total Units From Trees to be removed:		1,346



THOMPSON'S STATION K-8

THOMPSON'S STATION, TN 37179

TREE REMOVAL PLAN

Sheet **TR1.0** of

ISSUE DATE

INITIAL SUBMITTAL 02/25/16

TOWN COMMENTS 03/07/16

drawn by: D.SIEBERG

checked by: B.SMITH

RAGAN SMITH

LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS

3310 West End Avenue, Suite 420 | Nashville, TN 37203
Tel 615.333.7200

GOODWYN MILLS CAWOOD

GMCNETWORK.COM

Symbol	Qty	Label	Arrangement	Total Lamp Lumens	LLF	Description	[MANUFAC]
	14	P	SINGLE	N.A.	0.900	ASL-24L-5K-210-2	HUBBELL OUTDOOR
	3	P1	SINGLE	N.A.	0.900	ASL-24L-5K-210-3	HUBBELL OUTDOOR
	4	P2	SINGLE	N.A.	0.900	ASL-24L-5K-210-4	HUBBELL OUTDOOR
	15	P3	BACK-BACK	N.A.	0.900	ASL-24L-5K-210-4	HUBBELL OUTDOOR

Calculation Summary						
Label	CalcType	Units	Avg	Max	Min	Avg/Min
CalcPts_1	Illuminance	Fc	1.90	8.6	0.2	9.50
Property line	Illuminance	Fc	0.01	0.3	0.0	N.A.

EQUIPMENT LIST FOR BASEBALL										
Pole		Luminaires								
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LAMP TYPE	QTY	THIS GRID	OTHER GRIDS		
2	A1-A2	70'		70'	1500W MZ	5	5	0		
2	B1-B2	80'		80'	1500W MZ	9	9	0		
2	C1-C2	70'		70'	1500W MZ	6	6	0		
TOTALS						40	40	0		

EQUIPMENT LIST FOR SOFTBALL										
Pole		Luminaires								
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LAMP TYPE	QTY	THIS GRID	OTHER GRIDS		
2	A3-A4	60'		60'	1500W MZ	3	3	0		
2	B3-B4	70'		70'	1500W MZ	6	6	0		
TOTALS						18	18	0		

EQUIPMENT LIST FOR SOCCER										
Pole		Luminaires								
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LAMP TYPE	QTY	THIS GRID	OTHER GRIDS		
2	S1-S2	70'		70'	1500W MZ	8	8	0		
2	S3-S4	70'		70'	1500W MZ	8/7*	8	7		
TOTALS						46	32	14		

* This structure utilizes a back to back mounting configuration

EQUIPMENT LIST FOR FOOTBALL										
Pole		Luminaires								
QTY	LOCATION	SIZE	GRADE ELEVATION	MOUNTING HEIGHT	LAMP TYPE	QTY	THIS GRID	OTHER GRIDS		
2	F1-F2	70'		70'	1500W MZ	7	7	0		
2	S3-S4	70'	-1'	69.9'	1500W MZ	8/7*	8	7		
TOTALS						44	28	16		

* This structure utilizes a back to back mounting configuration

ALLEN WOOD DRIVE

FORCE MAIN
(NOT FIELD LOCATED)

24" CHERRY
24" CHERRY
20' HB&TS UTILITY
IN=8' DISTRICT EASEMENT

BENCHMARK
ELEV=833.66
BOLT ON FIRE HYDRANT

ROBINS NEST ROAD

PHOTOMETRIC
SITE PLAN
SCALE: 1"=80'-0"
PLAN NORTH

PHOTOMETRIC
SITE PLAN

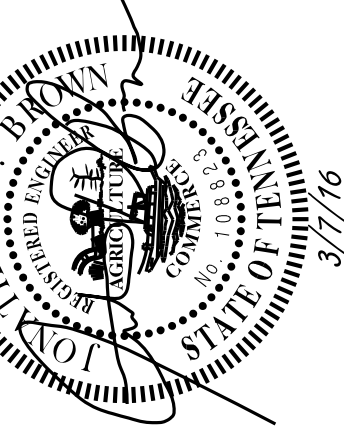
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THOMPSON'S STATION
ELEMENTARY & MIDDLE SCHOOL
THOMPSON'S STATION, TN 37179

GMC # ANAS160003

ISSUE DATE
COORD MTG 3/2/2016

drawn by: E.E.I.
checked by: E.E.I.



GOODWYN MILLS CAWOOD

3343 Perimeter Hill Drive, Suite 102 | Nashville, TN 37211
Tel 615.333.7200 | GMCNETWORK.COM

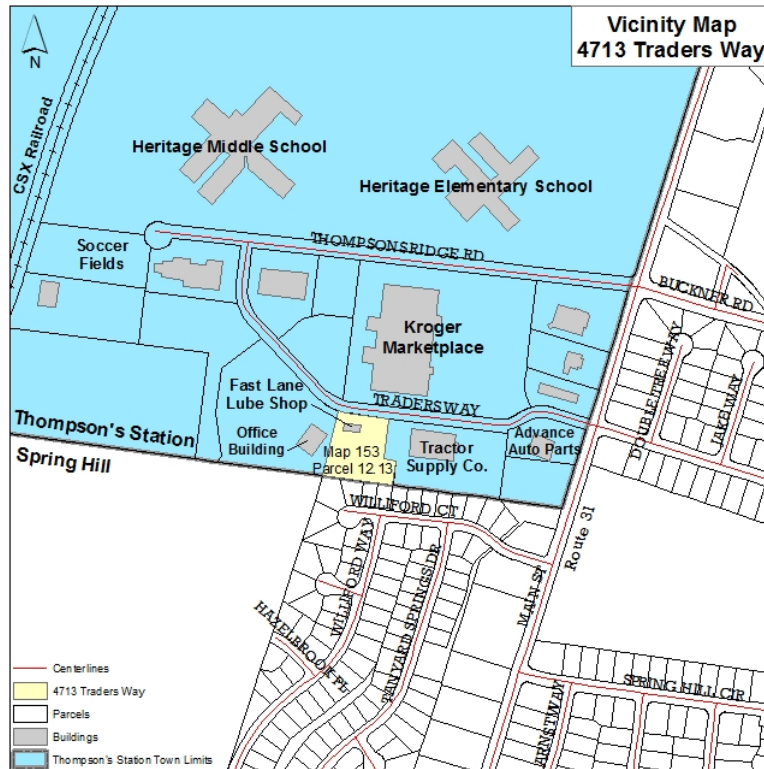


**Thompson's Station Design Review Commission
Staff Report – Item 2 (File: DR 2016-001)
April 6, 2016**

Site Plan for the addition of a 1,800 square foot building for an expansion of an existing automotive facility.

PROJECT DESCRIPTION

The applicant, Gerald Bucy has submitted a site plan application on behalf of Fast Lane Express Lube Shop, Inc. for the addition of a 1,800 square foot building for automotive repair located at 4713 Traders Way.



BACKGROUND

The project site is 1.61 acres, located within Heritage Commons, zoned Commercial and currently developed with an automotive use. The site is bounded by commercial land (Kroger Marketplace and Tractor Supply) to the north and east, vacant commercial land to the west and a residential neighborhood in the City of Spring Hill to the south.

ANALYSIS

Site Plan

The applicant is proposing the addition of an 1,800 square foot building to expand the existing automotive business on site. The project was reviewed and approved by the Planning Commission on March 29, 2016

Architecture

The building will have a maximum height of 20 feet with the front façade oriented toward Traders Way. All automotive bays for the additional building will be rear facing and will have a landscaped front yard. The proposed building is designed to match the architectural style,

materials and colors of the existing building. The project will be reviewed by the Design Review Commission on April 6, 2016.



Existing Building

RECOMMENDATION

Staff recommends that the Design Review Commission approve the project design.

ATTACHMENTS

Site Plan Packet

A New Auto Repair Building For Fast Lane Express Lube Shop, Inc.

4713 Traders Way

Thompson's Station Tennessee 37179

GENERAL NOTES

- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON DRAWINGS AT THE JOB SITE AND SHALL NOTIFY DESIGNER OF ANY DISCREPANCIES, OMISSIONS, AND/OR CONFLICTS BEFORE PROCEEDING WITH THE JOB.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES AND REGULATIONS OF AGENCIES HAVING JURISDICTION AND SHALL CONFORM TO ALL CITY, COUNTY, STATE AND FEDERAL CONSTRUCTION, SAFETY AND SANITARY LAWS, CODES, STATUTES, AND ORDINANCES. ALL FEES, TAXES, PERMITS, APPLICATIONS AND CERTIFICATES OF INSPECTION, AND THE FILING OF ALL WORK WITH GOVERNMENTAL AGENCIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL WORK SHALL BE PERFORMED BY SKILLED AND QUALIFIED WORKMEN IN ACCORDANCE WITH THE RECOMMENDED AND BEST PRACTICES OF THE TRADES INVOLVED, AND IN COMPLIANCE WITH BUILDING REGULATIONS AND/OR GOVERNMENTAL LAWS, STATUTES OR ORDINANCES CONCERNING THE USE OF UNION LABOR.
- EACH TRADE WILL PROCEED IN A FASHION THAT WILL NOT DELAY THE TRADES FOLLOWING THEM.
- CONTRACTORS SHALL BE RESPONSIBLE FOR THE DISTRIBUTION OF DRAWINGS TO ALL TRADES UNDER HIS JURISDICTION.
- ALL WORK SHALL BE ERECTED AND INSTALLED PLUMB, LEVEL, SQUARE, TRUE AND IN PROPER ALIGNMENT.
- ALL MATERIALS SHALL BE NEW, UNUSED AND OF THE HIGHEST QUALITY IN EVERY RESPECT, UNLESS OTHERWISE NOTED. MANUFACTURED MATERIALS AND EQUIPMENT SHALL BE INSTALLED PER MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS.
- THERE SHALL BE NO SUBSTITUTION OF MATERIALS WHERE A MANUFACTURER IS SPECIFIED. WHERE THE TERMS "EQUAL TO" OR "APPROVED EQUAL" ARE USED, THE ARCHITECT SHALL DETERMINE EQUALITY BASED ON INFORMATION SUBMITTED BY THE CONTRACTOR.
- ALL WORK AND MATERIALS SHALL BE GUARANTEED AGAINST DEFECTS FOR A PERIOD OF AT LEAST ONE (1) YEAR FROM APPROVAL FOR FINAL PAYMENT.
- CONTRACTOR SHALL BE RESPONSIBLE FOR CUTTING AND PATCHING REQUIRED FOR HIS/HER WORK.
- CONTRACTOR SHALL AT ALL TIMES KEEP THE PREMISES FREE OF ACCUMULATION OF WASTE MATERIALS OR RUBBISH. PREMISES TO BE SWEEPED CLEAN DAILY OF RELATED CONSTRUCTION DEBRIS. AT THE COMPLETION OF THE WORK, LEAVE THE JOB SITE FREE OF ALL MATERIALS AND BROOM CLEAN.
- DO NOT SCALE DRAWINGS. DIMENSIONS GOVERN. LARGER SCALE DRAWINGS SHALL GOVERN SMALLER SCALE.
- ANY CHANGE WHICH RESULTS IN EXTRA COST SHALL NOT PROCEED WITHOUT WRITTEN AUTHORIZATION BY THE BUILDING OWNER.
- TO INSURE PROPER AND ADEQUATE BLOCKING, ALL BLOCKING FOR CABINET WORK WILL BE THE RESPONSIBILITY OF THE CABINET CONTRACTOR.
- UPON COMPLETION OF WORK THE CONTRACTOR SHALL WALK THROUGH WITH THE ARCHITECT AND COMPLETE A "PUNCH LIST" OF CORRECTIONS AND UNSATISFACTORY AND/OR INCOMPLETE WORK. FINAL PAYMENT WILL BE CONTINGENT UPON THE COMPLETION OF THESE ITEMS.

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SITE DATA

SITE SIZE:	1.61 AC (69,918 SF)
ZONE:	CC
USE:	ROAD SERVICE (VEHICLE REPAIR & MAINTENANCE)
SETBACKS	
FRONT:	10 FT.
SIDE:	8 FT.
REAR:	15 FT.
LOT COVERAGE:	
ALLOWABLE:	0.70
PROVIDED:	0.05
BUILDING SIZE:	1,823 SF : EXISTING 1,800 SF : PROPOSED 3,623 SF : TOTAL
PARKING REQUIREMENT:	1 SP/375 SF
PARKING SPACE:	REQUIRED: 10 PROVIDED: 12 EXISTING
SIDE YARD BUFFER REQUIREMENT:	TYPE "I"
PAVED & CONCRETE AREA:	EXISTING - 14,890 S.F. PROPOSED - 3,889 S.F. TOTAL - 18,779 S.F.
TOTAL IMPERVIOUS AREA:	EXISTING - 16,713 S.F. PROPOSED - 5,689 S.F. TOTAL - 22,402 S.F. 32% TOTAL PROPOSED IMPERVIOUS SURFACE= 32%
BUILDING HEIGHT:	20' (1 STORY)
SQL TYPE:	Mbc2
NOTE:	THIS TRACT IS LOT #12 OF HERITAGE COMMONS SUBDIVISION (REVISION 2) PLAT BOOK 43, PAGE 13, R.O.W.C. MAP 153 PARCEL 12.13 : IITH CIVIL DISTRICT, DEED Bk. 3856 PAGE 648, R.O.W.C.

THOMPSON STATION, TN. ADOPTED BUILDING CODES

The town has adopted the following Codes effective January 1, 2015:

- 2009 International Building Code including Appendices D and G
- 2009 International Plumbing Code
- 2009 International Mechanical Code
- 2009 International Fire Code including Appendices B, C, and D
- 2009 International Fuel Gas Code

PROJECT DIRECTORY

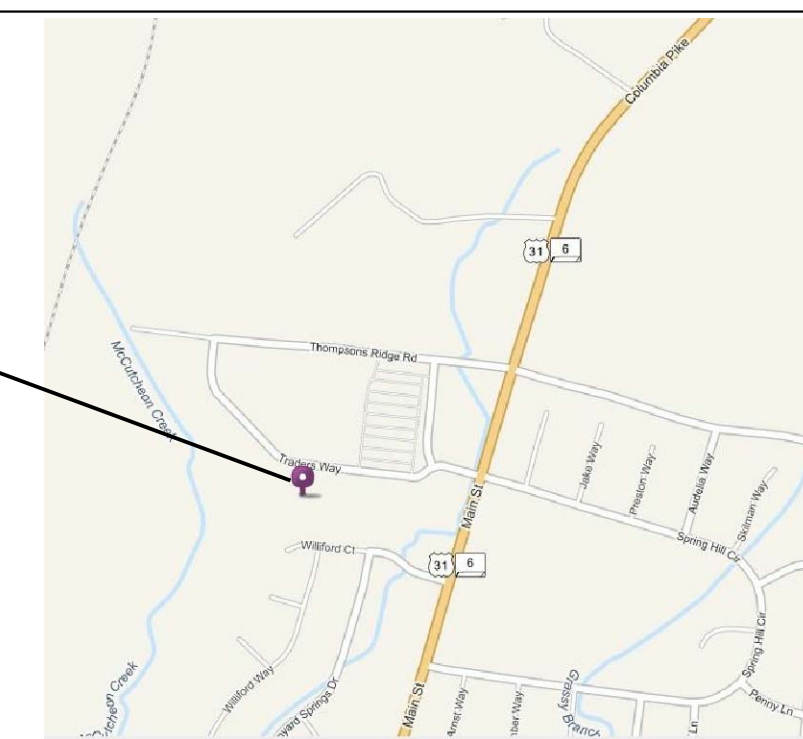
OWNER/DEVELOPER:	David Cianfaglione 2636 Platt Road Thompson's Station, Tennessee (615) 595-0141 rep. David Cianfaglione
LEAD ENGINEER/APPLICANT:	GERALD G. BUCY, CONSULTING ENGINEER. P.O. BOX 1521 FRANKLIN, TN, 37065 REPRESENTATIVE - GERALD G. BUCY, P.E. 615/794-0323 615/791-6090 (FAX) email: bucycorp@bellsouth.net
Landscape Architect:	Greenspace Design 411 Maplegrove Dr. Franklin, TN 37064 REPRESENTATIVE- JOSHUA B. HENRICK Ph: (615) 591-9606 Fax:(615) 591-1323 email: info@greenspace-design.com

SHEET INDEX

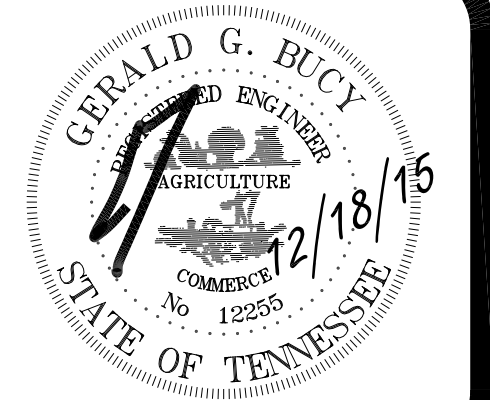
CVR	COVER SHEET
CIVIL	
C-0	EXISTING CONDITIONS SITE PLAN
C-1	SITE PLAN
C-2	GRADING AND DRAINAGE PLAN
C-3	SITE DETAIL SHEET
L-1	LANDSCAPE PLAN
E-1	PHOTOMETRICS (SITE LIGHTING) PLAN
ARCHITECTURE	
A-1	FLOOR PLAN / FOUNDATION PLAN
A-2	EXTERIOR ELEVATION
A-3	BUILDING SECTIONS

SITE LOCATION

SITE



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Consulting Engineer
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Franklin, Tennessee 37065
Email: bucycorp@bellsouth.net
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Fax: 615.791.6090



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REVISIONS
2/25/16 PER TOWN COMMENTS

COVER SHEET

A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.

4713 Traders Way
Thompson's Station, Tennessee 37179

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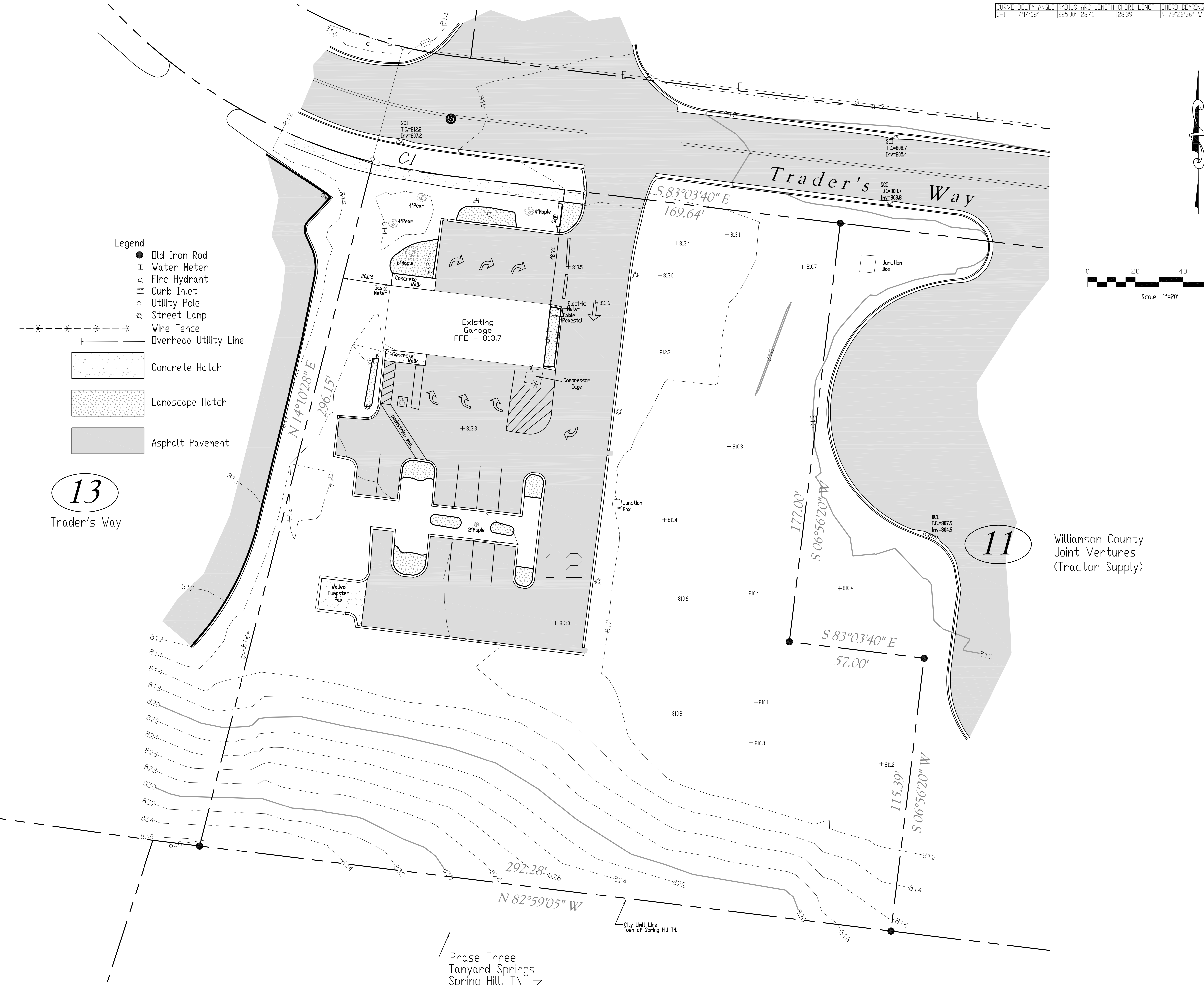
ISSUE DATE: 12-18-15

PROJECT: --

CAD NAME: --

CVR

CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C-1	171°4'08"	225.00'	128.41'	28.39'	N 79°26'36" W



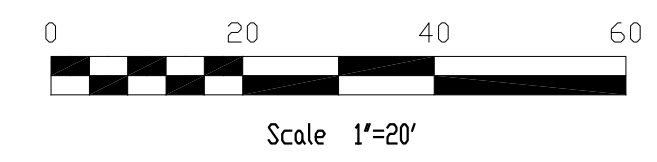
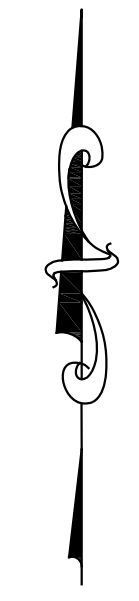
- Legend**
- Old Iron Rod
 - ⊕ Water Meter
 - ⊕ Fire Hydrant
 - ⊕ Curb Inlet
 - ⊕ Utility Pole
 - ⊕ Street Lamp
 - - - - - Wire Fence
 - - - - - Overhead Utility Line
 - [Concrete Hatch] Concrete Hatch
 - [Landscape Hatch] Landscape Hatch
 - [Asphalt Pavement] Asphalt Pavement

13
Trader's Way

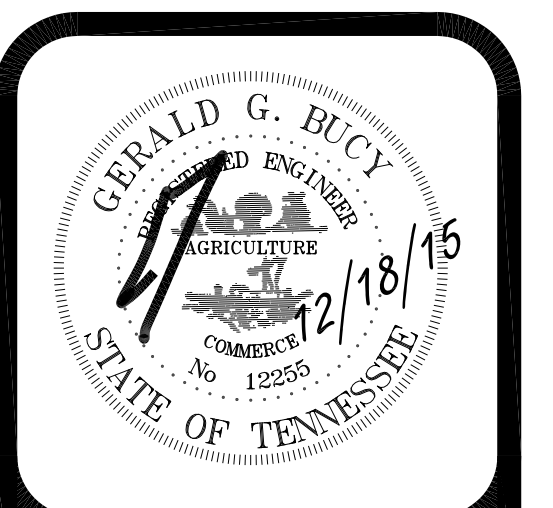
11

Williamson County
Joint Ventures
(Tractor Supply)

Phase Three
Tanyard Springs
Spring Hill, TN.



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REVISIONS	PER TOWN	COMMENTS
2/25/16		

Existing Conditions

**A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.**
4713 Traders Way
Thompson's Station, Tennessee 37179

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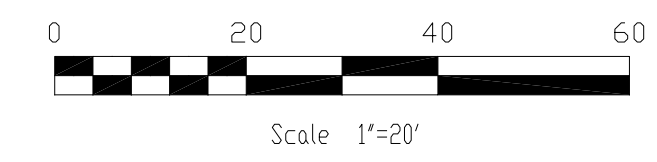
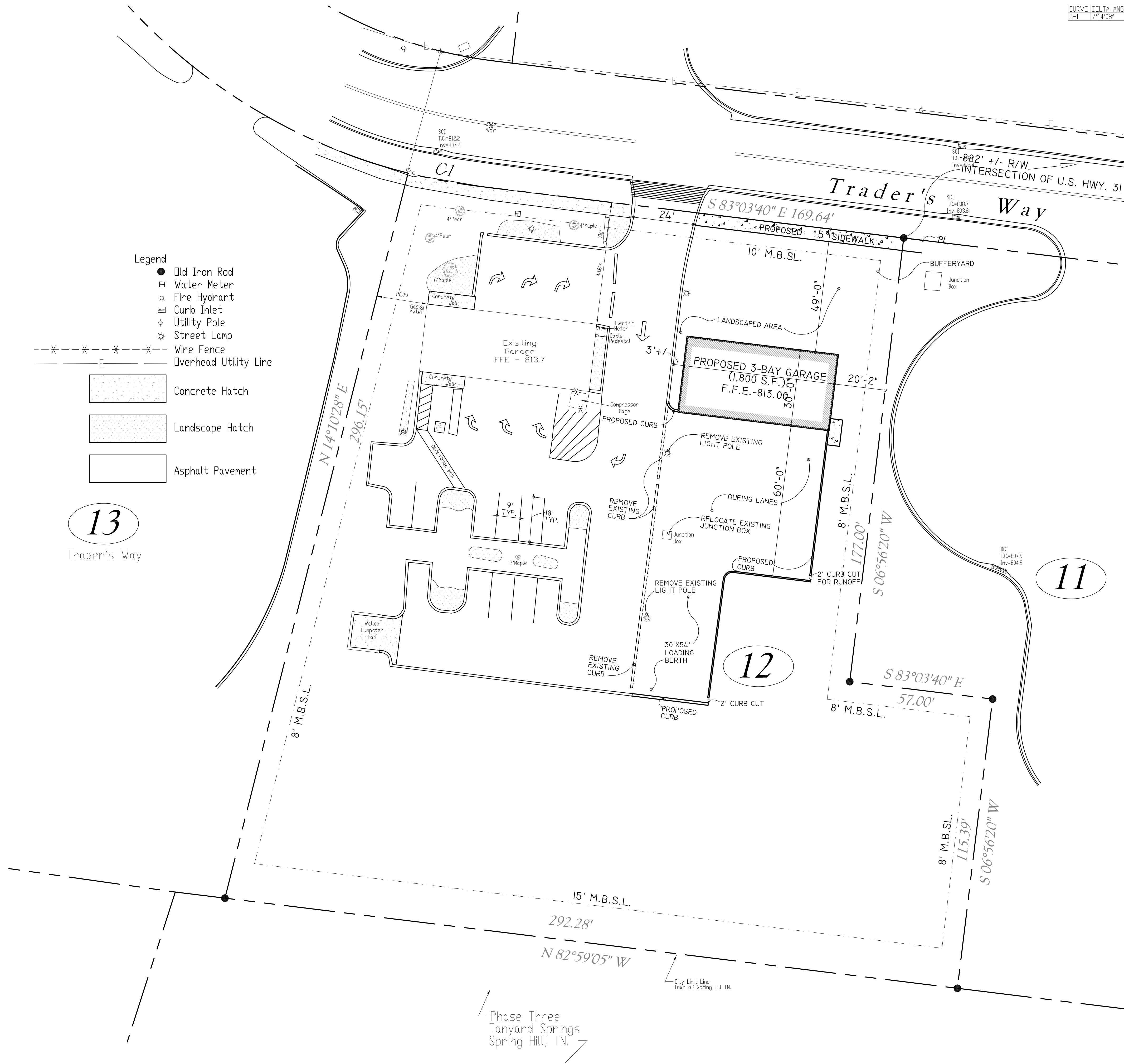
ISSUE DATE: 12-18-15
PROJECT: --
CAD NAME: --

CO

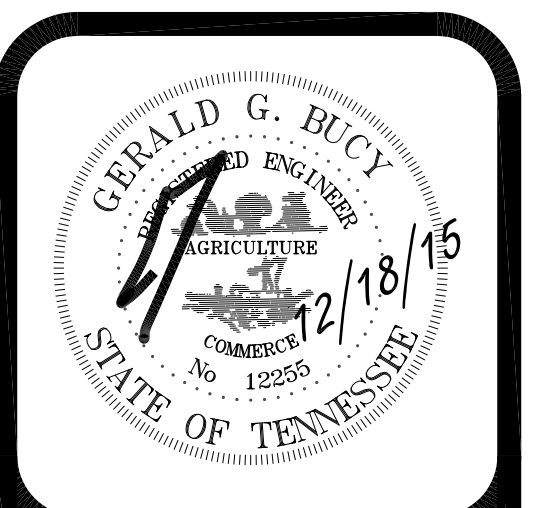
CURVE	DELTA ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C-1	17°14'08"	225.00'	28.41'	28.39'	N 79°26'36" W

- Legend**
- Old Iron Rod
 - ⊠ Water Meter
 - ⊠ Fire Hydrant
 - ⊠ Curb Inlet
 - ⊠ Utility Pole
 - ⊠ Street Lamp
 - - - Wire Fence
 - - - Overhead Utility Line
 - [Concrete Hatch] Concrete Hatch
 - [Landscape Hatch] Landscape Hatch
 - [Asphalt Pavement] Asphalt Pavement

13
Trader's Way



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REVISIONS

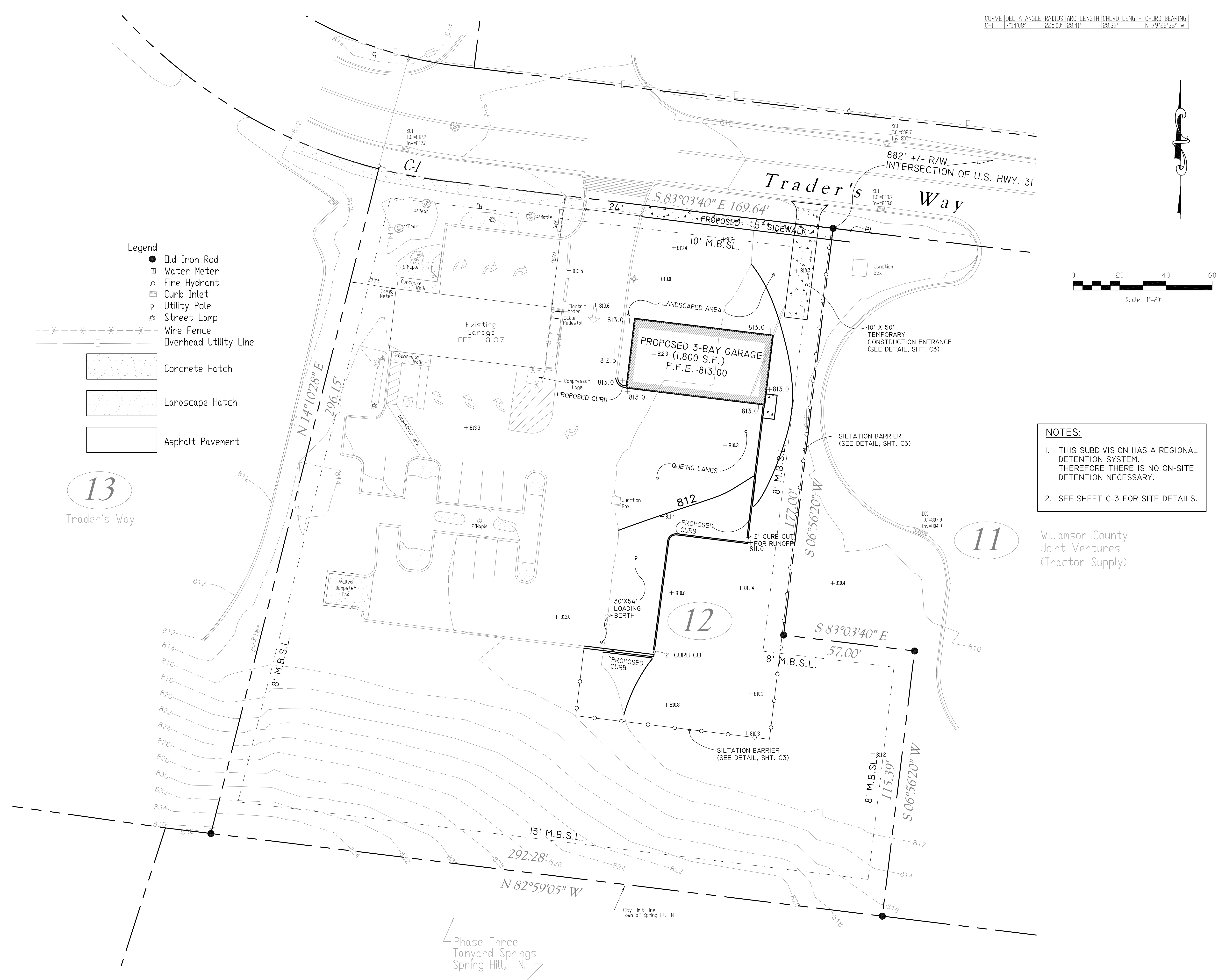
DATE	PER TOWN	COMMENTS
2/25/16		

Site Layout Plan
A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.
4713 Traders Way
Thompson's Station, Tennessee 37179

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ISSUE DATE: 12-18-15
PROJECT: --
CAD NAME: --
C1

CURVE	DELTA	ANGLE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING
C-1	171'4"08"	225.00'	28.41'	28.39'	N 79°26'36" W	



- Legend**
- Old Iron Rod
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 - ⊕ Wire Fence
 - ⊕ Overhead Utility Line

- Concrete Hatch
- Landscape Hatch
- Asphalt Pavement

13
Trader's Way

11

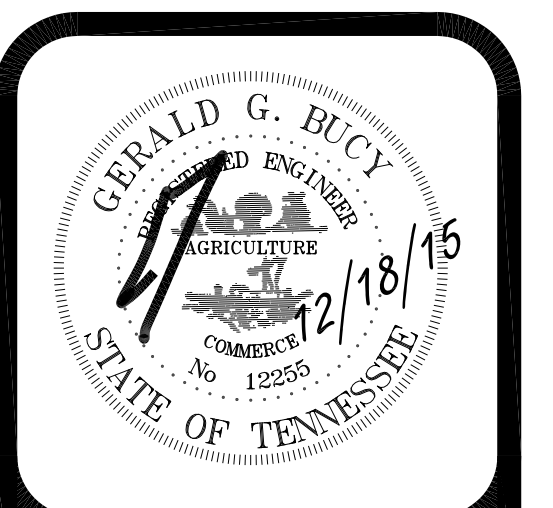
12

NOTES:

1. THIS SUBDIVISION HAS A REGIONAL DETENTION SYSTEM. THEREFORE THERE IS NO ON-SITE DETENTION NECESSARY.
2. SEE SHEET C-3 FOR SITE DETAILS.

Williamson County
Joint Ventures
(Tractor Supply)

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REVISIONS	PER TOWN	COMMENTS
2/25/16		

Grading & Drainage Plan
A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.
4713 Traders Way
Thompson's Station, Tennessee 37179

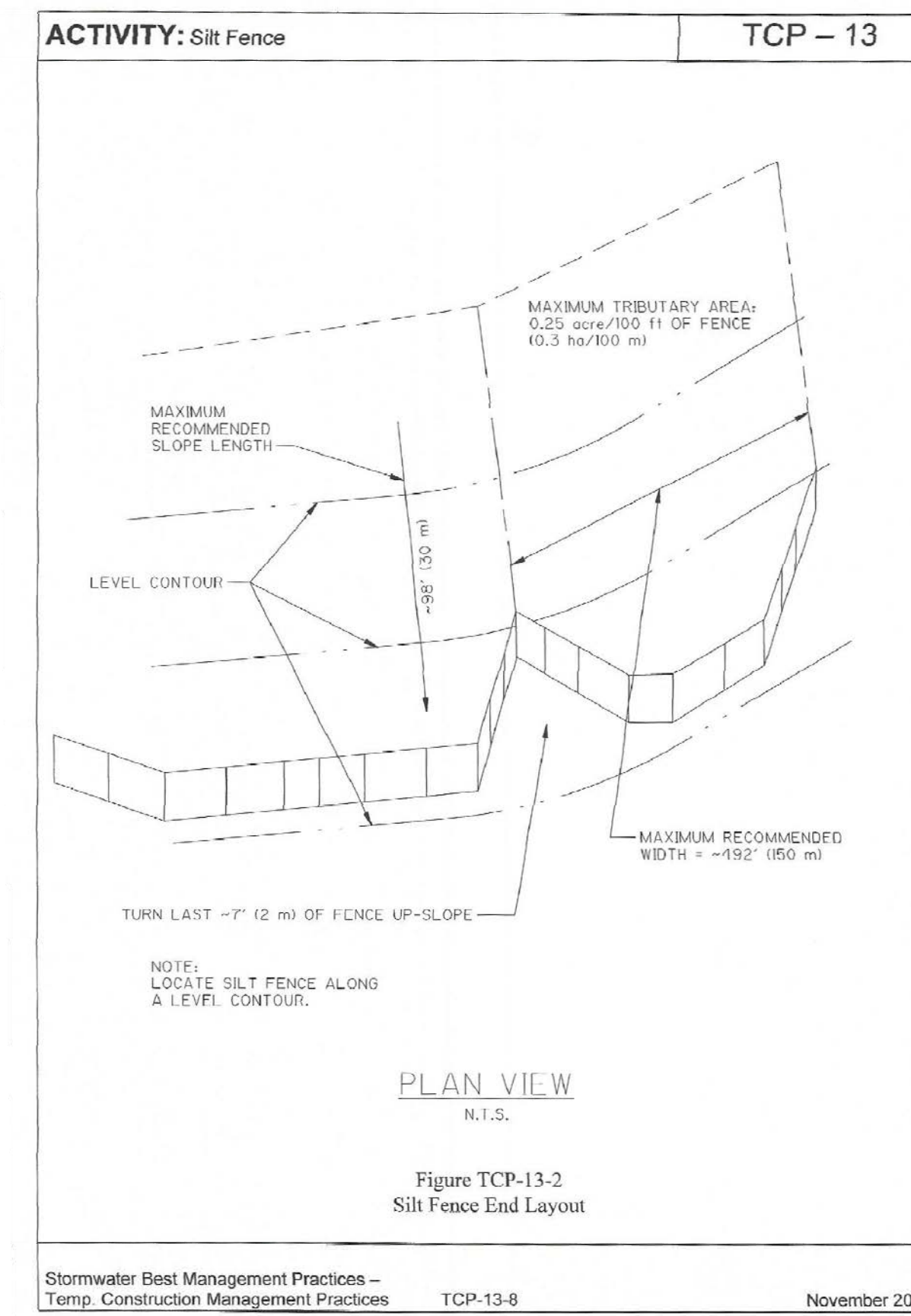
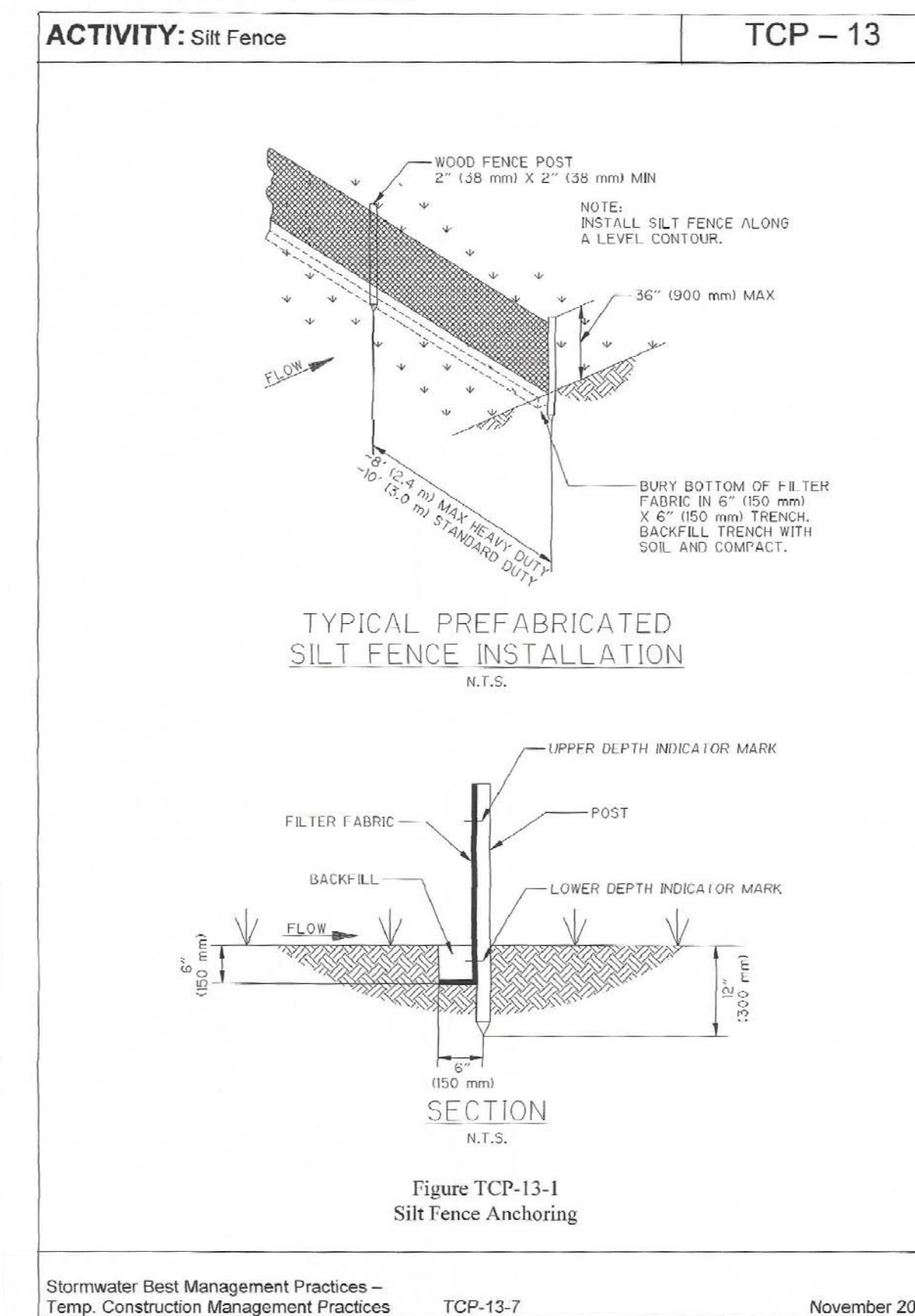
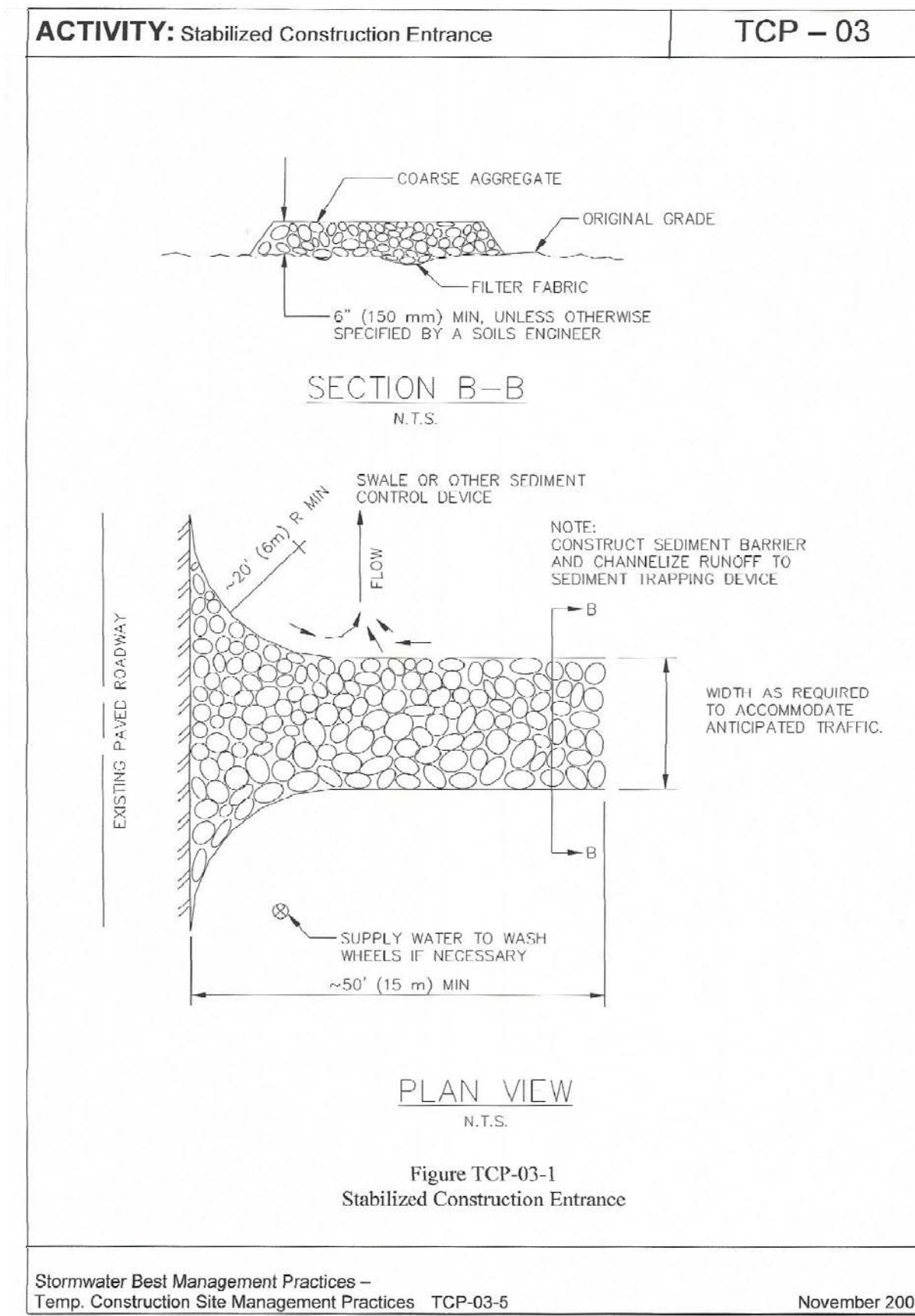
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CAD NAME: --

C2

Phase Three
Tanyard Springs
Spring Hill, TN.

NOTE:
USE WOVEN WIRE
BACKED FENCING



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REVISIONS
2/25/16 PER TOWN COMMENTS

SITE DETAILS

**A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.**

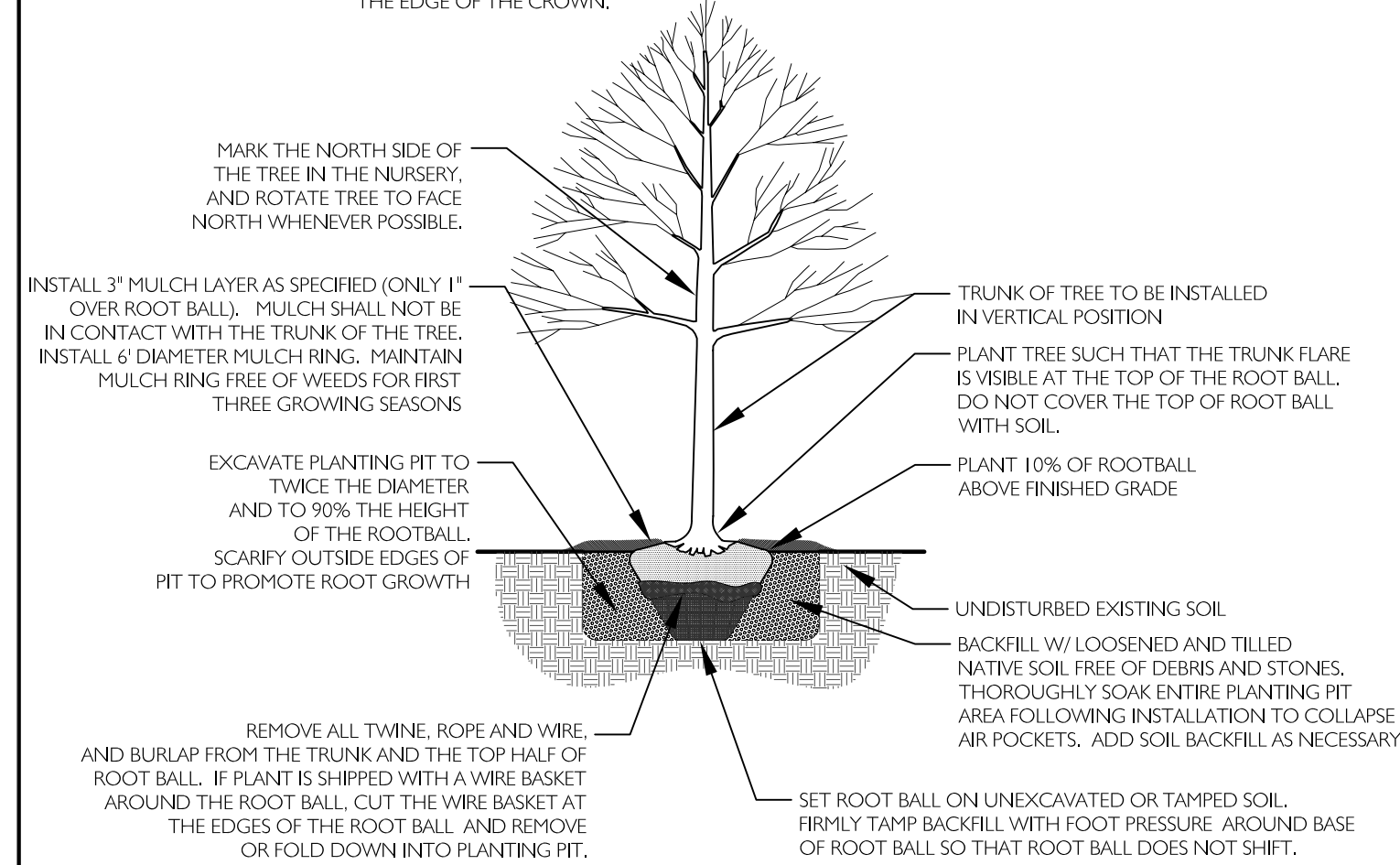
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Thompson's Station, Tennessee 37179

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ISSUE DATE: 12-18-15
PROJECT#: --
CAD NAME: --

C3

DO NOT HEAVILY PRUNE TREE AT PLANTING AND DO NOT SHEAR TREE CROWN. PRUNE ONLY CROSSOVER LIMBS AND BROKEN OR DEAD BRANCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.



TREE PLANTING DETAIL
NOT TO SCALE

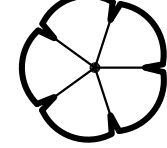
NOTE:
In the event proposed Canopy Trees are in conflict (within 15') with proposed lightpole locations, the Landscape Architect shall contact the Landscape Architect immediately for coordination of field adjustment.

Tree Quality Notes:

- Unless specifically noted, all trees shall be of specimen quality, exceptionally heavy, symmetrical, and so trained or favored in development and appearance as to be unquestionably and outstandingly superior in form, compactness, and symmetry. They shall be sound, healthy, vigorous well branched, and densely foliated when in leaf; free of disease and insects; and shall have healthy, well-developed root systems. They shall be free from physical damage or other conditions that would prevent vigorous growth.
- Trees with co-dominant leaders and/or included bark shall be rejected. Trees with a damaged or crooked leader, girdled trunk, bark abrasions, sunscald, disfiguring knots, insect damage, sheared crown, cuts of limbs over 3/4" diameter that are not completely dosed shall be rejected.

PLANT SCHEDULE

UNDERSTORY TREES	CODE	QTY	BOTANICAL NAME	COMMON NAME	HEIGHT	SPREAD	TRUNK	REMARKS
------------------	------	-----	----------------	-------------	--------	--------	-------	---------

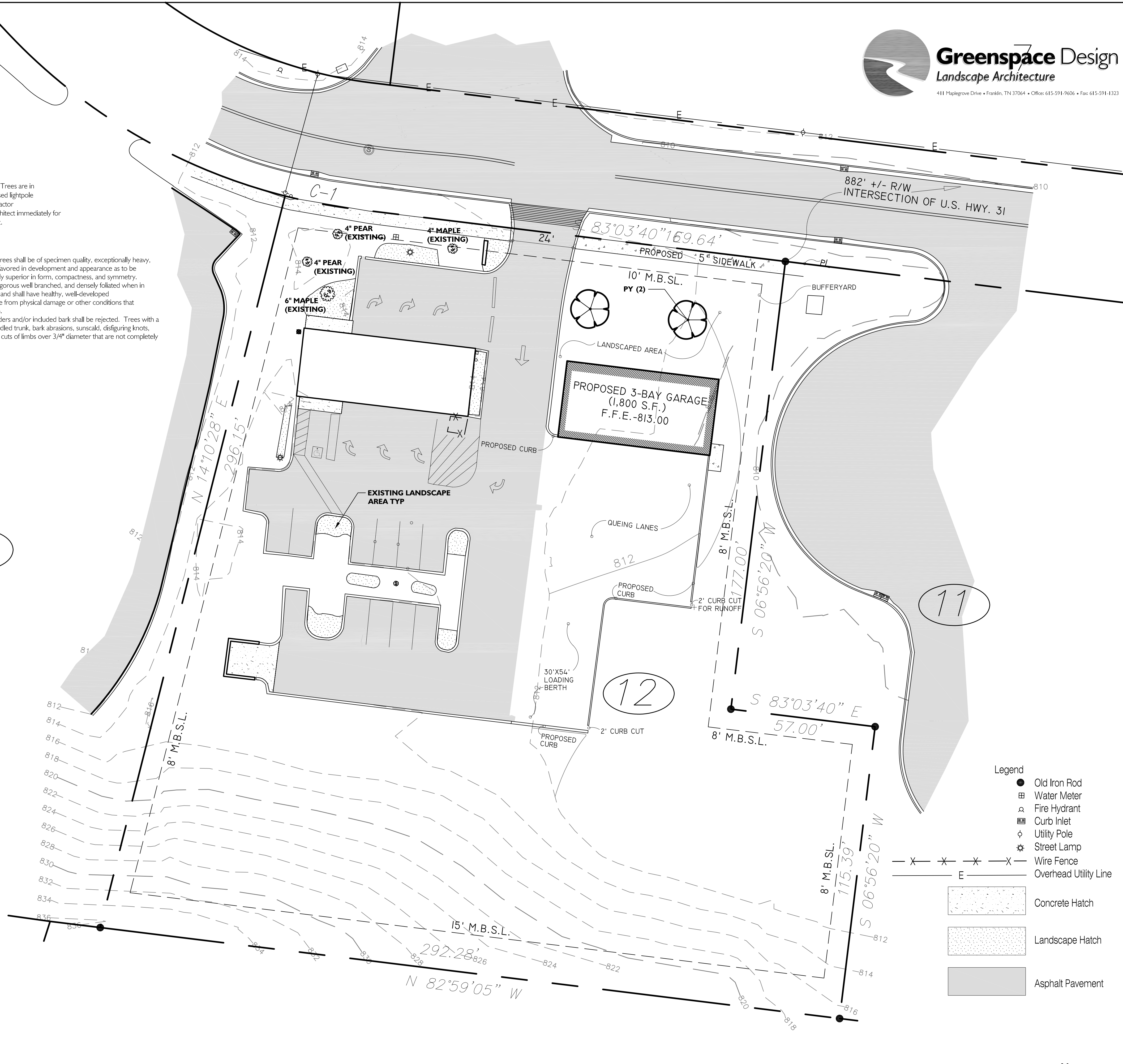


PY	2	Prunus x yedoensis	Yoshino Cherry	8'-10'	4'-5'	2"	4" Clear Trunk
----	---	--------------------	----------------	--------	-------	----	----------------

13

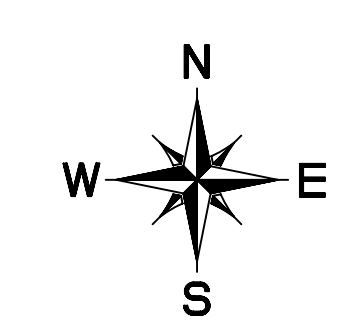
Landscape Notes:

- All work shall be performed by fully qualified Plantsmen. Use good Horticultural practices to keep all plants and plant material installed in a living, healthy condition up to the date of termination of the contractor's responsibility for care.
- The Landscape Contractor shall be responsible for examining fully both the site and the bid documents. Discrepancies in the documents or the actual site conditions shall be reported to the Landscape Architect in writing at the time of bidding or discovery. No account shall be made after contract completion for failure to report such condition, or for errors on the part of the Landscape Contractor at the time of bidding.
- The Landscape Contractor is responsible for locating all underground utilities and shall avoid damage to utilities during the course of the work. The Landscape Contractor is responsible for repairing any damage to utilities, site structures, etc., resulting from landscape construction.
- The Landscape Contractor shall be responsible for securing all necessary applicable permits and licenses to perform the work set forth on this plan set and the specifications.
- The Landscape Contractor shall verify all material quantities. In the event of a discrepancy, the quantities shown on the plan will take precedence.
- No material shall be planted before finish grading has been completed.
- The plants delivered to the project site shall be planted as soon as site conditions permit. Take care in scheduling plant deliveries and the size of the deliveries so that long periods of storage are avoided. Adequately protect plants placed in temporary storage from the sun and wind; water plants so as to maintain their appearance and health. Plants that have not been properly maintained during temporary storage may be rejected by the Landscape Architect.
- Should the Contractor encounter unsatisfactory surface or other subsurface drainage conditions, soil depth, latent soils, hard pan, stem of utility lines or other conditions that will jeopardize the health and vigor of the plants, he must advise the Owner's Representative in writing of the conditions prior to installing the plants. Otherwise the Contractor warrants that the planting areas are suitable for proper growth and development of the plant material to be installed and contractor shall take responsibility for the cost of any revision.
- It is the responsibility of the Contractor to verify that each excavated tree or shrub pit will percolate (drain) prior to adding topsoil of planting mix and installing trees or shrubs. The Contractor shall fill the bottom of selected holes with six inches of water. This water should percolate out within a 24-hour period. If the soil at a given area does not drain properly, a PVC drain or gravel sump shall be installed or the planting relocated to an area approved by the Owner's Representative.
- Prior to installation of plant materials, the width and length of all parking lot landscape island and median areas are to be excavated to a depth of 24 inches below the proposed top of pavement elevation. Excavated material is to be removed from the landscape areas and disposed of off site or in an area approved by the Project Engineer. No asphaltic construction trash and/or materials are to be left in the topsoil and planting mix backfill and/or subgrade of any proposed parking area islands and/or planting medians and strips. Parking lot islands and medians are to be backfilled with sifted topsoil as per project specifications and to the elevations indicated on the grading plans.
- All shrub and ground cover beds not in parking lot islands or median strips are to be excavated to a depth of 12 inches and disposed of off site or in an area approved by the Project Engineer. Trees in these bed areas shall be installed per the tree planting detail. The bed area is to be backfilled with sifted topsoil to the elevations indicated on the grading plans as per the specifications.
- The optimum time for planting is from October 1 to April 1. Scheduling for planting at other times must be approved in writing by the Landscape Architect.
- Existing trees to remain shall be protected from construction damage. Selectively prune dead wood.
- New tree plantings are to be staked per planting details. Trees that are not staked according to detail will be rejected.
- All deciduous trees, existing and proposed shall be pruned to provide 4" minimum clear trunk unless otherwise noted.
- The Landscape Contractor shall stake or mark all plant material locations prior to installation. The Landscape Contractor shall have the Owner's Representative approve all staking prior to installation.
- All plant material which dies, turns brown, or defoliates (prior to total acceptance of the work) shall be promptly removed from the site and replaced with material of the same species quantity and size and meeting all plant list specifications.
- The Landscape Contractor shall grade planting beds, as required, to provide positive drainage and promote optimum plant growth.
- Chemical Weed Control (pre-emergent, i.e. Treflan) shall be applied to all landscape areas prior to any plant installation.
- All planting areas shall receive a 3" layer of the mulch as specified in the materials schedule, which is to be watered-in after installation.
- All plants shall be vigorous, healthy material, free of pests and disease.
- All plants and trees must meet all requirements specified in the plant list, details, and specifications.
- The standards set forth in "American Standard for Nursery Stock" represent general guideline specifications only and will constitute minimum quality requirements for plant material. All plants must meet minimum size noted at the materials schedule. Trees shall be No. 1 grade specimen and shrubs shall be heavy well shaped specimens as well.
- All disturbed areas shall be planted with turf as indicated on the materials schedule.
- Existing sod shall be removed as necessary to accommodate new plantings.
- Any existing sod areas that are unnecessarily disturbed during the landscape installation shall be resodded to match existing.
- The Landscape Contractor is responsible for completely maintaining the work (including but not limited to: watering, mulching, spraying, fertilizing, of all planting areas and lawns per project specifications until total acceptance of the work by the owner.
- The Landscape Contractor shall completely guarantee all work for a period of one year beginning at the date of total acceptance.
- The Landscape Contractor shall provide the owner with written instructions on the proper care of all specified plant materials prior to final payment.
- The Landscape Contractor will be responsible for the collection, removal, and proper disposal of any and all debris generated during the installation of this project.
- ATTENTION OWNER/INSTALLER:**
This landscape plan has been designed to meet the minimum requirements of the City of Thompson Station zoning ordinance, the approval of the planning commission, and planning department policy. Relocating, substituting, resizing, reducing or deleting material may cause the site to no longer conform to the requirements. Thus problems may arise with releasing the performance/maintenance bond for landscaping. Deviation from the approved landscape plan shall not be made without first consulting Greenspace Design and then obtaining approval from either the planning commission or the planning department.



Legend

- Old Iron Rod
- ⊠ Water Meter
- ⊠ Fire Hydrant
- ⊠ Curb Inlet
- ⊠ Utility Pole
- ⊠ Street Lamp
- ⊠ Wire Fence
- ⊠ Overhead Utility Line
- ▨ Concrete Hatch
- ▨ Landscape Hatch
- ▨ Asphalt Pavement



Proposed Site Layout Plan
SCALE: 1" = 20'

TOWN OF SPRING HILL

Revisions	No.	Date	Description
	03/02/2016		City Comments

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Project Number:
Designed By: JBH
Drawn By:
Checked By: JBH

Site Landscape Plan
PROJECT:
Fast Lane Express Lube Shop, Inc.
4713 Traders Way
Thompson's Station, Tennessee 37179

CLIENT:
David Cianfaglione
2636 Pratt Road
Thompson's Station, Tn 37179
(615) 595-0141

CAD FILE NAME: con-cl.dwg
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105 Southeast Parkway / Suite 107
Franklin, Tennessee 37064-3932
Email: ggbucky@gspace.com
Phone: 615-594-0020
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Issue Date: 12/14/2015
Sheet Number:
L1

Revisions No.	Date	Description
03/02/2016		City Comments

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Project Number:
Designed By: JBH
Drawn By:
Checked By: JBH

SHEET: **Site Photometric Plan**
PROJECT: **Fast Lane Express Lube Shop, Inc.**
4713 Traders Way
Thompson's Station, Tennessee 37179

CLIENT:
David Cianfaglione
2636 Pratt Road
Thompson's Station, TN 37179
(615) 595-0141

CAD FILE NAME: **CON-C1.DWG**
GERALD G. BUCY, P.E.
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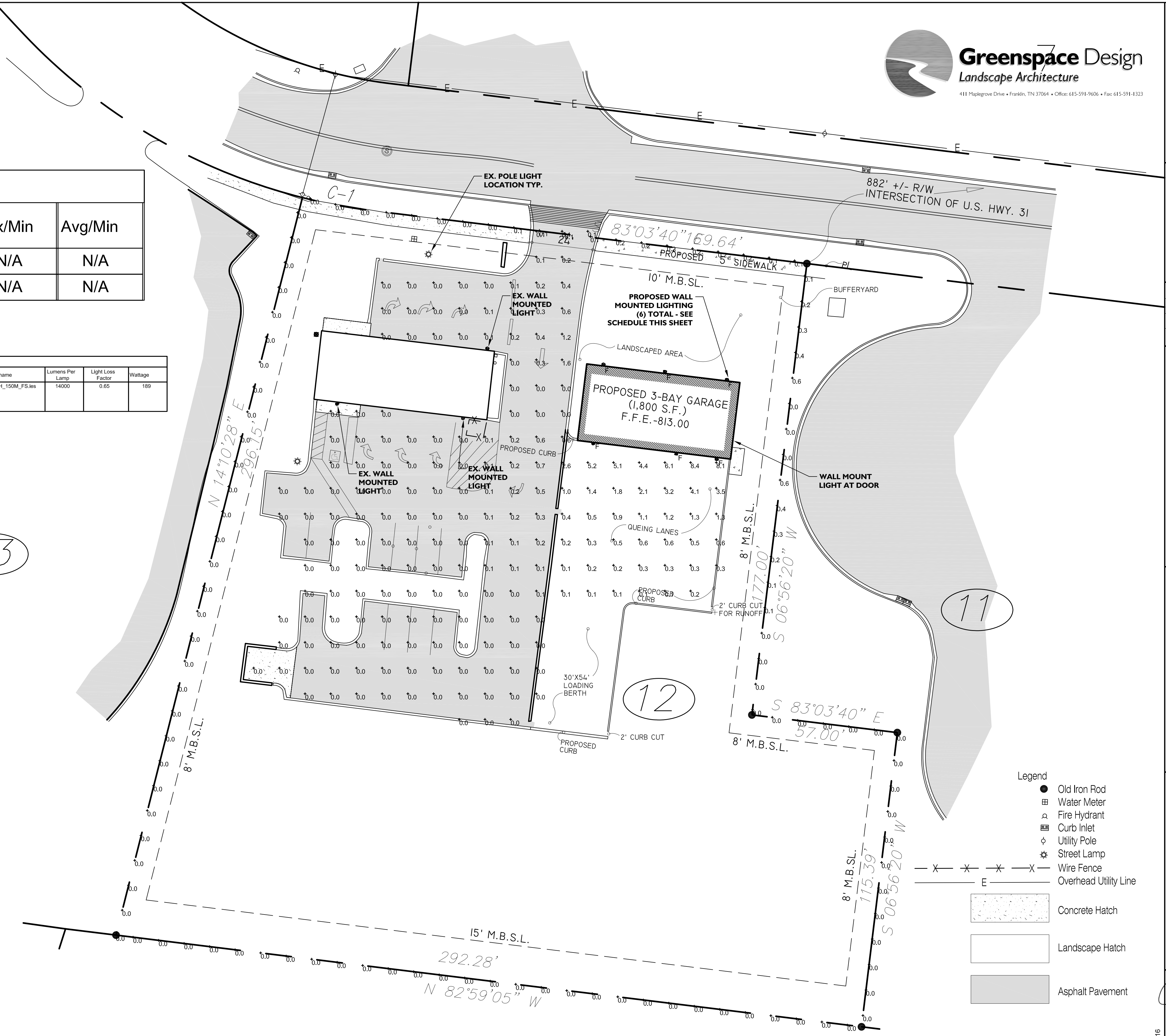
Issue Date: 02/10/2016

Sheet Number:

E1

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
parking lot	+	0.4 fc	8.4 fc	0.0 fc	N/A	N/A
property line	+	0.0 fc	0.6 fc	0.0 fc	N/A	N/A

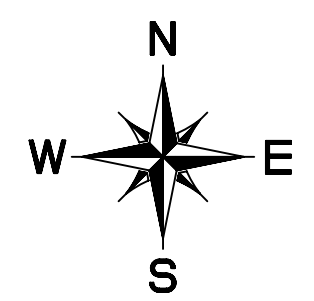
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
+	F	6	Lithonia Lighting	TWH 150M FS	DIE-CAST GENERAL PURPOSE WALLPACK WITH GLASS REFRACTOR AND FULL SHIELD	ONE 150-WATT CLEAR ED-28 PULSE START METAL HALIDE, HORIZONTAL POSITION.	1	TWH_150M_FS.lvs	14000	0.65	189



- Legend**
- Old Iron Rod
 - ⊕ Water Meter
 - ⊕ Fire Hydrant
 - ⊕ Curb Inlet
 - ⊕ Utility Pole
 - ⊕ Street Lamp
 - ⊕ Wire Fence
 - X — X — X — X — Overhead Utility Line
 - ▨ Concrete Hatch
 - Landscape Hatch
 - Asphalt Pavement

TOWN OF SPRING HILL

Proposed Site Layout Plan
SCALE: 1" = 20'



13

12

11

GENERAL MATERIAL DESCRIPTION KEY	
MK	DESCRIPTION
P-1	PAINT - TO BE SELECTED
P-2	PAINT - TO BE SELECTED
P-3	PAINTED BLOCK
FL-1	FLOORING - VINYL COMP. TILE
FL-2	FLOORING - SEALED CONCRETE
FL-3	FLOORING - EXPOSED CONCRETE
RCB	4" RUBBER COVE BASE - TO BE SELECTED
LI	LAMINATE COUNTERTOP - TO BE SELECTED
2x4	2x4 SUSPENDED GRID WITH STANDARD LAY-IN ACOUSTICAL TILE
ES	EXPOSED STRUCTURE
GB	5/8" GYP. BOARD

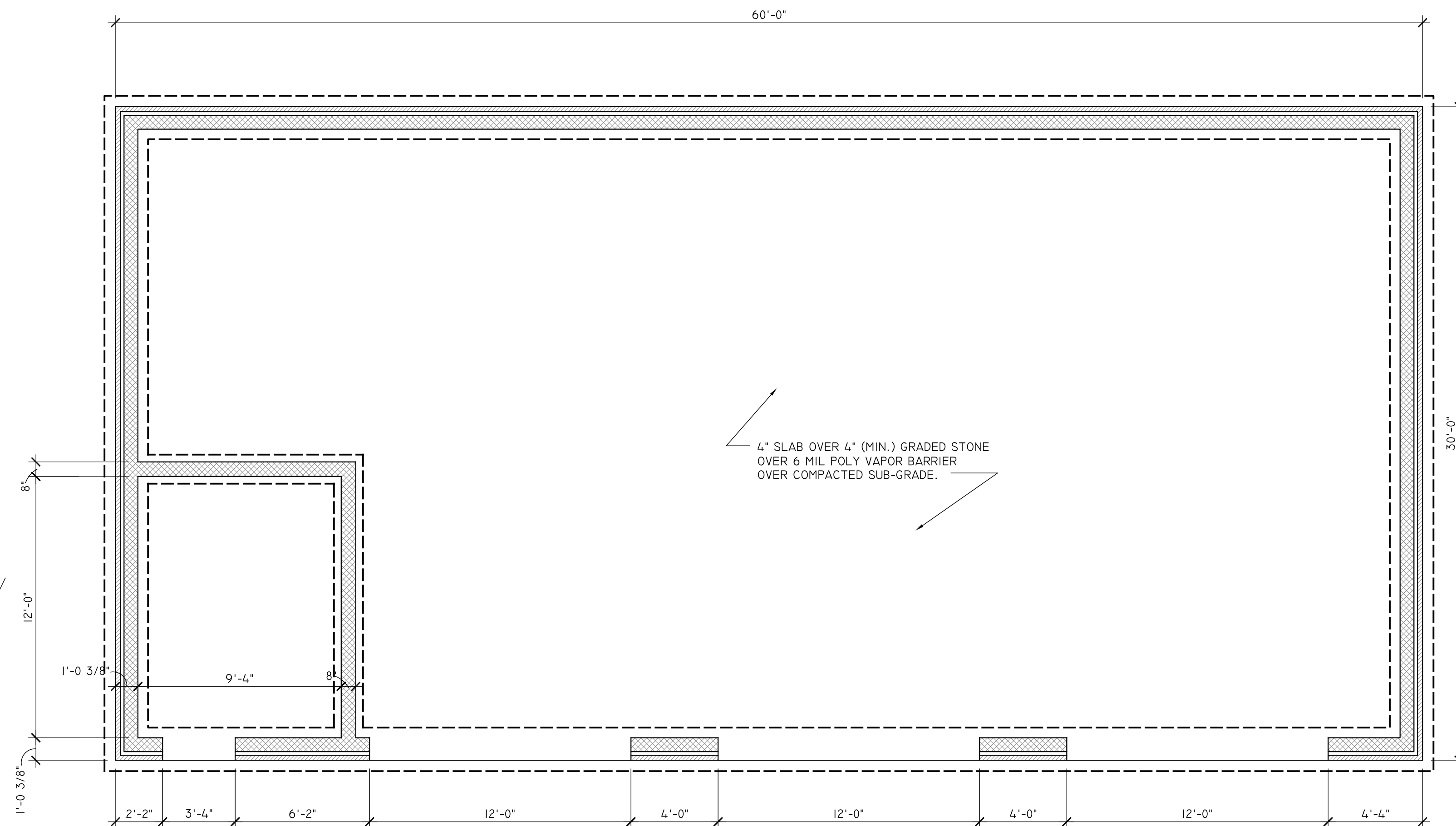
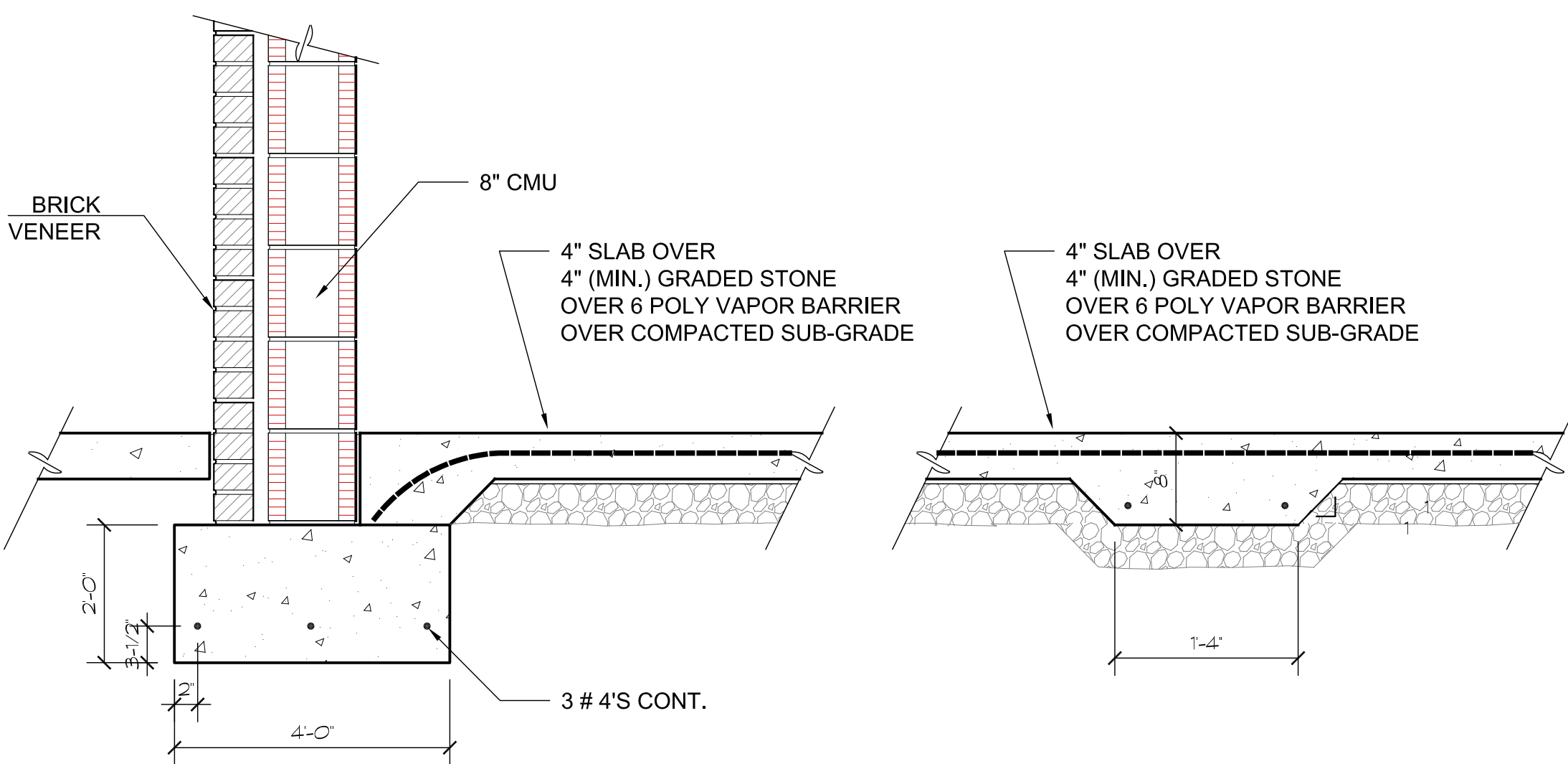
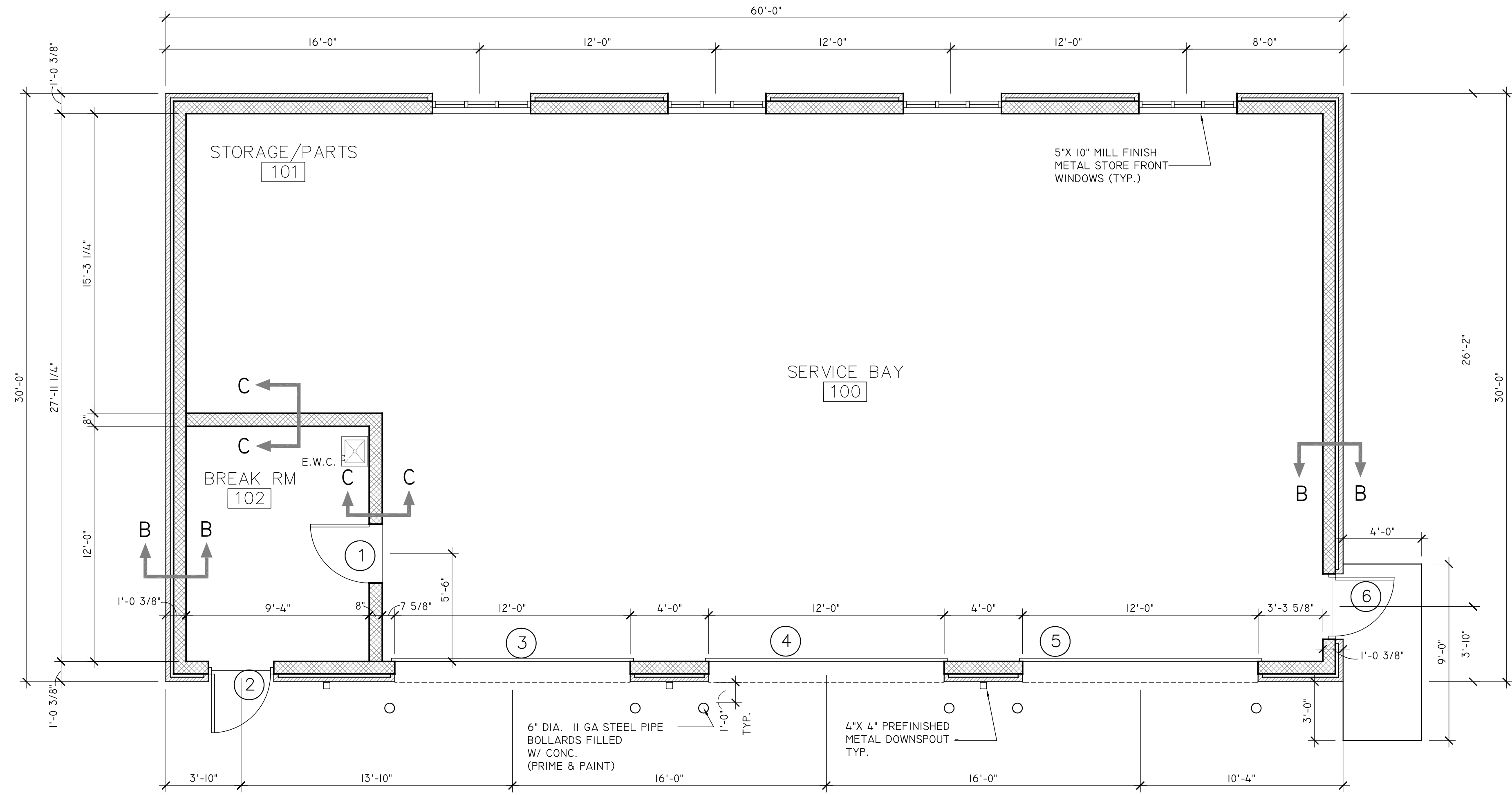
NOTE:

ROOM FINISH SCHEDULE									
ROOM NO.	ROOM NAME	WALLS				FLOOR	BASE	CEILING	COMMENTS
		NORTH	SOUTH	EAST	WEST				
100	SERVICE BAYS	P-1	P-1	P-1	P-1	FL-2	-	ES	
101	STORAGE/PARTS	P-3	P-1	P-1	P-1	FL-2	-	ES	
104	BREAK ROOM	P-1	P-1	P-1	P-1	FL-2	RCB	2x4 (OPT.)	

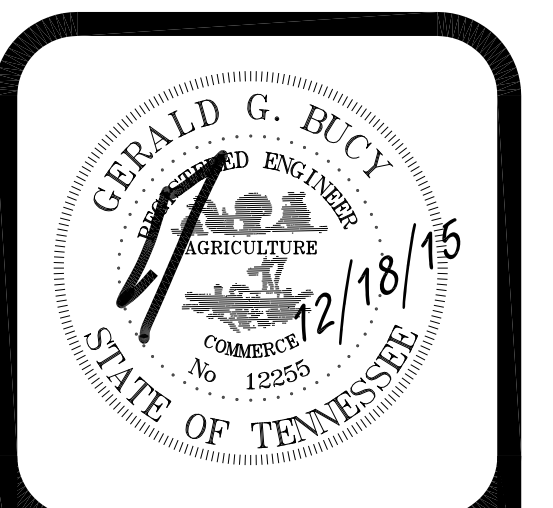
NOTE:

DOOR SCHEDULE								
NO.	SIZE WIDTH x HEIGHT x THICK.	MTL.	TYPE	FRAME	HARDWARE			COMMENTS
					LOCK SET	PASSAGE	CLOSER	
1	3'-0" x 7'-0" x 1 3/4"	HM	I	HM	x		x	A
2	3'-0" x 7'-0" x 1 3/4"	HM	I	HM	x		x	A
3	10'-0" x 14'-0"	-	-	-				
4	10'-0" x 14'-0"	-	-	-				
5	10'-0" x 14'-0"	-	-	-				
6	3'-0" x 7'-0" x 1 3/4"	HM	I	HM	x		x	A

NOTE: A. PROVIDE LEVER HARDWARE



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REVISIONS	PER TOWN	COMMENTS
2/25/16		

FLOOR PLANS

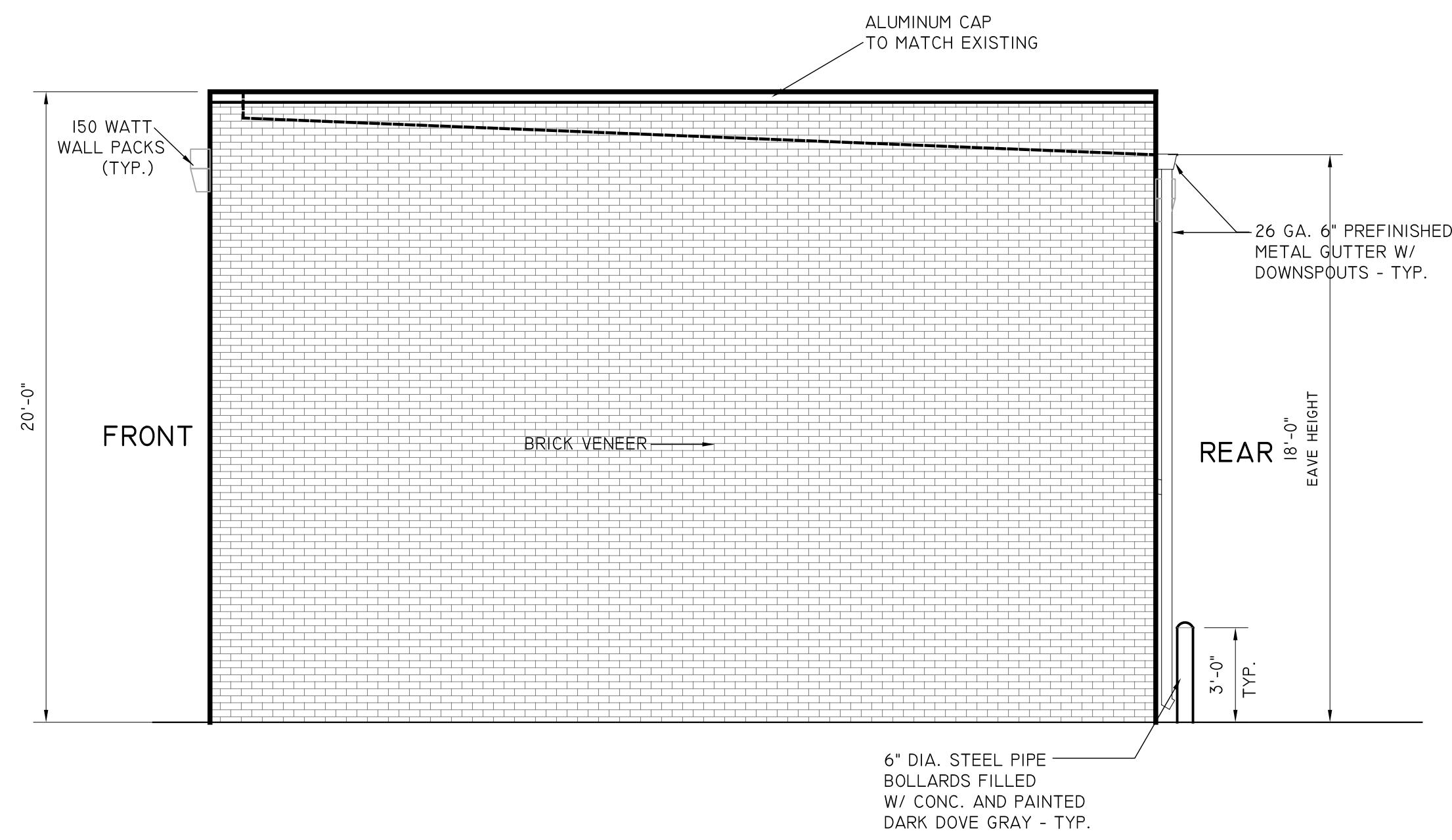
**A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.**

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Thompson's Station, Tennessee 37179

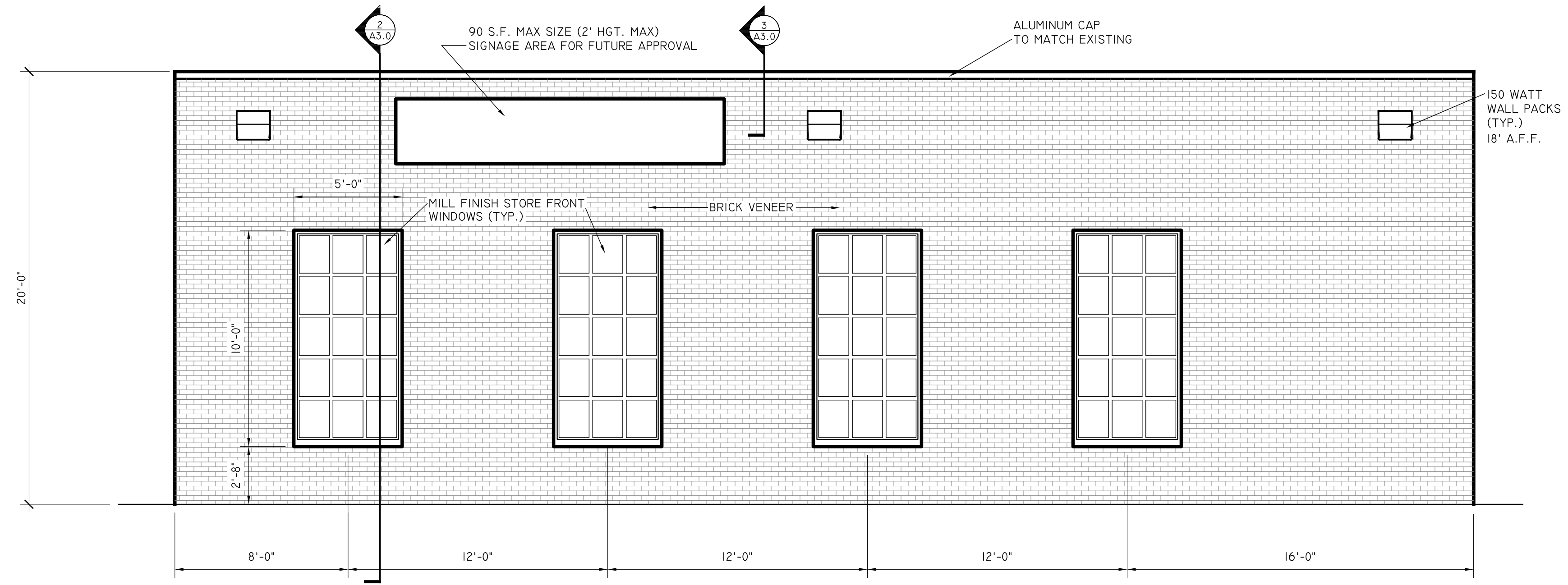
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ISSUE DATE: 12-18-15
PROJECT: --
CAD NAME: --

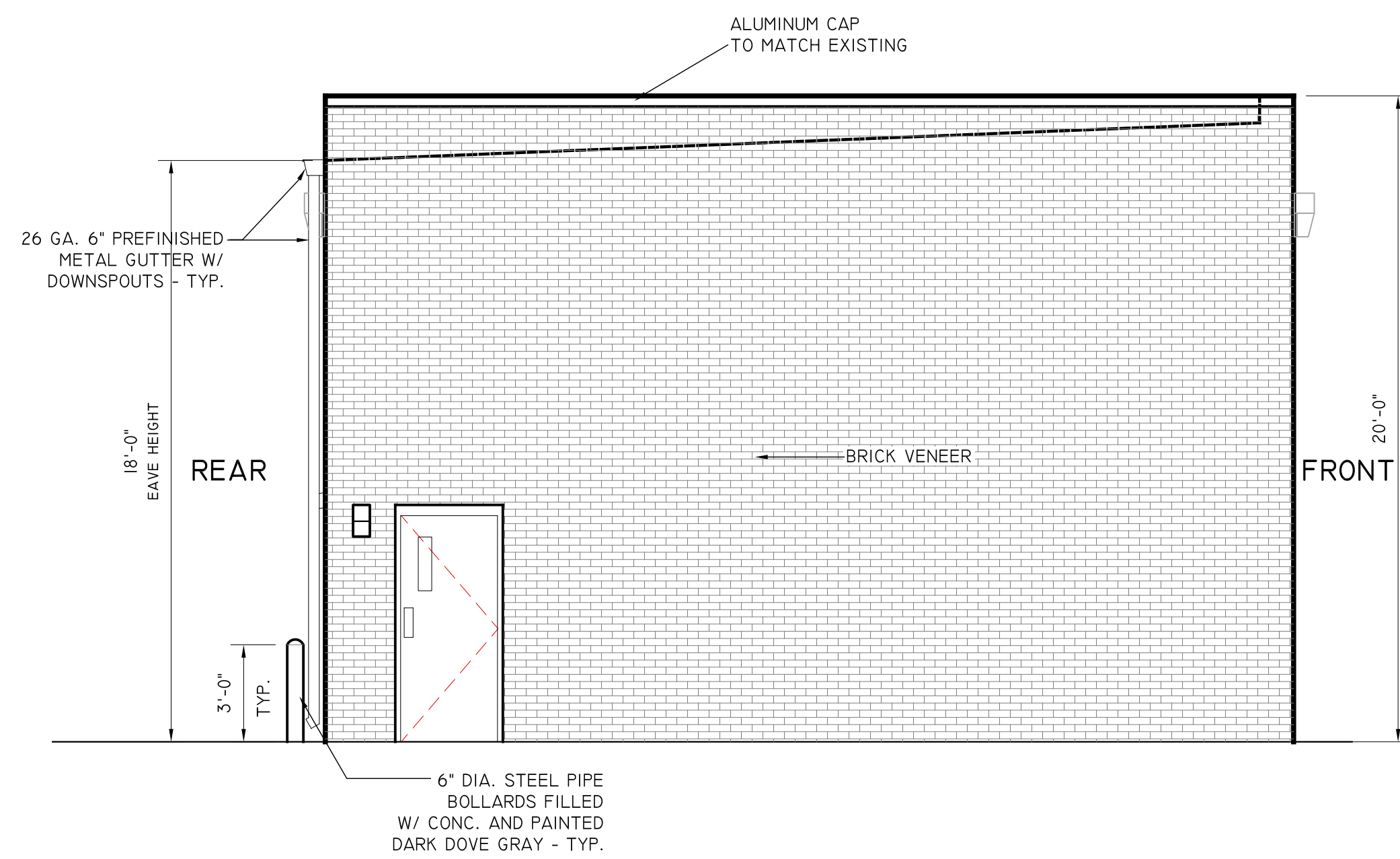
A-1



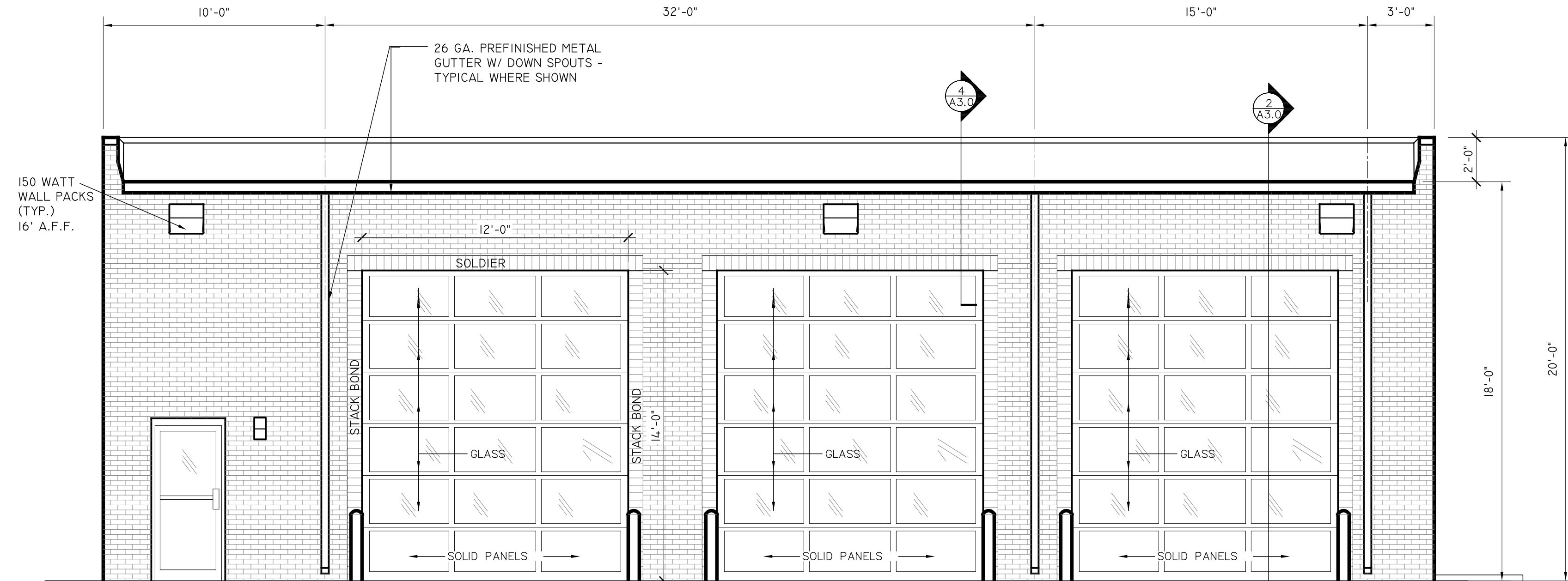
4 **RIGHT ELEVATION**
A-2 SCALE: 1/4"=1'-0"



1 **FRONT ELEVATION rev-2**
A-2 SCALE: 1/4"=1'-0"

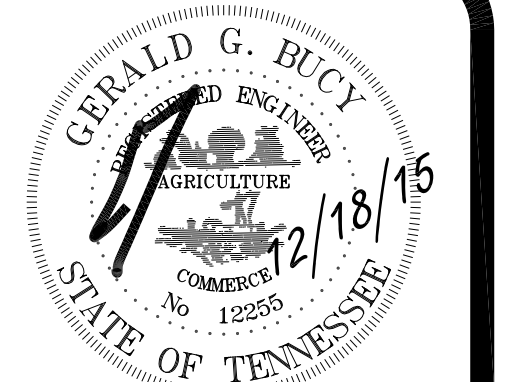


3 **LEFT ELEVATION**
A-2 SCALE: 1/4"=1'-0"



2 **REAR ELEVATION**
A-2 SCALE: 1/4"=1'-0"

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REVISIONS
2/25/16 PER TOWN COMMENTS

ELEVATIONS

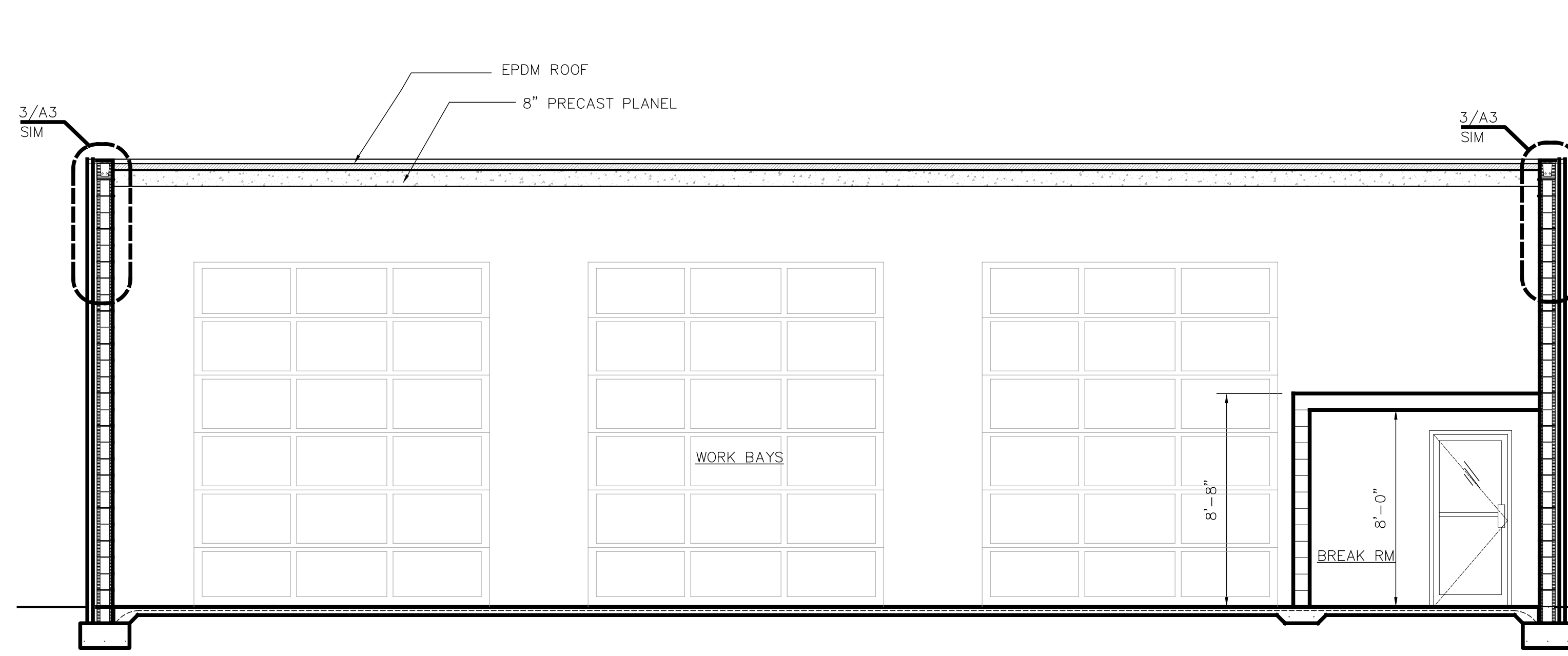
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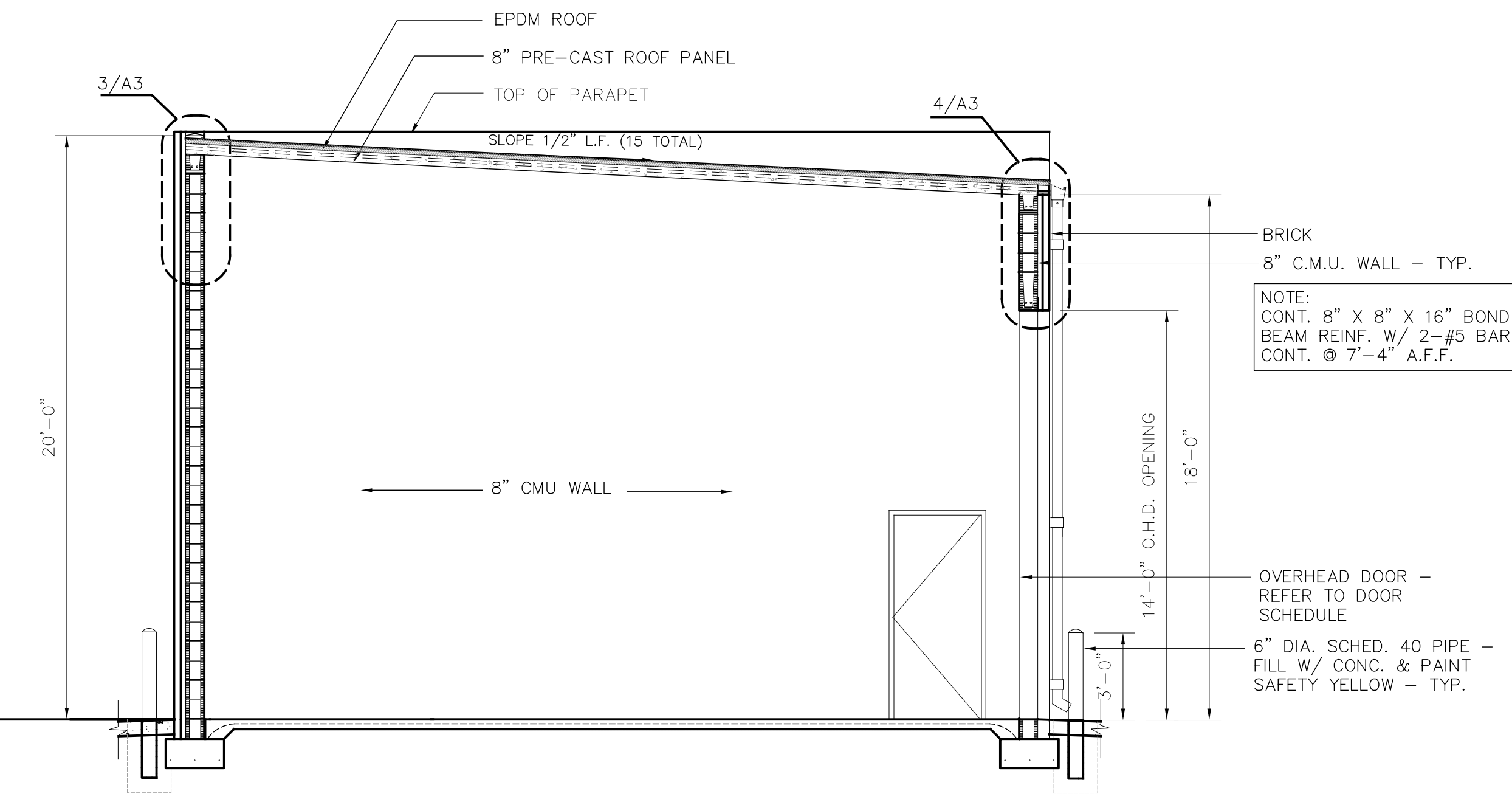
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PROJECT: --
CAD NAME: --

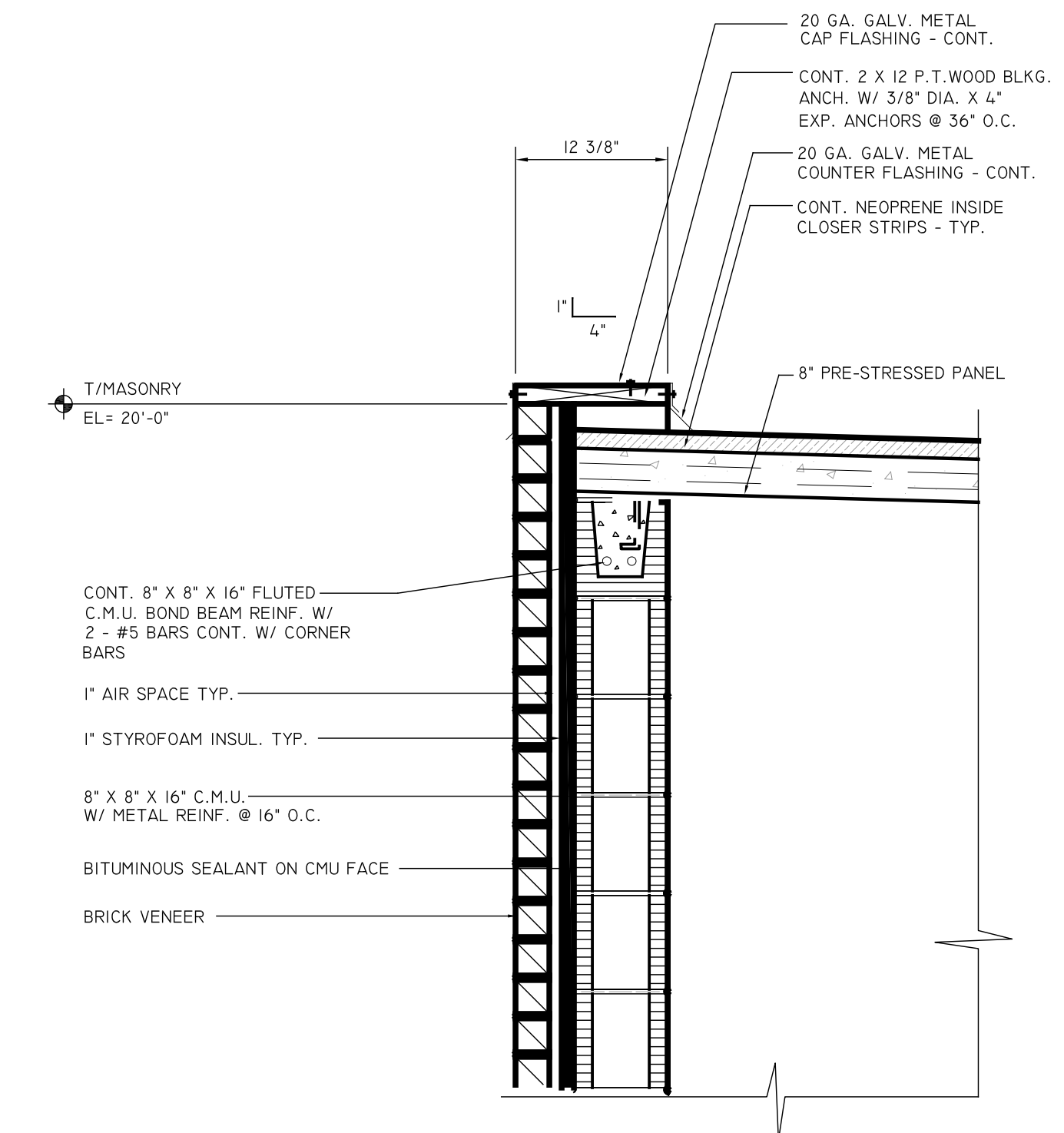
A-2



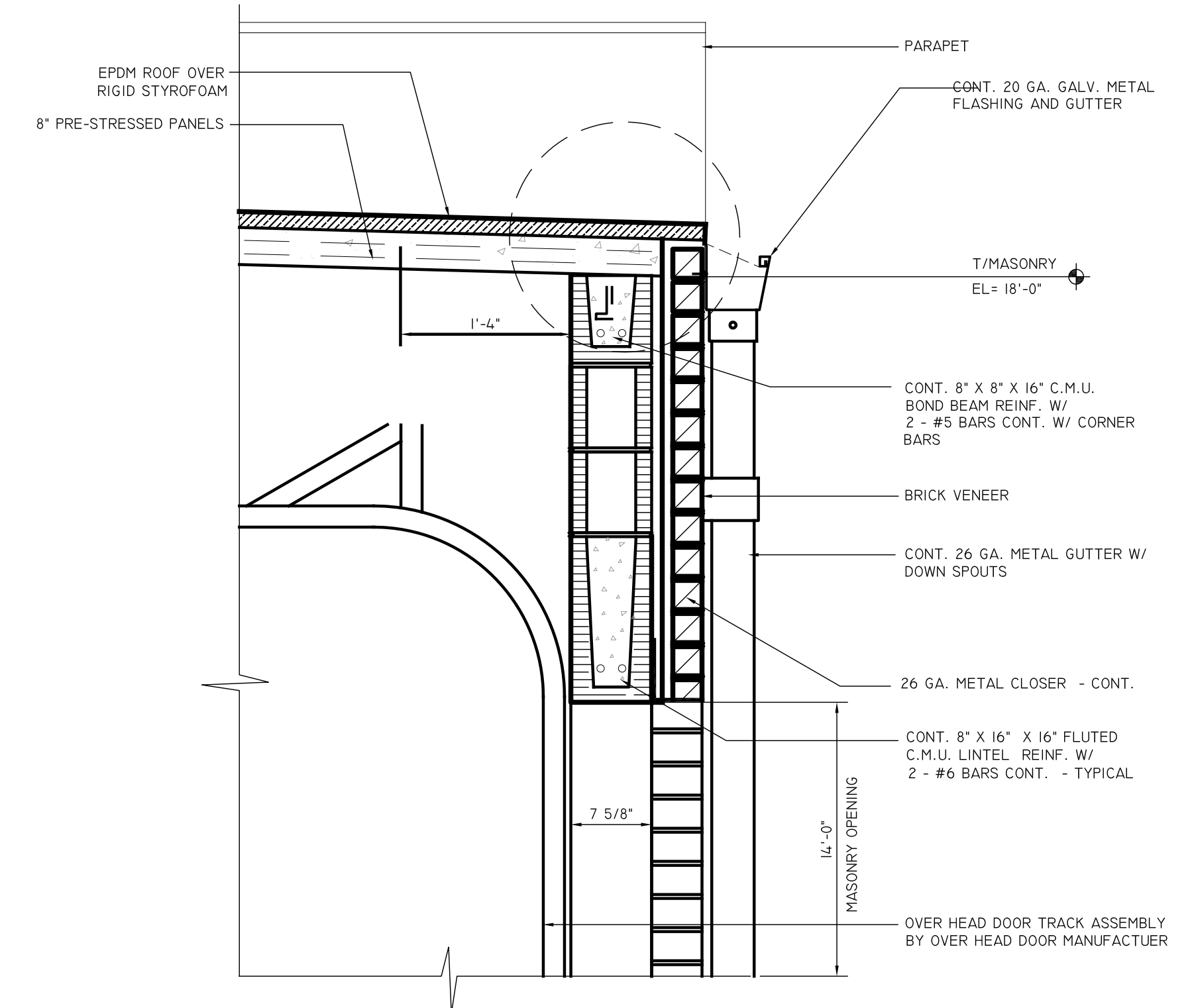
1 BUILDING CROSS SECTION
A-3 SCALE: 1/4"=1'-0"



2 BUILDING SECTION
A-3 SCALE: 1/4"=1'-0"

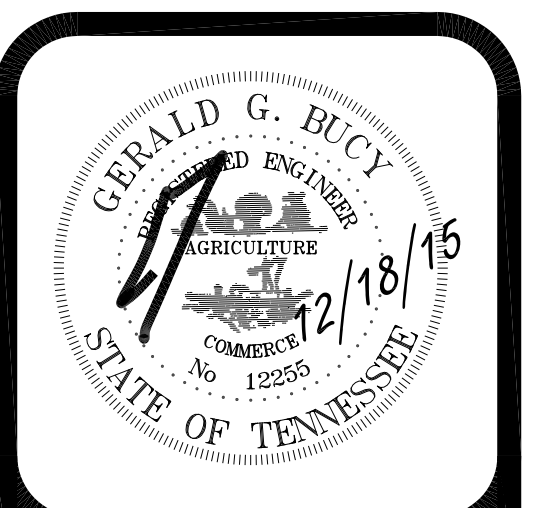


3 DETAIL @ FRONT WALL
A-3 SCALE: 1"=1'-0"



4 DETAIL @ REAR WALL
A-3 SCALE: 1"=1'-0"

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REVISIONS PER TOWN COMMENTS

2/25/16

SECTIONS

A New Auto Repair Building For
Fast Lane Express Lube Shop, Inc.
4713 Traders Way
Thompson's Station, Tennessee 37179

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ISSUE DATE: 12-18-15
PROJECT: --
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A-3