

**Town of Thompson's Station
Municipal Planning Commission
Meeting Agenda
April 24, 2018**

Meeting Called To Order

Pledge Of Allegiance

Minutes-

Consideration Of The Minutes Of The March 27, 2018 Meeting

Documents:

[03272018 MINUTES.PDF](#)

Public Comments-

New Business:

**1. Site Plan Review For The Construction Of A Gas Station/Convenience Center
(Twice Daily) Located At 4570 Columbia Pike (SP 2018-003; DR 2018-003)**

Documents:

[STAFF REPORT \(TWICE DAILY\).PDF](#)
[ITEM 1 TWICE DAILY SITE PLAN.PDF](#)

Adjourn

*This meeting will be held at 7:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Rd West*

Minutes of the Meeting
of the Municipal Planning Commission
of the Town of Thompson 's Station, Tennessee
March 27, 2018

Call to Order:

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 7:00 p.m. on the 27th day of March 2018 at the Thompson's Station Community Center with the required quorum. Members and staff in attendance were: Chairman Jack Elder; Vice Chairman Mike Roberts; Commissioner Shawn Alexander; Commissioner Brinton Davis; Alderman Ben Dilks; Commissioner Trent Harris; Commissioner Bob Whitmer; Town Administrator Joe Cosentini; Town Planner Wendy Deats; Town Clerk Jennifer Jones and Town Attorney Todd Moore.

Pledge of Allegiance.

Minutes:

The minutes of the February 27, 2018 meeting were previously submitted.

Commissioner Whitmer made a motion to approve of the February 27, 2018 meeting minutes. The motion was seconded and carried unanimously.

Public Comment:

Larry Simmons – 3116 Hazelton – Wanted to update the Planning Commission on the votes from the Tollgate Action Committee regarding the new development in front of Tollgate.

Unfinished Business:

- 1. Land Development Amendments to revised Table 4.4 – Permitted Uses: Section 4.6 – Building Placement Standards; Section 4.7. Height Restrictions; Table 4.13 – NC lot Standards; Section 4.9.5 – Regulations specific to the NC zone; and Section 2.12.2 – Parking Standards (Zone Amend 2018-001).**

Mrs. Deats reviewed her report and Staff is requesting the Planning Commission provide a recommendation to the Board of Mayor and Aldermen related to these amendments to the Land Development Ordinance.

After discussion, Commissioner Whitmer made a motion to recommend the Land Development Amendments to the Board of Mayor and Aldermen with changes to Section 4.9.5, item C to take out US 31 and add instead “edge of right of way of an arterial” and add Item D to include “civic space may not be nature conservancy”. The motion was seconded and approved by a vote of 5 to 2 with Commissioners Dilks and Roberts casting the dissenting votes.

New Business:

- 2. Preliminary Plat for the creation of Phase 18 and the re-subdivision of Phase 33 to create eight (8) lots within Tollgate Village (PP 2018-002).**

Page 2

Mrs. Deats reviewed her report and Staff recommends that the Planning Commission approve the preliminary plat for phase 18 which includes the re-subdivision of phase 33 with the following contingencies:

1. Prior to the submittal of a final plat, a development agreement shall be executed between the developer and the Town.
2. Prior to the submittal of a final plat, the secondary access must be completed and open to traffic.

After discussion, Commissioner Dilks made a motion to approve the Preliminary Plat for the creation of Phase 18 and the re-subdivision of Phase 33 to create eight (8) lots within Tollgate Village (PP 2018-002). The motion was seconded and carried by all.

3. BOMA request for the Planning Commission to consider a clarification to building height measurement (Zone Amend 2018-003 – currently before BOMA)

Mrs. Deats reviewed her report and Staff recommends that the Planning Commission recommends that the Board of Mayor and Aldermen amend the ordinance during the second reading to include language that the building height be measured from the lowest grade to the highest peak of the roof.

After discussion Commissioner Davis made a motion to approve Item 3, a BOMA request for the Planning Commission to consider a clarification to building height measurement as the lowest grade to highest peak of roof. The motion was seconded and carried by a vote of 4 to 3 with Commissioners Alexander, Dilks and Whitmer casting the dissenting votes.

Planner Report:

- **Concept Plan for Avenue Downs (CP 2018-001)**

Mrs. Deats reviewed the concept plan for Avenue Downs.

- **Concept Plan for The Fields of Canterbury Expansion (CP 2018-002)**

Mrs. Deats reviewed the concept plan for the Fields of Canterbury Expansion

- **MARS site plan**

Mars PetCare was approved in August 2011 for the development of a corporate campus. A recent request to relocate a proposed driveway and enhance the front entrance was approved with the contingencies to obtain TDOT approval for the new driveway and provide landscaping.

Municipal Planning Commission – Minutes of the Meeting
February 27, 2018

Page 3

There being no further business, Commissioner Harris made a motion to adjourn. The motion was seconded and the meeting was adjourned at 8:58 p.m.

Jack Elder, Chairman

Attest:

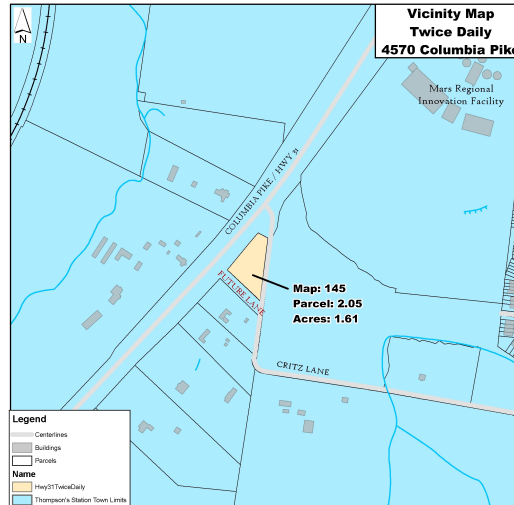
Brinton Davis, Secretary

Thompson's Station Planning Commission
Staff Report - Item 1 (SP 2018-003; DR 2018-003)
April 24, 2018

Request for site plan approval of a gas station/convenience center with a drive through coffee shop (Twice Daily & White Bison Coffee) located at 4570 Columbia Pike.

REQUEST

The applicant, Gresham Smith and Partners on behalf of Twice Daily is requesting approval of a site plan to construct a gas station/convenience center with a drive through coffee shop at 4570 Columbia Pike within the Community Commercial (CC) zoning district.



ANALYSIS

Site Plan

Site plan is a plan presenting the general details of a development proposal. Review by the Planning Commission is required for all multi-family and non-residential developments to ensure “compliance with the development and design standards” (Section 5.4.4) of the Land Development Ordinance.

The subject site is 1.61 acres and located at the northeast corner of Columbia Pike and Critz Lane. The site is zoned Community Commercial and is surrounded by vacant land to the north and east, residential uses to the south (across Critz Lane) and residential/agricultural to the east (across Columbia Pike). The Community Commercial zone “includes a range of commercial activities that serve a community or several neighborhoods, and allow larger commercial businesses” (LDO Section 1.2.7). Retail sales including gas stations and drive through establishments are permitted with the approval of a site plan and design review.

The project includes a 4,800-square foot gas station/convenience center with a drive through coffee shop and a gas canopy with 16 gas pumps. The site will have two entrances, one on Columbia Pike (which may require TDOT approval) and one on Critz Lane. Both entrances will consist of a stamped concrete with a herringbone pattern. A landscape planter is proposed along Columbia Pike (10 feet, six inches in width) and along Critz Lane (10-feet in width) between the roadway and the proposed drive through, which will wrap around the building along both road frontages. The drive through is twenty feet in width and has approximately a seven-car storage queue free and clear of parking and drive aisles. The gas pumps will be located under a canopy structure located to the side and rear of the

primary building. Trash will be located within an enclosure that is proposed to match the building, however, no additional landscaping to screen the trash area is shown on the plans.

As an automotive use, the project is subject to the requirements set forth with Section 4.11.5 of the Land Development Ordinance.

Automotive Uses (Section 4.11.5)

Main buildings and structures shall be located as close as allowable to the public right-of-way, adjacent to landscaping, and the front façade of the main structure shall orient toward the public right-of-way. Automotive bays, canopies, and gasoline pumps, and other garage space access shall be oriented away from public rights-of-way.

The project site is located at the northeast corner of Columbia Pike and Critz Lane. The building is set back from approximately 40 feet along the property line fronting Columbia Pike and approximately 34 feet along the property line fronting Critz Lane. The front façade of the building is oriented toward the interior of the site with the rear façade fronting Columbia Pike. A drive through that wraps around the building fronts Columbia Pike and Critz Lane with a landscape planter between the drive through and the property line. The landscape plan shows some foundation plantings along the north, south and west elevations, adjacent to the building and a 10.5 landscape planter is proposed along Columbia Pike and a 10-foot landscape planter is proposed along Critz Lane (adjacent to the drive through). The proposed gas pumps under a canopy structure located to the north and west of the building.

Lot coverage for automotive facilities shall include all buildings and canopies on site and shall not exceed 25%. Total amount of impervious surface shall be limited to 40%.

The lot coverage for the buildings on site is approximately 16.8%, and the impervious surface is 38.7%.

Parking shall be predominantly located in the rear of the site behind the main structure, where feasible. In cases where a portion of the parking fronts a public right of way, a landscaped hedge shall be provided to screen all parking spaces. The overnight parking or storage of any vehicles shall be fully screened from all public rights-of-way.

The lot fronts two roadways and all parking is located along the north (side) and the east (front) of the building.

A maximum height of 25 feet is permitted for all structures.

The convenience store and drive through coffee shop has a height of 18 feet with a maximum height of 21½ feet at the entrance and 20 feet for the rear (Columbia Pike) parapet. The canopy structure has a maximum height of 15 feet.

Car washes and other automotive uses that require vehicle stacking for quick service functions shall have a minimum queuing or stacking of three (3) cars or 60 feet. The queue cannot block any ingress/egress, drive aisles or parking.

No car wash or automotive uses other than fuel sales are proposed on the site, however, a drive through coffee shop is proposed. The drive through has a queue or vehicle stacking length of approximately seven vehicles.

Temporary display is permitted. Displays may not be located within any vehicular or pedestrian path of travel or any parking areas.

No temporary display is proposed, as submitted with the drawings.

Internal pedestrian access shall be provided and shall consist of paved walkways, decorative treatments, etc. to clearly identify the pedestrian path.

The plans include a cross walk from the gas pumps to the building for pedestrian access. A sidewalk wraps the building providing access to an outdoor seating area.

Uses not associated with the business. No sale of merchandise such as, cars, motor vehicles, etc. by private parties shall be permitted on the premises.

The project does not include the sales cars or other motor vehicles.

All buildings shall be reviewed by the Design Review Committee.

The Design Guidelines seek to promote design excellence in character and compatibility of development to its surroundings. Staff has concerns that the proposed structure does not conform to the Design Guidelines, however the project architect is working on changes to proposed building, signage and gas canopy. The project will be required to be reviewed by the DRC.

Canopy fascia shall match the color and materials of the other buildings on site. No more than two points of ingress/egress shall be permitted and no more than 35% of the street frontage shall be dedicated to curb cuts. Driveways shall be located a minimum of 200 feet from any intersection.

The canopy fascia does not match the color and materials of the building on site. Staff recommends the fascia be modified to include use of the proposed materials and colors of the primary structure as required. Two entrances, a minimum of 200 feet from the intersection of Columbia Pike and Critz Lane with two-way ingress/egress are proposed with a maximum width of 24 feet.

Automotive uses shall be operated and maintained in accordance with all applicable state and building codes.

Staff anticipates that any approved project will comply with all required codes.

Parking

All parking is provided on site and is located to the side and the rear of the primary structure. The parking is based on one space for every 375 square feet of area for the gas station resulting in 15 spaces and one space for every 250 feet for the drive through facility which requires one space for a total requirement of 16 spaces. The project exceeds the required parking calculation and is therefore subject to low impact design (LID). To reduce the overall impervious surface and to comply with LID requirements for a parking coverage, the area between the store and the gas pumps along with the drive through and to the project entries, including all parking spaces is designed using pervious pavers. This reduces the allowable impervious surface to less than 40% and provides 50% of the area as LID.

Lighting

The Land Development Ordinance has lighting standards to “minimize light trespass and spill-over of light and glare” (Section 4.13) and requires the lighting plan be reviewed by the Planning Commission for development. A photometric study was submitted and demonstrates that with the exception of the entrance/exits, the foot candle levels appear to be less than five foot candles. It is likely some light trespass will occur from the development of this project, however given the project’s current condition and the need to provide lighting for safe access on the site, staff doesn’t anticipate a significant impact as a result.

Utilities

The project has not been granted sewer by the Town’s Board of Mayor and Aldermen and staff cannot favorably recommend a project without adequate utilities. However, the Board of Mayor and

Aldermen intends to discuss the issue of sewer for commercial at the May Board meeting, therefore, Staff would recommend deferral of this request until the Board has further discussed permitting sewer approvals for commercial.

Architecture and Signage

Building Design and the proposed signs will be considered by the Design Review Commission. Staff is working with the project architect on changes to the building design, canopy design and sign package.

RECOMMENDATION

Staff recommends a deferral of this site plan request to the May Planning Commission meeting to allow for revisions to the plans and to discover whether changes to the policy related to sewer approvals is modified by the Board of Mayor and Aldermen.

ATTACHMENTS

Site plan packet

SITE DEVELOPMENT PLANS FOR

TWICE DAILY CONVENIENCE STORE

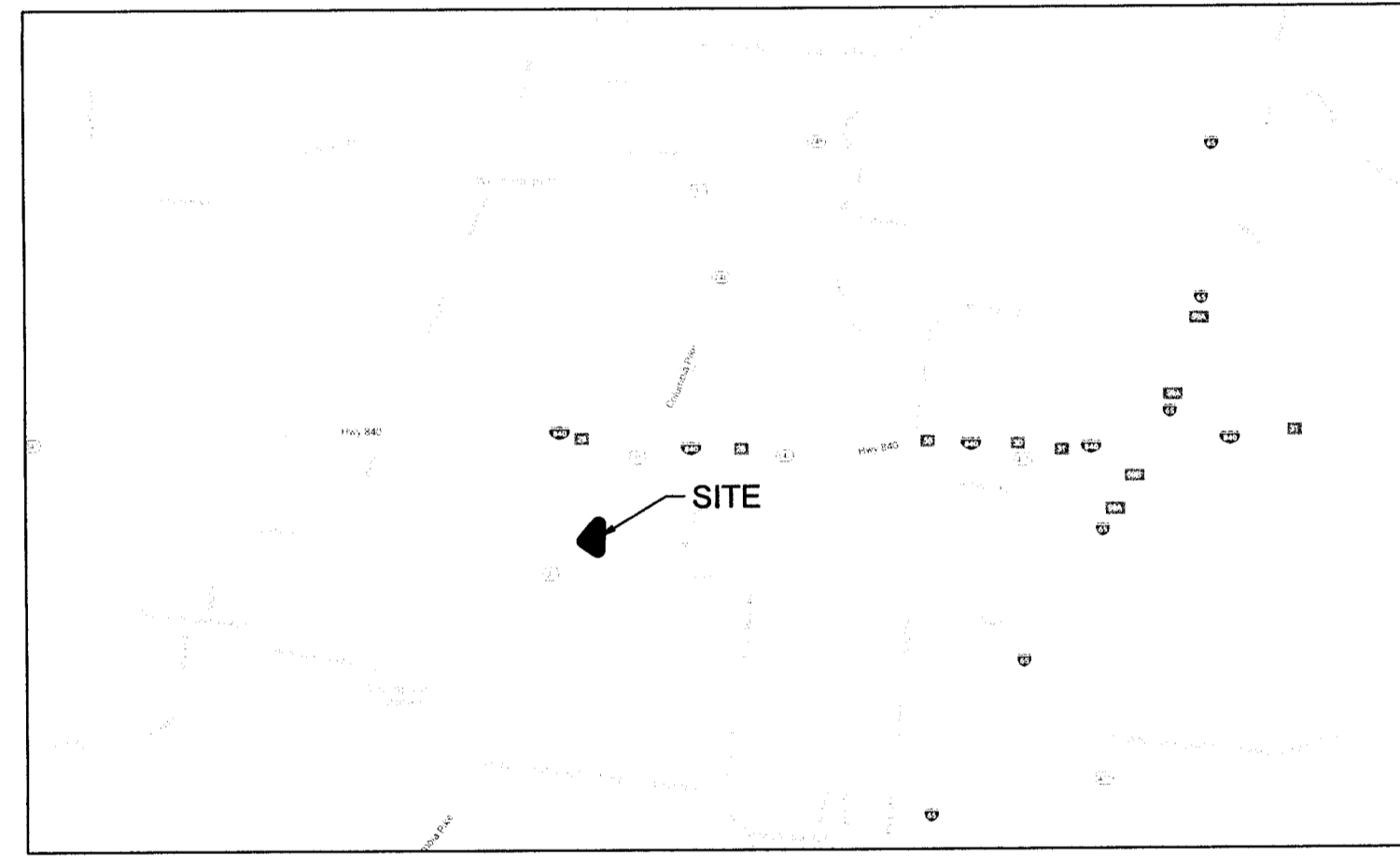


TWICE DAILY STORE# 6182
COLUMBIA PIKE AND CRITZ LANE
WILLIAMSON COUNTY
THOMPSON'S STATION, TENNESSEE

GS&P PROJECT NO. 29956.05

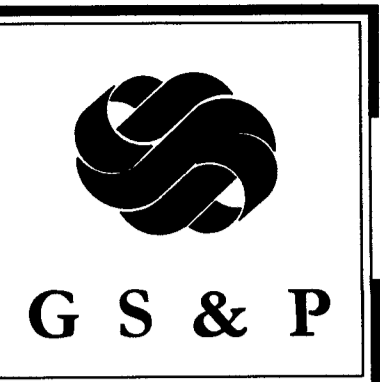
SITE DATA

TAX MAP 145, PARCEL 2.05	TBD
ADDRESS	THOMPSON'S STATION
CITY	WILLIAMSON
COUNTY	TENNESSEE
STATE	
CURRENT ZONING	CC (COMMUNITY COMMERCE)
LOT SIZE	70,026 SQ. FT., 1.61 ACRES
LOT COVERAGE	11,767 SQ. FT., 0.27 ACRES (16.8% COVERAGE)
FLOOR AREA RATIO	0.07
IMPERVIOUS SURFACE	27,068 SQ. FT., 0.62 ACRES (38.7% IMPERVIOUS)
LANDSCAPE/OPEN SPACE COVERAGE	21,072 SQ. FT., 0.48 ACRES (30.1% COVERAGE)
MINIMUM REQUIRED BUILDING SETBACKS	
- PRIMARY FRONTAGE	10'
- SECONDARY FRONTAGE	10'
- SIDE LOT LINE	8'
- REAR LOT LINE	15'
PROPOSED LAND USE	CONVENIENCE STORE WITH FUEL SALES
PROPOSED GROSS BUILDING S.F.	4,800 S.F.
OCCUPANCY TYPE	IBC "MERCANTILE"
CONSTRUCTION TYPE	TYPE IV-B
PROPOSED BUILDING HEIGHT	18'-0"
PROPOSED CANOPY HEIGHT	15'-0"
PARKING REQUIRED	CONVENIENCE STORE/TRAVEL PLAZA = (1 SPACE/375 SF + 1 SPACE/100 SF OF PATRON WAITING AREA) = 4,260/375 + 290/100 = 15 SPACES
	DRIVE-THRU FACILITY = (1 SPACE/250 SF) = 120/250 = 1 SPACE
PARKING REQUIRED (MAXIMUM)	16 SPACES
PARKING PROVIDED	21 SPACES (INCLUDES 2 ADA-ACCESSIBLE SPACES)
PARKING OVERAGE	21/16 = 31.25% INCREASE OVER MAXIMUM (50% OF PARKING AREA REQUIRED TO MEET LID)
PARKING AREA	3,545 SF
PARKING AREA REQUIRED TO MEET LID	50% (1772.5 SF)
PARKING AREA MEETING LID	100% (3,545 SF) (PERVIOUS PAVERS)
PROJECT PROPOSAL STATEMENT:	PROPOSED IS A CONVENIENCE STORE WITH FUEL SALES AND DRIVE-THRU FACILITY. THESE DRAWINGS CONFORM TO ALL THOMPSON'S STATION REGULATIONS AS OUTLINED IN THE LAND DEVELOPMENT ORDINANCE AS WELL AS THROUGH CONVERSATIONS WITH TOWN STAFF AND LOCAL UTILITY PROVIDERS.
FLOOD NOTE:	THE PROJECT DOES NOT LIE IN THE 100-YEAR FLOODPLAIN PER CURRENT FEMA FIRM PANEL 47187C0335F, DATED SEPTEMBER 29, 2006.



VICINITY MAP
SCALE 1" = 200'

Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
C100	EXISTING CONDITIONS AND NATURAL RESOURCES
C200	SITE LAYOUT PLAN
C300	GRADING & DRAINAGE PLAN
C500	SITE UTILITY PLAN
L200	LANDSCAPE PLAN
SIGN000	SIGN EXHIBIT
A1.0	NOTED FLOOR PLAN
A2.0	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A2.2	FUEL CANOPY
A2.3	PERGOLA ELEVATIONS
A4.0	ROOF PLAN
A5.0	BUILDING SECTION
SHEET 1	PHOTOMETRIC PLAN



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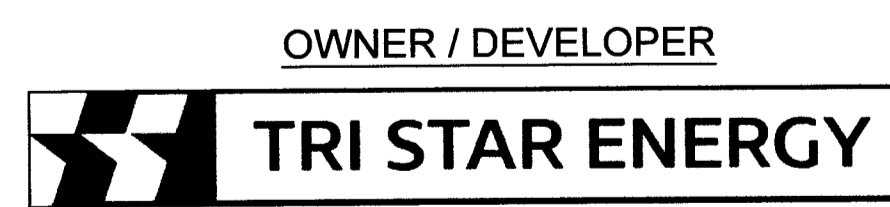
SITE DEVELOPMENT PLANS FOR
TWICE DAILY CONVENIENCE STORE
CRITZ LANE



TWICE DAILY STORE #6182
COLUMBIA PIKE AND CRITZ LANE
THOMPSON'S STATION, TENNESSEE



Revision		
No.	Date	Description
1	01.11.18	PC & DRC PACKAGES
2	03.15.18	TOWN COMMENTS



TRI STAR ENERGY, LLC
1740 Ed Temple Blvd
Nashville, Tennessee 37208

Contact: Charlton Bell
Phone: (615) 313-2457
Email: cbell@tristartrn.com

CIVIL ENGINEER/LANDSCAPE ARCHITECT



222 2nd Avenue South, Suite 1400
Nashville, Tennessee 37201

CIVIL ENGINEER: Mark Spalding, PE
PHONE: (615) 770-8441
E-MAIL: mark_spalding@gspnet.com

LANDSCAPE ARCHITECT: Trey Rudolph, RLA, CLARB
PHONE: (615) 770-8148
E-MAIL: trey_rudolph@gspnet.com

ARCHITECT



901 West Main Street
Hendersonville, Tennessee 37075

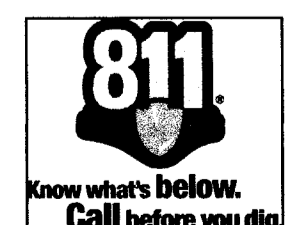
Contact: Clint Cassetty
Phone: (615) 822-5711
Email: cassetty@cassettytn.com

SIGN CONSULTANT



2806 East 50th
Chattanooga, Tennessee 37407

Contact: Mike Adcox
Phone: (866) 867-9208
Email: madcox@ortweinsign.com



COVER SHEET

C000

PROJECT: 29956.05
DATE: SEPTEMBER 8, 2017



Design Services
For The Built Environment

Atlanta GA Knoxville TN
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Columbus OH Nashville TN
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SITE DEVELOPMENT PLANS FOR
**TWICE DAILY CONVENIENCE STORE
CRITZ LANE**

twicedaily
TWICE DAILY STORE #6182
COLUMBIA PIKE AND CRITZ LANE
THOMPSON'S STATION, TENNESSEE

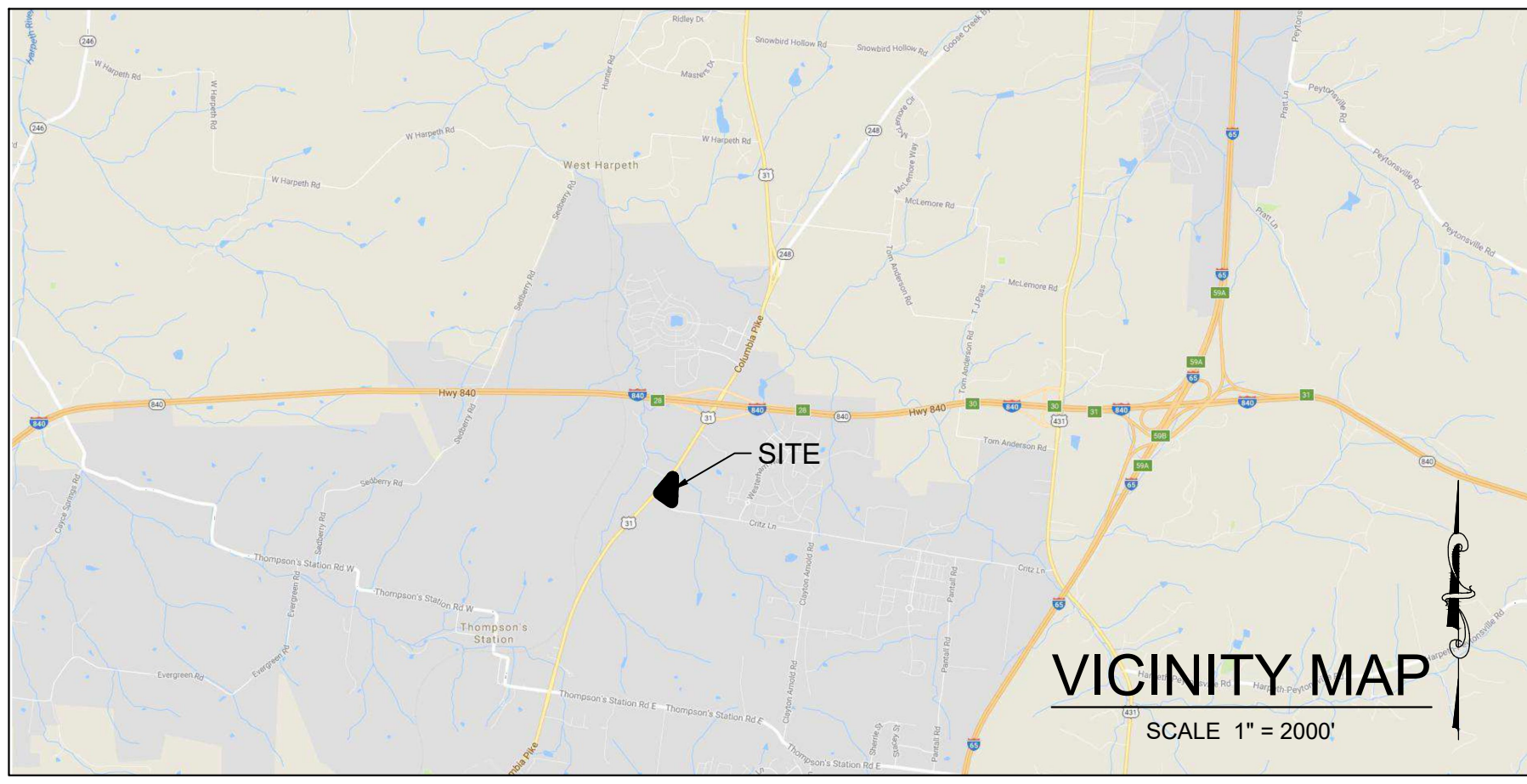
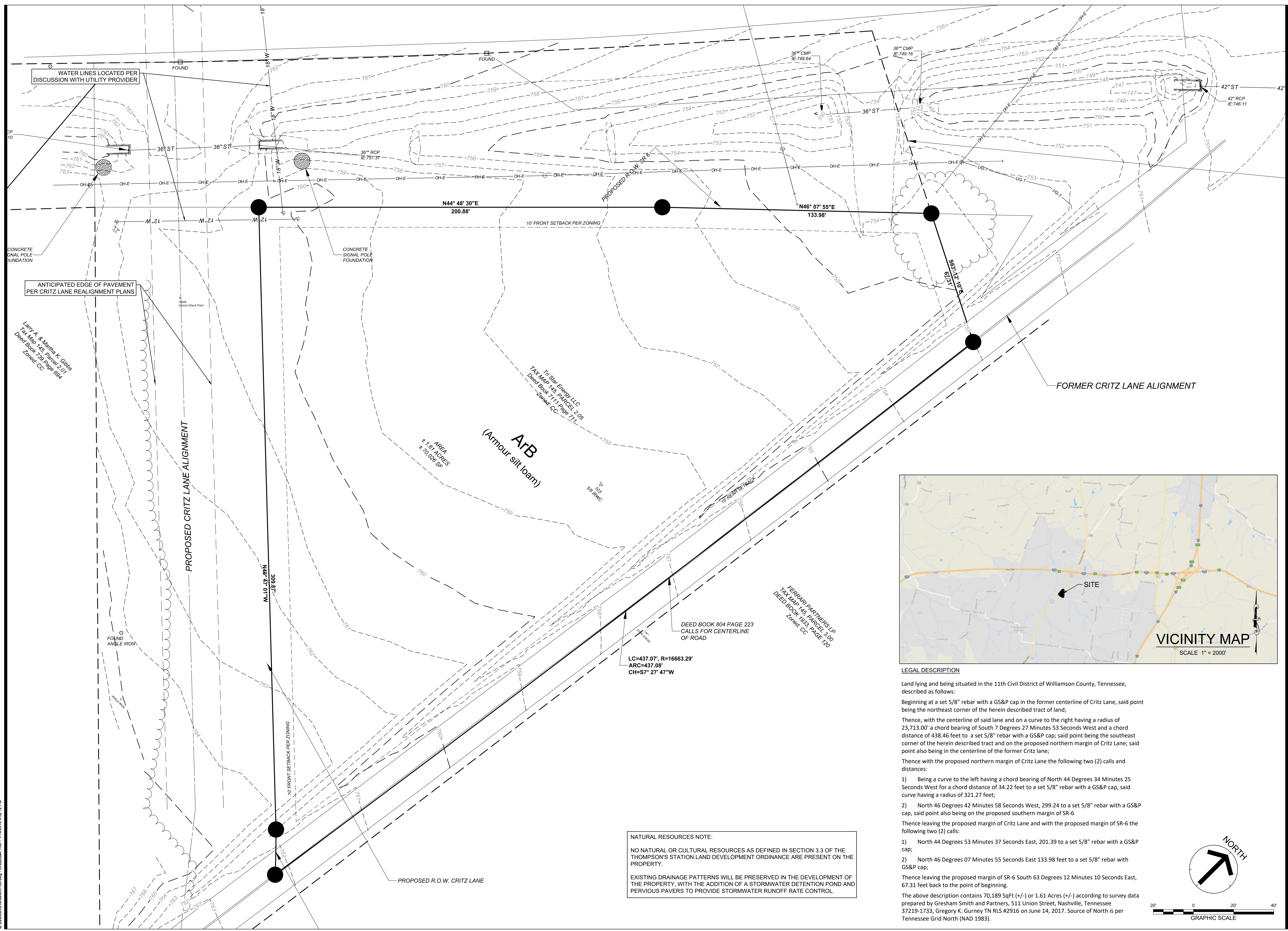
**FOR
REFERENCE
ONLY**

Revision		
No.	Date	Description
1	01.11.18	PC & DRC PACKAGES

EXISTING CONDITIONS AND
NATURAL RESOURCES

C100

PROJECT: 28956.05
DATE: SEPTEMBER 8, 2017



LEGAL DESCRIPTION

Land lying and being situated in the 11th Civil District of Williamson County, Tennessee, described as follows:

Beginning at a set 5/8" rebar with a GS&P cap in the former centerline of Critz Lane, said point being the northeast corner of the herein described tract of land;

Thence, with the centerline of said lane and on a curve to the right having a radius of 23,713.00' a chord bearing of South 7 Degrees 27 Minutes 53 Seconds West and a chord distance of 438.46 feet to a set 5/8" rebar with a GS&P cap; said point being the southeast corner of the herein described tract and on the proposed northern margin of Critz Lane; said point also being in the centerline of the former Critz lane;

Thence with the proposed northern margin of Critz Lane the following two (2) calls and distances:

- 1) Being a curve to the left having a chord bearing of North 44 Degrees 34 Minutes 25 Seconds West for a chord distance of 34.22 feet to a set 5/8" rebar with a GS&P cap, said curve having a radius of 321.27 feet;
- 2) North 46 Degrees 42 Minutes 58 Seconds West, 299.24 to a set 5/8" rebar with a GS&P cap, said point also being on the proposed southern margin of SR-6

Thence leaving the proposed margin of Critz Lane and with the proposed margin of SR-6 the following two (2) calls:

- 1) North 44 Degrees 53 Minutes 37 Seconds East, 201.39 to a set 5/8" rebar with a GS&P cap;
- 2) North 46 Degrees 07 Minutes 55 Seconds East 133.98 feet to a set 5/8" rebar with GS&P cap;

Thence leaving the proposed margin of SR-6 South 63 Degrees 12 Minutes 10 Seconds East, 67.31 feet back to the point of beginning.

The above description contains 70,189 SqFt (+/-) or 1.61 Acres (+/-) according to survey data prepared by Gresham Smith and Partners, 511 Union Street, Nashville, Tennessee 37219-1733, Gregory K. Gurney TN RLS #2916 on June 14, 2017. Source of North is per Tennessee Grid North (NAD 1983).

NATURAL RESOURCES NOTE:

NO NATURAL OR CULTURAL RESOURCES AS DEFINED IN SECTION 3.3 OF THE THOMPSON'S STATION LAND DEVELOPMENT ORDINANCE ARE PRESENT ON THE PROPERTY.

EXISTING DRAINAGE PATTERNS WILL BE PRESERVED IN THE DEVELOPMENT OF THE PROPERTY. WITH THE ADDITION OF A STORMWATER DETENTION POND AND PERVIOUS PAVERS TO PROVIDE STORMWATER RUNOFF RATE CONTROL.

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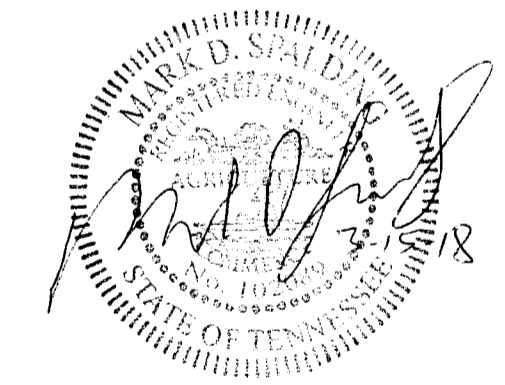
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SITE DEVELOPMENT PLANS FOR
TWICE DAILY CONVENIENCE STORE
CRITZ LANE

twicedaily

TWICE DAILY STORE #6182
COLUMBIA PIKE AND CRITZ LANE
THOMPSON'S STATION, TENNESSEE



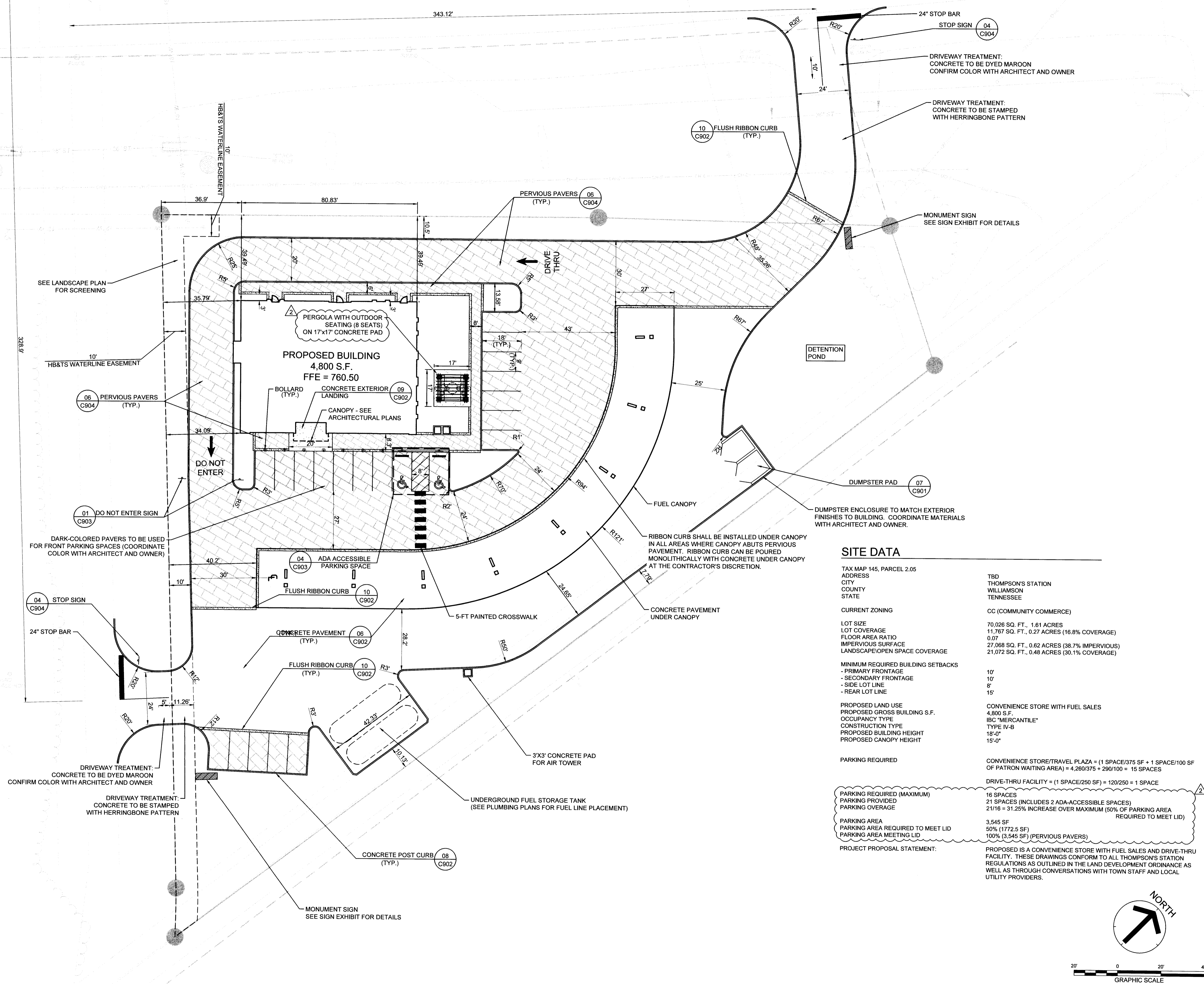
Revision

No.	Date	Description
1	01.11.18	PC & DRC PACKAGES
2	03.15.18	TOWN COMMENTS

SITE LAYOUT PLAN

C200

PROJECT: 29956.05
DATE: SEPTEMBER 8, 2017



SITE DATA

TAX MAP 145, PARCEL 2.05
ADDRESS TBD
CITY THOMPSON'S STATION
COUNTY WILLIAMSON
STATE TENNESSEE

CURRENT ZONING CC (COMMUNITY COMMERCE)

LOT SIZE 70,026 SQ. FT., 1.61 ACRES
FLOOR AREA RATIO 11,767 SQ. FT., 0.27 ACRES (16.8% COVERAGE)
IMPERVIOUS SURFACE 0.07
LANDSCAPE/OPEN SPACE COVERAGE 27,068 SQ. FT., 0.62 ACRES (38.7% IMPERVIOUS)
21,072 SQ. FT., 0.48 ACRES (30.1% COVERAGE)

MINIMUM REQUIRED BUILDING SETBACKS
- PRIMARY FRONTAGE 10'
- SECONDARY FRONTAGE 10'
- SIDE LOT LINE 8'
- REAR LOT LINE 15'

PROPOSED LAND USE CONVENIENCE STORE WITH FUEL SALES
PROPOSED GROSS BUILDING S.F. 4,800 S.F.
OCCUPANCY TYPE IBC "MERCANTILE"
CONSTRUCTION TYPE TYPE IV-B
PROPOSED BUILDING HEIGHT 18'-0"
PROPOSED CANOPY HEIGHT 15'-0"

PARKING REQUIRED CONVENIENCE STORE/TRAVEL PLAZA = (1 SPACE/375 SF + 1 SPACE/100 SF OF PATRON WAITING AREA) = 4,260/375 + 290/100 = 15 SPACES
DRIVE-THRU FACILITY = (1 SPACE/250 SF) = 120/250 = 1 SPACE

PARKING REQUIRED (MAXIMUM) 16 SPACES
PARKING PROVIDED 21 SPACES (INCLUDES 2 ADA-ACCESSIBLE SPACES)
PARKING COVERAGE 21/16 = 31.25% INCREASE OVER MAXIMUM (50% OF PARKING AREA REQUIRED TO MEET LID)

PARKING AREA 3,545 SF
PARKING AREA REQUIRED TO MEET LID 50% (1,772.5 SF)
PARKING AREA MEETING LID 100% (3,545 SF) (PERVIOUS PAVERS)

PROJECT PROPOSAL STATEMENT:
PROPOSED IS A CONVENIENCE STORE WITH FUEL SALES AND DRIVE-THRU FACILITY. THESE DRAWINGS CONFORM TO ALL THOMPSON'S STATION REGULATIONS AS OUTLINED IN THE LAND DEVELOPMENT ORDINANCE AS WELL AS THROUGH CONVERSATIONS WITH TOWN STAFF AND LOCAL UTILITY PROVIDERS.



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For The Built
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- Columbus OH
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- Jacksonville FL
- Knoxville TN
- Louisville KY
- Memphis TN
- Nashville TN
- Richmond VA
- Tallahassee FL
- Tampa FL

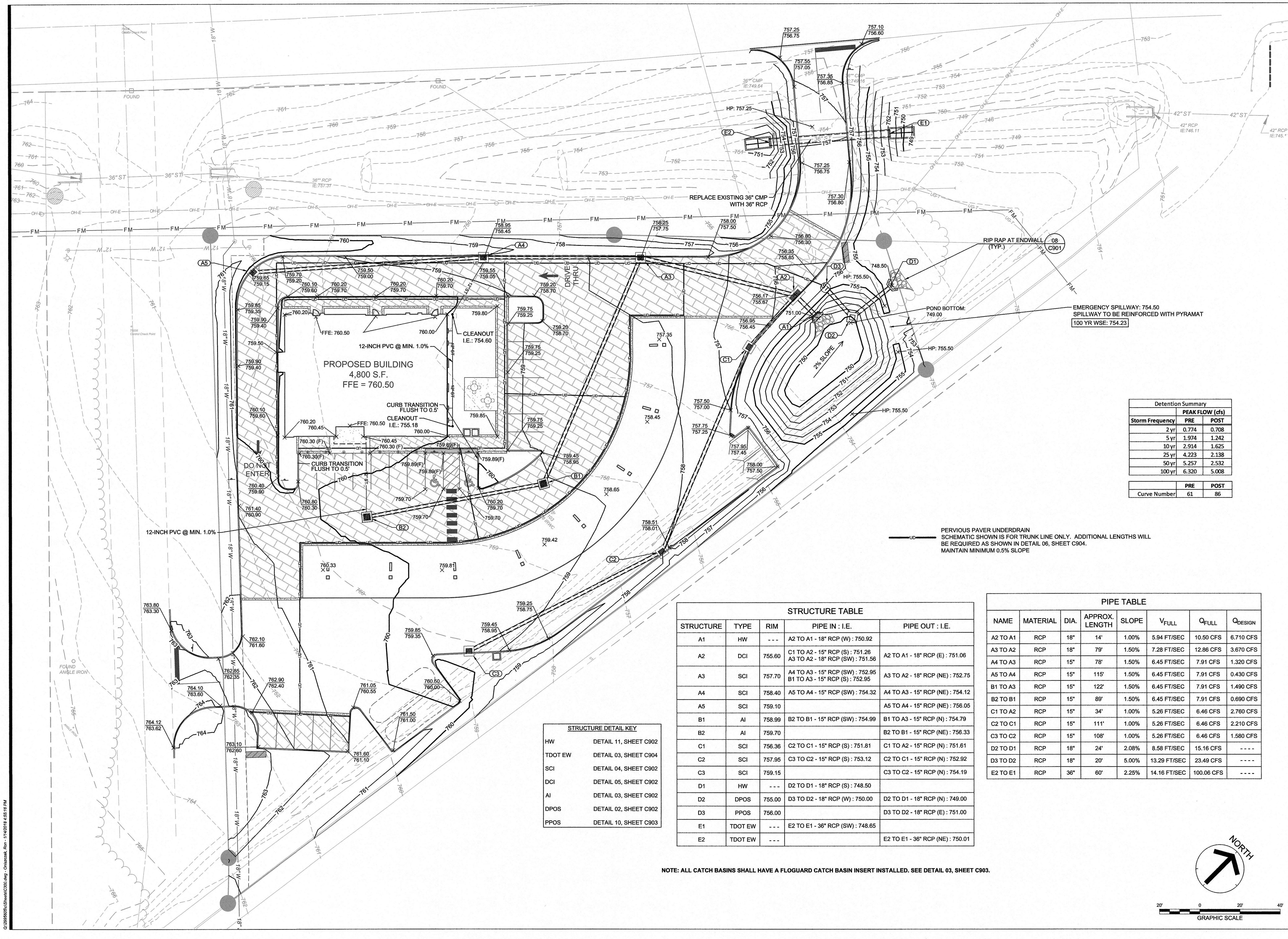
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SITE DEVELOPMENT PLANS FOR
TWICE DAILY CONVENIENCE STORE
CRITZ LANE

twicedaily
TWICE DAILY STORE #6182
COLUMBIA PIKE AND CRITZ LANE
THOMPSON'S STATION, TENNESSEE



Detention Summary			
Storm Frequency	PEAK FLOW (cfs)		
	PRE	POST	
2 yr	0.774	0.708	
5 yr	1.974	1.242	
10 yr	2.914	1.625	
25 yr	4.223	2.138	
50 yr	5.257	2.532	
100 yr	6.320	5.008	
	PRE	POST	
Curve Number	61	86	

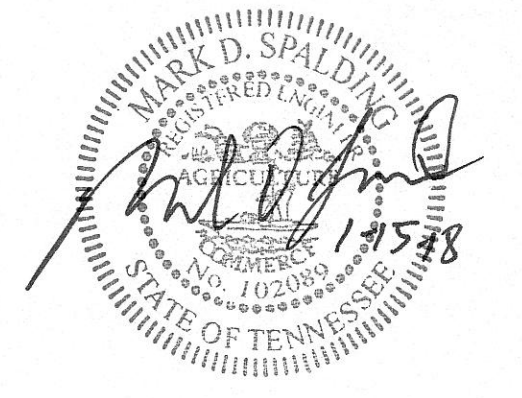
PERVIOUS PAVER UNDERDRAIN SCHEMATIC SHOWN IS FOR TRUNK LINE ONLY. ADDITIONAL LENGTHS WILL BE REQUIRED AS SHOWN IN DETAIL 06, SHEET C904. MAINTAIN MINIMUM 0.5% SLOPE

STRUCTURE TABLE					
STRUCTURE	TYPE	RIM	PIPE IN : I.E.	PIPE OUT : I.E.	
A1	HW	---	A2 TO A1 - 18" RCP (W) : 750.92		
A2	DCI	755.60	C1 TO A2 - 15" RCP (S) : 751.26 A3 TO A2 - 18" RCP (SW) : 751.56	A2 TO A1 - 18" RCP (E) : 751.06	
A3	SCI	757.70	A4 TO A3 - 15" RCP (SW) : 752.95 B1 TO A3 - 15" RCP (S) : 752.95	A3 TO A2 - 18" RCP (NE) : 752.75	
A4	SCI	758.40	A5 TO A4 - 15" RCP (SW) : 754.32	A4 TO A3 - 15" RCP (NE) : 754.12	
A5	SCI	759.10		A5 TO A4 - 15" RCP (NE) : 756.05	
B1	AI	758.99	B2 TO B1 - 15" RCP (SW) : 754.99	B1 TO A3 - 15" RCP (N) : 754.79	
B2	AI	759.70		B2 TO B1 - 15" RCP (NE) : 756.33	
C1	SCI	756.36	C2 TO C1 - 15" RCP (S) : 751.81	C1 TO A2 - 15" RCP (N) : 751.61	
C2	SCI	757.95	C3 TO C2 - 15" RCP (S) : 753.12	C2 TO C1 - 15" RCP (N) : 752.92	
C3	SCI	759.15		C3 TO C2 - 15" RCP (N) : 754.19	
D1	HW	---	D2 TO D1 - 18" RCP (S) : 748.50		
D2	DPOS	755.00	D3 TO D2 - 18" RCP (W) : 750.00	D2 TO D1 - 18" RCP (N) : 749.00	
D3	PPOS	756.00		D3 TO D2 - 18" RCP (E) : 751.00	
E1	TDOT EW	---	E2 TO E1 - 36" RCP (SW) : 748.65		
E2	TDOT EW	---		E2 TO E1 - 36" RCP (NE) : 750.01	

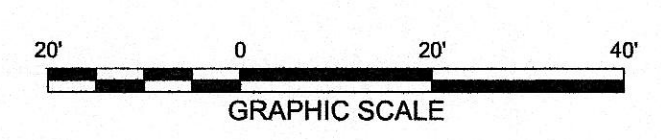
PIPE TABLE							
NAME	MATERIAL	DIA.	APPROX. LENGTH	SLOPE	V _{FULL}	Q _{FULL}	Q _{DESIGN}
A2 TO A1	RCP	18"	14'	1.00%	5.94 FT/SEC	10.50 CFS	6.710 CFS
A3 TO A2	RCP	18"	79'	1.50%	7.28 FT/SEC	12.86 CFS	3.670 CFS
A4 TO A3	RCP	15"	78'	1.50%	6.45 FT/SEC	7.91 CFS	1.320 CFS
A5 TO A4	RCP	15"	115'	1.50%	6.45 FT/SEC	7.91 CFS	0.430 CFS
B1 TO A3	RCP	15"	122'	1.50%	6.45 FT/SEC	7.91 CFS	1.490 CFS
B2 TO B1	RCP	15"	89'	1.50%	6.45 FT/SEC	7.91 CFS	0.690 CFS
C1 TO A2	RCP	15"	34'	1.00%	5.26 FT/SEC	6.46 CFS	2.760 CFS
C2 TO C1	RCP	15"	111'	1.00%	5.26 FT/SEC	6.46 CFS	2.210 CFS
C3 TO C2	RCP	15"	108'	1.00%	5.26 FT/SEC	6.46 CFS	1.580 CFS
D2 TO D1	RCP	18"	24'	2.08%	8.58 FT/SEC	15.16 CFS	----
D3 TO D2	RCP	18"	20'	5.00%	13.29 FT/SEC	23.49 CFS	----
E2 TO E1	RCP	36"	60'	2.25%	14.16 FT/SEC	100.06 CFS	----

STRUCTURE DETAIL KEY	
HW	DETAIL 11, SHEET C902
TDOT EW	DETAIL 03, SHEET C904
SCI	DETAIL 04, SHEET C902
DCI	DETAIL 05, SHEET C902
AI	DETAIL 03, SHEET C902
DPOS	DETAIL 02, SHEET C902
PPOS	DETAIL 10, SHEET C903

NOTE: ALL CATCH BASINS SHALL HAVE A FLOGUARD CATCH BASIN INSERT INSTALLED. SEE DETAIL 03, SHEET C903.



Revision		
No.	Date	Description
1	01.11.18	PC & DRC PACKAGES



GRADING & DRAINAGE PLAN

C300

PROJECT: 29956.05
DATE: SEPTEMBER 8, 2017

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SITE DEVELOPMENT PLANS FOR
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THOMPSON'S STATION, TENNESSEE

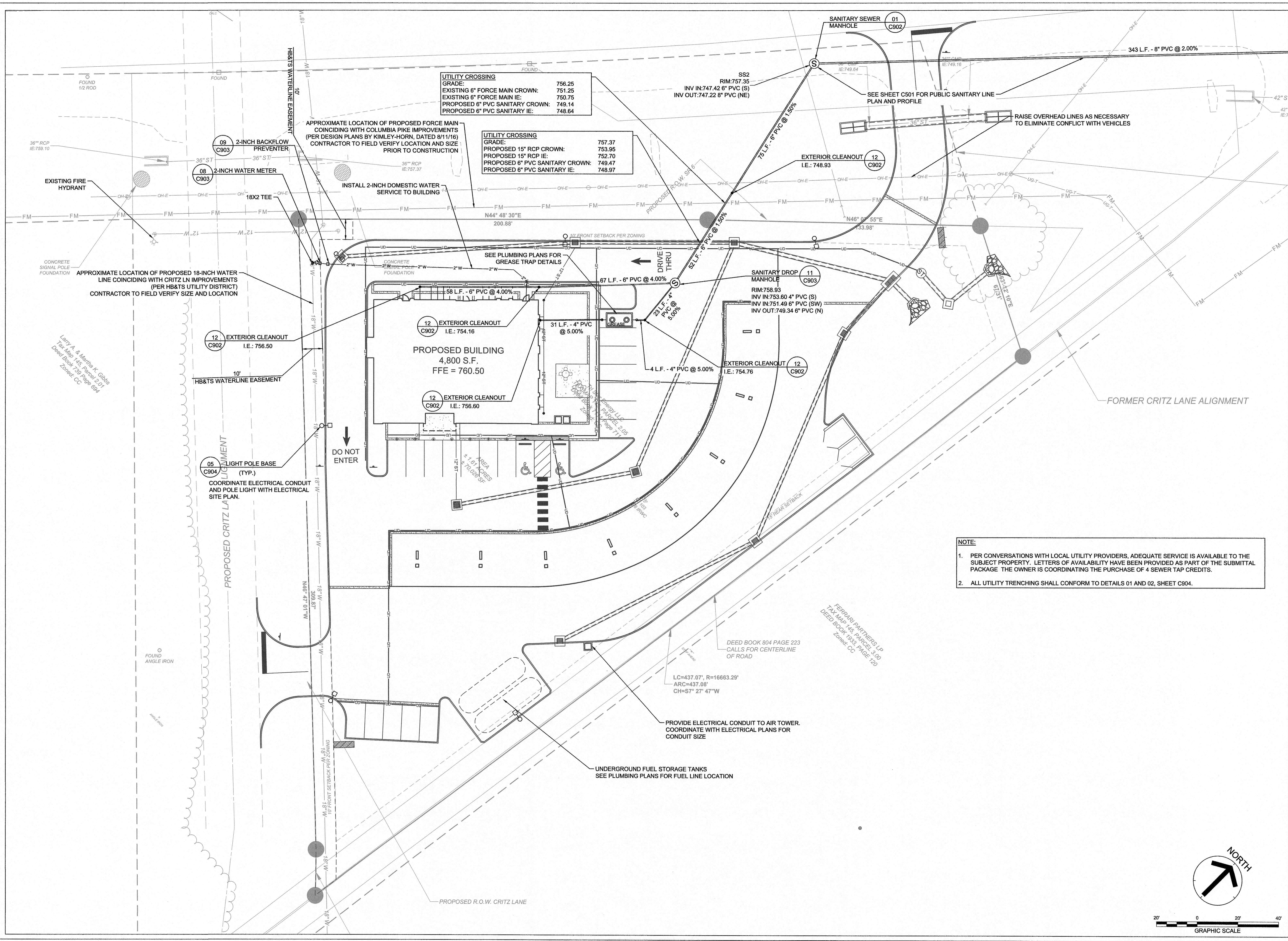


Revision		
No.	Date	Description
1	01.11.18	PC & DRC PACKAGES

SITE UTILITY PLAN

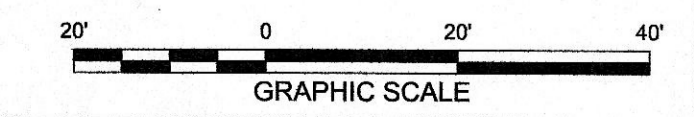
C500

PROJECT: 29956.05
DATE: SEPTEMBER 8, 2017

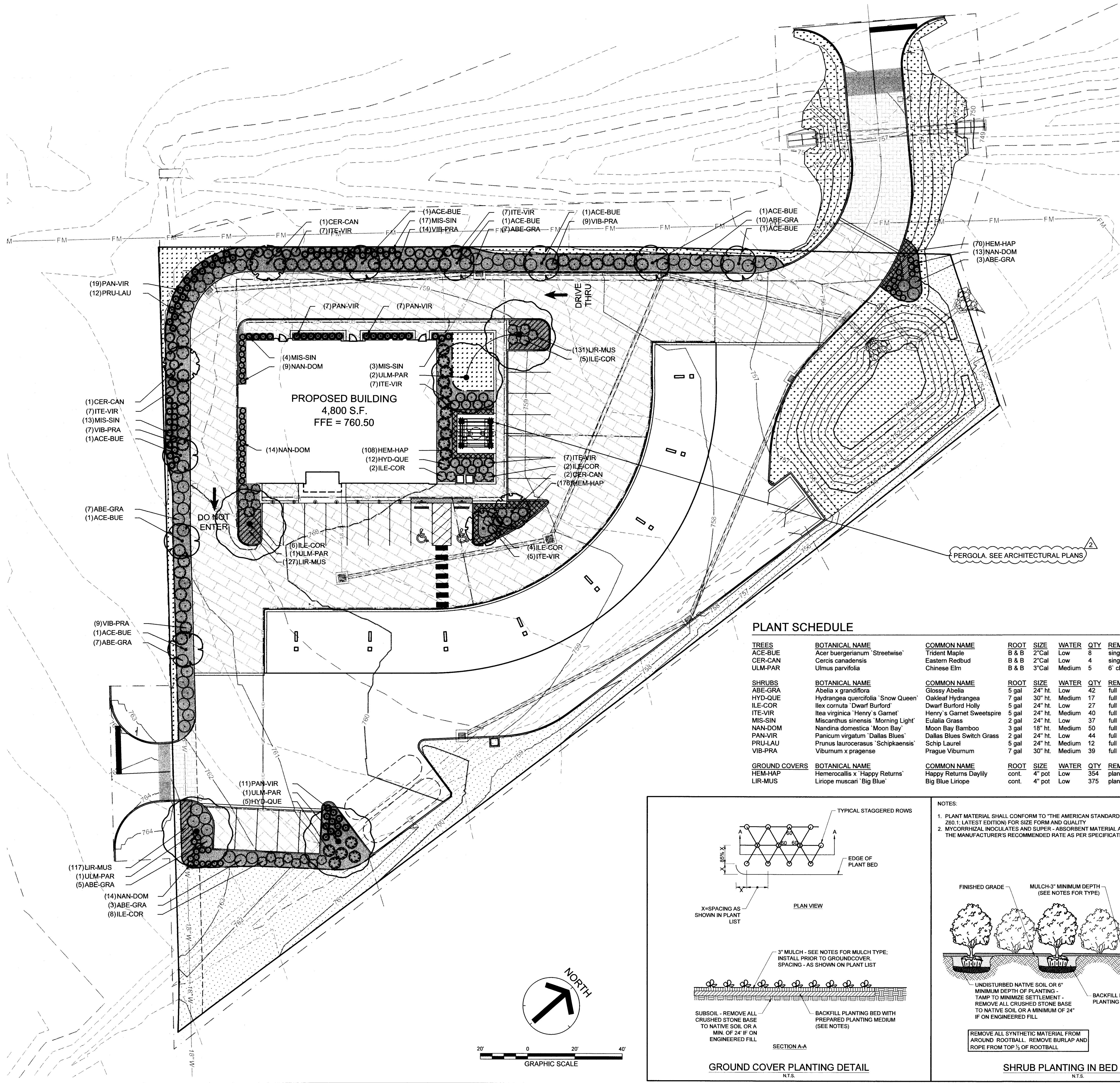


NOTE:

- PER CONVERSATIONS WITH LOCAL UTILITY PROVIDERS, ADEQUATE SERVICE IS AVAILABLE TO THE SUBJECT PROPERTY. LETTERS OF AVAILABILITY HAVE BEEN PROVIDED AS PART OF THE SUBMITTAL PACKAGE. THE OWNER IS COORDINATING THE PURCHASE OF 4 SEWER TAP CREDITS.
- ALL UTILITY TRENCHING SHALL CONFORM TO DETAILS 01 AND 02, SHEET C904.



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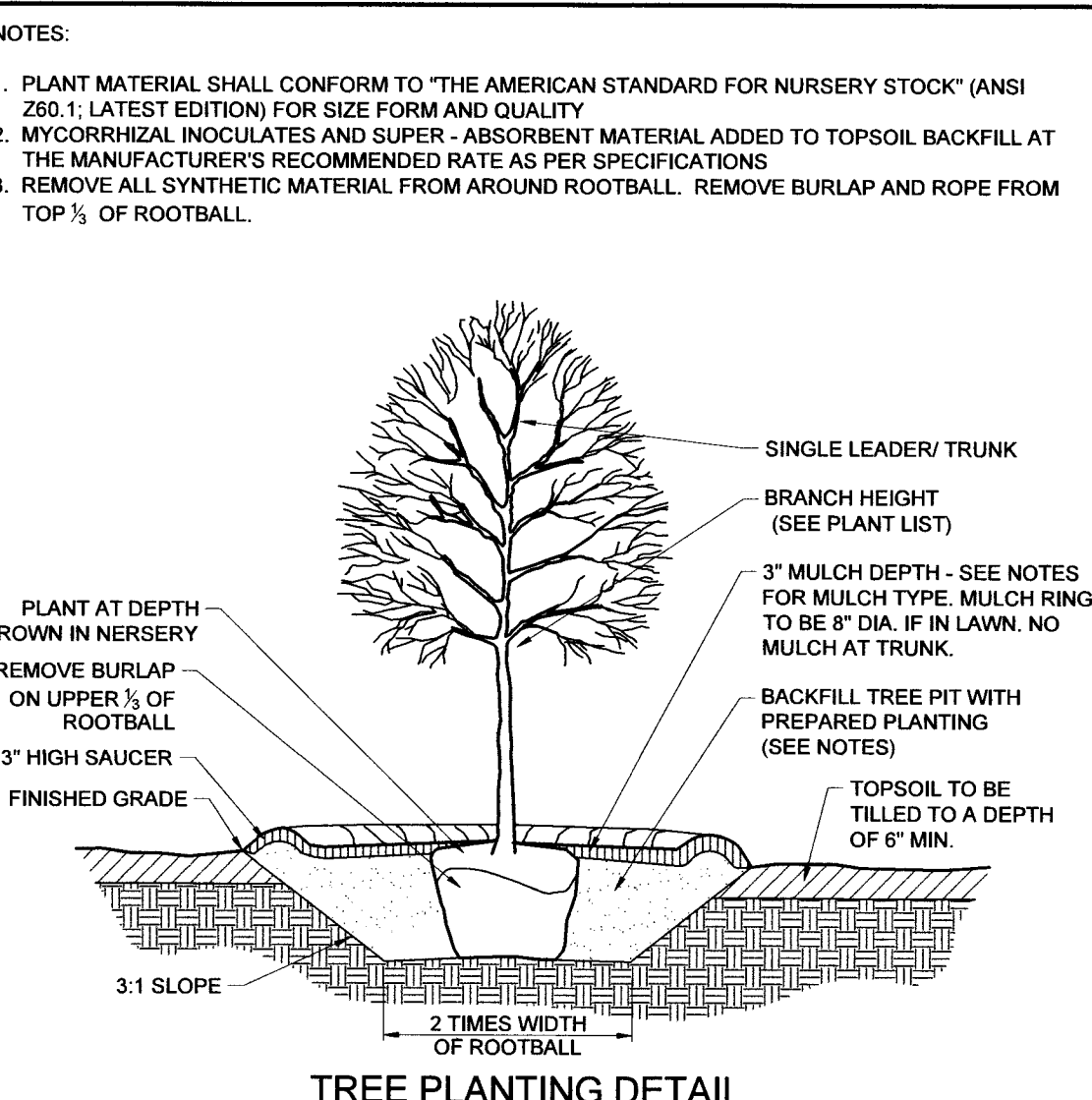
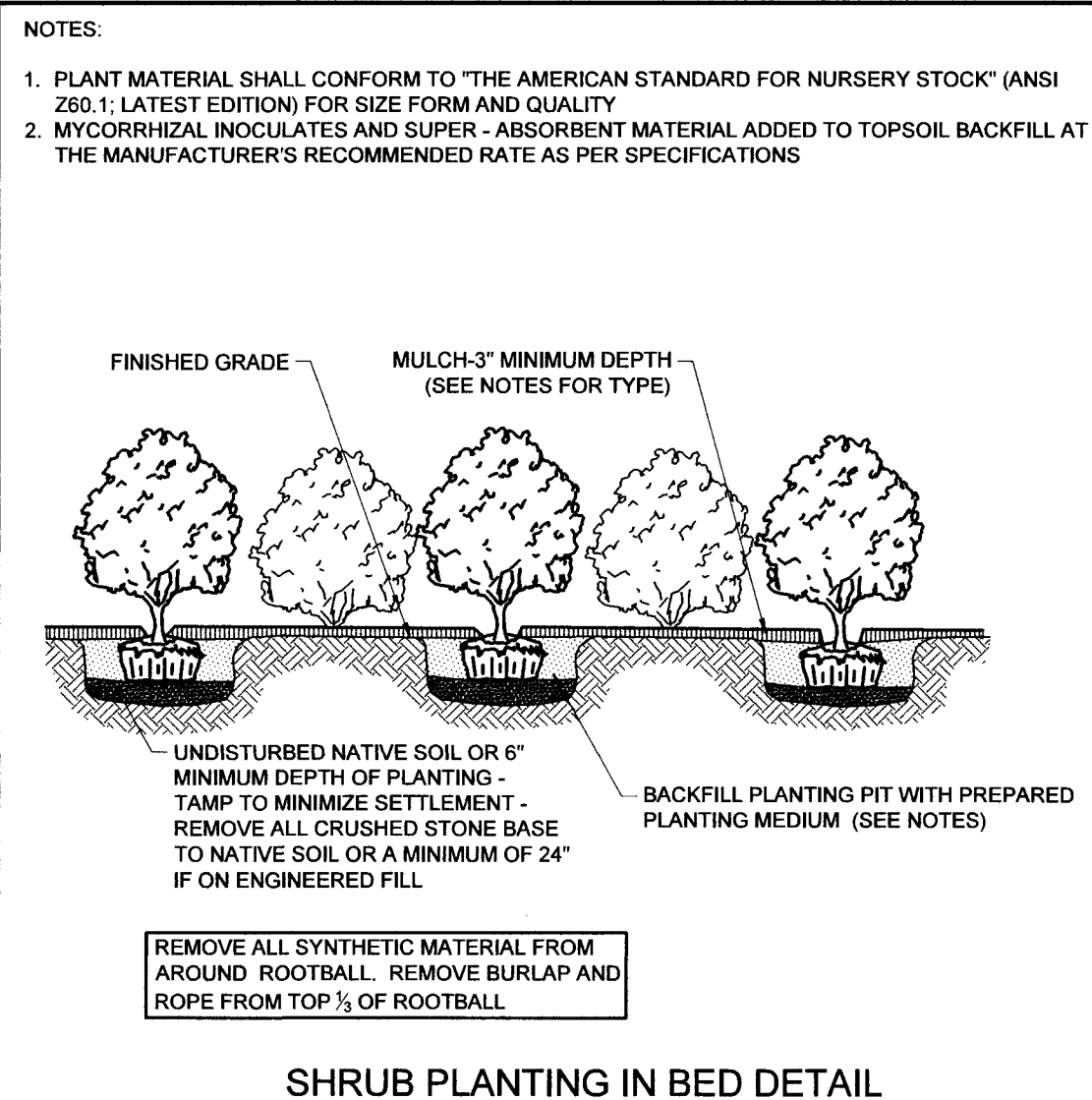
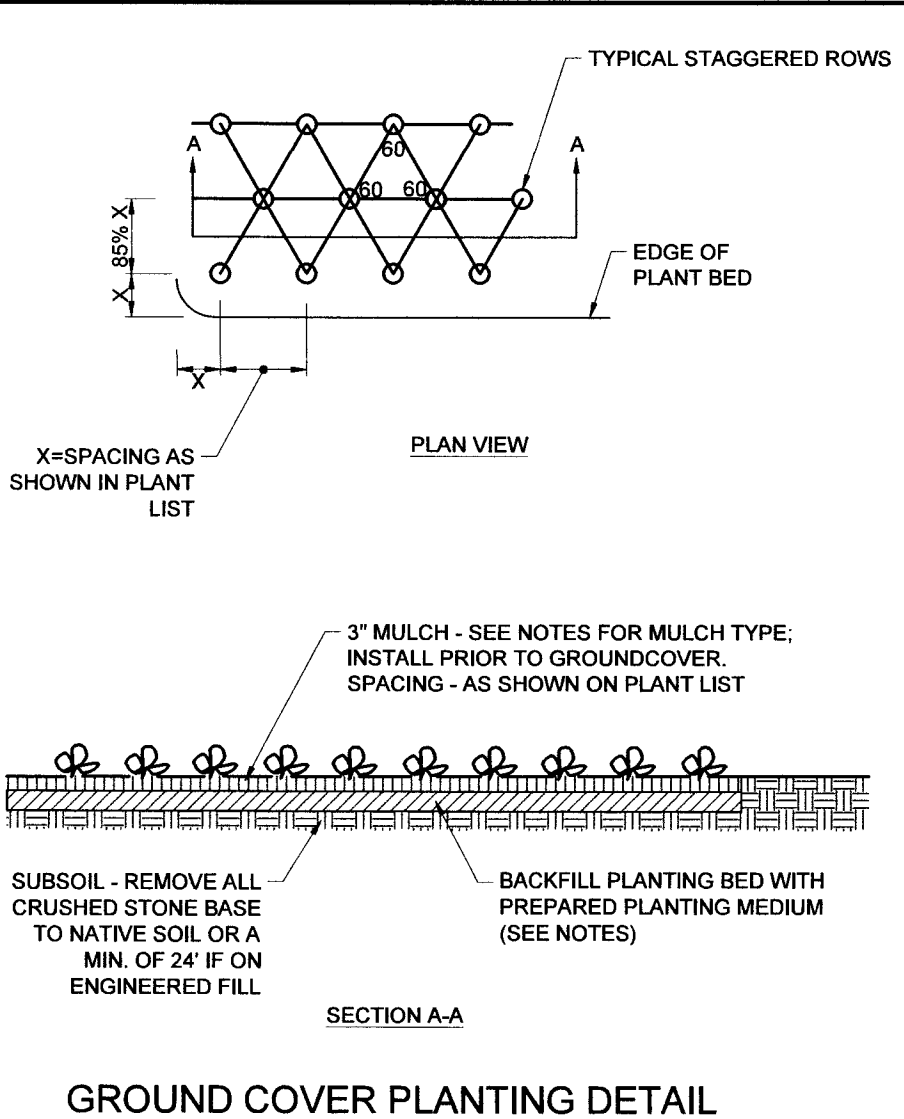


- LANDSCAPE NOTES**
- WHEN APPLICABLE, IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT EXISTING TREES TO REMAIN. NO HEAVY EQUIPMENT SHOULD BE PERMITTED TO OPERATE OR BE STORED, NOR ANY MATERIALS TO BE HANDLED OR STORED, WITHIN THE DRILINES OF TREES OUTSIDE THE LIMIT OF GRADING.
 - THE QUANTITIES INDICATED ON THE PLANT LIST AND PLAN ARE PROVIDED FOR THE BENEFIT OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR HIS OWN QUANTITY CALCULATIONS AND THE LIABILITY WHICH PERTAINS TO THOSE QUANTITIES AND TO ANY RELATED CONTRACT DOCUMENTS AND/OR PRICE QUOTATIONS. QUESTIONS SHOULD BE DIRECTED TO THE LANDSCAPE ARCHITECT.
 - ALL PLANT MATERIALS SHALL BE NURSERY GROWN, UNLESS OTHERWISE NOTED AND SHALL COMPLY WITH THE AMERICAN STANDARD FOR NURSERY STOCK: ANSI Z-60.1, LATEST EDITION, FOR SIZE AND QUALITY.
 - NO SUBSTITUTIONS AS TO TYPE, SIZE, OR SPACING OF PLANT MATERIALS SPECIFIED ON THIS PLAN MAY BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT.
 - THE CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES AND TO PROTECT UTILITIES THAT ARE TO REMAIN. THE CONTRACTOR SHALL REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.
 - ALL AREAS DISTURBED BY UTILITY TRENCHING, SITE AND BUILDING CONSTRUCTION SHALL BE STABILIZED WITH SEEDING AND SODDING AS SHOWN BY THE PLAN.
 - SOIL USED FOR PLANTING SHALL CONSIST OF 5 PARTS TOPSOIL, 1 PART SAND AND 2 PARTS ORGANIC MATTER, MIXED WITH 1 POUND OF FERTILIZER PER CUBIC YARD.
 - SAND SHALL BE CLEAN MASONRY SAND.
 - ORGANIC MATTER SHALL BE PEAT MOSS, OR WELL COMPOSTED PINE BARK, OR APPROVED EQUAL AND SHALL BE FINELY GROUND AND FREE OF WEEDS.
 - ALL FERTILIZER SHALL BE 10-10-10 WITH MINOR ELEMENTS. FERTILIZER SHALL HAVE 40-50% OF ITS TOTAL NITROGEN IN A WATER INSOLUBLE FORM.
 - PRE-EMERGENT HERBICIDE SHALL BE APPLIED TO ALL PLANT BEDS AND SOD AREAS PRIOR TO INSTALLATION. TREFLAN OR AN APPROVED EQUAL SHALL BE USED.
 - ALL PLANT BEDS SHALL HAVE A MINIMUM OF 3" DEEP MULCH. MULCH SHALL BE SHREDDED HARDWOOD.
 - IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO CONFIRM MATERIAL QUANTITIES. IN THE EVENT OF A DISCREPANCY, THE QUANTITIES SHOWN ON THE PLAN SHALL TAKE PRECEDENCE OVER QUANTITIES SHOWN ON THE PLANT LIST.
 - PRIOR TO FINAL PAYMENT, THE LANDSCAPE CONTRACTOR SHALL PROVIDE THE OWNER WITH COMPLETE WRITTEN INSTRUCTIONS ON PROPER CARE OF ALL SPECIFIED PLANT MATERIALS.
 - THE LANDSCAPE INSTALLATION SHALL BE COORDINATED WITH THE IRRIGATION INSTALLATION WHEN APPLICABLE.
 - THE LANDSCAPE CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM STRUCTURES AND TAKE SPECIAL CARE TO INSURE THAT BED PREPARATION DOES NOT INHIBIT DRAINAGE.
 - ALL LAWN AREAS SHALL BE CULTIVATED TO A DEPTH OF 4" PRIOR TO SODDING AND SEEDING. PREPARED SOD AND SEED BEDS SHALL BE FREE FROM STONES OVER 2" DIAMETER AND OTHER DELETERIOUS MATERIAL.
 - THE LANDSCAPE CONTRACTOR SHALL RAKE SMOOTH ALL SEED OR SOD AREAS PRIOR TO INSTALLATION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFILLING BEHIND THE CURB SO GRADE IS LEVEL WITH TOP OF CURB.
 - SODDED AREAS SHALL HAVE NO BARE AREAS. SEEDING AREAS SHALL BE CONSIDERED ACCEPTABLE WHEN FULL COVERAGE OF THE PERMANENT TURFGRASS SPECIES IS ESTABLISHED.
 - CUT AWAY ROPES OR WIRES FROM B&B PLANTS. PULL BACK BURLAP FROM TOP OF ROOT BALL. DO NOT ALLOW BURLAP TO BE EXPOSED AT SURFACE. TOTALLY REMOVE BURLAP IF IT IS SYNTHETIC.
 - IF CONTAINER GROWN PLANTS SHOW SIGNS OF BEING ROOT BOUND, SCORE ROOTS VERTICALLY.
 - ALL PLANT MATERIAL SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF FINAL ACCEPTANCE.
 - ALL REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE, AND QUALITY AS SPECIFIED ON THE PLANT LIST, UNLESS APPROVED OTHERWISE IN WRITING BY THE LANDSCAPE ARCHITECT.
 - ANY MATERIAL THAT IS DEEMED TO BE 25% DEAD OR MORE SHALL BE CONSIDERED DEAD, AND MUST BE REPLACED AT NO CHARGE. A TREE IS CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR MORE THAN 25% OF THE CROWN IS DEAD.
 - REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING SEASON UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE.

- PLANTING DATES**
 SPRING: MARCH 1 - MAY 1
 FALL: OCTOBER 1 - NOVEMBER 30
24. THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, RELOCATION, WILDLIFE, THEFT, OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- AREA TO BE SEEDDED WITH KY-31 FESCUE AT THE RATE OF 5 LBS. PER 1,000 S.F. MULCH SEEDED AREAS WITH 1.5 BALES OF STRAW PER 1,000 S.F.
 - AREA TO BE SODDED WITH KY-31 FESCUE
 - AREA TO BE STABILIZED WITH 6" DIA. RIVER COBBLE PLACED OVER PERMEABLE NON-WOVEN WEED BARRIER FABRIC.
 - IRRIGATION COVERAGE AREA. CONTRACTOR TO PROVIDE AS A DESIGN/BUILD ITEM.

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER	QTY	REMARKS
ACE-BUE	Acer buergerianum 'Streetwise'	Trident Maple	B & B	2" Cal	Low	8	single trunk
CER-CAN	Cercis canadensis	Eastern Redbud	B & B	2" Cal	Low	4	single trunk
ULM-PAR	Ulmus parvifolia	Chinese Elm	B & B	3" Cal	Medium	5	6' clear trunk
SHRUBS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER	QTY	REMARKS
ABE-GRA	Abelia x grandiflora	Glossy Abelia	5 gal	24" ht.	Low	42	full
HYD-QUE	Hydrangea quercifolia 'Snow Queen'	Oakleaf Hydrangea	7 gal	30" ht.	Medium	17	full
ILE-COR	Ilex cornuta 'Dwarf Burford'	Dwarf Burford Holly	5 gal	24" ht.	Low	27	full
ITE-VIR	Itea virginica 'Henry's Garnet'	Henry's Garnet Sweetspire	5 gal	24" ht.	Medium	40	full
MIS-SIN	Miscanthus sinensis 'Morning Light'	Eulalia Grass	2 gal	24" ht.	Low	37	full
NAN-DOM	Nandina domestica 'Moon Bay'	Moon Bay Bamboo	3 gal	18" ht.	Medium	50	full
PAN-VIR	Panicum virgatum 'Dallas Blues'	Dallas Blues Switch Grass	2 gal	24" ht.	Low	44	full
PRU-LAU	Prunus laurocerasus 'Schipkaensis'	Schip Laurel	5 gal	24" ht.	Medium	12	full
VIB-PRA	Viburnum x pragensis	Prague Viburnum	7 gal	30" ht.	Medium	39	full
GROUND COVERS	BOTANICAL NAME	COMMON NAME	ROOT	SIZE	WATER	QTY	REMARKS
HEM-HAP	Hemerocallis x 'Happy Returns'	Happy Returns Daylily	cont.	4" pot	Low	354	plant 12" o.c.
LIR-MUS	Liriope muscari 'Big Blue'	Big Blue Liriope	cont.	4" pot	Low	375	plant 12" o.c.

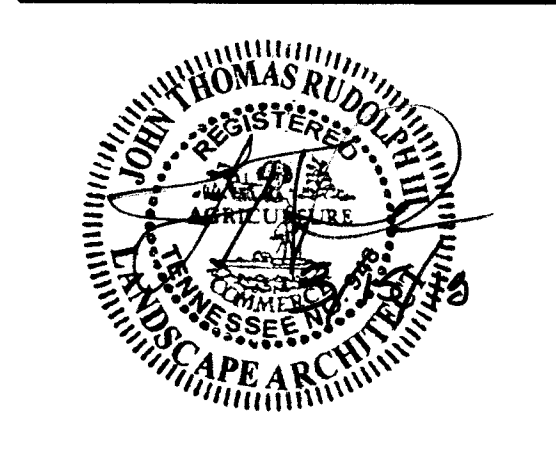


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SITE DEVELOPMENT PLANS FOR
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 TWICE DAILY STORE #6182
 COLUMBIA PIKE AND CRITZ LANE
 THOMPSON'S STATION, TENNESSEE



Revision

No.	Date	Description
1	01.11.18	PC & DRC PACKAGES
2	03.15.18	TOWN COMMENTS

LANDSCAPE PLAN
L200
 PROJECT: 29956.05
 DATE: SEPTEMBER 8, 2017

EXTERIOR DRIVE THRU MENU BOARD

FRONT VIEW 58.59
55.37
72

SIDE VIEW 6.28
15

3 DOOR
18"18"18"
DTX-354

FOUNDATION DETAIL

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: NOT TO SCALE

DATE: 9-13

REMOTE MOUNT CHANNEL LETTERS

FRONT VIEW 11'1.5"
22.25 SQ. FT.

CHANNEL LETTER COLOR BREAKDOWN

- t: Trim Yellow, Face Yellow/Red/Blue, Return Yellow
- d: Trim Red, Face Red, Return Red
- w: Trim White, Face White, Return White

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 1-13

EXTERIOR ILLUMINATED HANGING CABINET SIGN

FRONT VIEW 2'10"
10.6 sq. ft.

SIDE VIEW 7"
3'8.25"

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1" = 1"

DATE: 2-13

FRONT ELEVATION PROPOSED RENDERING: NOT TO SCALE

FRONT ELEVATION PROPOSED RENDERING: NOT TO SCALE

SIDE ELEVATION PROPOSED RENDERING: NOT TO SCALE

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: NOT TO SCALE

DATE: 3-13

EXTERIOR CANOPY

FRONT VIEW 70.00
114.25

SIDE VIEW 7.50
114.25

ELEVATION VIEW

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: NOT TO SCALE

DATE: 10-13

REMOTE MOUNT CHANNEL LETTERS

FRONT VIEW 3'0"
20 SQ. FT.

CHANNEL LETTER COLOR BREAKDOWN

- W: Retain White(face), Brown(sides), Face White/Brown, Return Brown
- B: Retain White, Face White, Return White
- C: Retain White, Face White, Return Brown

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 4-13

REAR ELEVATION PROPOSED RENDERING: NOT TO SCALE

REAR ELEVATION PROPOSED RENDERING: NOT TO SCALE

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: NOT TO SCALE

DATE: 5-13

EXTERIOR NON-ILLUMINATED FREESTANDING SIGN

FRONT VIEW 1'0"
1.5 sq. ft.

SIDE VIEW 2'
1'0"

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 3/4" = 1"

DATE: 6-13

MIC & SPEAKER for EXTERIOR CANOPY

PLACE DS FOAM TAPE AROUND PERIMETER OF 3M MIC FRONT FACE AND PLACE INTO POSITIONS SHOWN. PUT NUTS BACK INTO PLACE TO SECURE.

3M SPEAKER FITS OVER PEM STUDS. NUT INTO PLACE AS SHOWN. PACK WITH FOAM. FORWARD SPEAKER AND MIC ARE THE SAME AS THE 3M SPEAKER INSTRUCTIONS

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: NOT TO SCALE

DATE: 11-13

EXTERIOR ILLUMINATED CABINET SIGN

FRONT VIEW 8'0.375"
34 sq. ft.

SIDE VIEW 5'0"
2'0"

ILLUMINATED NIGHT VIEW

UL

CLIENT: Twice Daily
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THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 7-13

EXTERIOR ILLUMINATED CABINET SIGN

FRONT VIEW 8'0.375"
34 sq. ft.

SIDE VIEW 5'0"
2'0"

ILLUMINATED NIGHT VIEW

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 8-13

INTERIOR ILLUMINATED ACRYLIC SIGN W/ STAND-OFFS

FRONT VIEW 3'7"
14.33 sq. ft.

SIDE VIEW 2'0"

UL

CLIENT: Twice Daily
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THOMPSON'S STATION, TN 37179

SCALE: 3/4" = 1"

DATE: 13-13

EXTERIOR CLEARANCE BAR

FRONT VIEW 88.75
188

FOUNDATION DETAIL

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: NOT TO SCALE

DATE: 12-13

EXTERIOR ILLUMINATED CABINET SIGN

FRONT VIEW 8'0.375"
34 sq. ft.

SIDE VIEW 5'0"
2'0"

ILLUMINATED NIGHT VIEW

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 12-13

EXTERIOR ILLUMINATED CABINET SIGN

FRONT VIEW 8'0.375"
34 sq. ft.

SIDE VIEW 5'0"
2'0"

ILLUMINATED NIGHT VIEW

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 13-13

EXTERIOR ILLUMINATED CABINET SIGN

FRONT VIEW 8'0.375"
34 sq. ft.

SIDE VIEW 5'0"
2'0"

ILLUMINATED NIGHT VIEW

UL

CLIENT: Twice Daily
CRITZ LN. & COLUMBIA PK.
THOMPSON'S STATION, TN 37179

SCALE: 1/2" = 1"

DATE: 13-13

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FOR REFERENCE ONLY

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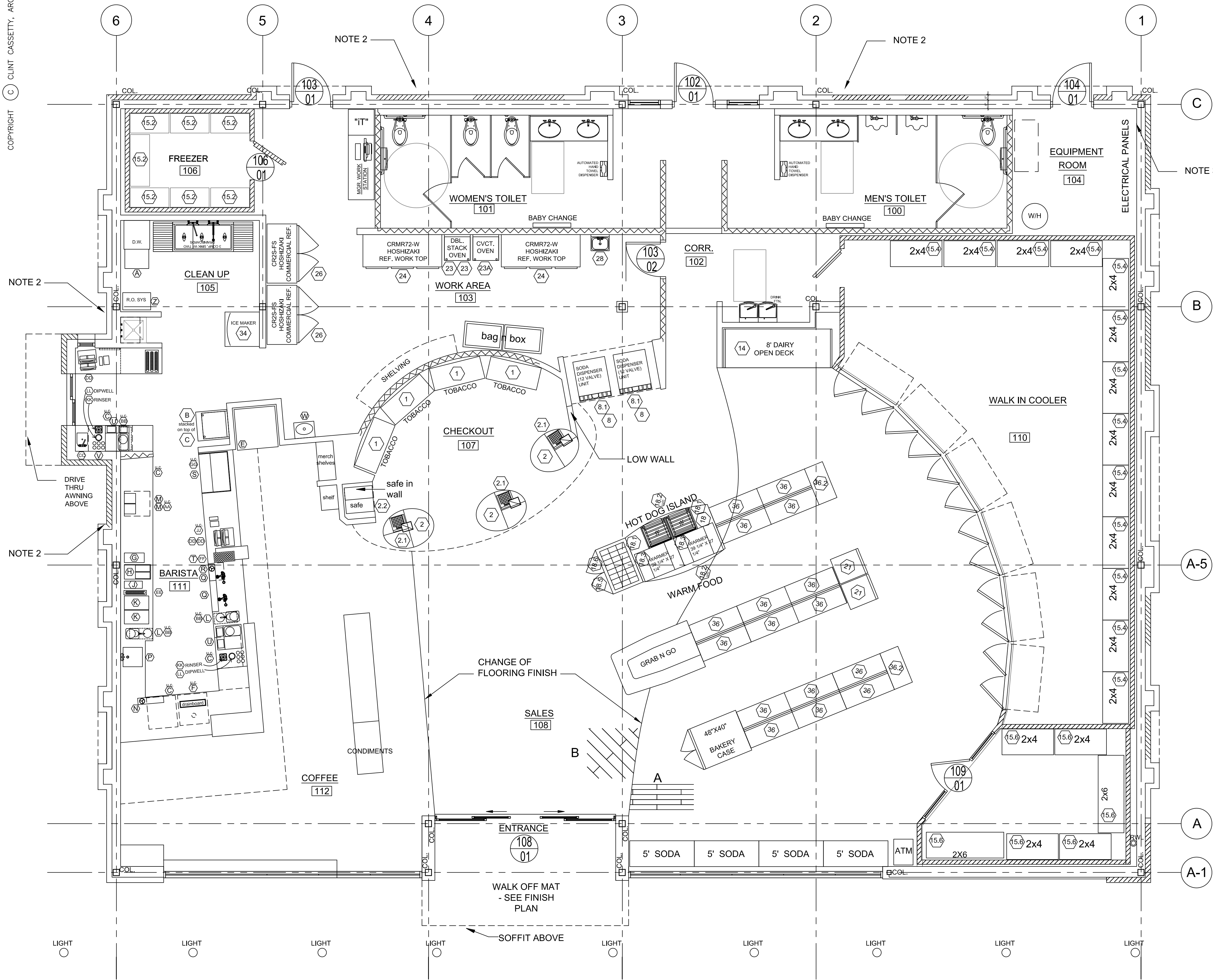
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423.867.9206

SIGN EXHIBIT

SIGN000

PROJECT: 29956.05
DATE: SEPTEMBER 6, 2017



WALL LEGEND:

	2-HOUR FIRE PARTITION
	1-HOUR FIRE AND SMOKE PARTITION
	1-HOUR FIRE PARTITION
	SOUND PARTITION
	NEW NON-RATED PARTITION

FIRE RATED WALLS NOT SHOWN FOR CLARITY OF SOUND WALLS. SEE A0.0 FOR FIRE RATED WALLS.

- GENERAL NOTES**
- SEE CIVIL SITE DRAWINGS FOR MENU BOARD, BOLLARDS, SCREEN WALL, AND SIDEWALK LOCATIONS AND DETAILS.
 - PRIOR TO EXCAVATION AND FOOTER WORK, COORDINATE PLUMBING WASTE LINES AND FOUNDATION AT ALL PERIMETER SLAB AND COLUMN FOUNDATION.
 - GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND VENDORS TO PREVENT UTILITY LINES EXPOSED ON THE EXTERIOR OF THE BUILDING. ROUTE GAS LINES, ETC. INSIDE THE BUILDING.

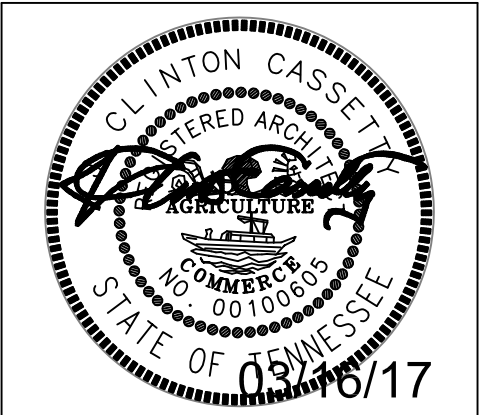
1 NOTED FLOOR PLAN

0 1 2 4 FEET

A NEW FACILITY FOR THE
TWICE DAILY # 6182

 CRITZ LANE & COLUMBIA PIKE
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 TN 37179

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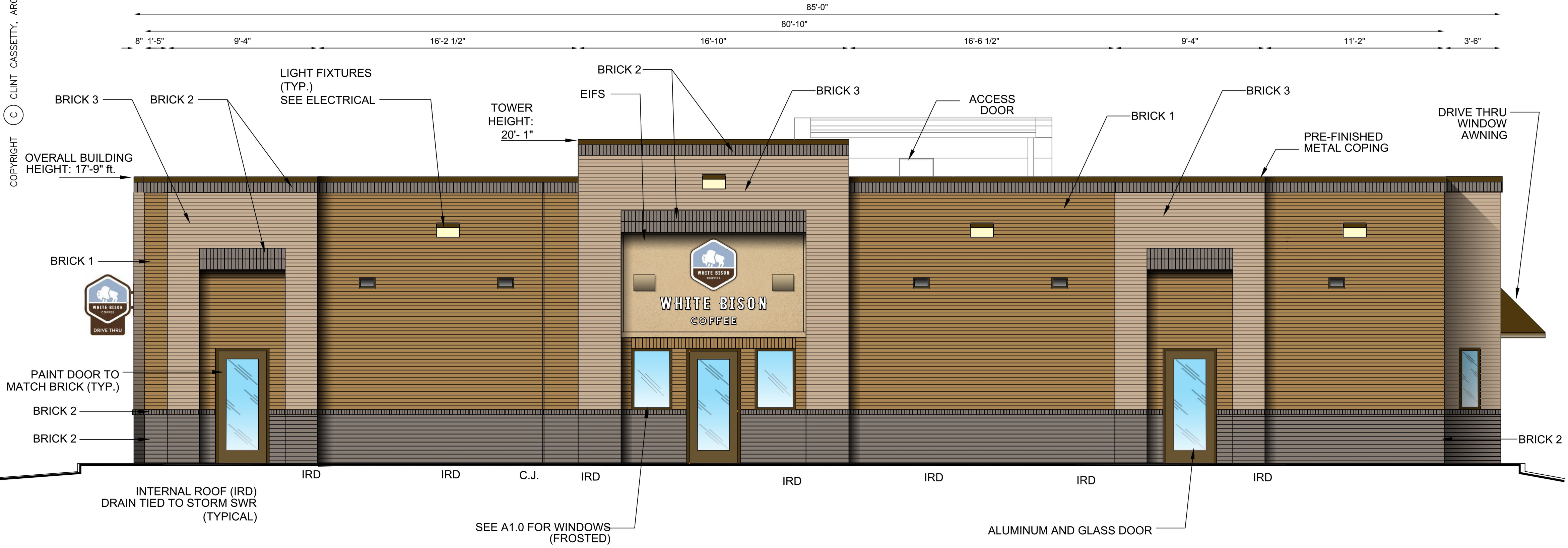
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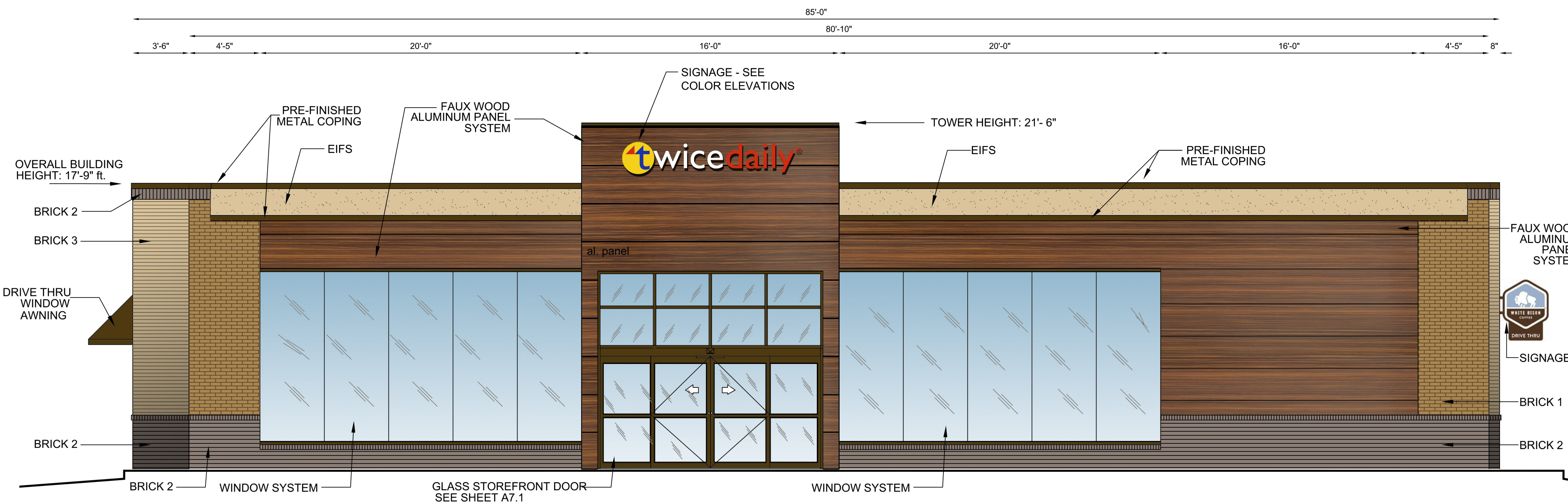
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NOTED
 FLOOR PLAN
A1.0



2 NORTH ELEVATION - REAR
1/4" = 1'
0 1 2 4 FEET

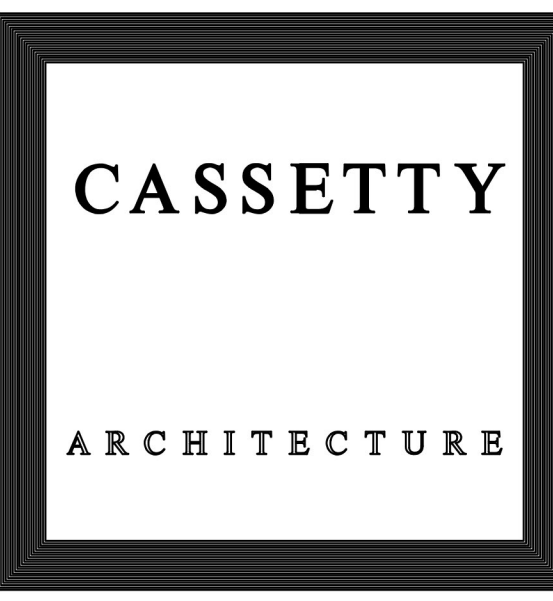


1 SOUTH ELEVATION - FRONT
1/4" = 1'
0 1 2 4 FEET

See sheet A2.1
for material legend

GENERAL SIGN NOTES
1. COORDINATE WITH OWNER AND SIGN VENDOR FOR ALL FINAL SIZES FOR BUILDING MOUNTED SIGNS. VERIFY RECESS HEIGHT, WIDTH, AND DEPTH WITH SIGN MANUFACTURER.

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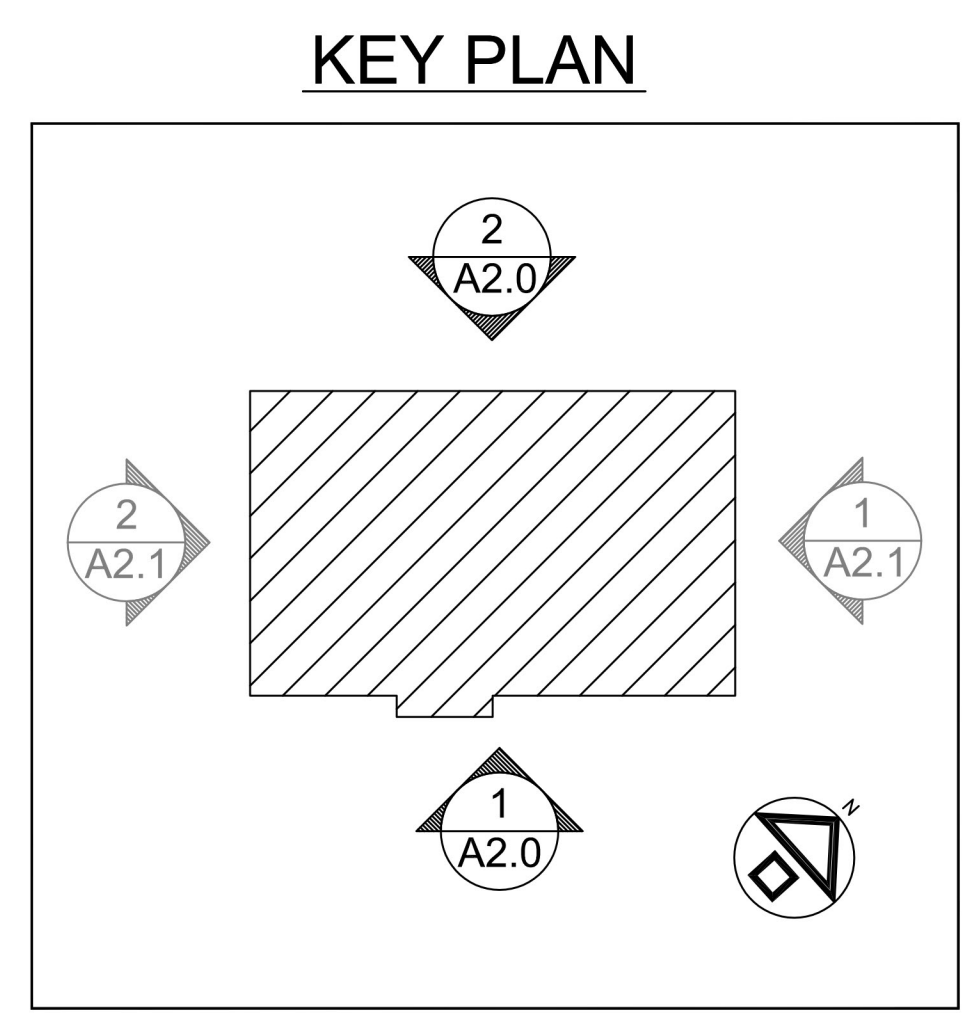


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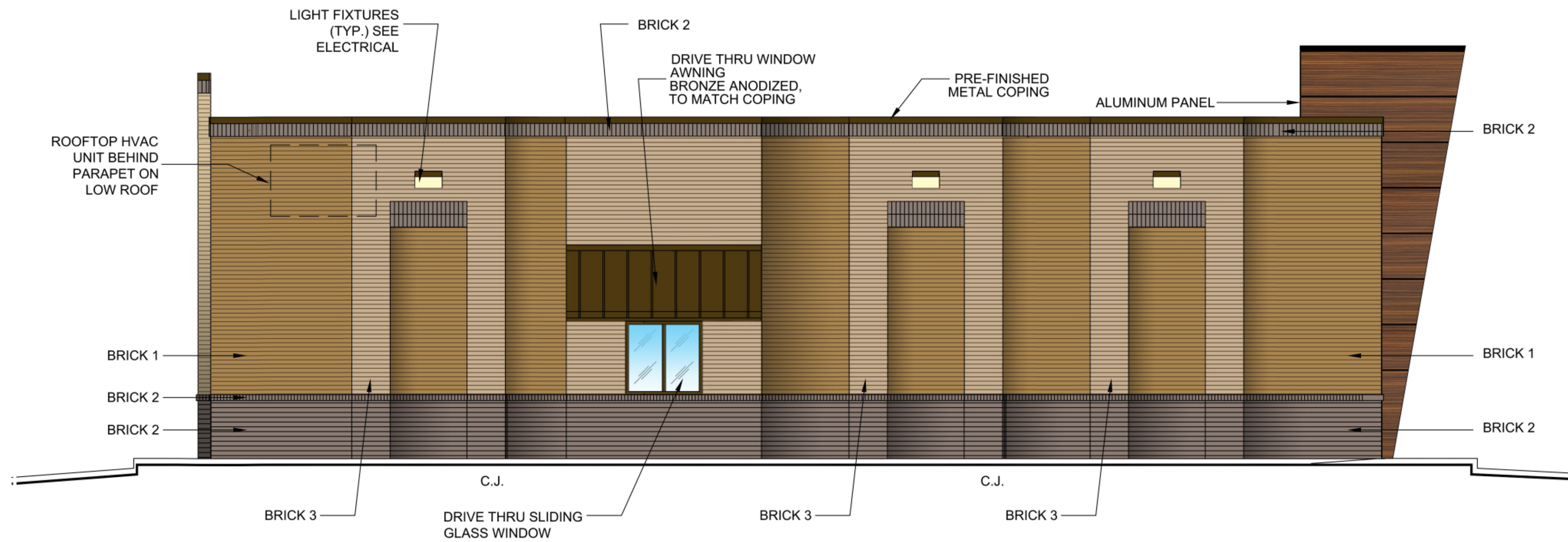
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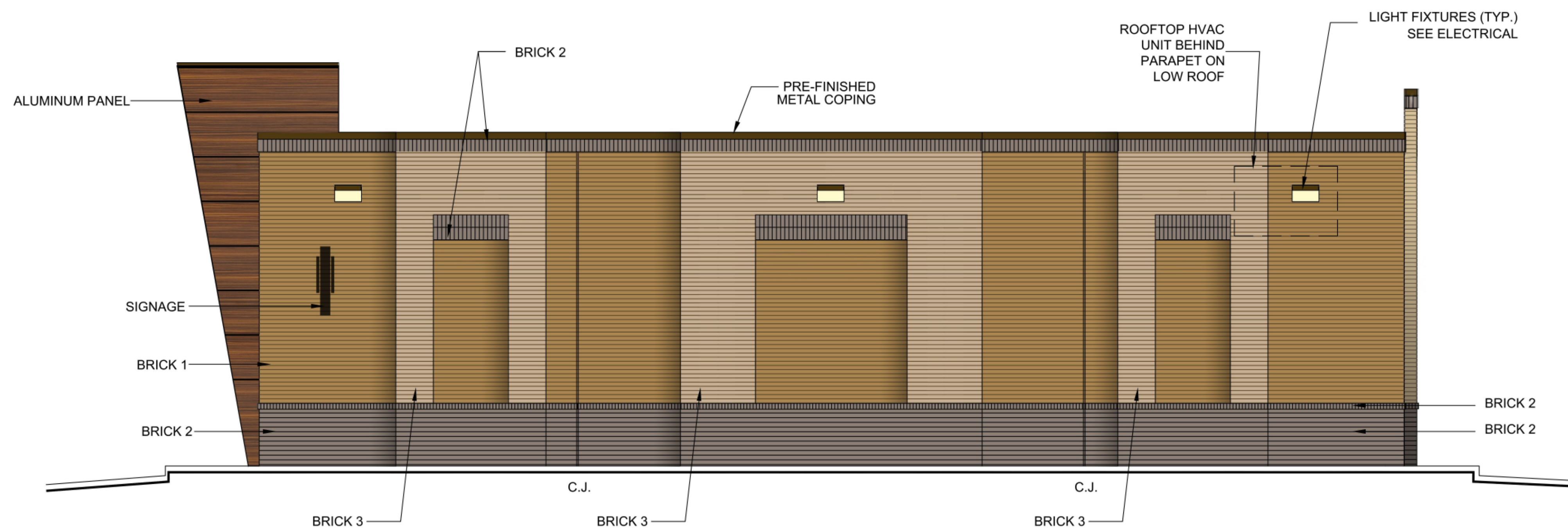
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EXTERIOR ELEVATIONS
A2.0



2 WEST ELEVATION - SIDE
1/4" = 1'
0 1 2 4 FEET



1 EAST ELEVATION - SIDE
1/4" = 1'
0 1 2 4 FEET

EXTERIOR MATERIALS LEGEND

BRICK 1 VENEER = CAROLINA CERAMICS modular - "VALENCIA" (brown range)
BRICK 1 MORTAR = HALF BUFF (match LaFarge Beige)

BRICK 2 VENEER = FORTERRA "CHOCOLATE WIRE CUT" - 4212 modular - COLUMBIA 4 PLANT
BRICK 2 MORTAR = CEMEX "COCOA" or EQUAL

BRICK 3 VENEER = CHEROKEE BRICK - "VELOUR LIGHT GRAY"
BRICK 3 MORTAR = COOSA IVORY BUFF (BRS) or EQUAL

EXTERIOR INSULATING FINISH SYSTEM [EIFS] = DRYVIT VAN DYKE 110

COPING = BRONZE ANODIZED

GLASS = 1" INSULATED CLEAR LOW-E

ALUMINUM FRAME = WINDOW, DK BRONZE ANODIZED

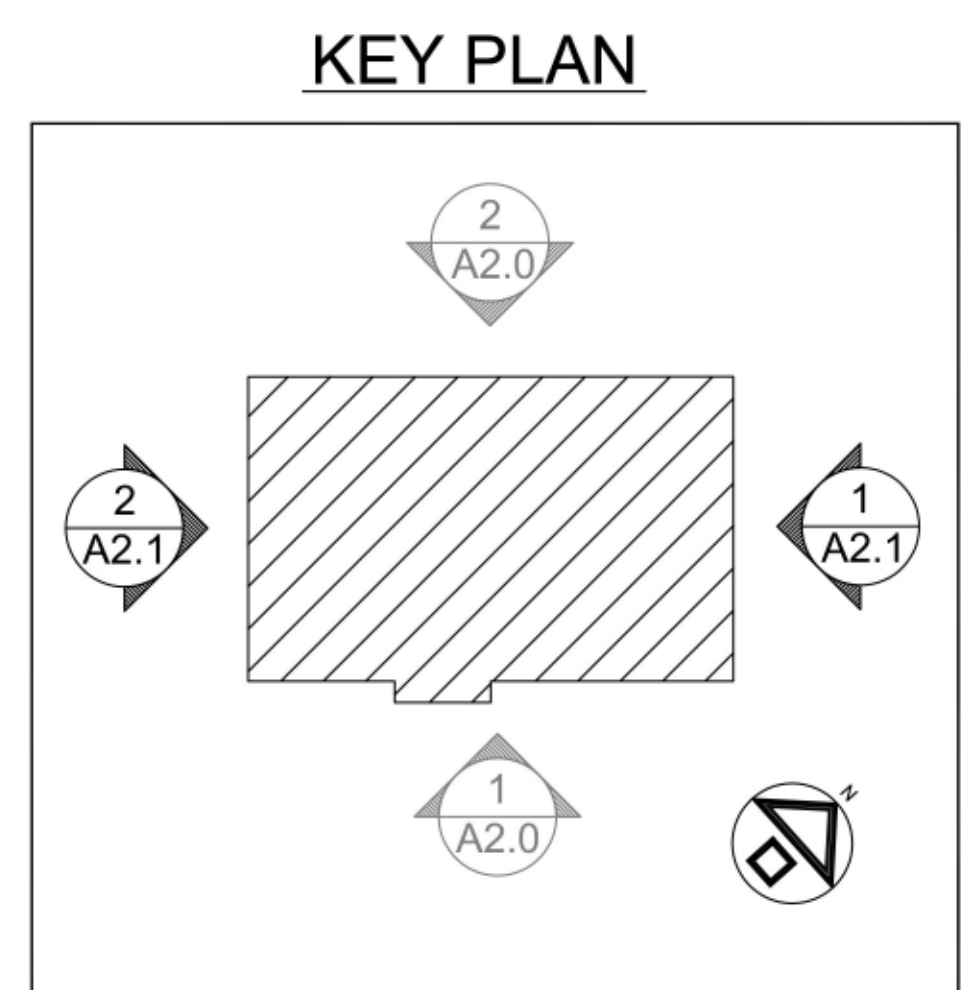
PANEL = FAUX WOOD - REYNOBOND ALUMINUM PANELS
Standard Color - "Mahogany Brown"
series 200-2 rout and return
Caulk-Black standard color - 795 Dow Corning

EXTERIOR MATERIALS PERCENTAGES

BRICK 1 = 36.49%
BRICK 2 = 20.14%
BRICK 3 = 16.88%
GLASS = 12.49%
METAL = 11.46%
EIFS = 02.04%

GENERAL NOTES

1. BUILDING MOUNTED LIGHT FIXTURE FINISH TO BE BRONZE ANODIZED.



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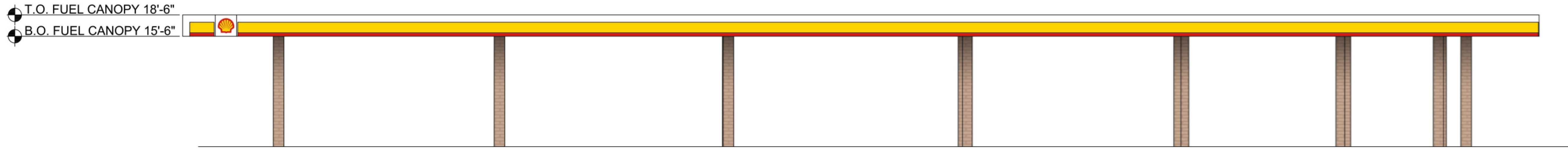
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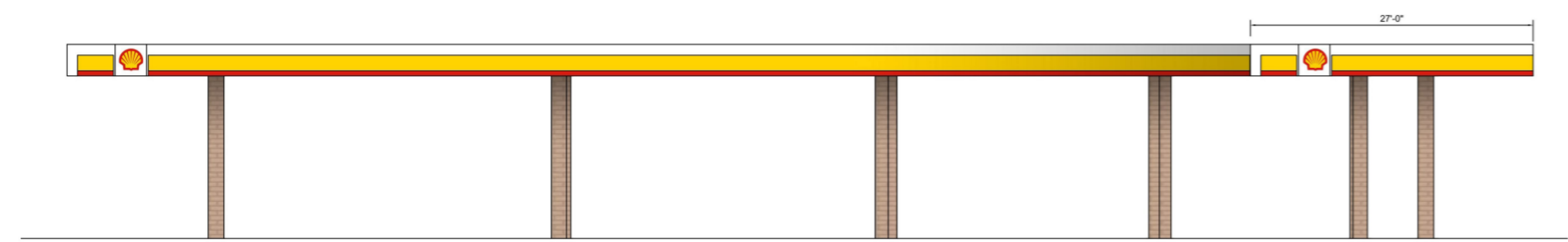
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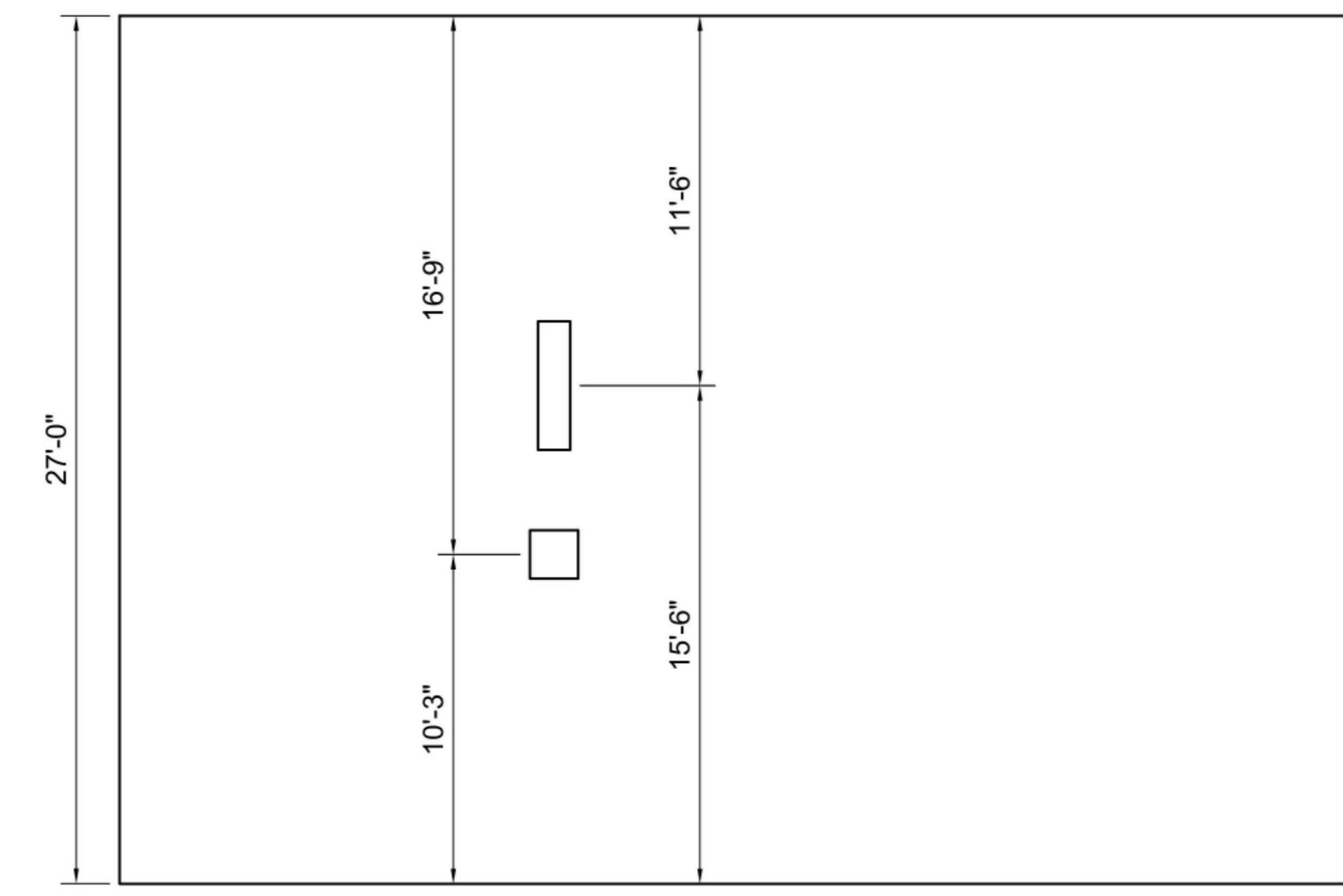
EXTERIOR ELEVATIONS
A2.1



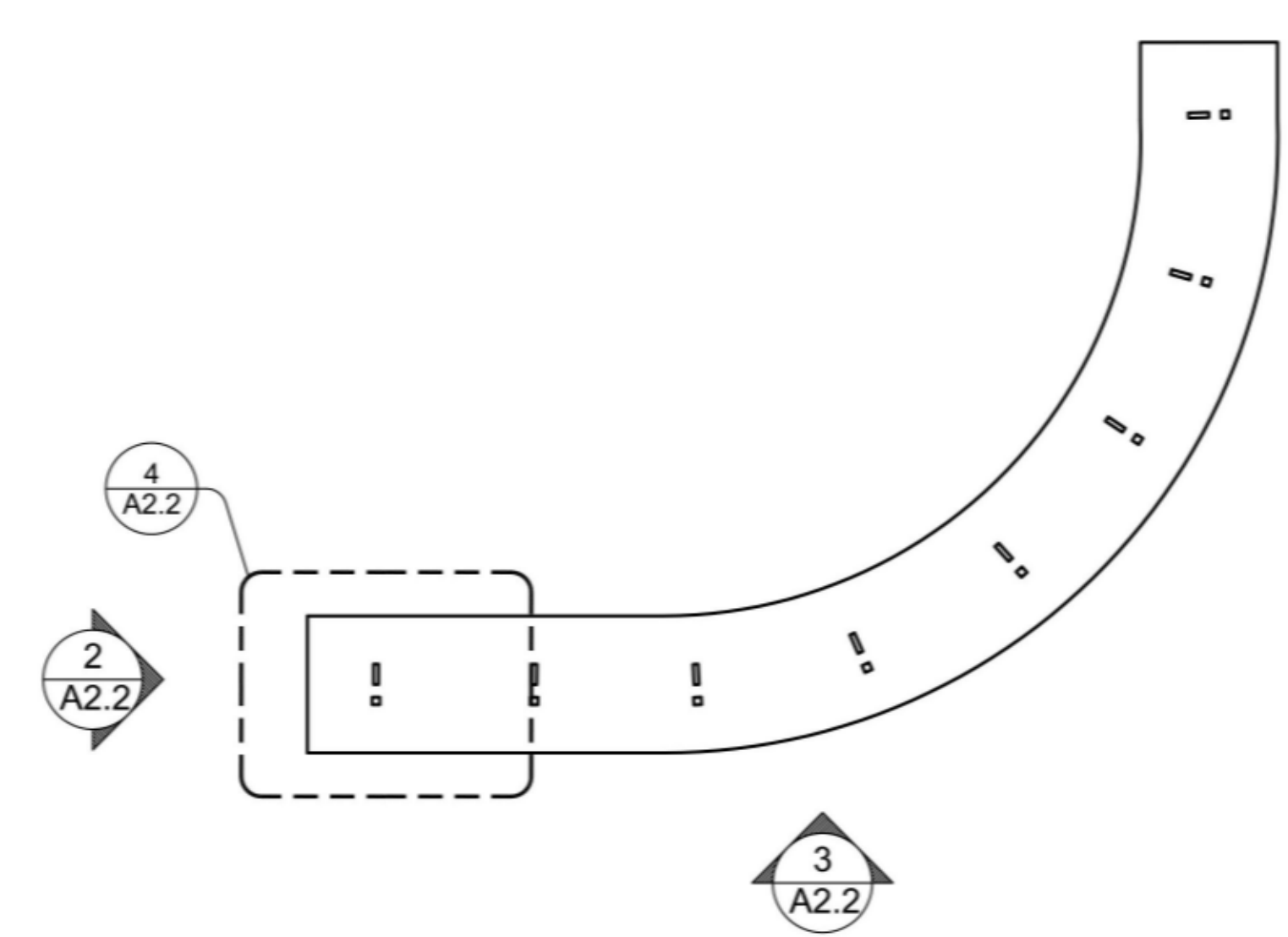
3 CANOPY - ELEVATION 1/8" = 1"
0 2 4 8 FEET



2 CANOPY - ELEVATION 1/8" = 1"
0 2 4 8 FEET



4 CANOPY - ENLARGED PLAN 1/4" = 1"
0 1 2 4 FEET



1 CANOPY - PLAN 1/32" = 1"
0 8 16 32 FEET

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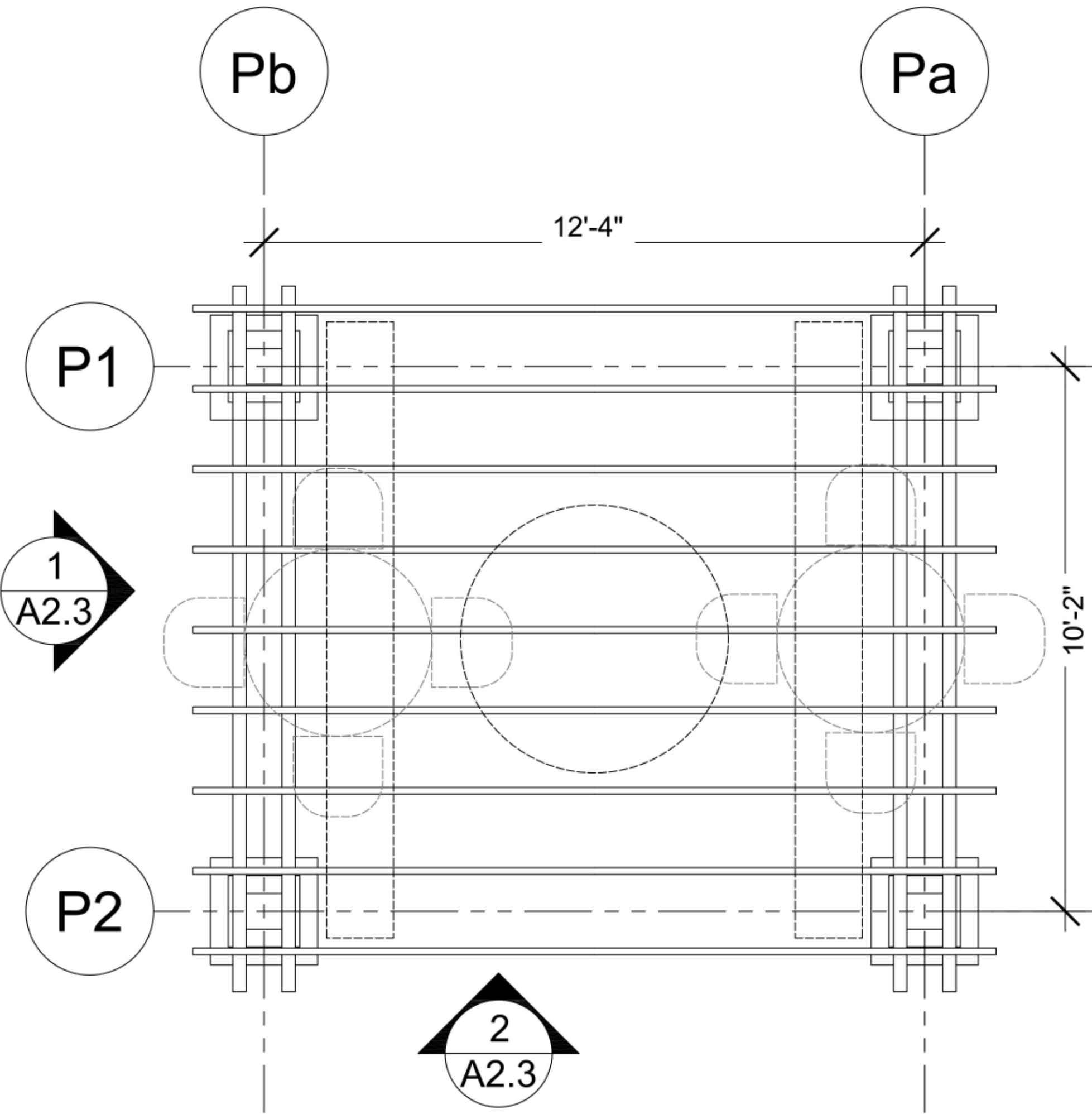
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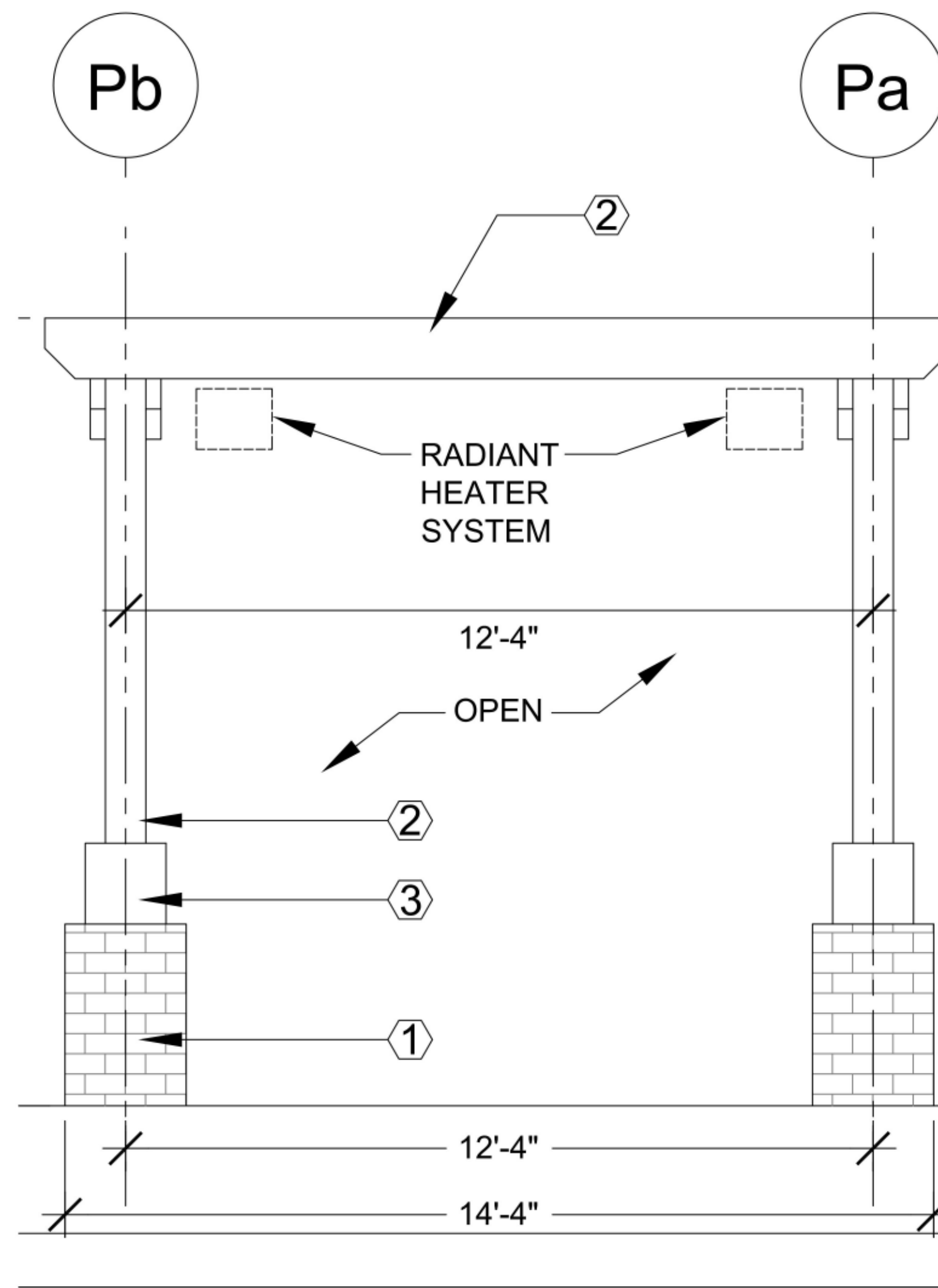
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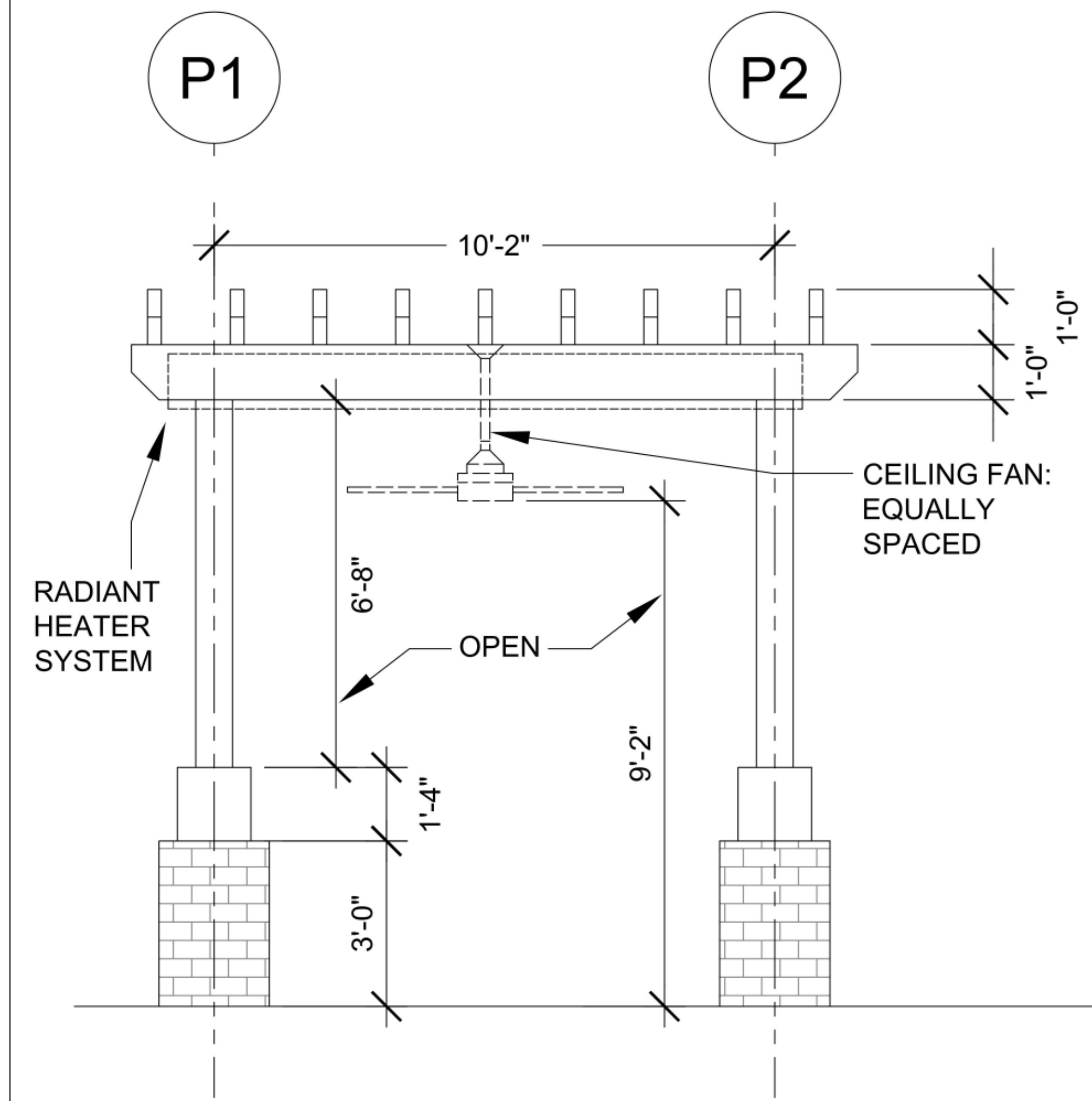
FUEL
CANOPY
A2.2



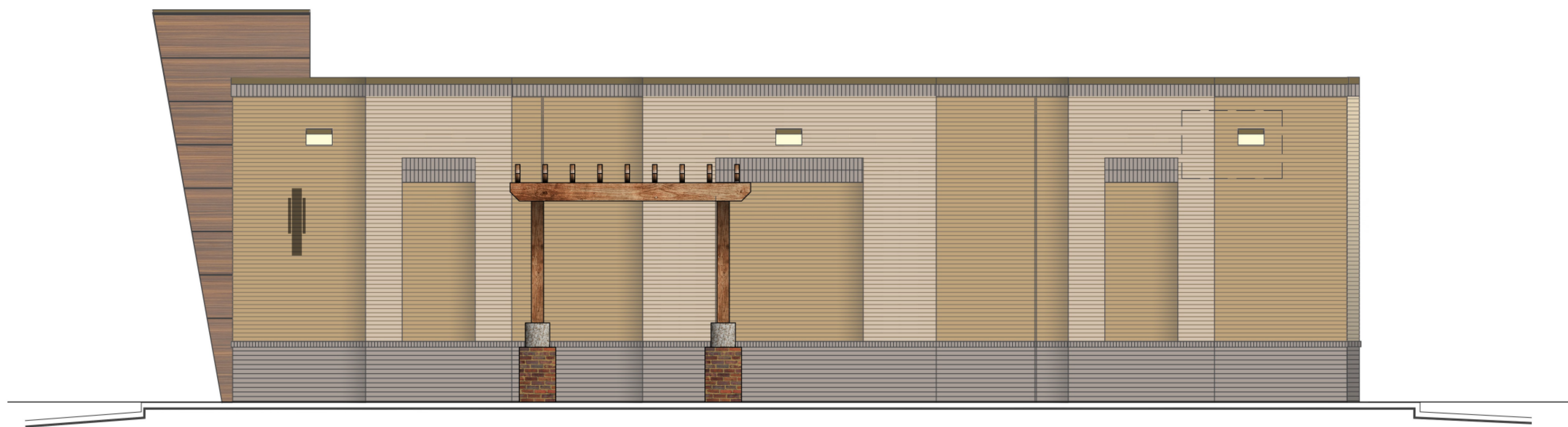
3 PERGOLA PLAN
1/2"=1'-0"
0 1 2 FEET



2 PERGOLA - ELEVATION
1/2"=1'-0"
0 1 2 FEET



1 PERGOLA - ELEVATION
1/2"=1'-0"
0 1 2 FEET

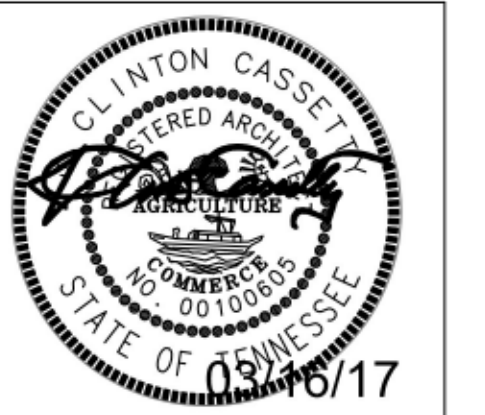


4 EAST ELEVATION WITH PERGOLA
1/2"=1'-0"
0 2 4 FEET

MATERIALS LEGEND

- ① BRICK 1 VENEER = CAROLINA CERAMICS modular - "VALENCIA" (brown range)
BRICK 1 MORTAR = HALF BUFF (match LaFarge Beige)
- ② STAIN - 'CABOT GOLD' Exterior Wood Stain "Moonlight Mahogany"
- ③ BORAL - 'French Gray Cast Fit' 8" x 16" Flat

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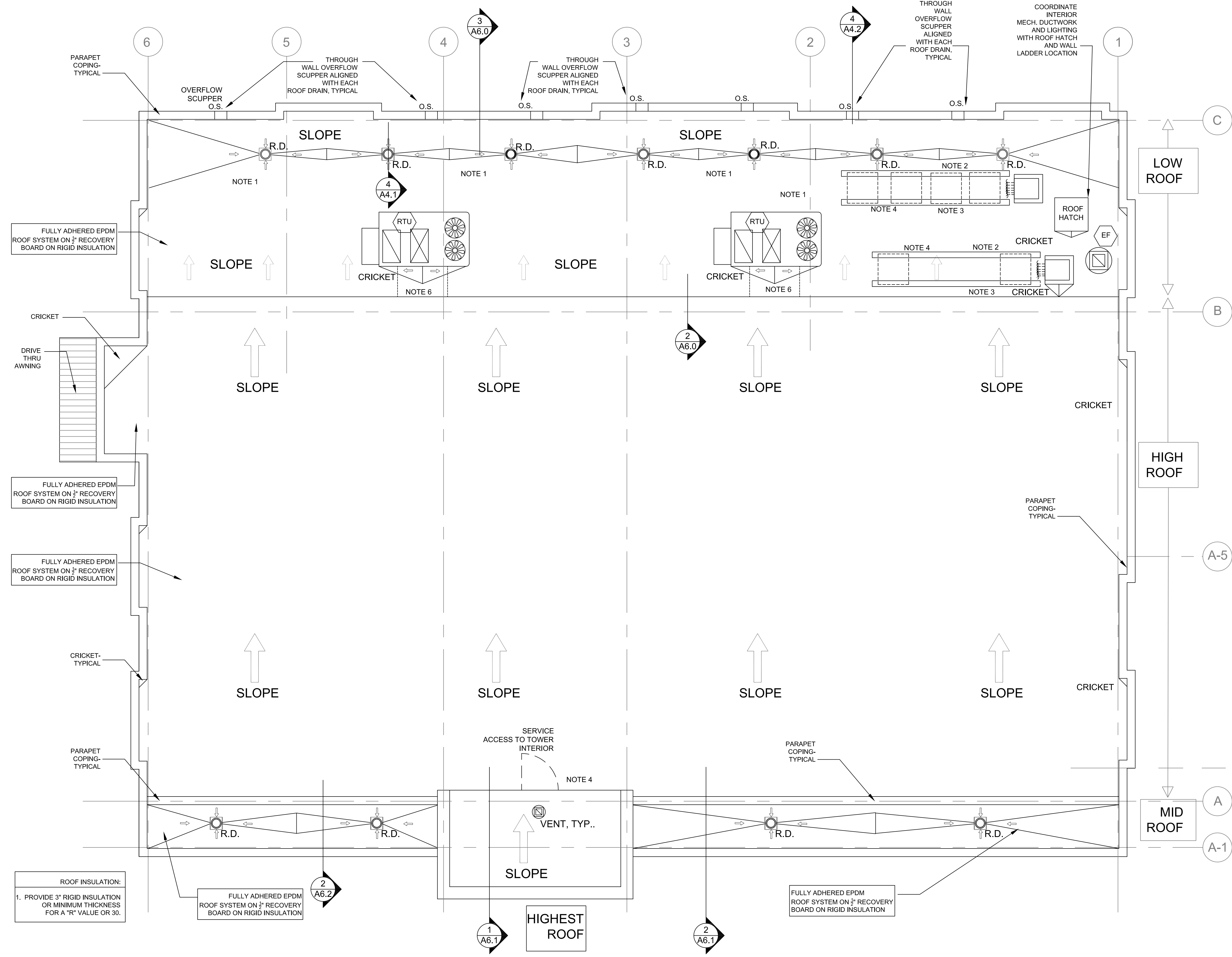
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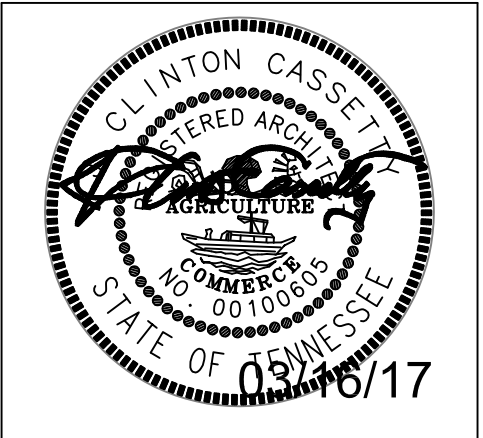
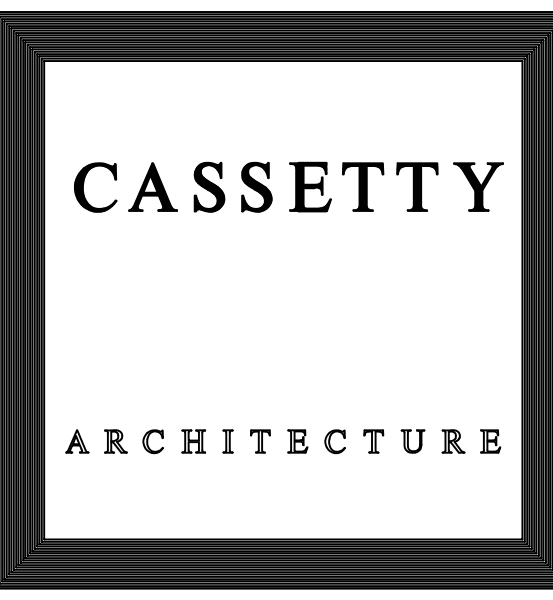
PERGOLA ELEVATIONS
A2.3



1 ROOF PLAN
 0 1 2 4 FEET

- NOTES:
1. CRICKET AT UNIT CURB (TYP.)
 2. BOOT AT ROUND POST SUPPORTS
 3. BRIDGE FRAME FOR CONDENSERS
 4. SEE INSULATION DETAIL 3 ON SHEET A4.1
 5. SEE MECHANICAL DWGS.
 6. DUCTWORK AT SIDE WALL SEE MECHANICAL DWGS.
 7. SEE REAR ELEVATIONS AND COORDINATE SCUPPER LOCATIONS PER OPENINGS INDICATED ON THE ELEVATION.
 8. COMBINE VENTS BELOW ROOF DECK WHEN POSSIBLE TO MINIMIZE ROOF PENETRATIONS. PAINT VENTS TO MATCH ROOF
 9. SEE DETAIL 2/A4.1.
 10. ROOF HATCH ACCESSIBLE VIA RETRACTABLE LADDER - PRECISION LADDER 'RL SERIES' OR EQUAL.
 11. O.S. = OVERFLOW SCUPPER
 12. MEMBRANE ROOF SYSTEM TO BE FULLY ADHERED EPDM ROOF SYSTEM ON 1/2" RECOVERY BOARD ON RIGID INSULATION

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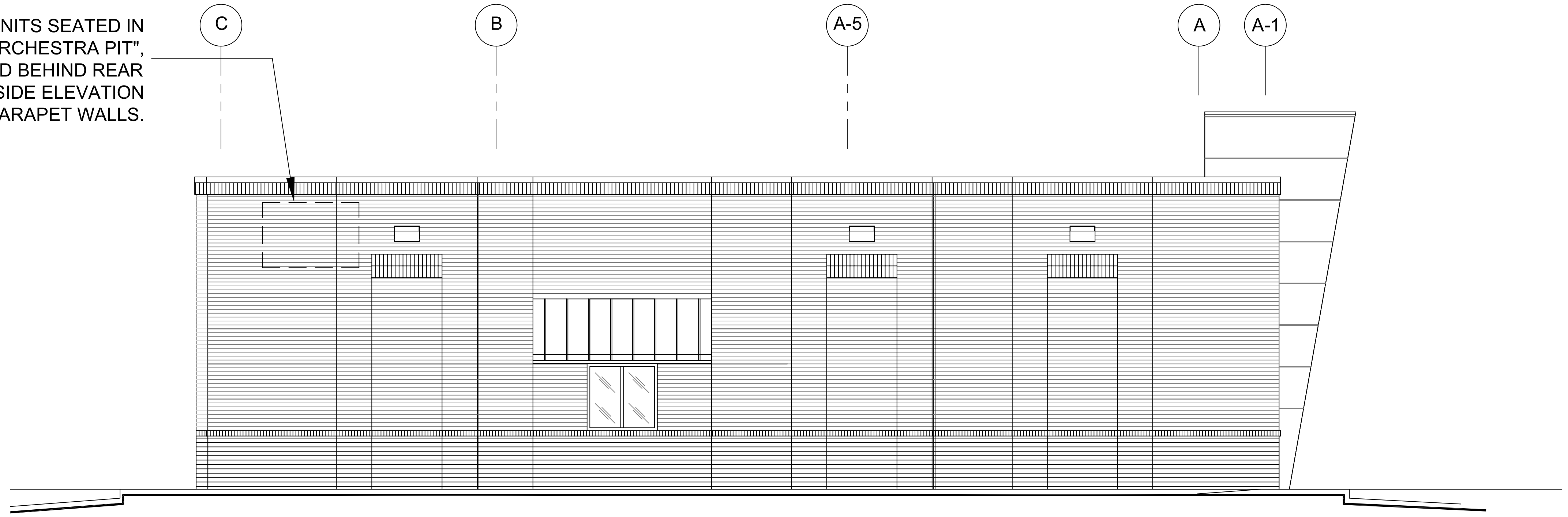
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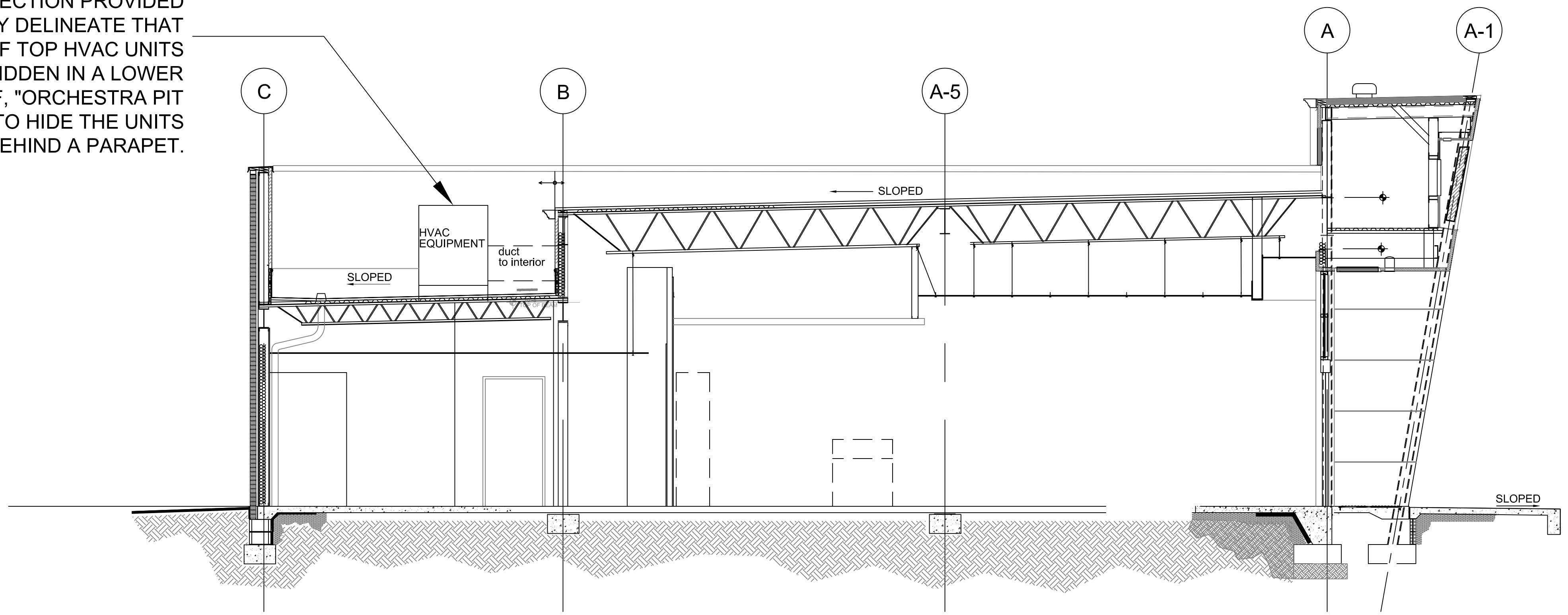
ROOF PLAN
A4.0

HVAC UNITS SEATED IN "ORCHESTRA PIT", CONCEALED BEHIND REAR AND SIDE ELEVATION PARAPET WALLS.



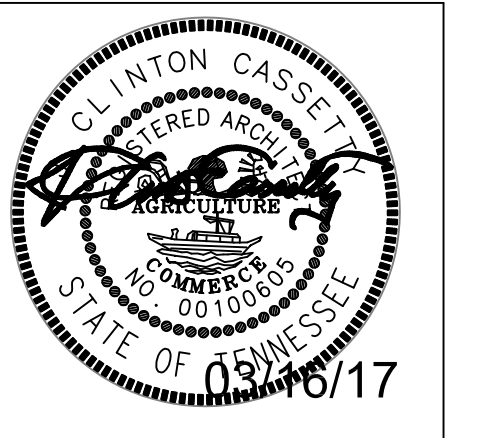
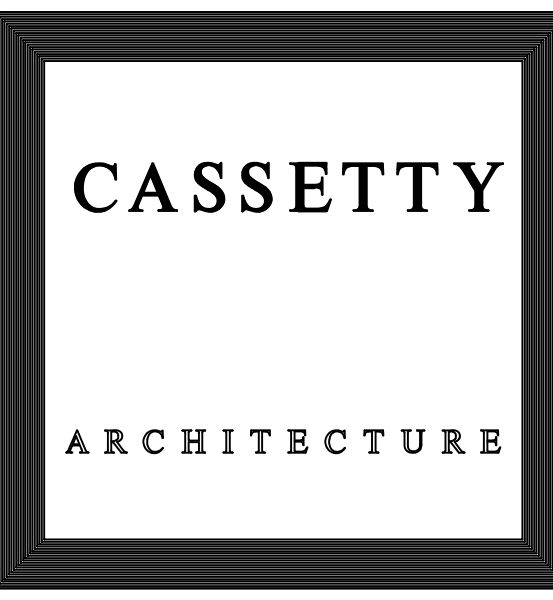
2 CORRESPONDING BUILDING ELEVATION
0 1 2 4 FEET

BUILDING SECTION PROVIDED TO CLEARLY DELINEATE THAT THE ROOF TOP HVAC UNITS ARE HIDDEN IN A LOWER ROOF, "ORCHESTRA PIT STYLE", TO HIDE THE UNITS BEHIND A PARAPET.



1 BUILDING SECTION - HVAC "ORCHESTRA PIT"
0 1 2 4 FEET

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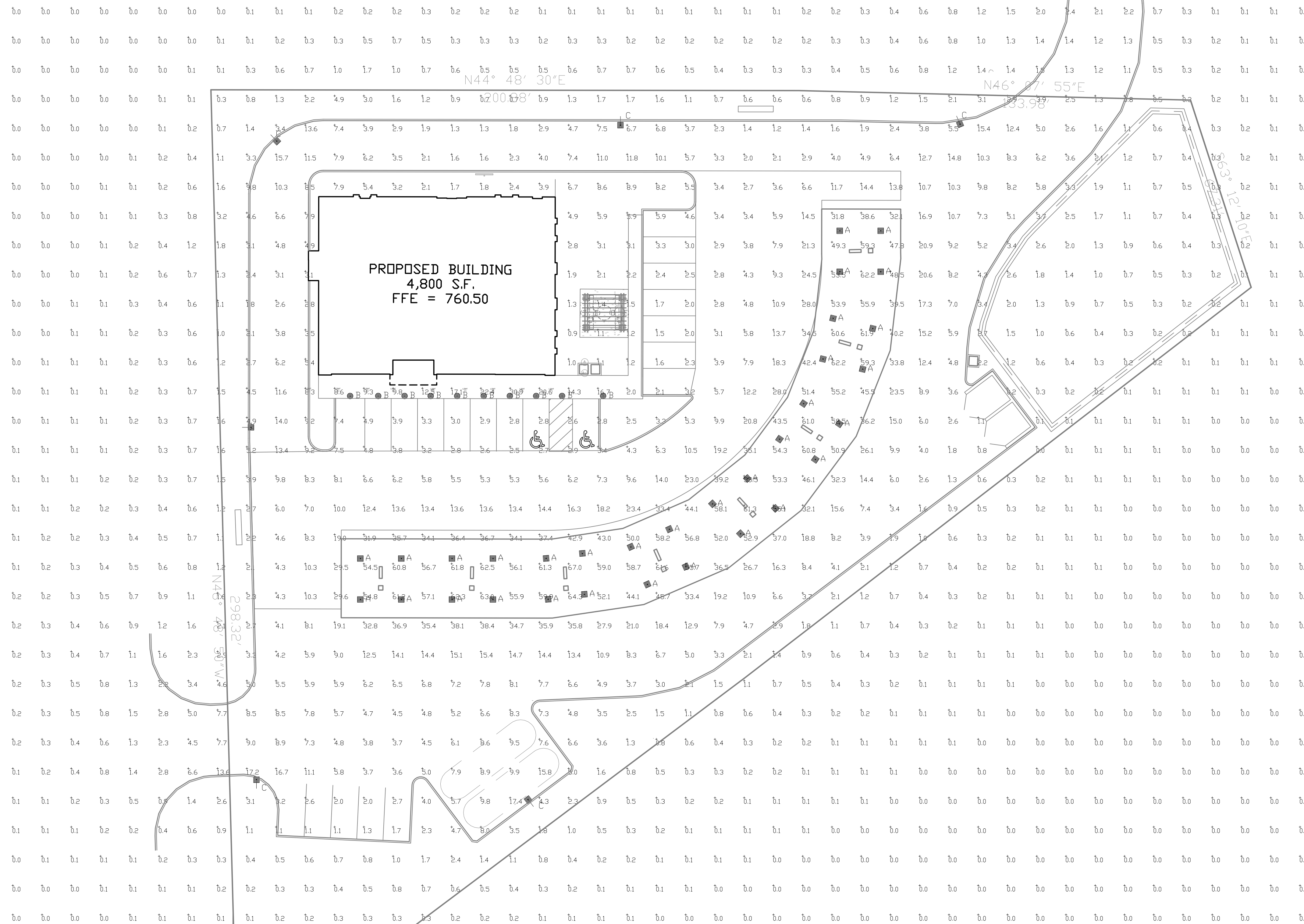
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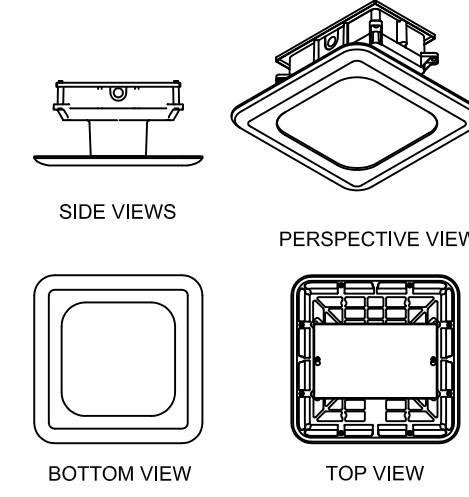
BUILDING SECTION
A5.0

Luminaire Schedule								
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	32	A	SINGLE	CRUS-SC-LED-HO-50 MTD @ 15'	1.000	N.A.	18633	132.4
	10	B	SINGLE	XBVR-ID-LED-24-400-CW-UE	1.000	N.A.	1338	38
	7	C	SINGLE	XGBM-FT-LED-HO-CW-SINGLE-22'POLE+2'BASE	1.000	N.A.	29070	300.8

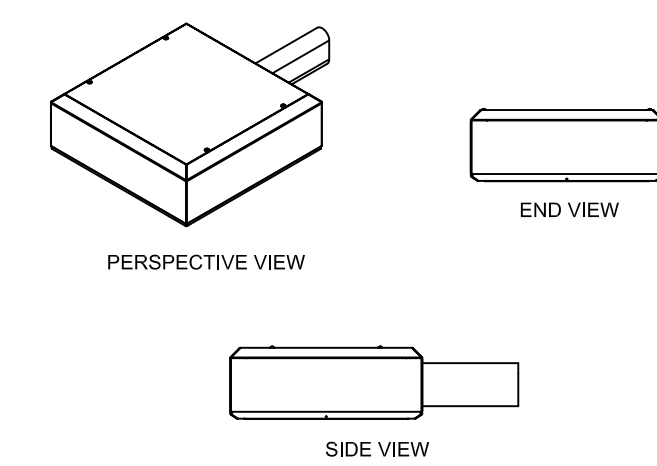
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL_CALC_POINTS	Illuminance	Fc	5.40	67.0	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	53.14	67.0	31.8	1.67	2.11
INSIDE_CURB	Illuminance	Fc	9.66	42.9	0.8	12.08	53.63



**CRUS-SC-LED
LED CANOPY LIGHT - LEGACY**



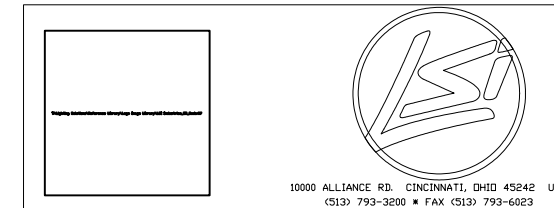
**XGBM
LED Area Light**



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 6722.397



DATE: 9-08-17 REV: SHEET 1 OF 1
BY: MWE
TWC DAILY CRITZ LANE

SCALE: 1"=20'