

**Town of Thompson's Station
Municipal Planning Commission
Meeting Agenda
April 26, 2022**

Meeting Called To Order - Determination Of Quorum

Minutes-

Consideration Of The Minutes Of The February 22, 2022, Meeting

Documents:

[FEBRUARY 22 2022 MINUTES.PDF](#)

Public Comments-

Planner Report & Announcements

AGENDA ITEMS

1. Station Hill Subdivision, Concept Plan- A Presentation Of A Concept Plan For A Residential Subdivision With 290 Homes On Approximately 220 Acres Located At 1824 Sedberry Road.

Documents:

[ITEM 1- STATION HILL CONCEPT PLAN STAFF REPORT 4-14-22.PDF](#)
[ITEM 1- STATION HILL CONCEPT PLAN_RS.PDF](#)

2. Tollgate Food Hall, Site Plan- Request For Approval Of A 2 Story, 3,000 Square Foot Building With A Restaurant And Office Space At 2201 Portsmouth Drive In The Tollgate Village Subdivision.

Documents:

[ITEM 2- 2201 PORTSMOUTH DR PC REPORT 4-15-22.PDF](#)
[ITEM 2- 2201 PORTSMOUTH DRIVE - SITE PLANS_RS.PDF](#)

BOND ACTIONS/REPORT

3. Update On Long-Held Bonds

Adjourn

*This meeting will be held at 6:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Rd West*

Minutes of the Meeting
of the Municipal Planning Commission
of the Town of Thompson's Station, Tennessee
February 22, 2022

Call to Order:

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 6:00 p.m. February 22, 2022.

Commissioners and Staff present were Alderman Shaun Alexander; Chairman Trent Harris; Commissioner Luis Parra; Commissioner Tara Rumpler; Commissioner Sheila Shipman; Commissioner Bob Whitmer; Planning Director Micah Wood; Planning Technician Jennifer Banaszak, Town Attorney Andrew Mills, and Town Engineer Will Owen. Commissioner Kreis White was unable to attend.

Minutes:

The minutes of the January 25, 2022, regular meeting were presented.

Commissioner Whitmer made a motion to approve the January 25, 2022 meeting minutes. The motion was seconded and carried by all present.

Public Comment:

None.

Town Planner Report:

Mr. Wood updated the Commission regarding the Growth Plan, stating that a coordinating committee has still not been formed and that we are still working on setting a meeting date with both BOMA and the Planning Commission to go over the All Aboard Comprehensive Plan.

AGENDA ITEMS:

- 1. Request for Annexation and a Plan of Services for Map 120 Parcel 11 (unnumbered West Harpeth Road), totaling approximately 186.25 acres, located within the Town's Urban Growth Boundary, at the corner of Carter's Creek Pike and West Harpeth Road.**

Mr. Wood reviewed his Staff report and recommends a favorable recommendation onto the BOMA for annexation and to adopt the Plan of Services for this annexation request.

Mr. Joe Epps was present to answer questions on behalf of the applicant.

After discussion, Commissioner Whitmer made a motion to recommend to the Board of Mayor and Aldermen the request for annexation and a plan of services for Map 120 Parcel 11 (unnumbered West Harpeth Road). The motion was seconded and carried by all present.

BOND ACTIONS/REPORT

2. Bond Actions Agenda:

- a. Bridgemore Village 6C RDEC Maintenance Bond Release**
- b. Bridgemore Village 6D RDEC Maintenance Bond Release**

After discussion, Commissioner Parra made a motion to approve the release of both the RDEC Maintenance Bonds for Bridgemore Village 6C and 6D. The motion was seconded and carried by all present.

3. Update on Long Held Bonds

Mr. Wood and Town Attorney Andrew Mills gave a status update of the long held bonds in Tollgate Village and Bridgemore Village.

There being no further business, the meeting was adjourned at 6:25 p.m.

Trent Harris, Chairman

Attest:

Micah Wood, Secretary



DATE: April 26, 2021
TO: Planning Commissioners
FROM: Micah Wood, AICP
SUBJECT: Station Hill Concept Plan

Station Hill Concept Plan

Per the LDO a Concept Plan is submitted for feedback purposes only. This project is presented to the Planning Commission for initial review and feedback prior to the submittal of the vesting document for this the development, the preliminary plat. This Concept Plan was previous presented to the Planning Commission in January 2019. The developer is now ready to move forward with this subdivision, so the Concept Plan is resubmitted.

Site Analysis

Ragan Smith presents a concept plan for the development of 290 single-family homes on two parcels totaling 219.79 acres located along the east side of Sedberry Road, north and south of Interstate 840, west of the CSX line.



Vicinity Map

The concept plan is unique in that overall project is split by Interstate 840. However, the vast majority of this subdivision is on Parcel A with 285 homes on 143 acres. Parcel B includes 5 estate lots on 76.79 acres. The development is also split zoned, with Parcel A being zoned D2, which allows for 2 units per acre, and Parcel B being zoned D1, which allows for 1 unit per acre. During the rezone process for Parcel A, the developer also negotiating with the Town to sell approximately 65 acres to the Town for drip fields. As part of the rezone request, the Board of Mayor and Aldermen rezoned those 65 acres as T1, which is intended for preservation. The remaining land, approximately 76 acres remained as D1 zoning. The developer presented a plan to the Town which included a total of 285 units on the north side of State Route 840. The overall density of Parcels A and B allows for 291 units, which will be concentrated on Parcel A.



Per the LDO, a residential subdivision should be located within a ½ mile from a collector, arterial or freeway and should be within ¼ mile of an existing residential development. The project site is located along Sedberry Road which is a collector road and within ¼ mile of the Tollgate Village subdivision. Wastewater is provided to this development through an approved agreement with the Board of Mayor and Aldermen.

Town Development Standards

For Parcel A in the D2 zone, the required minimum lot width is 65 feet with block lengths a maximum of 1,000 feet. The plan appears to conform, however further review of the lengths will be completed at the time of preliminary plat submittal. Setbacks are not identified on the concept plan; however, D2 requires a 20-foot front yard setback, a 20-foot total side yard setback, and a 20-foot rear yard setback. For Parcel B in the D1 zone, the required minimum lot width is 85 feet. Setbacks are not identified on the concept plan; however, D1 has a 25-foot front setback, 20-foot total side setback, and 30 foot rear setback.



Station Hill Concept Plan

The minimum open space requirement is 45% of the overall project area which is 219.7 acres including the land to the south of Interstate 840. As density is based on the entire project site which included the north and the south side of 840, the open space should also be accounted for based on the entire project site which would require 98.9 acres of open space. The concept plan proposes 65.18 acres or 45.6% of open space on Parcel A and 35.2 acres or 45.8% open space on Parcel B. The total open space provided equals 99.73 acres, which is above the 45% minimum.

Residential subdivisions require 5 – 10% of the area designated as a civic space with the main type permitted to be a green, plaza or a square. The concept plan identifies a distribution of civic spaces and open spaces throughout the development. The concept plan also illustrates a walking trail that will



meander through the open space and an overlook pavilion which is passive recreation. The length of the trail is conceptual at this time and will be further detailed with the submittal of the preliminary plat. Development on any open space requires further approval of the Planning Commission.

Ridgeline Hilltop Preservation/Slopes

The site does not contain any land within the Ridgeline Hilltop Preservation Area. However, it does contain some slopes in excess of 15%. Any areas that exceed 25% slope are placed within the open space for the development. In addition, the lots that are between 15 – 25% slope shall be identified on the preliminary plat as required by the LDO and shall be subject to all critical lot requirements.

Drainage Features

A hydrologic determination was submitted with the concept plan that identifies three drainage features on the site. No recommendations were presented in the report, however, a stream buffer of 60 feet is proposed for the stream that traverses the west side of the site from the north property line to the south property line. Furthermore, two proposed roadways are planned to cross this stream and therefore require TDEC approval. Prior to the issuance of any grading permits for the infrastructure, the permits shall be obtained. The second stream noted on the concept plan is located within the southeast corner of the site and while no stream buffer is shown on the plan, the stream is located within the open space. Prior to approval of any plats, the stream buffer shall be identified.

Woodlands/Trees

The site is predominantly open pastureland with several wooded areas. The developer intends to preserve the hilltop and the stream which include the majority of the wooded areas, in accordance with the LDO. Tree removal and replacement shall be accounted for in the preliminary plat and construction documents for this development.

Stormwater Considerations

Storm water detention is proposed on site at the northwest corner of the site, the northeast corner of the site, east of the stream and along the southern property line, adjacent to Interstate 840. Storm water plans and calculations will be reviewed further by the Town Engineer during the platting/construction drawing process.

Traffic

The project has frontage on one collector road, Sedberry Road. From Sedberry, the neighborhood will have two roads providing access to the subdivision. Section 1.2.8 of the Land Development Ordinance states "that neighboring subdivision developments will support each other with a continuous network of thoroughfares and blocks forming continuous urban fabric within their communities." Therefore, to provide an opportunity for future connectivity, the developer has proposed additional connections to the north. A traffic study shall be submitted with the preliminary plat for this subdivision.

Attachments

Concept Plan



MAP 131, PARCEL 005.06
LARRY J BARNHILL
 BOOK 2373, PAGE 433
 R.O.W.C.T.

MAP 131, PARCEL 003.02
**DANIEL PETER LINDSTROM
 AND RENE PAINE LINDSTROM**
 BOOK 6806, PAGE 616
 R.O.W.C.T.

TRACT 1
SURVEY FOR JOHN PAINE ETAL
 PLAT BOOK P47, PAGE 138
 R.O.W.C.T.

MAP 131, PARCEL 005.07
JUANITA BARNHILL BEASLEY
 R.O.W.C.T.

MAP 131, PARCEL 009.03
**JIMMY R NICHOLS
 AND DIANNE T NICHOLS**
 BOOK 3299, PAGE 633
 R.O.W.C.T.

MAP 131, PARCEL 009.00
**JEFF B RHODES
 AND SONIA J RHODES**
 BOOK 6291, PAGE 56
 R.O.W.C.T.

MAP 131, PARCEL 009.09
**TERRY MASON
 AND KARLA MASON**
 BOOK 5996, PAGE 999
 R.O.W.C.T.

PARCEL A
 143.0± AC.
 ZONE D2

MAP 132, PARCEL 041.04
**WILLIAMSON COUNTY
 BOARD OF EDUCATION**
 BOOK 5499, PAGE 267
 R.O.W.C.T.

**INDEPENDENCE
 HIGH SCHOOL**

INTERSTATE 840
 (R.O.W. VARIES)

MAP 131, PARCEL 012.04
BONNIE CRUTCHER
 R.O.W.C.T.

MAP 131, PARCEL 012.04
**RICKEY ALEXANDER
 AND APRIL ALEXANDER**
 R.O.W.C.T.

MAP 131, PARCEL 007.02
**TOWN OF
 THOMPSON STATION**
 BOOK 7363, PAGE 710
 R.O.W.C.T.

MAP 131, PARCEL 012.00
MARY LOU SMITHSON
 R.O.W.C.T.

MAP 131, PARCEL 007.03
**TOWN OF
 THOMPSON STATION**
 BOOK 7363, PAGE 710
 R.O.W.C.T.

MAP 131, PARCEL 007.04
**TOWN OF
 THOMPSON STATION**
 BOOK 7363, PAGE 710
 R.O.W.C.T.

PARCEL B
 76.79± AC.
 ZONE D1

MAP 132, PARCEL 041.02
**TOWN OF
 THOMPSON STATION**
 BOOK 4629, PAGE 523
 R.O.W.C.T.

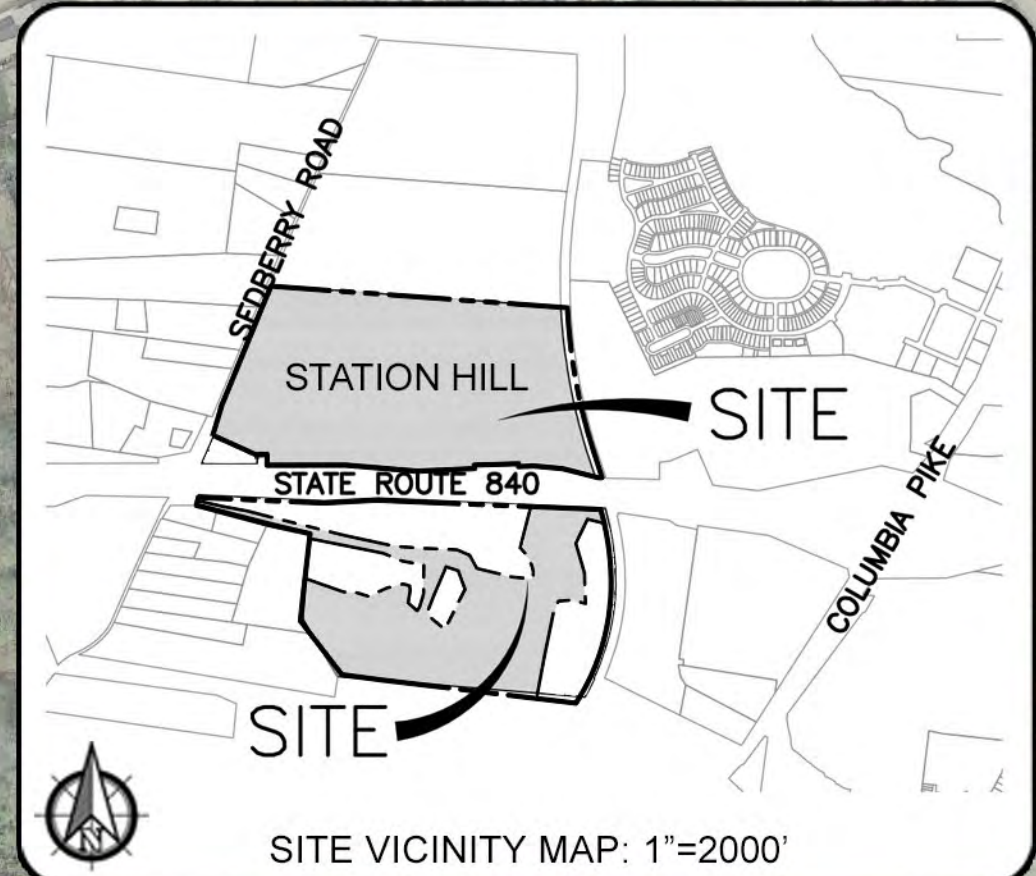
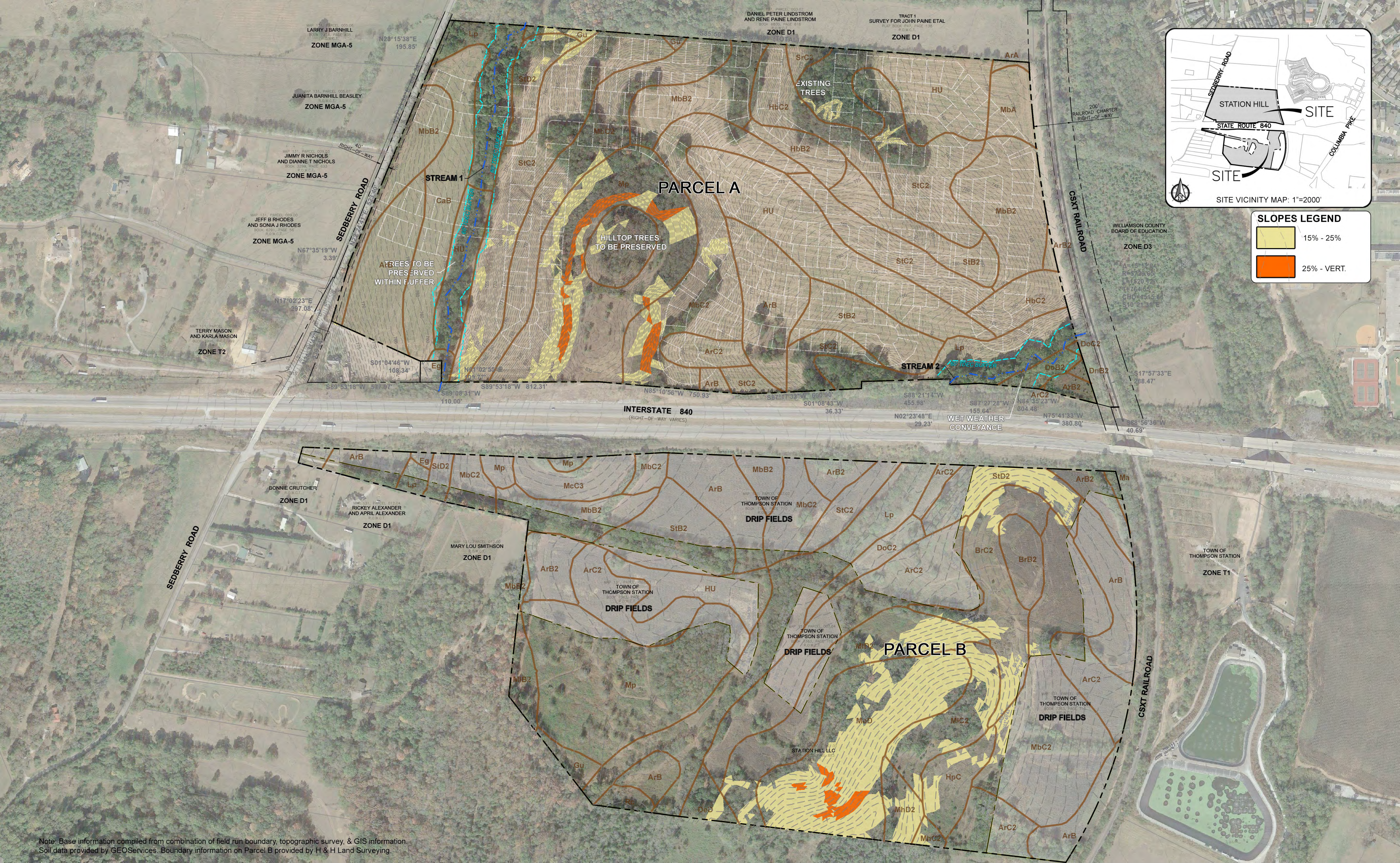
MAP 132, PARCEL 041.0
SHARON LYNN BRYANT
 R.O.W.C.T.

MAP 131, PARCEL 007.00
STATION HILL LLC
 BOOK 17305, PAGE 883
 R.O.W.C.T.

MAP 131, PARCEL 007.05
**TOWN OF
 THOMPSON STATION**
 BOOK 7363, PAGE 710
 R.O.W.C.T.

**MARS
 PETCARE**

SITE DATA			
ACREAGE	ZONING	POTENTIAL HOMES	
PARCEL A: 143.00± AC.	D2	214.5 HOMES	
PARCEL B: 76.79± AC.	D1	76.8 HOMES	
TOTAL SITE: 219.79± AC.	D1/D2	291.0 HOMES	



SLOPES LEGEND

	15% - 25%
	25% - VERT.

Note: Base information compiled from combination of field run boundary, topographic survey, & GIS information. Soil data provided by GEOServices. Boundary information on Parcel B provided by H & H Land Surveying.



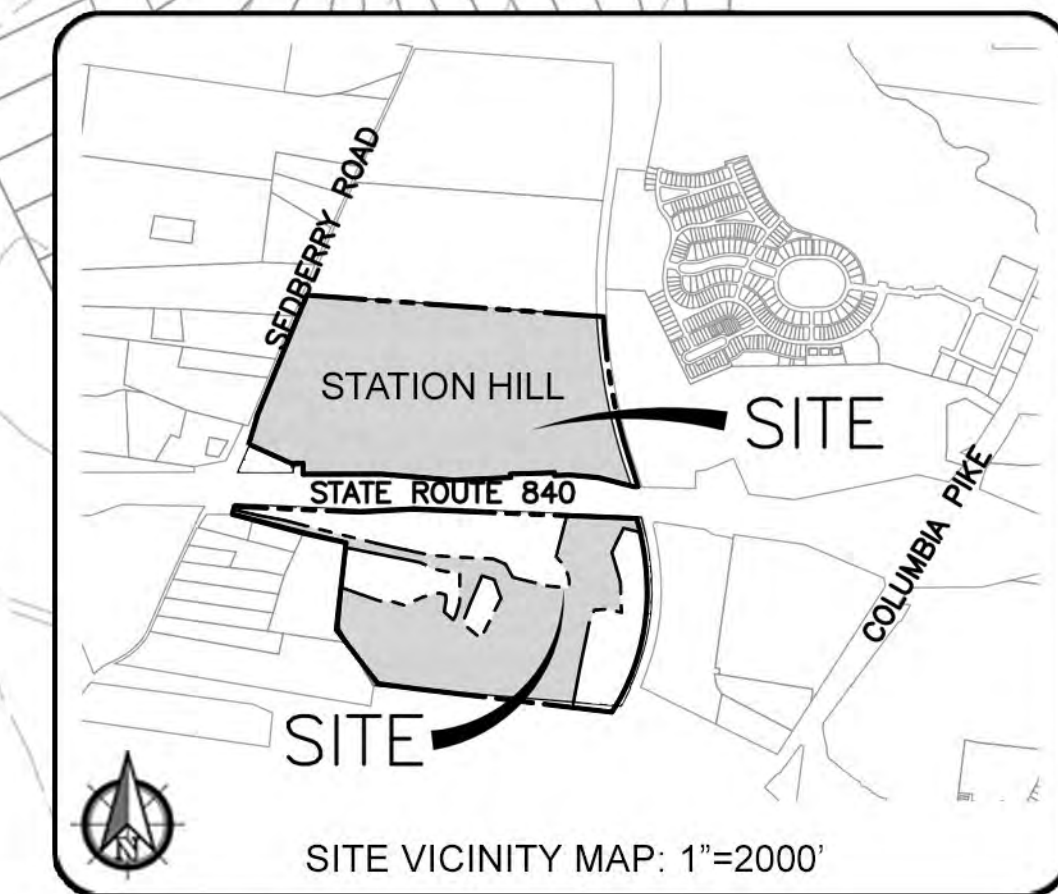
STATION HILL

NATURAL RESOURCES - SLOPES, STREAMS, & TREES



SOILS LEGEND

MAP UNIT SYMBOL	MAP UNIT NAME
ArA	Armour silt loam, 0 to 2% slopes
ArB	Armour silt loam, 2 to 5% slopes
ArB2	Armour silt loam, 2 to 5% slopes, eroded
ArC2	Armour silt loam, 5 to 12% slopes, eroded
BrB2	Braxton cherty silt loam, 2 to 5% slopes, eroded
BrC2	Braxton cherty silt loam, 5 to 12% slopes, eroded
CaB	Caplina silt loam, phosphatic, 2 to 5% slopes
DeD	Dellrose gravelly silt loam, 12 to 20% slopes, eroded
DnB2	Donerail silt loam, 2 to 5% slopes, eroded
DoC2	Donerail silt loam, concretionary, 5 to 12% slopes, eroded
Eg	Egam silt loam, phosphatic
Gu	Gullied land
HbB2	Hampshire silt loam, 2 to 5% slopes, eroded
HbC2	Hampshire silt loam, 5 to 12% slopes, eroded
HpC	Humphreys gravelly silt loam, 5 to 12% slopes
Hu	Huntington silt loam, phosphatic
Lp	Lindell silt loam, 0 to 2% slopes, occasionally flooded
Ma	Made land
MbA	Mauzy silt loam, 0 to 2% slopes
MbB2	Mauzy silt loam, 2 to 5% slopes, eroded
MbC2	Mauzy silt loam, 5 to 12% slopes, eroded
McC3	Mauzy silty clay loam, 5 to 12% slopes, severely eroded
MhC2	Mimosa gravelly silt loam, 5 to 12% slopes, eroded
MhD2	Mimosa gravelly silt loam, 12 to 20% slopes, eroded
MIB2	Mimosa silt loam, 2 to 5% slopes, eroded
MIC2	Mimosa silt loam, 5 to 12% slopes, eroded
MID2	Mimosa silt loam, 12 to 20% slopes, eroded
MoD	Ashwod-Mimosa-Rock outcrop complex, 5 to 15% slopes
Mp	Mine pits and dumps
Rc	Rockland
StC3	Stiversville clay loam, 5 to 12% slopes, severely eroded
StB2	Stiversville clay loam, 2 to 5% slopes
StC2	Stiversville clay loam, 5 to 12% slopes, eroded
StD2	Stiversville clay loam, 12 to 20% slopes, eroded



WILLIAMSON COUNTY BOARD OF EDUCATION
 BOOK 5497 PAGE 251
 ZONE D3
 Δ=15°12'04"
 R=5729.65'
 L=1520.12'
 T=764.55'
 CHD=1515.66'
 S10°21'31"E



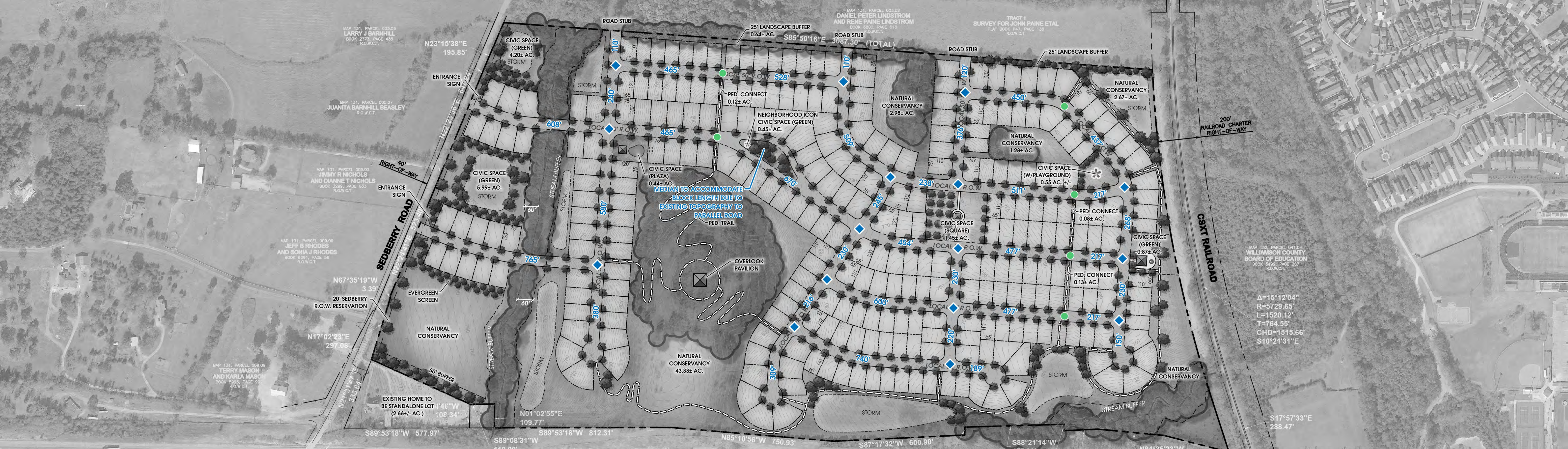
Note: Base information compiled from combination of field run boundary, topographic survey, & GIS information. Soil data provided by GEOServices. Boundary information on Parcel B provided by H & H Land Surveying.



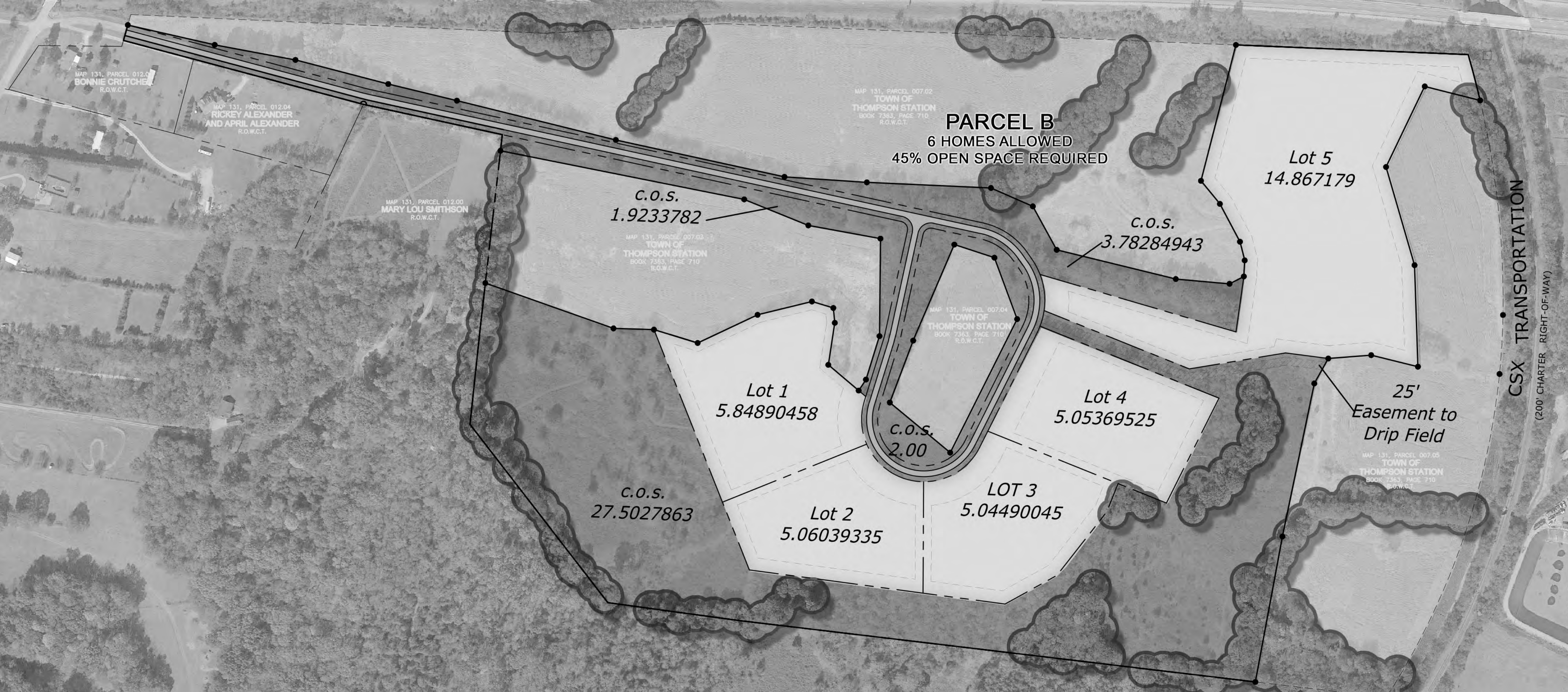
STATION HILL

NATURAL RESOURCES - SOIL MAP





INTERSTATE 84
(RIGHT-OF-WAY VARIES)



PARCEL B
6 HOMES ALLOWED
45% OPEN SPACE REQUIRED

Lot 5
14.867179

Lot 1
5.84890458

Lot 2
5.06039335

LOT 3
5.04490045

Lot 4
5.05369525

25'
Easement to
Drip Field

LEGEND

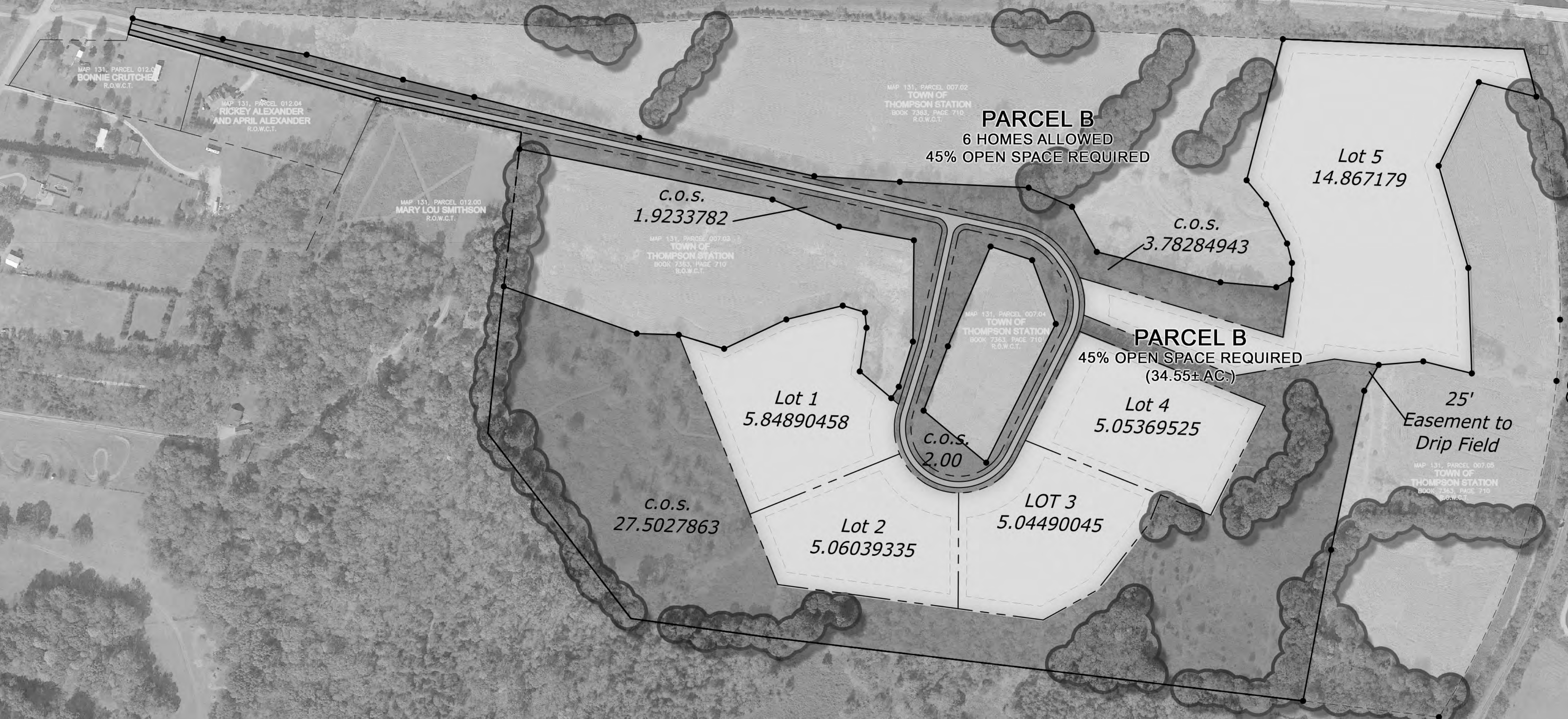
- ◆ BLOCK SYMBOL
- PEDESTRIAN BREAK



$\Delta=15^{\circ}12'04''$
 $R=5729.65'$
 $L=1520.12'$
 $T=764.55'$
 $CHD=1515.66'$
 $S10^{\circ}21'31''E$

$S17^{\circ}57'33''E$
 $288.47'$
 $S88^{\circ}56'36''W$
 $40.69'$

INTERSTATE 84
(RIGHT-OF-WAY VARIES)



LEGEND	
■	OPEN SPACE
■	CIVIC SPACE
OPEN SPACE DATA- PARCEL A	
NATURAL CONSERVANCY:	50.26± AC.
COMMON OPEN SPACE:	0.64± AC.
CIVIC SPACE:	13.95± AC.
PEDESTRIAN CONNECTION:	0.33± AC.
TOTAL OPEN SPACE:	65.18± AC.
OPEN SPACE PROVIDED:	45.6%
OPEN SPACE DATA- PARCEL B	
REQUIRED ACREAGE:	34.55± AC.
REQUIRED PERCENTAGE:	45.0%
*TOTAL PROJECT CIVIC SPACE REQUIREMENT (FOR BOTH PARCELS A & B) IS MET ON PARCEL A	

PROJECT REQUEST

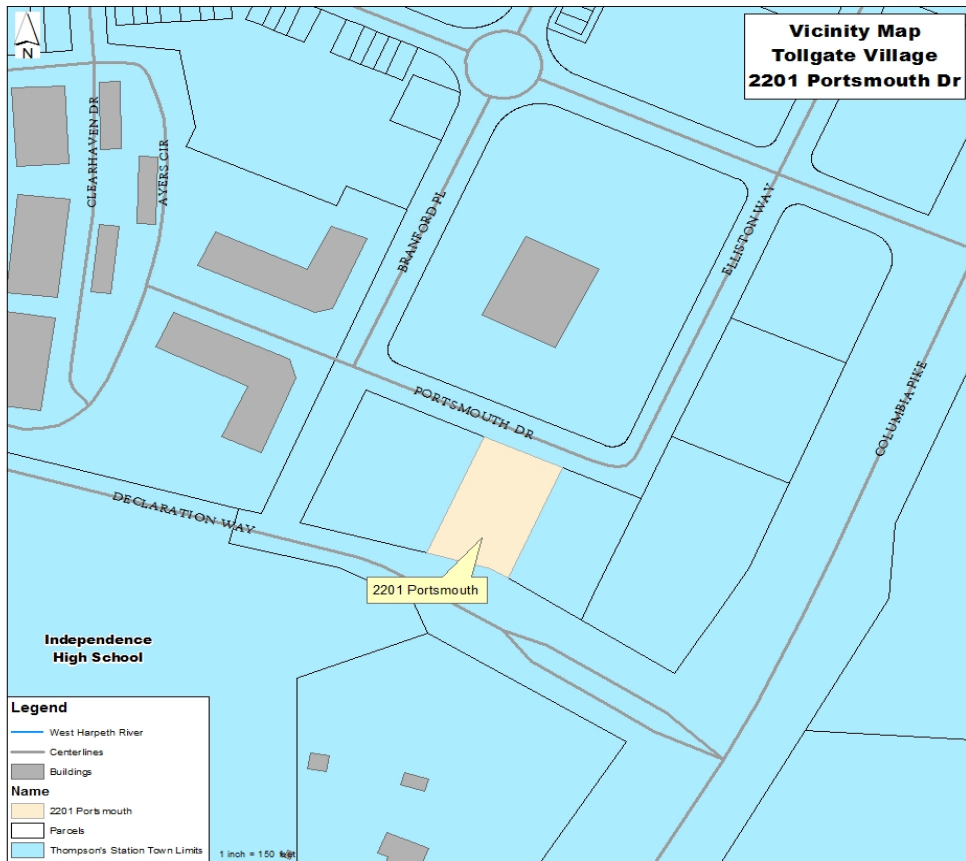
Site Plan for a two story 3,000 square foot commercial building located at 2201 Portsmouth Drive within the Tollgate Village neighborhood.

PROJECT DESCRIPTION

The applicants request site plan approval for the development of one, two story commercial building within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.

The project site consists of 1.26 acres and is located along south side of Portsmouth Drive with additional frontage on Declaration Way. The project site is part of a Unified Development on Lots 20.4A and 20.4B in Tollgate Village and will share access, parking, solid waste, and other site elements. This request pertains only to the development on Lot 20.4A. The project site is within the undeveloped commercial portion of Tollgate Village, which has been previously graded. As noted, this parcel is bordered by two roadways, creating design challenges for the site. The site will be accessed from Portsmouth Drive.

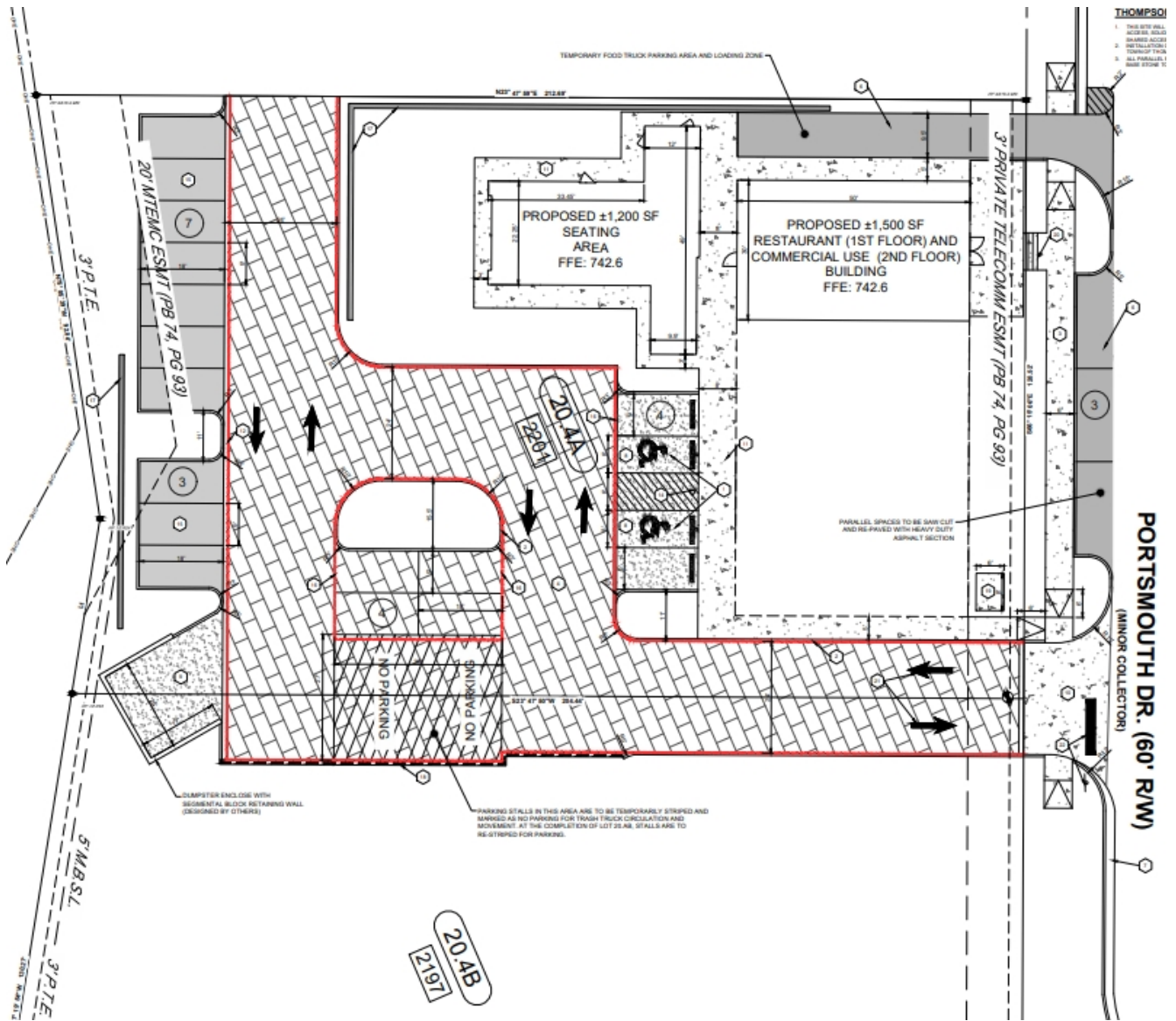
The site is required to meet the minimum requirements of the Land Development Ordinance (LDO) and show general conformity with the Design Guidelines.



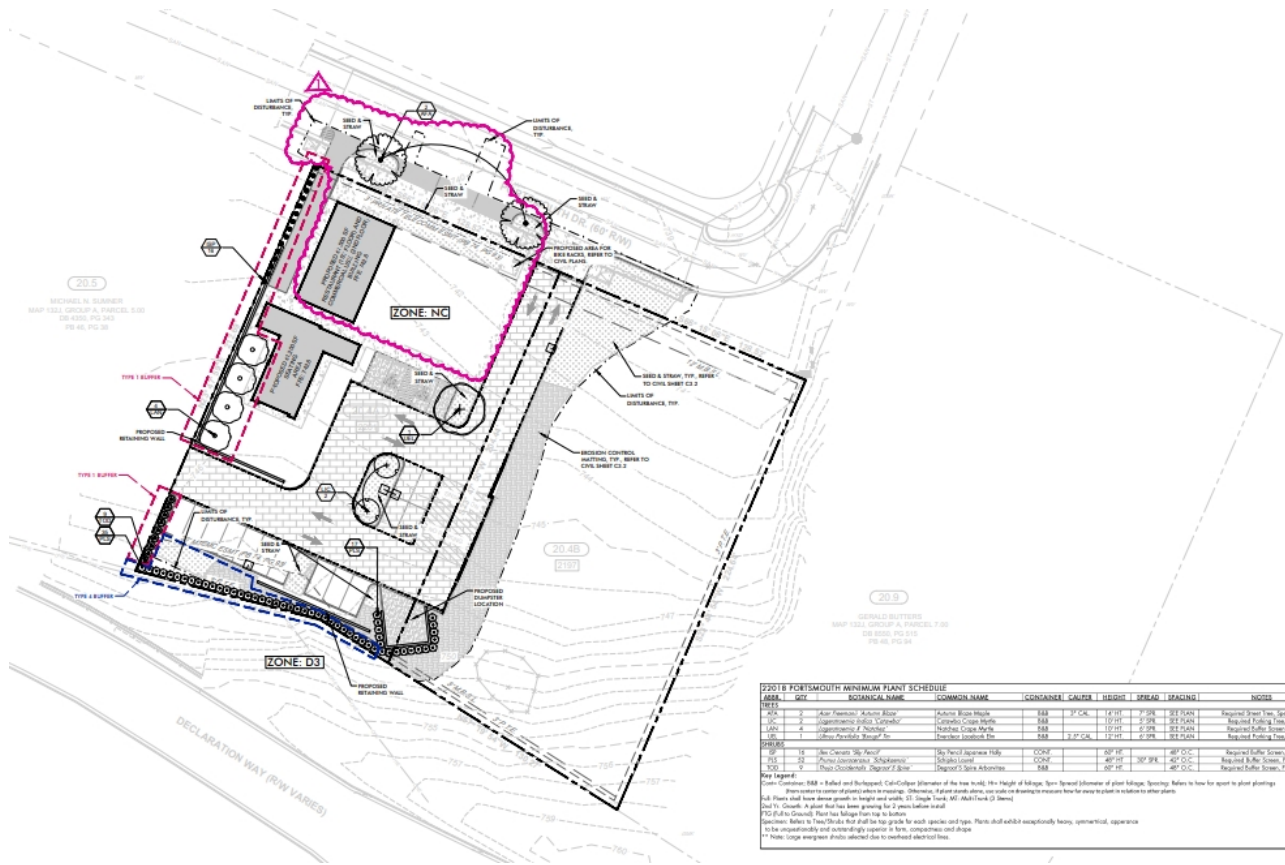
Location Map

ANALYSIS

The proposal consists of a two-story commercial building with a proposed use of restaurant, with an outdoor seating/activity area. The second story office use is to remain unfinished at this time. The site plan, landscape plan, and elevations are shown, below.



Site Plan



Landscape Plan



North Elevation- Portsmouth Drive

EXTERIOR MATERIAL PROPORTIONS

NORTH ELEVATION		
DESCRIPTION	SURFACE AREA	# PERCENTAGE
GROSS AREA OF WALL	750	100%
NET AREA OF WALL	450	60%
NET LAP SCISSOR	150	20%
DETAILS BELOW WINDOW/DOOR	150	20%

WEST ELEVATION		
DESCRIPTION	SURFACE AREA	# PERCENTAGE
GROSS AREA OF WALL	750	100%
NET AREA OF WALL	450	60%
NET LAP SCISSOR	150	20%
DETAILS BELOW WINDOW/DOOR	150	20%

WAC UNIT:
 WAC UNIT COORDINATE AND WAC UNIT FINISH AND APPROXIMATE DISTANCE:
 FOOTING TO BE CONCEALED BY FINISH
 GROUND TO BE CONCEALED BY SCISSOR WALL

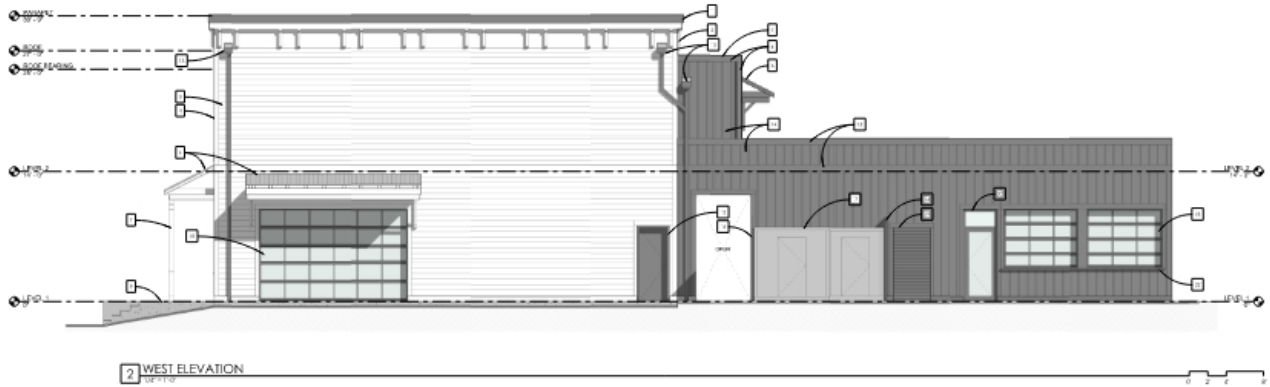
MATERIAL LEGEND

1. PRE-FINISHED METAL PANEL COPING	11. PRE-FINISHED METAL CONDUCTOR HEAD & CONDUCTOR
2. EXTERIOR CORNER	12. PRE-FINISHED FIBER CONCRETE BOARD & BATTEN BOARD
3. PRE-FINISHED FIBER CONCRETE LAP SCISSOR	13. PRE-FINISHED FIBER CONCRETE TONGUE
4. PRE-FINISHED FIBER CONCRETE BRUSH	14. EXTERIOR WALL PRE-FINISHED FIBER CONCRETE BOARD & BATTEN BOARD
5. ALUMINUM STOREFRONT WINDOW	15. OUTDOOR WALK IN COCKERS
6. WOOD FRAMED CANOPY BY METAL ROOF	16. OVERHEAD GLAZED SECTIONAL DOOR
7. WOOD DECORATIVE COLUMN	17. OVERHEAD COLORED DOOR
8. ACCENT PANEL	18. ALUMINUM STOREFRONT
9. COLORED PANEL	19. METAL RAILING
10. METAL SIGNAGE	20. DRIVE SHAFT
11. DECORATIVE ONE LIGHT FIXTURE BEYOND	21. TAP WALL
12. HOLLOW METAL DOOR	22. METAL WALL

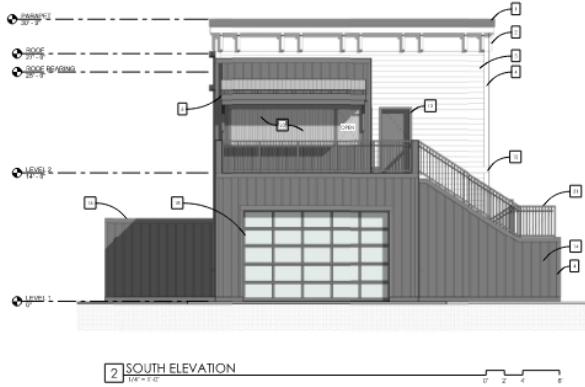
EXTERIOR MATERIALS AND COLORS

MATERIAL	COLOR
PRE-FINISHED METAL PANEL COPING	BRASS
PRE-FINISHED METAL CONDUCTOR HEAD & CONDUCTOR	BRASS
PRE-FINISHED FIBER CONCRETE BOARD & BATTEN BOARD	BRASS
PRE-FINISHED FIBER CONCRETE TONGUE	BRASS
PRE-FINISHED FIBER CONCRETE BRUSH	BRASS
ALUMINUM STOREFRONT WINDOW	BRASS
WOOD FRAMED CANOPY BY METAL ROOF	BRASS
WOOD DECORATIVE COLUMN	BRASS
ACCENT PANEL	BRASS
COLORED PANEL	BRASS
METAL SIGNAGE	BRASS
DECORATIVE ONE LIGHT FIXTURE BEYOND	BRASS
HOLLOW METAL DOOR	BRASS

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE TOWN OF THOMPSON'S EXTERIOR APPEARANCE ORDINANCE. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY THE TOWN OF THOMPSON DEVELOPMENT DEPARTMENT OR THE DRC.



West Elevation



South Elevation

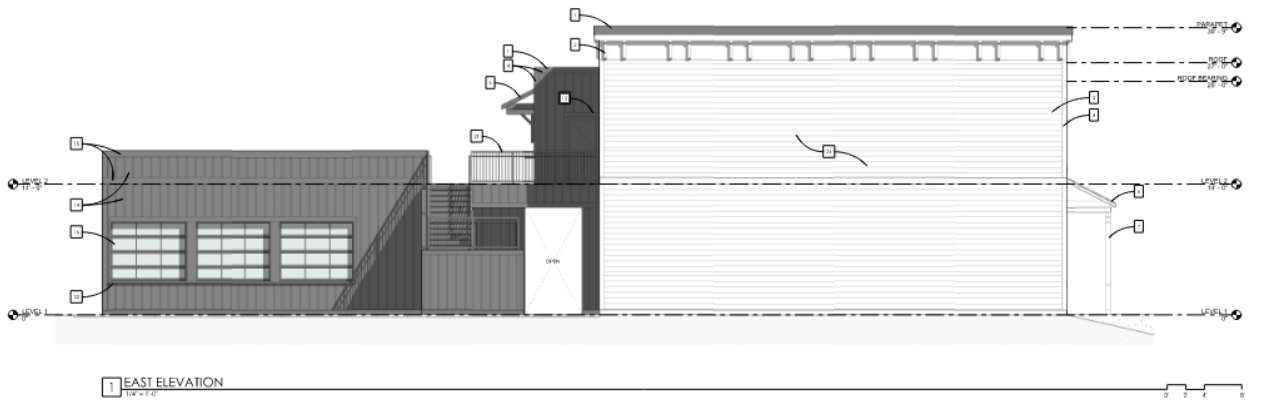
EXTERIOR MATERIAL PROPORTIONS		
SOUTH ELEVATION		
SURFACE AREA	PERCENT OF NET	
FINISHED AREA OF WALL	308	50%
FINISHED AREA OF WALL	454	50%
FINISHED LAP SIDING	216	35%
FINISHED BOARD & BATTEN SIDING	420	70%
EAST ELEVATION		
SURFACE AREA	PERCENT OF NET	
FINISHED AREA OF WALL	244	50%
FINISHED AREA OF WALL	204	50%
FINISHED LAP SIDING	136	25%
FINISHED BOARD & BATTEN SIDING	272	50%

W/AC UNITS:
W/AC UNITS, CONDENSATE AND/OR MECHANICAL UNITS ARE LOCATED ON THE ROOF TOP TO BE CONCEALED BY FINISHING GROUND TO BE CONCEALED BY SCREEN WALL.

MATERIAL LEGEND	
1	FINISHED METAL PARAPET CORING
2	CORNICE DETAILING
3	FINISHED RIB CEMENT LAP SIDING
4	S/4 FINISHED RIB CEMENT TRIM
5	ALUMINUM STOREFRONT WINDOWS
6	WOOD BRANDED CANNOPY W/ METAL ROOF
7	WOOD EXPOSITIVE COLUMNS
8	ACCENT PANEL
9	CONCRETE PATIO
10	METAL SIGNAGE
11	DECORATIVE EXT. LIGHT FIXTURES BEYOND
12	PULLOUT METAL DOOR
13	FINISHED METAL CONDUCTOR HEAD & DOWNPOUT
14	FINISHED RIB CEMENT BOARD & BATTEN SIDING
15	FINISHED RIB CEMENT TRIM
16	SCREEN WALL W/ FINISHED RIB CEMENT BOARD & BATTEN SIDING
17	OUTDOOR WALK-IN COOLER
18	OVERHEAD GLAZED SECTIONAL DOOR
19	OVERHEAD COILING DOOR
20	ALUMINUM STOREFRONT
21	METAL RAILING
22	BRICK RAIL
23	EXP. WALL
24	MURAL WALL

EXTERIOR MATERIALS AND COLORS	
MATERIAL	COLOR
FINISHED LAP SIDING & TRIM	BLACK OF DESIGN, JAMES HAMILTON, WHITE, GREY
FINISHED BOARD & BATTEN SIDING AND TRIM	BLACK OF DESIGN, JAMES HAMILTON, TROUSSEAU, TEAK GRAY
FINISHED RIB CEMENT SIDING (CONCRETE)	CONCRETE GRAY
FINISHED RIB CEMENT TRIM	CONCRETE GRAY

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE TOWN OF THOMPSON'S ZONING. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE COMMUNITY DEVELOPMENT DIRECTOR OR THE SDC.



East Elevation

The building elevations were reviewed by the Town's Design Review Commission on April 13, 2022. The DRC approved the elevations as submitted and recommended approval onto the Planning Commission of the site. Sewer is available to this site through a previously issued tap, with the capacity allowing the restaurant use. Additional uses on this site require additional sewer capacity and will need to be submitted as a revision to this site plan, with Planning Commission approval.

In staff's review, the site design and building elevations meet the minimum requirements of the LDO and show general conformity with the Design Guidelines.

RECOMMENDATION

Staff recommends approval of the site plan, with the following contingencies:

1. A copy of the executed share access easement shall be provided to the Town prior to Certificate of Occupancy.
2. The landscape material shall be installed, per the approved Landscape Plan, prior to Certificate of Occupancy and the Town shall be provided a copy of the 1-year warranty provided by the landscape installer.
3. The applicant shall resolve all Town Engineer's comments related to grading prior to the issuance of the grading permit for this site.
4. After Planning Commission approval, the applicant shall contact staff to set the pre-construction meeting for the issuance of the grading and infrastructure permits for this project.

ATTACHMENTS

Site Plan Submittal

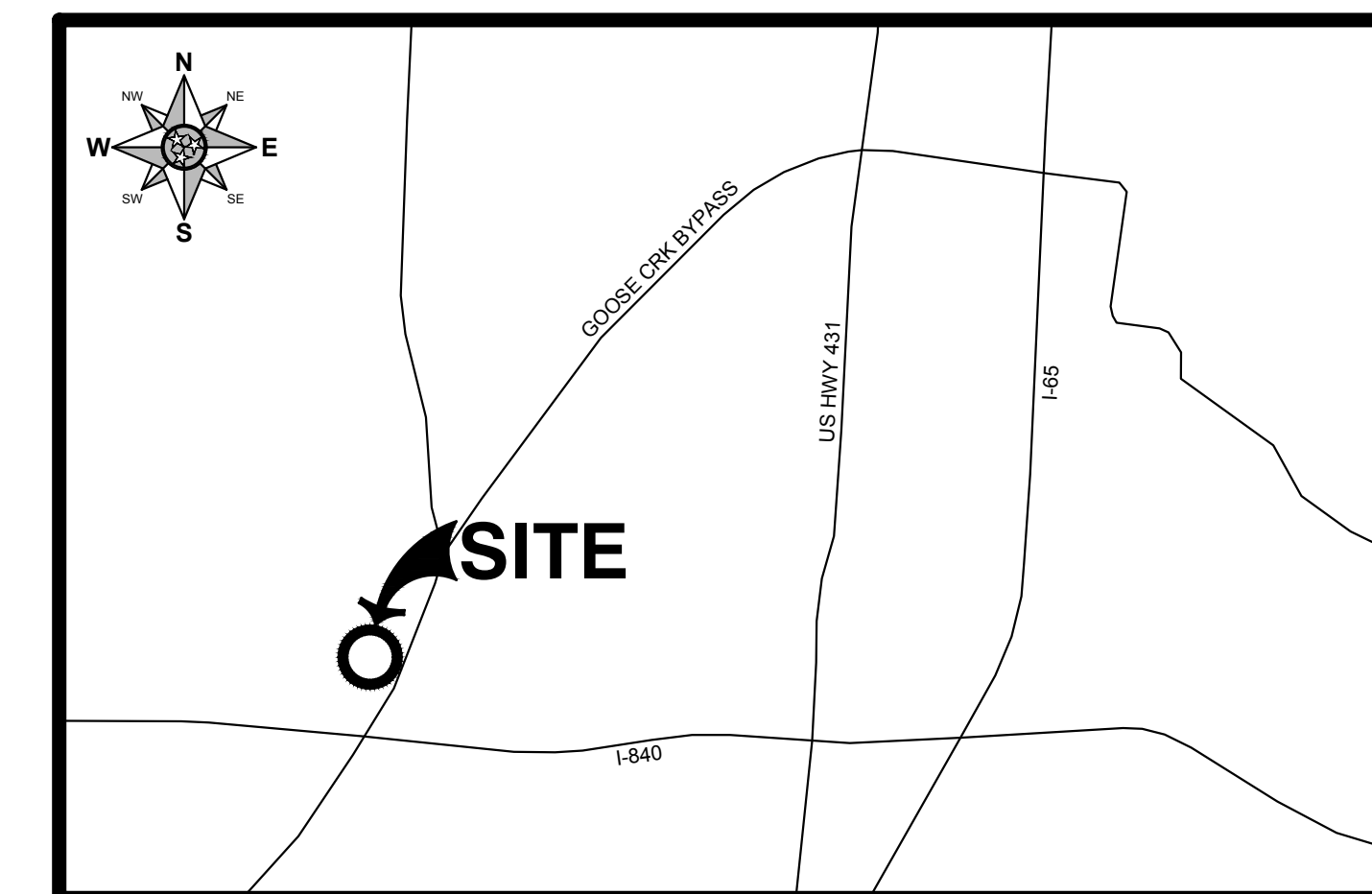
GENERAL NOTES:

- BOUNDARY AND EASEMENT INFORMATION SHOWN IS BASED ON THE "BOUNDARY TOPOGRAPHIC SURVEY" BY M2 GROUP, LLC DATED FEBRUARY 16, 2022. TOPOGRAPHICAL INFORMATION SHOWN IS CURRENT FIELD-RUN DATA AND NOT BASED ON AERIAL OR GIS INFORMATION.
- THE CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL EXISTING UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION OR EARTH MOVING OPERATIONS. INFORM ENGINEER OF ANY CONFLICTS DETRIMENTAL TO THE DESIGN INTENT.
- 72 HOURS BEFORE DIGGING IS TO COMMENCE, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING AGENCIES: TENNESSEE 811 AND ALL OTHER AGENCIES THAT MAY HAVE UNDERGROUND UTILITIES INVOLVING THIS PROJECT AND ARE NON-MEMBERS OF TENNESSEE 811.
- THE CONTRACTOR AND SUBCONTRACTORS SHALL BE RESPONSIBLE FOR COMPLYING WITH APPLICABLE FEDERAL, STATE AND LOCAL REQUIREMENTS, TOGETHER WITH EXERCISING PRECAUTIONS AT ALL TIMES FOR THE PROTECTION OF PERSONS (INCLUDING EMPLOYEES) AND PROPERTY. IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND SUBCONTRACTORS TO INITIATE, MAINTAIN AND SUPERVISE ALL SAFETY REQUIREMENTS, PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK.
- THE CONTRACTOR SHALL INDEMNIFY AND HOLD HARMLESS THE OWNER AND OWNER'S REPRESENTATIVE FOR ANY AND ALL INJURIES AND/OR DAMAGES TO PERSONNEL, EQUIPMENT AND/OR EXISTING FACILITIES OCCURRING IN THE COURSE OF THE DEMOLITION AND CONSTRUCTION DESCRIBED IN THE PLANS AND SPECIFICATIONS.
- CONTRACTOR SHALL OBTAIN A PERMIT FOR ALL CONSTRUCTION ACTIVITIES AND PERFORM SAID ACTIVITIES IN ACCORDANCE WITH ALL LOCAL, STATE, FEDERAL & OSHA REGULATIONS.
- THE CONTRACTOR SHALL COMPLY WITH ALL LOCAL CODES, OBTAIN ALL APPLICABLE PERMITS, AND PAY ALL REQUIRED FEES PRIOR TO BEGINNING WORK.
- ANY WORK PERFORMED IN THE LOCAL RIGHT OF WAYS SHALL BE IN ACCORDANCE WITH THE APPLICABLE LOCAL REQUIREMENTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE NECESSARY PERMITS FOR THE WORK, SCHEDULE NECESSARY INSPECTIONS, AND PROVIDE THE NECESSARY TRAFFIC CONTROL MEASURES AND DEVICES, ETC., FOR WORK PERFORMED IN THE RIGHT OF WAYS.
- THE PROPOSED SITE IMPROVEMENTS WILL REQUIRE COVERAGE UNDER THE NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) PERMIT ISSUED BY THE TOWN OF THOMPSON'S STATION AS THE TOTAL SITE DISTURBANCE IS MORE THAN 1.0 ACRE.
- CONTRACTOR SHALL IMPLEMENT ALL SOIL AND EROSION CONTROL, PRACTICES REQUIRED BY THE TOWN OF THOMPSON'S STATION AND TDEC.
- ALL GROUND SURFACE AREAS THAT HAVE BEEN EXPOSED OR LEFT BARE AS A RESULT OF CONSTRUCTION AND ARE TO FINAL GRADE AND ARE TO REMAIN SO, SHALL BE PERMANENTLY STABILIZED AS SOON AS PRACTICAL IN ACCORDANCE WITH SPECIFICATIONS.
- ALL WORK SHALL COMPLY WITH TOWN OF THOMPSON'S STATION SPECIFICATIONS, AND ALL CONSTRUCTION WORK SHALL BE DONE ACCORDING TO SAID SPECIFICATIONS AND IN ACCORDANCE WITH APPLICABLE STANDARDS OF THE TOWN OF THOMPSON'S STATION.
- ALL WORK PERFORMED BY THE CONTRACTOR SHALL CONFORM TO THE LATEST REGULATIONS OF THE AMERICANS WITH DISABILITIES ACT.
- CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.
- BEFORE INSTALLATION OF STORM OR SANITARY SEWER, OR OTHER UTILITY THE CONTRACTOR SHALL VERIFY ALL CROSSINGS, BY EXCAVATION WHERE NECESSARY, AND INFORM THE OWNER AND THE ENGINEER OF ANY CONFLICTS. THE ENGINEER WILL BE HELD HARMLESS IN THE EVENT THEY ARE NOT NOTIFIED OF DESIGN CONFLICTS PRIOR TO CONSTRUCTION.
- WHERE CURB IS PRESENT, DIMENSIONS ARE SHOWN TO THE FACE OF CURB, OTHERWISE DIMENSIONS ARE SHOWN TO THE EDGE OF PAVEMENT AND/OR EDGE OF BUILDING UNLESS OTHERWISE NOTED.
- SITE SIGNAGE AND STRIPING SHALL BE IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (M.U.T.C.D.).
- CONSTRUCTION OF ALL ROADWAYS AND SIDEWALKS SHALL MEET THE REQUIREMENTS OF THOMPSON'S STATION PUBLIC WORKS ROADWAY CONSTRUCTION CRITERIA AND STANDARD DETAILS.
- CONTRACTOR SHALL PROVIDE AND MAINTAIN TRAFFIC CONTROL MEASURES IN ACCORDANCE WITH STATE DEPARTMENT OF TRANSPORTATION REGULATIONS AND AS REQUIRED BY LOCAL AGENCIES WHEN WORKING IN AND/OR ALONG STREETS, ROADS, HIGHWAYS, ETC. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN APPROVAL AND COORDINATE WITH LOCAL AND/OR STATE AGENCIES REGARDING THE NEED, EXTENT AND LIMITATIONS ASSOCIATED WITH INSTALLING AND MAINTAINING TRAFFIC CONTROL MEASURES.
- ALL TRENCHING, PIPE LAYING AND BACKFILLING SHALL BE IN ACCORDANCE WITH ALL FEDERAL OSHA REGULATIONS. CONTRACTOR TO PAY PARTICULAR ATTENTION TO 29 CFR PART 1926, SUBPARTS M AND P.

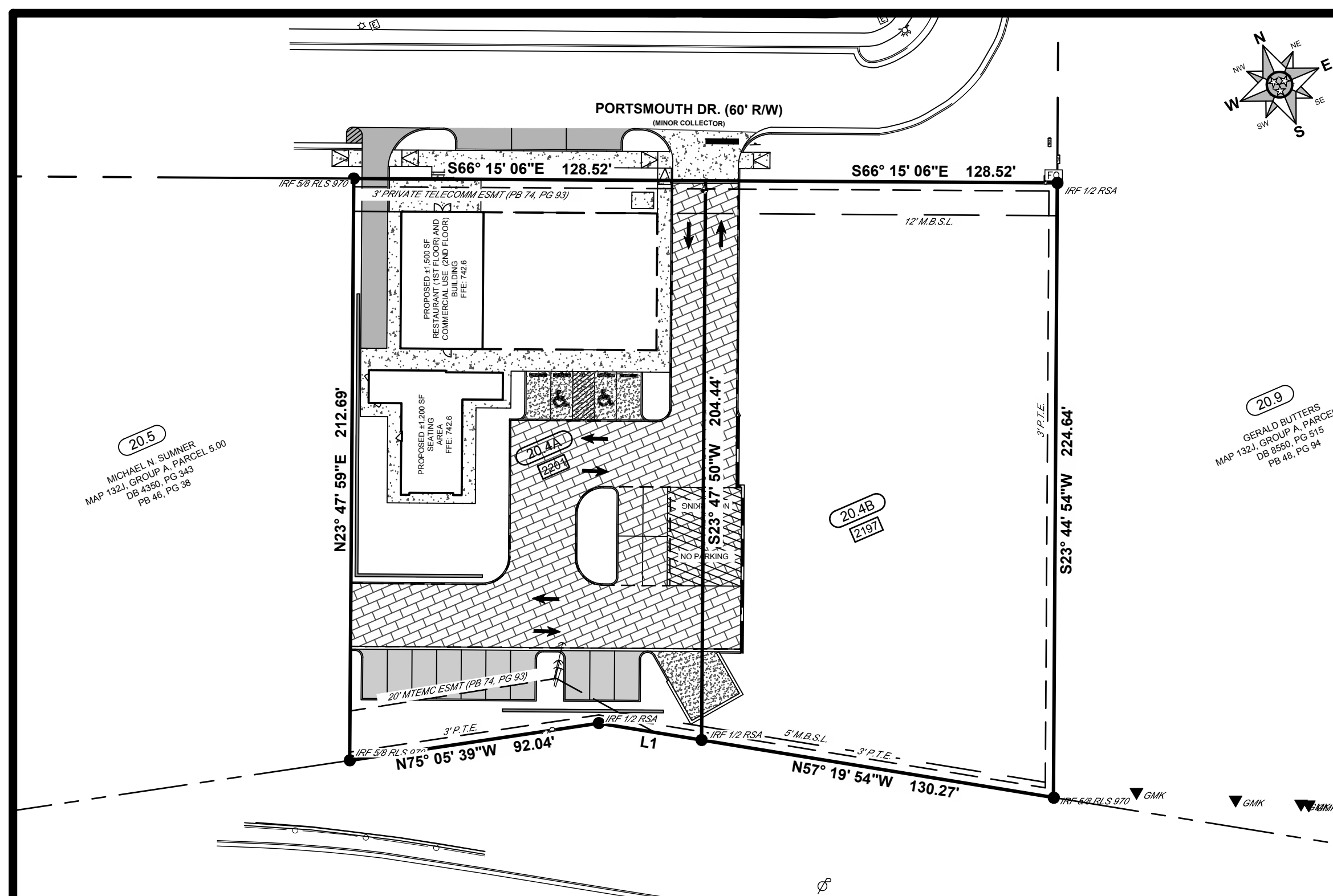
DEMOLITION NOTICE:

- A SITE DEMOLITION PERMIT SHALL NOT BE ISSUED UNTIL AN EPSC PRECONSTRUCTION MEETING HAS OCCURRED WITH ENGINEERING STAFF.

SITE PLANS FOR TOLLGATE COMMERCIAL CENTER, SECTION 20, LOT 20.4A TAX MAP 132J, PARCEL 6.00 THOMPSON'S STATION PROJECT #731249 MARCH, 2022



VICINITY MAP
SCALE: N.T.S.



SITE LOCATION MAP

SCALE: 1" = 40'

SITE DATA

SUBDIVISION DEVELOPMENT:	TOLLGATE COMMERCIAL CENTER SUBDIVISION, SECTION 20, GROUP A, LOT 20.4A, PB 74, PG 93
LOT NUMBER:	MAP 132J, PARCEL 6.00
ADDRESS:	2201 PORTSMOUTH DRIVE (MINOR COLLECTOR)
CITY:	THOMPSON'S STATION
COUNTY:	WILLIAMSON COUNTY
STATE:	TENNESSEE
CIVIL DISTRICT:	4TH
EXISTING ZONING AND AREA DESIGNATION:	NC - NEIGHBORHOOD COMMERCIAL
ACREAGE OF SITE:	0.60± AC
SQUARE FOOTAGE OF SITE:	26,271± SF
MINIMUM REQUIRED SETBACK LINES:	12' 0' 5'
DEVELOPER/APPLICANT:	GROUND, LLC 330 MAYFIELD DRIVE FRANKLIN, TN 37067 PHONE NO.: 615-438-1499 groundrestaurant@gmail.com CONTACT NAME: MATTHEW GONZALES
BUILDING SQUARE FOOTAGE:	SEE ARCHITECTURAL PLANS FIRST FLOOR: 1,500± S.F. (RESTAURANT) 1,200± S.F. (SEATING AREA) SECOND FLOOR: 1,500± S.F. (OFFICE - UNFINISHED)
BUILDING HEIGHT:	2 STORIES 39' - 9"± above grade
MINIMUM PARKING REQUIREMENT:	27 SPACES REQUIRED
RESTAURANT use (1 space/4 seats)	89 seats = 22 SPACES
2nd STORY OFFICE use (1 space/300 s.f.)	1,500 s.f. = 5 SPACES
PARKING PROVIDED:	18 STANDARD PARKING SPACES (INCLUDING 2 ADA SPACES) 9 ON-STREET SPACES 27 TOTAL SPACES SEE SHEET C2.0 FOR PARKING MAP
PARKING WILL BE SHARED WITH LOT 20.4B AT FULL BUILD OUT OF BOTH PROPERTIES.	
THIS SITE PLAN HAS BEEN DESIGNED TO MEET THE TOWN OF THOMPSON'S STATION STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED SITE PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.	
THIS PROPERTY IS LOCATED IN AN AREA DESIGNATED AS MINIMAL FLOOD HAZARD AREA (ZONE "X") ACCORDING TO FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP, COMMUNITY PANEL 47187C0335F, EFFECTIVE DATE 09/29/06.	
NO TITLE REPORT WAS PROVIDED OR REVIEWED FOR THIS SITE PLAN.	
THE LOCATIONS OF THE UNDERGROUND UTILITIES ARE BASED ON ABOVE GROUND STRUCTURES AND LOCATION BY THE RESPECTIVE UTILITY COMPANIES. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM THE LOCATION SHOWN, AND THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES NOT SHOWN ON THIS SURVEY. NO EXCAVATIONS WERE MADE DURING THE PROGRESS OF THE ORIGINAL SURVEY TO LOCATE UNDERGROUND UTILITIES/STRUCTURES. IT IS THE RESPONSIBILITY OF THE CONTRACTOR AND/OR INDIVIDUAL DIGGING IN THIS AREA TO, FIELD VERIFY THE LOCATIONS OF THE UTILITIES SHOWN HEREON WITH THE RESPECTIVE UTILITY OWNERS.	

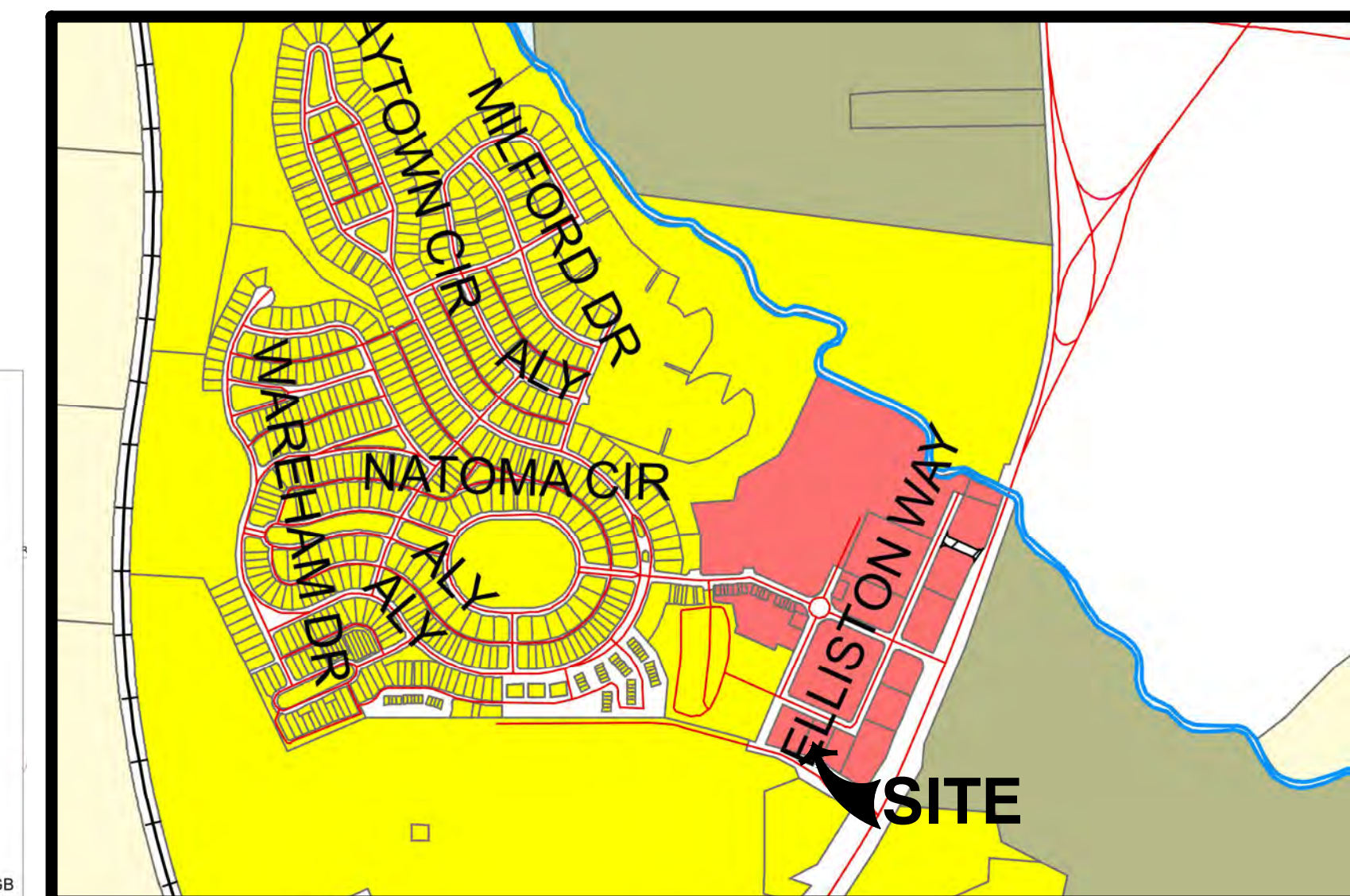
OWNER/APPLICANT:
GROUND, LLC
ADDRESS: 330 MAYFIELD DRIVE
FRANKLIN, TN 37067
groundrestaurant@gmail.com
CONTACT NAME: MATTHEW GONZALES

CIVIL ENGINEER:
M2 GROUP, LLC
ADDRESS: P.O. BOX 848
FRANKLIN TENNESSEE 37065
PHONE NO.: 615-686-7860
tyler@m2groupplc.com
CONTACT NAME: TYLER UBELHOR, PE

ARCHITECT:
906 STUDIO
ADDRESS: 143 FIFTH AVE SOUTH
FRANKLIN, TENNESSEE 37064
PHONE NO.: 615-988-9065
aaron.rogers@906studio.com
CONTACT NAME: AARON ROGERS, LEED AP

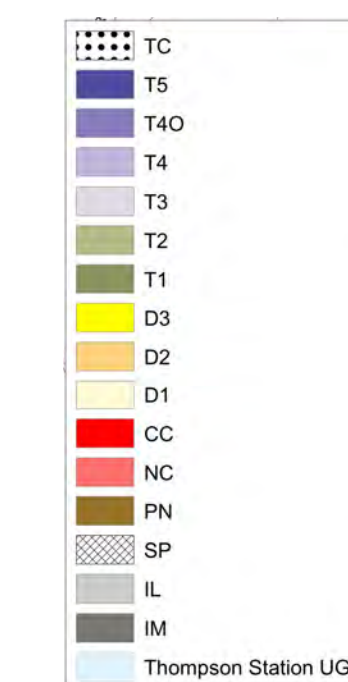
SURVEYOR:
M2 GROUP, LLC
ADDRESS: P.O. BOX 848
FRANKLIN TENNESSEE 37065
PHONE NO.: 615-623-8913
stephen@m2groupplc.com
CONTACT NAME: STEPHEN VANDER HORST, RLS, CFS

LANDSCAPE ARCHITECT:
KVD
ADDRESS: 5005 MERIDIAN, SUITE 100
FRANKLIN, TENNESSEE 37067
PHONE NO.: 615-719-1943
chris@kiservogrin.com
CONTACT NAME: CHRISTOPHER WOOD, RLA

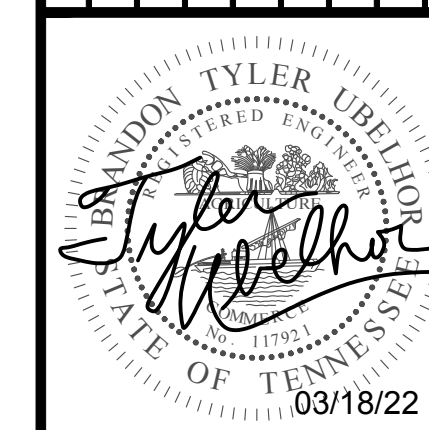


ZONING MAP
SCALE: N.T.S.

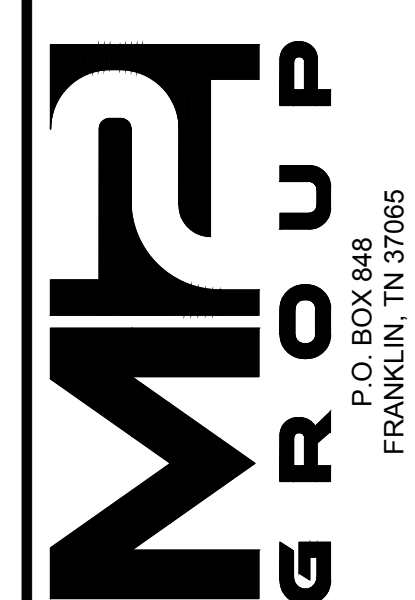
Sheet List Table	
SHEET NUMBER	SHEET TITLE
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS & DEMOLITION PLAN
C2.0	SITE LAYOUT PLAN
C3.0	GRADING & DRAINAGE PLAN
C3.1	INITIAL EPSC PLAN
C3.2	FINAL EPSC PLAN
C3.3	GRADING & EPSC DETAILS
C3.4	GRADING & EPSC DETAILS
C4.0	ROW & ACCESS PLAN
C5.0	SITE UTILITY PLAN
C6.0	SITE DETAILS
L4.0	MINIMUM LANDSCAPE PLAN
L6.0	LANDSCAPE DETAILS & NOTES
E100	ELECTRICAL PHOTOMETRIC SITE PLAN
A-01	OVERALL ELEVATIONS
A-02	OVERALL ELEVATIONS
A-03	SITE DETAILS



REVISION #	DATE	DESCRIPTION
1	04/11/22	PER STAFF COMMENTS



SITE PLANS FOR:
TOLLGATE FOOD HALL
 TOWN OF THOMPSON'S STATION PROJECT #731249
 2201 PORTSMOUTH DRIVE
 WILLIAMSON COUNTY, TENNESSEE

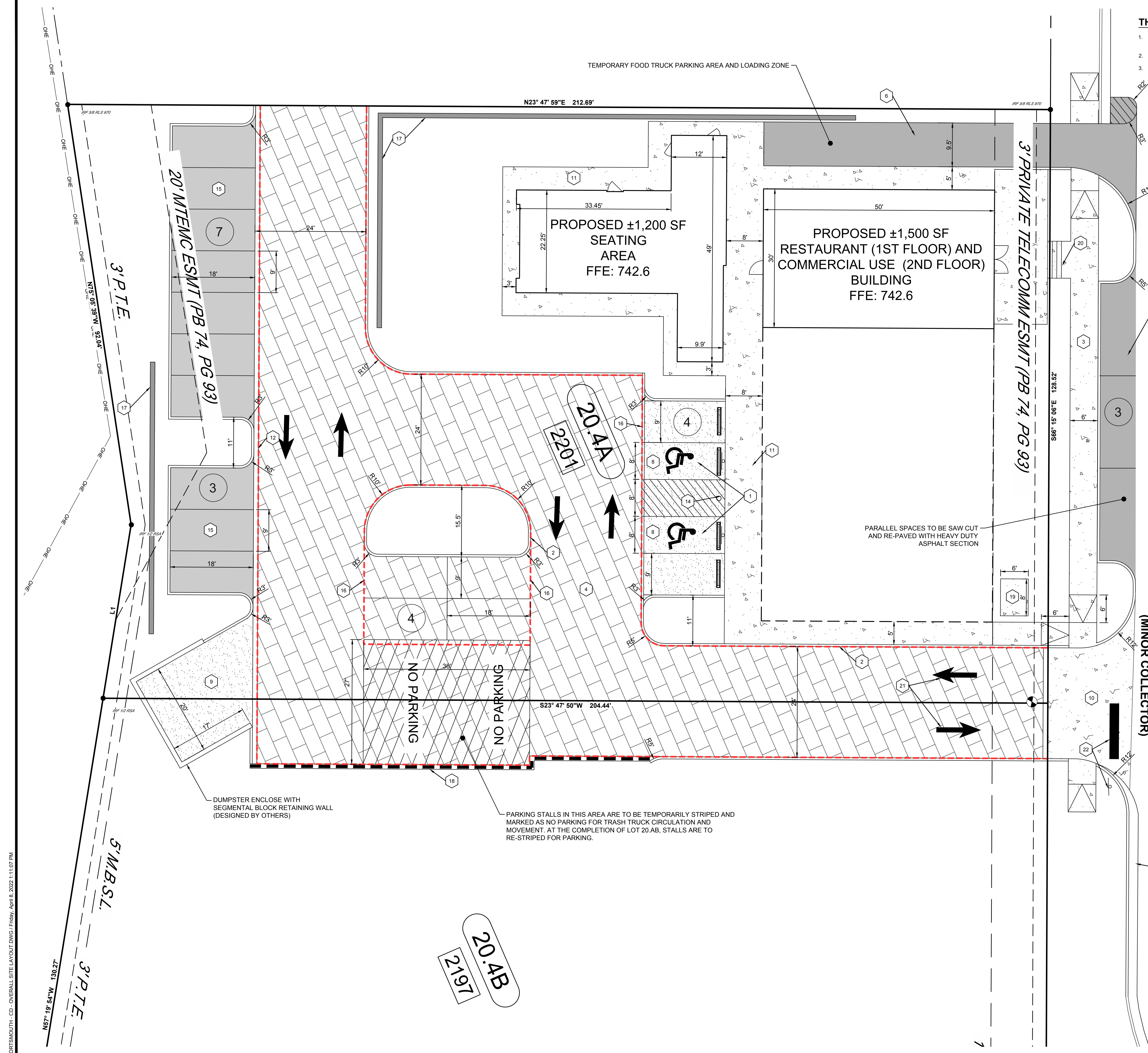


DATE:	MARCH, 2022	DRAWN BY:	BTU
PROJECT NO.:	22-005	CHECKED BY.:	MWB

SHEET NUMBER:
C0.0

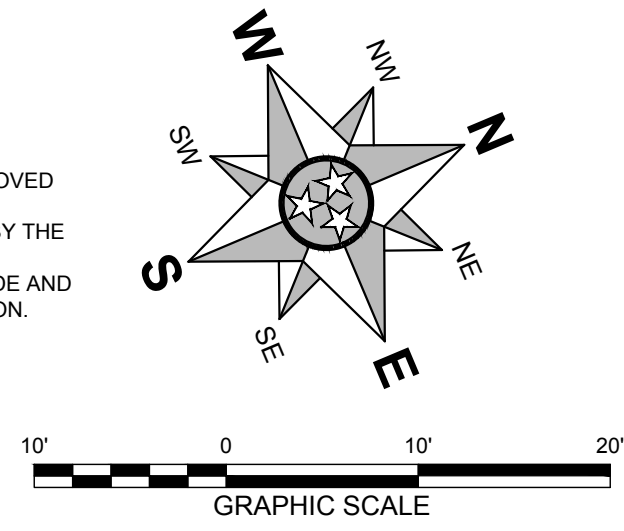


NOTE TO CONTRACTOR:
THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET AND THE WRITTEN PROJECT SPECIFICATIONS. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.



THOMPSON'S STATION NOTES:

1. THIS SITE WILL BE PART OF A UNIFIED DEVELOPMENT WITH COMMON ACCESS, SOLID WASTE, AND SHARED PARKING, PER THE TOWN APPROVED SHARED ACCESS EASEMENT.
2. INSTALLATION OF PUBLIC SIDEWALK IS REQUIRED TO BE INSPECTED BY THE TOWN OF THOMPSON'S STATION.
3. ALL PARALLEL PARKING SPACES SHALL BE PROOF ROLLED, SUB-GRADE AND BASE STONE TO BE INSPECTED BY THE TOWN OF THOMPSON'S STATION.

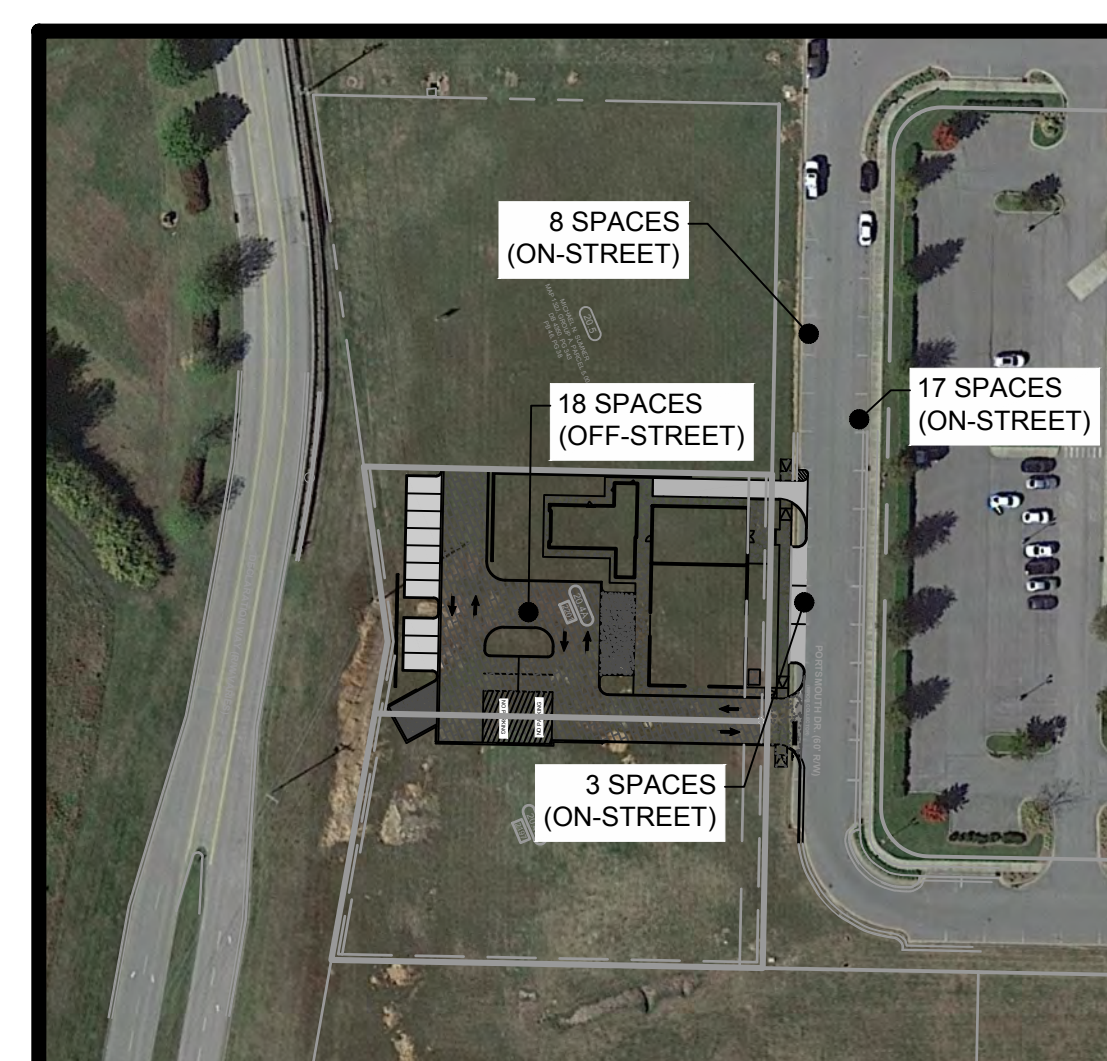


SITE PLAN KEY NOTES

- 1 ADA ACCESSIBLE PARKING LAYOUT AND SIGNAGE
- 2 6" POST CURB (TYP.)
- 3 INTEGRAL CONCRETE CURB AND SIDEWALK
- 4 PERMEABLE PAVERS
- 6 HEAVY-DUTY ASPHALT PAVEMENT SECTION
- 7 CONCRETE CURB TAPER
- 8 ADA PARKING
- 9 SHARED DUMPSTER ENCLOSURE
- 10 ENTRANCE DRIVE (PER THOMPSON'S STATION REQUIREMENTS)
- 11 CONCRETE SIDEWALK
- 12 CONCRETE RIBBON CURB
- 13 LIGHT FIXTURE
- 14 BOLLARD
- 15 LIGHT-DUTY ASPHALT PAVEMENT SECTION
- 16 SHARED ACCESS EASEMENT
- 17 RETAINING WALL WITH RAILING (DESIGNED BY OTHERS)
- 18 TEMPORARY ASPHALT CURB
- 19 BIKE RACK AREA (3 SPACES)
- 20 STAIRS
- 21 DIRECTIONAL ARROWS
- 22 STOP BAR AND STOP SIGN

LAYOUT NOTES:

1. ALL DAMAGE TO EXISTING PAVEMENT TO REMAIN WHICH RESULTS FROM CONTRACTOR'S OPERATIONS SHALL BE REPLACED WITH LIKE MATERIALS AT THE CONTRACTOR'S EXPENSE.
2. SITE DIMENSIONS SHOWN ARE TO FACE OF CURB, EDGE OF PAVEMENT, EDGE OF CONCRETE, OR EDGE OF BUILDING UNLESS OTHERWISE NOTED.
3. COORDINATION WITH ALL UTILITY COMPANIES IS REQUIRED PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL ENSURE THAT ALL MECHANICAL EQUIPMENT IS COMPLETELY SCREENED FROM ALL DIRECTIONS AND OFF SITE VIEWS.
5. THE CHANGE OUT OF ANY EQUIPMENT TO A LARGER DIMENSIONAL HEIGHT OR MOUNTING HEIGHT WILL REQUIRE THAT ADDITIONAL MEASURES BE TAKEN TO MEET TOWN OF THOMPSON'S STATION SCREENING REQUIREMENTS.



PARKING MAP
SCALE: 1" = 100'

EASEMENT LEGEND

- - - - - CROSS ACCESS EASEMENT



REVISION #	DATE	DESCRIPTION
1	04/11/22	PER STAFF COMMENTS

REVISION #	DATE	DESCRIPTION
1	04/11/22	PER STAFF COMMENTS



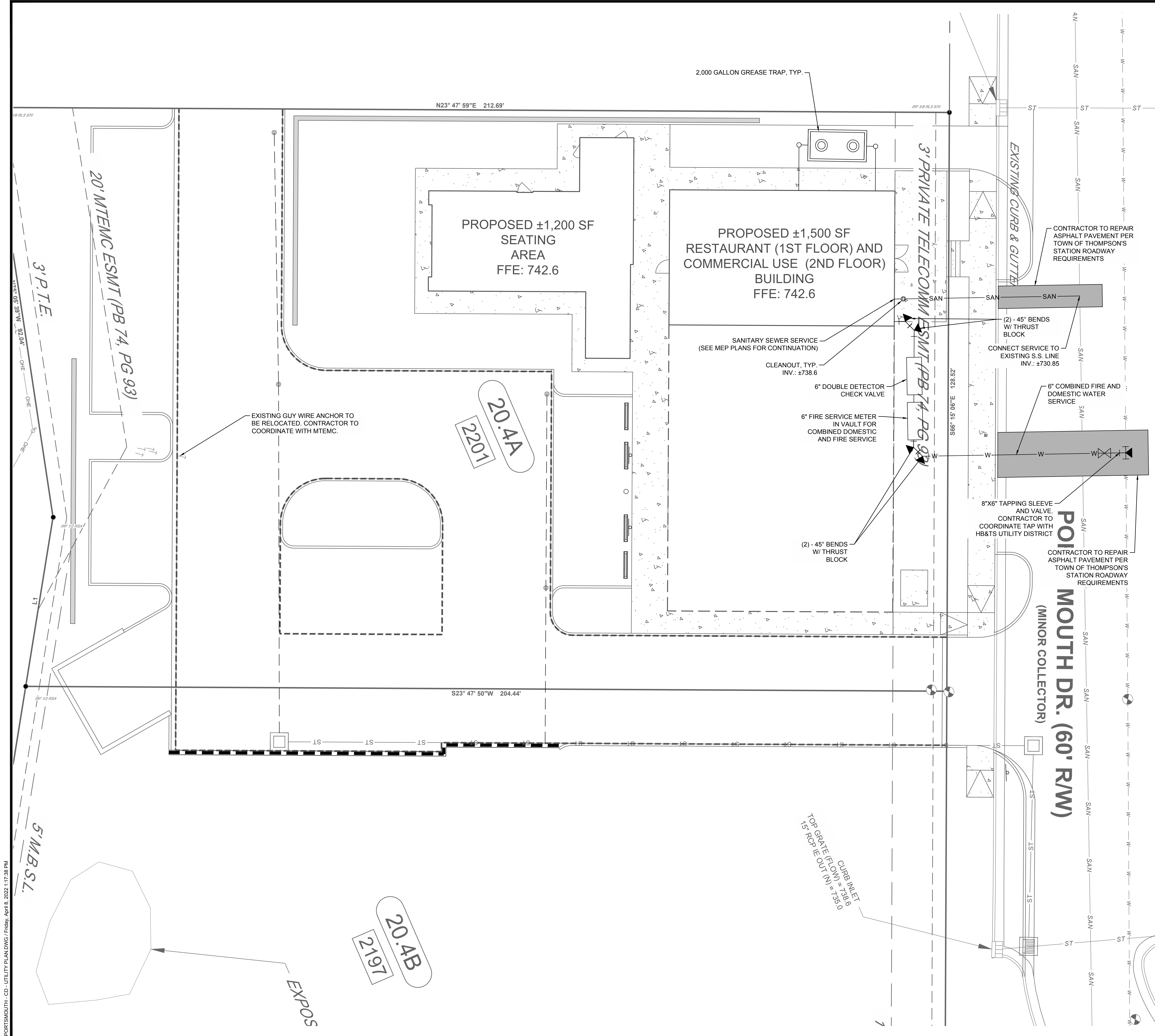
SITE PLANS FOR:
TOLLGATE FOOD HALL
 TOWN OF THOMPSON'S STATION PROJECT # 231549
 2201 PORTSMOUTH DRIVE
 TOWN OF THOMPSON'S STATION
 WILLIAMSON COUNTY, TENNESSEE



DATE:	MARCH, 2022	DRAWN BY:	BTU
PROJECT NO.:	22-005	CHECKED BY:	MWB

SHEET NUMBER:
C2.0

PORTSMOUTH, CD - COVERALL SITE LAYOUT DWG / Friday, April 8, 2022, 1:11:07 PM



NOTES

- ALL PIPES UNDER EXISTING PAVED AREAS SHALL BE BACKFILLED TO TOP OF SUBGRADE WITH CRUSHED STONE UNLESS TOWN OF THOMPSON'S STATION SPECIFICATIONS REQUIRE FLOWABLE FILL.
- WHERE SEWER LINES PASS OVER OR WITHIN 2.5' OF WATER MAINS, THE SEWER SHALL BE ENCASED IN CONCRETE.
- ALL PAVED AREAS SHALL BE CONSTRUCTED TO SUBGRADE AND ALL PROPOSED FILLS SHALL BE MADE AND COMPACTED PRIOR TO CONSTRUCTION OF SANITARY SEWERS.
- PROPOSED SEWER LINES INSTALLED WITHIN NATURAL EARTH MAY BE SDR 35 PVC. PROPOSED SEWER LINES INSTALLED WITHIN FILL MUST BE DUCTILE IRON PIPE.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL HORIZONTAL AND VERTICAL BENDS, JOINTS, AND FITTINGS REQUIRED TO CONSTRUCT UTILITIES.
- THE CONTRACTOR SHALL VERIFY THE EXISTING INVERT ELEVATIONS OF SANITARY SEWERS PRIOR TO CONSTRUCTION.
- A MINIMUM OF 3' OF GROUND COVER SHALL BE MAINTAINED OVER ALL PROPOSED SANITARY SEWER MAINS.
- SEE MECHANICAL AND PLUMBING DRAWINGS FOR EXACT LOCATIONS OF SEWER CONNECTIONS, WATER CONNECTIONS, AND GAS CONNECTIONS. THE UTILITY CONTRACTOR IS TO INSTALL PROPOSED UTILITIES TO WITHIN 5' OF THE BUILDING LINE. A LICENSED SPRINKLER CONTRACTOR MUST INSTALL SPRINKLER SYSTEM PIPING FROM POINT OF SERVICE, IF APPLICABLE.
- ALL UTILITY INSTALLATION IS TO BE DONE IN ACCORDANCE WITH THE LOCAL STANDARDS OR OTHER APPLICABLE CODES.
- GC SHALL REVIEW MTEMC, HB & TS, AND TOWN OF THOMPSON'S STATION SPECIFICATIONS PRIOR TO INITIATING WORK.
- CURRENT SERVICE TO EXISTING STRUCTURES SHALL NOT BE INTERRUPTED WITHOUT ADVANCED WRITTEN PERMISSION FROM THE OWNER.
- TRENCH EXCAVATIONS WITHIN PUBLIC STREETS SHALL BE MILLED AND OVERLAID A MINIMUM OF 50 FEET IN EACH DIRECTION FROM THE TRENCH.

SANITARY SEWER
 THOMPSON'S STATION
 1550 THOMPSON'S STATION ROAD WEST
 THOMPSON'S STATION, TN 37179
 CONTACT: BRANDON HASKINS
 615-794-4333

WATER SERVICE
 HB&TS UTILITY DISTRICT
 505 DOWNS BLVD
 FRANKLIN, TN 37064
 CONTACT: UTILITY INSPECTOR
 615-794-7796

ELECTRIC SERVICE
 MIDDLE TN ELECTRIC MEMBERSHIP CORP.
 2150 EDWARD CURD LANE
 FRANKLIN, TN 37067
 CONTACT: ROGER HEGINBOTTOM
 ROGERH@MTE.COM
 615-595-4675

COMMUNICATION SERVICE
 AT&T
 333 COMMERCE STREET, ROOM 23C10
 NASHVILLE, TN 37201
 CONTACT: JASON ARMES
 JAS744@ATT.COM
 615-585-3878

GAS SERVICE
 ATMOS GAS
 220 NOAH DRIVE
 FRANKLIN, TN 37064
 CONTACT: ERIC COMER
 ERIC.COMER@ATMOSENERGY.COM
 615-477-3166

COMCAST CABLE
 863 MAINSTREAM DRIVE
 NASHVILLE, TN 37228
 CONTACT: RUSTY HOLLOWAY
 RUSSELL_HOLLOWAY@COMCAST.COM
 615-244-7462 x1115471

WATER SERVICE NOTE:
 WATER SERVICE SHOWN FOR GRAPHICAL PURPOSES ONLY. SEE OFFICIAL HB & TS PLANS FOR WATER SERVICE CONNECTION.

UTILITY NOTE:
 WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.

Know what's below.
Call before you dig.

REVISION #	DATE	DESCRIPTION
1	04/11/22	PER STAFF COMMENTS

SITE PLANS FOR:
TOLLGATE FOOD HALL
TOWN OF THOMPSON'S STATION PROJECT # 231249
2201 PORTSMOUTH DRIVE
WILLIAMSON COUNTY, TENNESSEE

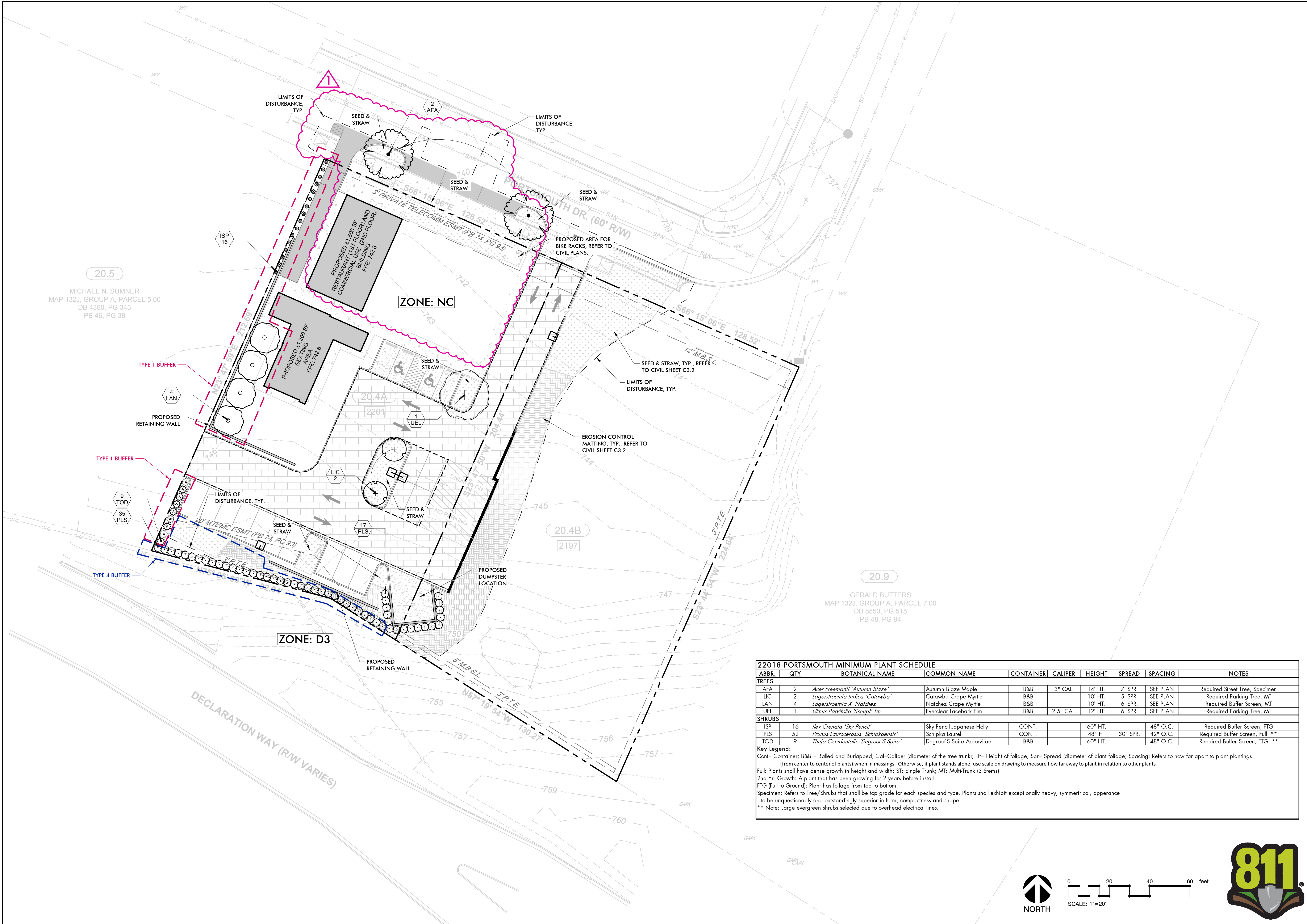
P.O. BOX 848
FRANKLIN, TN 37065
615.406.3415 / WWW.M2GROUP.LLC.COM

DATE: MARCH, 2022	DRAWN BY: MWB
PROJECT NO.: 22-005	CHECKED BY:

SITE UTILITY PLAN

SHEET NUMBER: **C5.0**

PORTSMOUTH, CO - UTILITY PLANNING Friday, April 8, 2022 1:17:28 PM



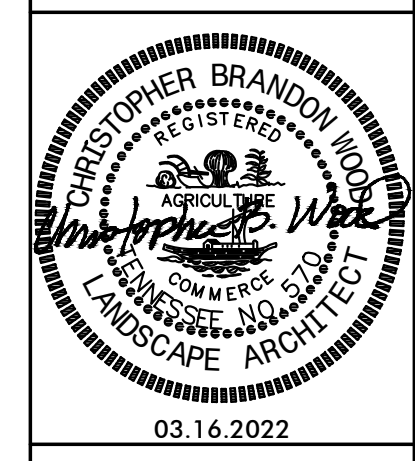
20.5
MICHAEL N. SUMNER
MAP 132J, GROUP A, PARCEL 5.00
DB 4350, PG 343
PB 46, PG 38

20.9
GERALD BUTTERS
MAP 132J, GROUP A, PARCEL 7.00
DB 8550, PG 515
PB 48, PG 94

22018 PORTSMOUTH MINIMUM PLANT SCHEDULE

ABBR.	QTY	BOTANICAL NAME	COMMON NAME	CONTAINER	CALIPER	HEIGHT	SPREAD	SPACING	NOTES
TREES									
AFA	2	<i>Acer Freemanii</i> 'Autumn Blaze'	Autumn Blaze Maple	B&B	3" CAL.	14' HT.	7' SPR.	SEE PLAN	Required Street Tree, Specimen
LIC	2	<i>Lagerstroemia Indica</i> 'Catawba'	Catawba Crape Myrtle	B&B		10' HT.	5' SPR.	SEE PLAN	Required Parking Tree, MT
LAN	4	<i>Lagerstroemia X 'Natchez'</i>	Natchez Crape Myrtle	B&B		10' HT.	6' SPR.	SEE PLAN	Required Buffer Screen, MT
UEL	1	<i>Ulmus Parvifolia</i> 'Bsnup' Tm	Everclear Lacebark Elm	B&B	2.5" CAL.	12' HT.	6' SPR.	SEE PLAN	Required Parking Tree, MT
SHRUBS									
ISP	16	<i>Ilex Crenata</i> 'Sky Pencil'	Sky Pencil Japanese Holly	CONT.		60" HT.		48" O.C.	Required Buffer Screen, FTG
PLS	52	<i>Prunus Laurocerasus</i> 'Schipkaensis'	Schipka Laurel	CONT.		48" HT.	30" SPR.	42" O.C.	Required Buffer Screen, Full **
TOD	9	<i>Thuja Occidentalis</i> 'Degroot'S Spire'	Degroot'S Spire Arborvitae	B&B		60" HT.		48" O.C.	Required Buffer Screen, FTG **

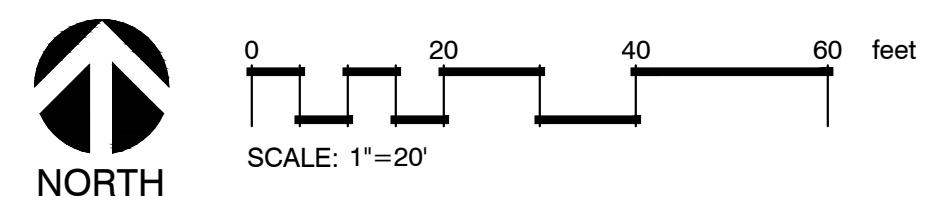
Key Legend:
 Cont= Container; B&B = Balled and Burlapped; Cal=Caliper (diameter of the tree trunk); Ht= Height of foliage; Spr= Spread (diameter of plant foliage; Spacing: Refers to how far apart to plant plantings (from center to center of plants) when in massings. Otherwise, if plant stands alone, use scale on drawing to measure how far away to plant in relation to other plants
 Full: Plants shall have dense growth in height and width; ST: Single Trunk; MT: Multi-Trunk (3 Stems)
 2nd Yr. Growth: A plant that has been growing for 2 years before install
 FTG (Full to Ground): Plant has foliage from top to bottom
 Specimen: Refers to Tree/Shrubs that shall be top grade for each species and type. Plants shall exhibit exceptionally heavy, symmetrical, appearance to be unquestionably and outstandingly superior in form, compactness and shape
 ** Note: Large evergreen shrubs selected due to overhead electrical lines.



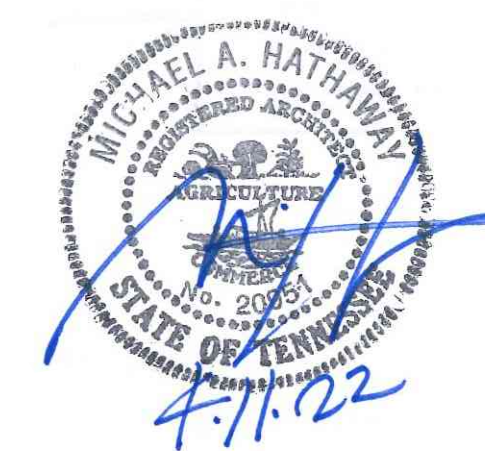
SITE PLANS FOR:
TOLLGATE FOOD HALL
 2201 PORTSMOUTH DRIVE
 TOWN OF THOMPSON STATION
 WILLIAMSON COUNTY, TENNESSEE

NO.	DATE	BY
1	04.11.22	GV

DESIGNED BY: CBW
 DRAWN BY: CBW
 CHECKED BY: CBW
 DATE: 03/16/22



This document, together with the concepts and designs presented herein, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kiser + Vogrin Design, LLC, shall be without liability to Kiser + Vogrin Design, LLC.



2021, 906 STUDIO ARCHITECTS, LLC.
DRAWINGS AND DESIGN CONCEPTS
SHALL NOT BE USED OR REPRODUCED
IN WHOLE OR PART IN ANY FORM
WITHOUT PRIOR WRITTEN CONSENT
OF 906 STUDIO ARCHITECTS, LLC.

NO.	DESCRIPTION	DATE
SITE PLAN SUBMITTAL		3/18/22
REVIEW COMMENTS		4/11/22

Project Number
22.1009
**OVERALL
ELEVATIONS**

EXTERIOR MATERIAL PROPORTIONS

NORTH ELEVATION		
	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	923	N/A
NET AREA OF WALL	672	N/A
NET LAP SIDING	527	79%
DETAILING BELOW WINDOWS/TRIM	145	21%

WEST ELEVATION		
	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2,466	N/A
NET AREA OF WALL	1,929	N/A
NET LAP SIDING	1,175	61%
NET BOARD & BATTEN SIDING	757	39%

HVAC UNITS
HVAC UNITS, COOLING AND/OR MECHANICAL UNITS ARE LOCATED ON THE:
ROOFTOP: TO BE CONCEALED BY PARAPET
GROUND: TO BE CONCEALED BY SCREEN WALL

EXTERIOR GLAZING PERCENTAGES

NORTH ELEVATION			
	SURFACE AREA	GLAZED AREA	GLAZED %
1ST FLOOR	420 SF	210 SF	50 %
2ND FLOOR	340 SF	90 SF	26%

THIS ELEVATION MEETS THE REQUIRED 50% GLAZING REQUIREMENT AT THE FIRST FLOOR AND THE 25% GLAZING REQUIREMENT AT THE SECOND FLOOR.

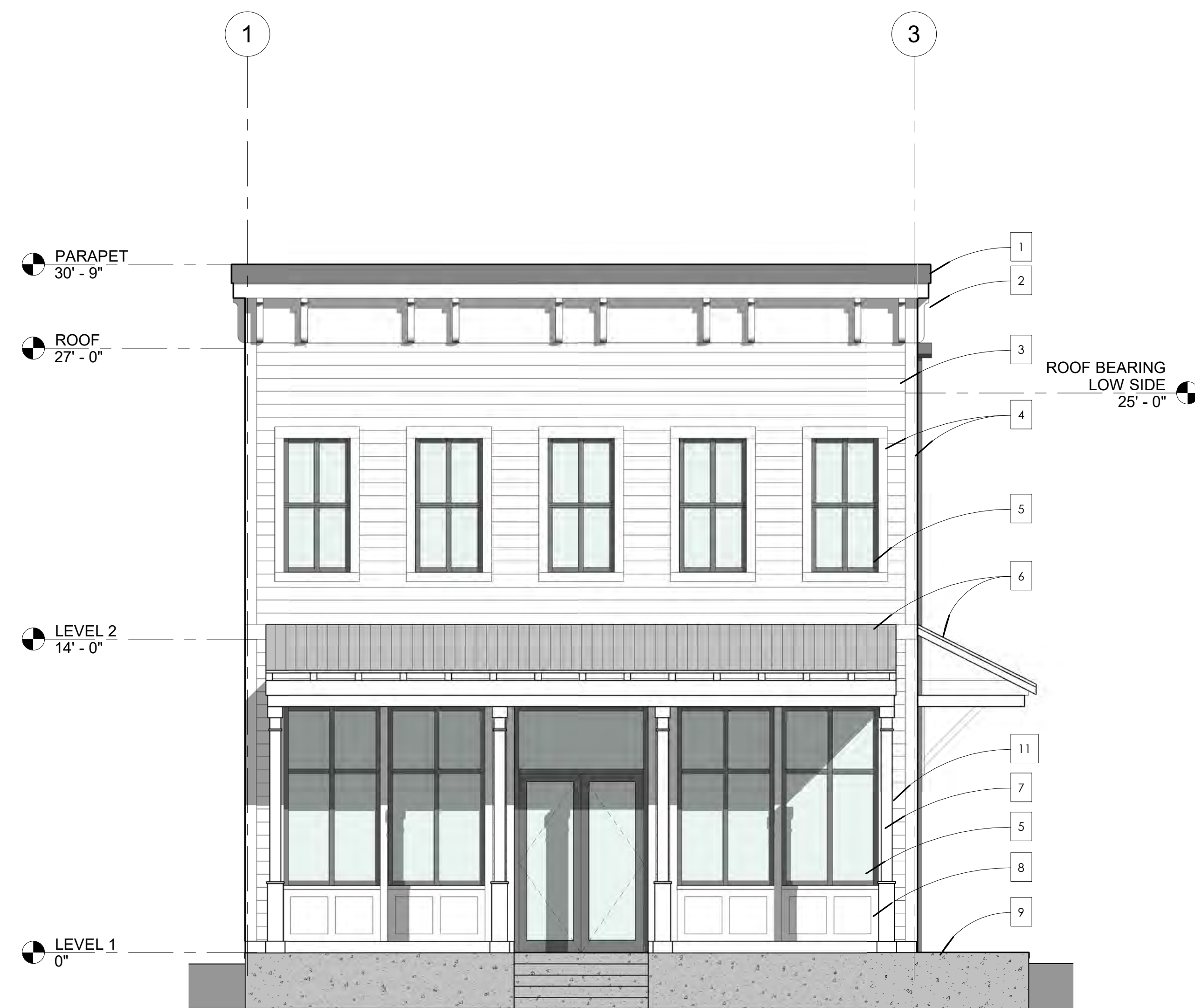
MATERIAL LEGEND

- | | |
|---|---|
| 1 PRE-FINISHED METAL PARAPET COPING | 13 PRE-FINISHED METAL CONDUCTOR HEAD & DOWNSPOUT |
| 2 CORNICE DETAILING | 14 PRE-FINISHED FIBER CEMENT BOARD & BATTEN SIDING |
| 3 PRE-FINISHED FIBER CEMENT LAP SIDING | 15 PRE-FINISHED FIBER CEMENT TRIM |
| 4 5/4 PRE-FINISHED FIBER CEMENT TRIM | 16 SCREEN WALL W/ PRE-FINISHED FIBER CEMENT BOARD & BATTEN SIDING |
| 5 ALUMINUM STOREFRONT WINDOWS | 17 OUTDOOR WALK-IN COOLERS |
| 6 WOOD FRAMED CANOPY W/ METAL ROOF | 18 OVERHEAD GLAZED SECTIONAL DOOR |
| 7 WOOD DECORATIVE COLUMNS | 19 OVERHEAD COILING DOOR |
| 8 ACCENT PANEL | 20 ALUMINUM STOREFRONT |
| 9 CONCRETE PATIO | 21 METAL RAILING |
| 10 NOT USED | 22 DRINK RAIL |
| 11 DECORATIVE EXT. LIGHT FIXTURES, BEYOND | 23 TAP WALL |
| 12 HOLLOW METAL DOOR | 24 MURAL WALL |

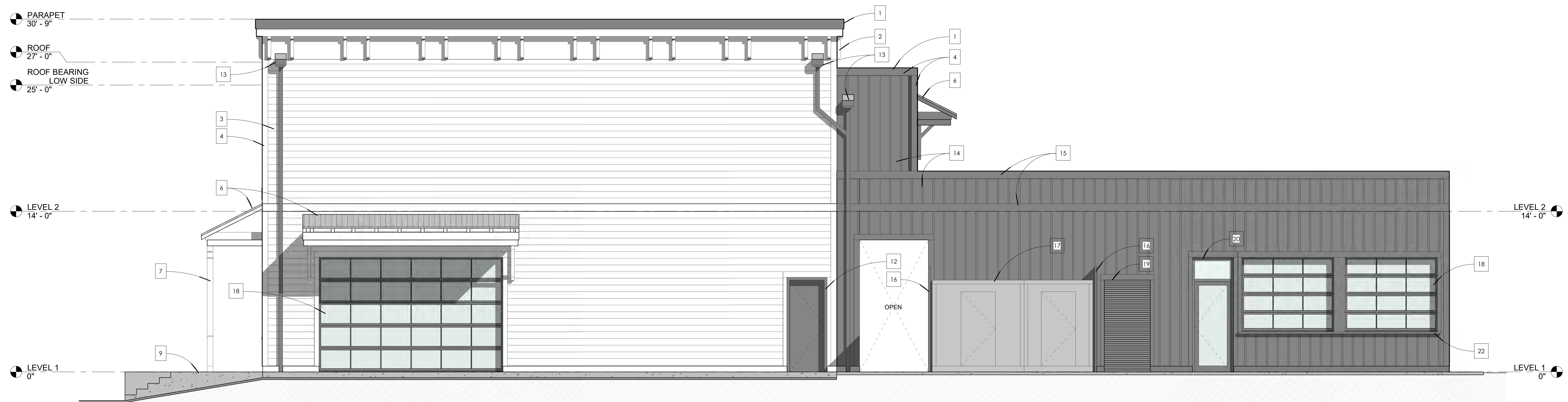
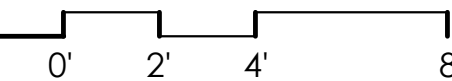
EXTERIOR MATERIALS AND COLORS

MATERIAL	COLOR
FIBER CEMENT LAP SIDING & TRIM	BASIS OF DESIGN: JAMES HARDIE 'ARCTIC WHITE'
FIBER CEMENT BOARD & BATTEN SIDING AND TRIM	BASIS OF DESIGN: JAMES HARDIE 'IRON GRAY'
5V CRIMP METAL ROOFING (CANOPIES)	CHARCOAL GRAY
PARAPET FLASHING	CHARCOAL GRAY

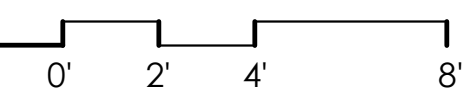
THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE TOWN OF THOMPSON'S STATION'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE DRC/TOWN OF THOMPSON'S STATION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE COMMUNITY DEVELOPMENT DIRECTOR AND/OR THE DRC.



1 NORTH ELEVATION - PORTSMOUTH DR.
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"





EXTERIOR MATERIAL PROPORTIONS

SOUTH ELEVATION		
	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	980	N/A
NET AREA OF WALL	634	N/A
NET LAP SIDING	203	30%
NET BOARD & BATTEN SIDING	456	70%

EAST ELEVATION		
	SURFACE AREA	PERCENT OF NET
GROSS AREA OF WALL	2,426	N/A
NET AREA OF WALL	2,069	N/A
NET LAP SIDING	1,364	66%
NET BOARD & BATTEN SIDING	706	34%

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GROUND: TO BE CONCEALED BY SCREEN WALL

MATERIAL LEGEND

- | | |
|---|---|
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| 3 PRE-FINISHED FIBER CEMENT LAP SIDING | 15 PRE-FINISHED FIBER CEMENT TRIM |
| 4 5/4 PRE-FINISHED FIBER CEMENT TRIM | 16 SCREEN WALL W/ PRE-FINISHED FIBER CEMENT BOARD & BATTEN SIDING |
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EXTERIOR MATERIALS AND COLORS

MATERIAL	COLOR
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5V CRIMP METAL ROOFING (CANOPIES)	CHARCOAL GRAY
PARAPET FLASHING	CHARCOAL GRAY

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2 SOUTH ELEVATION
1/4" = 1'-0"

0' 2' 4' 8'



1 EAST ELEVATION
1/4" = 1'-0"

0' 2' 4' 8'

TOLLGATE FOOD HALL

GROUND, LLC
MATT GONZALES
2201 PORTSMOUTH DR.
THOMPSON STATION, TN



2021, 906 STUDIO ARCHITECTS, LLC.
DRAWINGS AND DESIGN CONCEPTS
SHALL NOT BE USED OR REPRODUCED
IN WHOLE OR PART IN ANY FORM
WITHOUT PRIOR WRITTEN CONSENT
OF 906 STUDIO ARCHITECTS, LLC.

NO.	DESCRIPTION	DATE
SITE PLAN SUBMITTAL		3/18/22
REVIEW COMMENTS		4/11/22

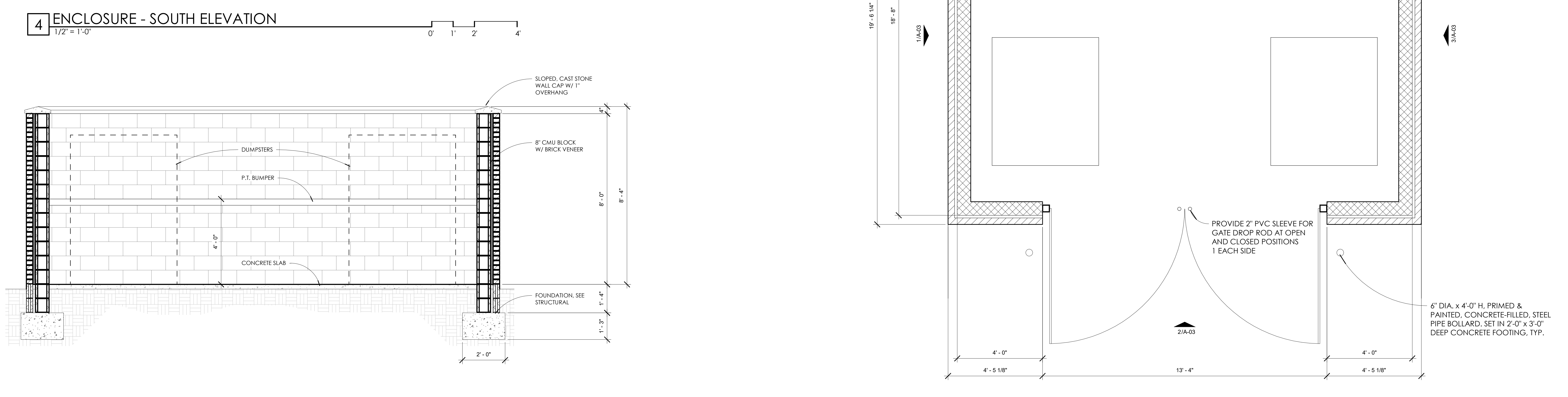
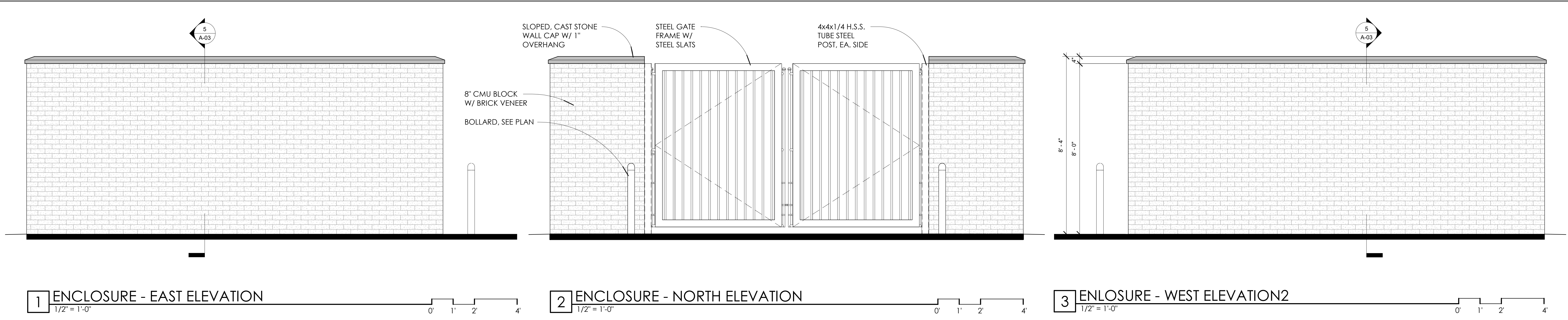
Project Number
22.1009

**OVERALL
ELEVATIONS**

A-02



NO.	DESCRIPTION	DATE
1	SITE PLAN SUBMITTAL	3/18/22
2	REVIEW COMMENTS	4/11/22



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