

**Town of Thompson's Station
Board of Mayor and Aldermen
Meeting Agenda
May 10, 2016**

Meeting Called To Order

Pledge Of Allegiance

Minutes-

Consideration Of Minutes Of The April 12, 2016 Meeting

Documents: [04122016 MINUTES.PDF](#)

Public Comments-

Reports-

BOMA Report

Town Administrator Report

Documents: [BUILDING REPORT _APRIL.PDF](#)

Finance Report

Documents: [TW 1 2016 04 CASH REPORT FOR BOMA.PDF](#), [TW 2 2016 04 GENERAL FUND ACTUAL VS BUDGET.PDF](#), [TW 3 2016 04 GENERAL FUND TREND ANALYSIS.PDF](#), [TW 4 2016 04 WASTEWATER FUND ACTUAL VS BUDGET.PDF](#), [TW 5 2016 04 WASTEWATER FUND TREND ANALYSIS.PDF](#)

Unfinished Business:

1. Public Hearing And Second Reading Of Ordinance 2016-005: Rezone For Two Farms At Thompson's Station

Documents: [TWO FARMS 2ND READING MEMO.PDF](#), [TWO FARMS ORD 2016-005 EXHIBIT A.PDF](#), [TWO FARMS ORDINANCE 2016-005.PDF](#)

2. Public Hearing And Second Reading Of Ordinance 2016-007 - An Ordinance Of The Town Of Thompson's Station, Tennessee Adopting The Annual Budget And Tax Rate For The Fiscal Year Beginning July 1, 2016 And Ending June 30, 2017

Documents: [FY2017 BUDGET MEMO.PDF](#), [TW 9 ORD 2016-007 BUDGET FY2017 - SECOND READING.PDF](#)

3. First Reading Of Ordinance 2016-006 - Concept Plan For Roderick Place

Documents: [RODERICK ILLUSTRATIVE CONCEPT PLAN.PDF](#), [RODERICK LETTER DATED 5-2-2016.PDF](#), [RODERICK MEMO FIRST READING CONCEPT PLAN.PDF](#), [RODERICK PATTERN BOOK.PDF](#), [RODERICK CONCEPT PLAN.PDF](#), [RODERICK PLACE ORDINANCE 2016-006.PDF](#)

4. Resolution 2016-005 – A Resolution Of The Board Of Mayor And Aldermen Of The Town Of Thompson’s Station, Tennessee To Approve A Utility Relocation Agreement With The State Of Tennessee Departement Of Transportation Related To The SIA Road Serving Mars Petcare And To Authorize The Mayor To Execute Said Agreement

Documents: [UTILITY RELOCATION CONTRACT MEMO.PDF](#), [RESOLUTION 2016 005 TDOT MARS SIA UTILITY RELOCATION.PDF](#)

A. Resolution 2016-006 – A Resolution Of The Board Of Mayor And Aldermen Of The Town Of Thompson’s Station, Tennessee To Approve An Agreement With Kimley-Horn And Associates, Inc. For Professional Services Related To The Wastewater Line Relocation And Upgrade Along Highway 31 As A Part Of The TDOT Project For Mars Petcare

Documents: [RESOLUTION 2016 006 KIMLEY HORN WASTEWATER.PDF](#)

B. Resolution 2016-007 – A Resolution Of The Board Of Mayor And Aldermen Of The Town Of Thompson’s Station, Tennessee To Approve A Deposit And Reimbursement Agreement With C&L Development LLC For The Installation Of A New Wastewater Force Main And To Authorize The Mayor To Execute Said Agreement

Documents: [RESOLUTION 2016 007 CANDL DEVELOPMENT DEPOSIT REIMBURSEMENT.PDF](#)

New Business:

5. First Reading Of Ordinance 2016-008 - Rezone For Pleasant Creek Located Along The West Side Lewisburg Pike From D1 Low Intensity Residential To TC Transect Community (File: Zone Amend 2016-003)

Documents: [PLEASANTCREEK ORD 2016-008 EXHIBITA.PDF](#), [PLEASANT CREEK 1ST READING STAFF REPORT.DOCX.PDF](#), [PLEASANT CREEK ORDINANCE 2016-008.PDF](#), [PLEASANT CREEK REZONE MAP.PDF](#)

6. Wastewater Request - Pleasant Creek

Documents: [PLEASANT CREEK WASTEWATER REQUEST.PDF](#)

7. First Reading Of Ordinance 2016-010 – An Ordinance Of The Town Of Thompson’s Station, TN Which Amends The Annual Budget Which Begins July 1, 2015 And Ends June 30, 2016.

Documents: [TW 6 ORD 2016-010 BUDGET FY2016 REVISION - FIRST READING.PDF](#), [TW 7 ORD 2016-010 GENERAL FUND DETAIL.PDF](#), [TW 8 ORD 2016-010 WASTEWATER FUND DETAIL.PDF](#)

8. Resolution 2016-009 - A Resolution Of The Board Of Mayor And Aldermen Of The Town Of Thompson’s Station, TN To Award Bid And Approve A Contract With K.W. Langford Excavating For The Construction Of Phase I Of The Town’s Greenway And To Authorize The Mayor To Execute Said Agreement

Documents: [RESOLUTION 2016-009 GREENWAY PHASE I.PDF](#), [GREENWAY TRAIL PHASE 1 CONTRACT PROPOSAL.PDF](#)

Adjourn

*This meeting will be held at 7:00 p.m. at Thompson's Station Community Center
1555 Thompson's Station Road West*

Town of Thompson's Station
Board of Mayor and Aldermen
Minutes of the Meeting
April 12, 2016

Call to Order.

The meeting of the Board of Mayor and Aldermen of the Town of Thompson's Station was called to order at 7:00 p.m. on Tuesday, April 12, 2016 with the required quorum. Members and staff in attendance were: Mayor Corey Napier; Alderman Brinton Davis; Alderman Sarah Benson; Alderman Graham Shepard; Alderman Brandon Bell; Town Administrator Joe Cosentini; Town Planner Wendy Deats; Town Finance Director Tammy Womack; Town Attorney Todd Moore and Town Clerk Jennifer Jones.

Pledge of Allegiance.

Consideration of Minutes. The minutes of the March 8th, 2016 Regular Meeting were submitted.

Alderman Davis moved to accept the revised minutes of the March 8th, 2016 Regular Meeting. The motion was seconded and carried unanimously.

Sip and Savor Event – Cayce Williams, an Alderman in the City of Spring Hill and member of the Spring Hill/Thompson's Station Rotary Club, came forward to speak on behalf of the Rotary Club fundraiser, Sip and Savor At The Station, requesting permission to close roads for the event scheduled Saturday, June 18th, 2016.

Alderman Davis made a motion that the Board approve a road closure for Sip and Savor At The Station on June 18th, 2016. The motion was seconded and carried unanimously.

Public Comments:

***Note – All public comments in this section are with regard to Two Farms**

Development.

Naomi Judd – Leipers Fork – Concerns regarding traffic, emergency vehicles, schools and infrastructure.

Rachel McCampbell – 4119 Hillsboro Rd. - Concerns regarding wildlife, environment and protecting the land.

Pam Lewis – 4801 Columbia Ave. – Concerns about the “bigger” picture. Referred to letters send to BOMA members via email. Open space concerns.

Jay Cornay - 4068 Carters Creek Pk. – Concerns regarding eminent domain, architectural integrity, and zoning.

Commissioner Kaestner -9th district commissioner in Franklin – Concerns regarding development, tax burdens, and TDOT funding for roads.

Roxanne Camel – 3045 Carters Creek Pk. – Concerns about preserving the character of the country.

Pat Thomas – 7491 Caney Fork Rd. – Concerns about planning process. Against development.

Tom Mason – 1388 Hunter Rd. – Concerns with UGB, inadequate roads, and is against land use plan.

Sherri Clark – 601 Janice Ct., 9th District Franklin Commissioner – Concerns regarding infrastructure, environment. Voiced opposition to development.

Charlie Lingo – 1420 Coleman – Concerns about protecting the people surrounding the land.

Irene Ludwig – 3215 Kinnard Springs Rd. – Concerns regarding traffic.

Michelle Alcott – Blazer Rd. – Concerns about not having enough information regarding Two Farms development.

Jimmy Deason – 1319 King Lane – Concerns with traffic, schools, and apartments.

Patty Adams – 1747 Cayce Springs Rd. – Concerns with traffic and development. Would like to see the development pause.

George Adams – 1747 Cayce Springs Rd. – Density concerns. Would like larger parcels within development.

Kim Peterson – 3448 Colebrook Dr. – Is for the Two Farms development. Went to charrettes meetings and feels this is what Thompson's Station needs as far as a developer.

Mr. Nichols – Refuge Trail – Concerns about what Thompson's Station gets out of the development.

BOMA Reports.

Alderman Shepard passed out a one page document regarding a FCC rule and wants it put on May agenda. Wants Mr. Cosentini to elaborate on how the street maintenance turnover to the Town takes place on next month's agenda as well. Alderman Shepard also wants to know who the internet provider will be for the K -8 proposed school. Alderman Shepard clarified that the school board would not be paying for any road improvements, nor widening, only turn lanes per the Planning Commission meeting on March 22, 2016

Town Administrator's Report

Mr. Cosentini reviewed his report and requests that Board approve equipment/vehicle purchases that would be made through the State of Tennessee Statewide Purchasing contract.

After discussion, Alderman Bell made a motion to approve the purchase of a Light Duty Dump Truck, a Work Truck 4x4, a Bobcat Trackhoe, and a Bobcat Skid Loader to the total of \$193,000. The motion was seconded and approved unanimously.

Mr. Cosentini updated the Board on the SIA project and stated that the project would be delayed to June. Also, the Trail Project has a new bid opening on May 2nd and the Town anticipates that project to move forward as planned this summer

Finance Report

Mrs. Womack reviewed the financial report. The Town had some cash movement through the month.

Unfinished Business:

- 1. Public Hearing and Second Reading of Ordinance 2016-003: An Ordinance of the Town of Thompson's Station, Tennessee to amend the Town's zoning map by rezoning approximately 20 acres located at 4658 Columbia Pike (County Tax Map 146, Parcel 016.07) and owned by MBSC Columbia Pike, LLC from Specific Plan (SP) to D-3 (High Intensity Residential).**

Mr. Cosetini reviewed the Staff report and recommended approval as presented.

Public Comment:

Pam Lewis – 4801 Columbia Pk., Franklin – Concerns about setbacks and road widening.

Pat Springer – 1723 Old Thompson's Station Rd. – Concerns about culvert.

After a brief discussion, Alderman Bell made a motion to approve the Second Reading of Ordinance 2016-003: An Ordinance of the Town of Thompson's Station, Tennessee to amend the Town's zoning map by rezoning approximately 20 acres located at 4658 Columbia Pike (County Tax Map 146, Parcel 016.07) and owned by MBSC Columbia Pike, LLC from Specific Plan (SP) to D-3 (High Intensity Residential).

The motion was seconded and carried by vote of 4 to 1 with Alderman Shepard casting the opposing vote due to the fact that it does not follow the growth without regret principal.

- 2. Public Hearing and Second Reading of Ordinance 2016-004: An Ordinance of the Board of Mayor and Aldermen of the Town of Thompson's Station to amend the Land Development Ordinance.**

Mr. Cosentini reviewed the Staff report and recommended approval to adopt Ordinance 2016-004 to amend the Land Development Ordinance, but sending Table 4.1 (Land Use and Building Type), back to the Planning Commission for review.

Alderman Bell recommended revising the verbiage to Section 4.17.6 to enumerate the Planning Commission extension timeline.

After a brief discussion, Alderman Davis move to approve the Second Reading of Ordinance 2016-003: On Ordinance of the Town of Thompson's Station to amend the Land Development Ordinance with new verbiage in Table 4.1 and Section 4.17.6 and to refer Table 4.1 back to the Planning Commission

The Motion was seconded and carried unanimously.

New Business:

- 1. First Reading of Ordinance 2016-005: An Ordinance of the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee to amend the Town's Zoning Map by zoning newly annexed territory (Map 119, Parcel 1.00; and Map 131, Parcel 11.03) as Transect Community (TC) as shown on the attached map.**

Mrs. Deats reviewed her Staff report and recommended that the Board of Mayor and Alderman adopt Ordinance 2016-115.

Mr. Beau Welling and Mr. Dan Ford with Beau Welling Design came forward to speak on behalf of the applicant.

Alderman Shepard posed several questions regarding the development to which Mr. Welling and Mr. Ford provided answers.

Alderman Shepard also requested that garden style apartments not be allowed within the Two Farms subdivision. Mr. Welling and Mr. Ford assured Alderman Shepard that this type of apartment would not be built.

After discussion, Alderman Davis made a motion to approve Ordinance 2016-005, an Ordinance of the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee to amend the Town's Zoning Map by zoning newly annexed territory (Map 199, Parcel 1.00; and Map 131, Parcel 11.03) as Transect Community (TC) as shown on the attached map with the following conditions:

- 1. A trail network is provided to any public trail system that the Town builds.**
- 2. An appropriate public school site is identified.**
- 3. A public safety building be identified and built.**
- 4. Any public wastewater site is 1000 feet from an existing residential structure.**
- 5. All necessary off-site improvements be borne by the developer.**

The motion was seconded and carried unanimously.

Mayor Napier provided a brief break at 9:10 and the Board resumed at 9:20

- 2. First Reading of Ordinance 2016-006: An Ordinance of the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee to approve a revised concept plan for the Roderick Place Development (CP 2016-003) for 87 residential lots, 56 detached rental suites and 127,606 square feet of commercial uses located at 4626 Columbia Pike and 4624 Columbia Pike.**

Mrs. Deats reviewed her staff report and the Planning Commission recommends to the Board of Mayor and Aldermen adopt the amendment to the specific plan zone for the development of 87 single-family lots, 56 rental guest suites and 127,606 square feet of commercial uses in accordance with the concept plan and pattern book.

Jeff Rosiak with Kiser came forward to speak on behalf of the applicant and answer any questions.

After discussion, Alderman Shepard made a motion to approve Ordinance 2016-006, An Ordinance of the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee to approve a revised concept plan for the Roderick Place Development (CP 2016-003) for 87 residential lots, 56 detached rental suites and 127,606 square feet of commercial uses located at 4626 and 4624 Columbia Pike

The motion was seconded and failed by a vote of 3 -2 with Alderman Benson and Alderman Shepard voting for and Alderman Bell, Alderman Davis and Mayor Napier voting against.

3. Resolution 2016-05- A resolution of the Board of Mayor and Aldermen of the Town of Thompson's Station Tennessee to approve a Utility Relocation Agreement with the State of Tennessee Department of Transportation related to the ISA Road Serving MARS Petcare and to Authorize the Mayor to Execute said Agreement.

a. Resolution 2016-006 – A Resolution of the Board of Mayor and Alderman of the Town of Thompson's Station, Tennessee to approve an agreement with Kimley-Horn and Associates, Inc. for professional services related to the Wastewater Lin Relocation and upgrade along Highway 31 as a part of the TDOT Project for MARS Healthcare.

b. Resolution 2016-007- A Resolution of the Board of Mayor and Alderman of the Town of Thompson's Station, Tennessee to approve a deposit and reimbursement agreement with C&L Development LLC for the Installation of a new wastewater force main and to authorize to the Mayor to Execute said agreement.

Mr. Cosentini stated that the resolutions above are no longer necessary without the passing of Ordinance 2016-006 and recommended to defer indefinitely.

Alderman Davis made a motion to defer Resolutions 2016-05, 2016-06 and 2016-07 indefinitely. The motion was seconded and carried unanimously.

4. First Reading of Ordinance 2016-007 – An Ordinance of the Town of Thompson's Station, Tennessee adopting the Annual Budget and Tax Rate for the Fiscal Year beginning July 1, 2016 and ending June 30, 2017.

Mr. Cosentini reviewed his Staff report and recommended approval.

After a brief discussion, Alderman Bell made a motion to approve Ordinance 2016-007, an Ordinance of the Town of Thompson's Station, Tennessee adopting the Annual Budget and Tax Rate for the Fiscal Year beginning July 1, 2016 and ending June 30, 2017.

The motion was seconded and carried unanimously.

- 5. Resolution 2016-08 – A Resolution of the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee to approve a Lease with the Tennessee Equine Hospital PLLC and to authorize the Mayor to execute said agreement.**

Mr. Cosentini reviewed his Staff report and recommended approval to the Board of Mayor and Aldermen.

After a brief discussion, Alderman Bell made a motion to approve Resolution 2016-08, a Resolution of the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee to approve a Lease with the Tennessee Equine Hospital PLLC and to authorize the Mayor to execute said agreement.

The motion was seconded and carried unanimously.

Adjourn

There being no further business, the meeting was adjourned at 10:05 p.m.

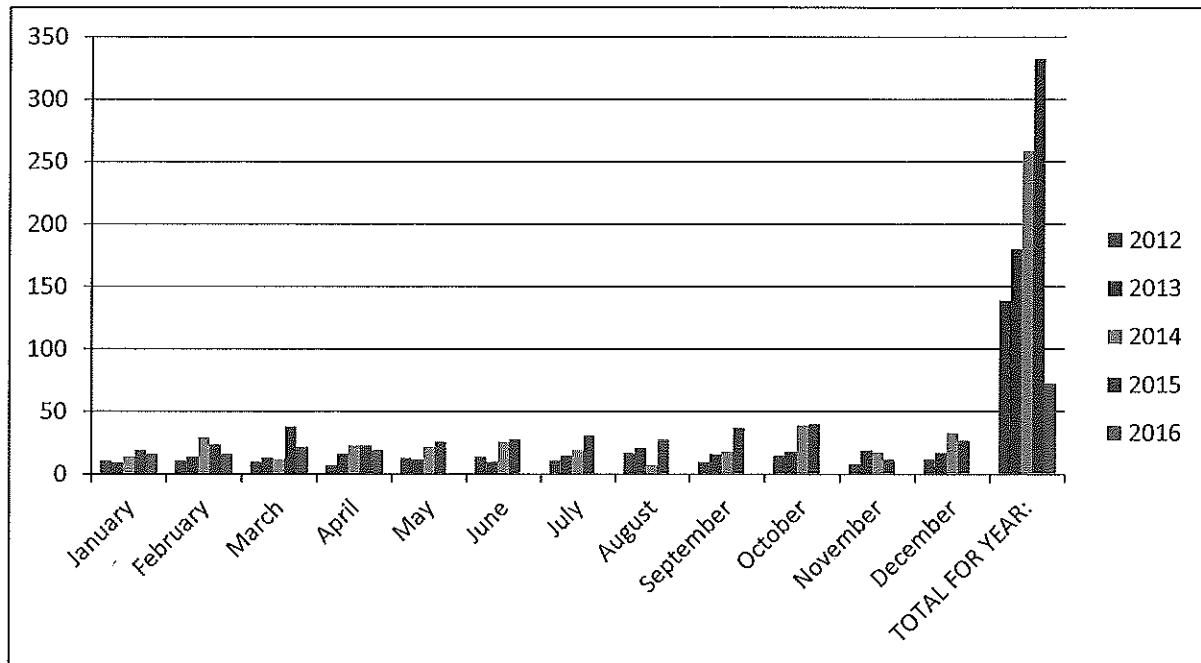
Corey Napier, Mayor

Jennifer Jones, Town Recorder

New Residential Permits Issued 2012-2016

Monthly Comparison

	<u>2012</u>	<u>2013</u>	<u>2014</u>	<u>2015</u>	<u>2016</u>
January	11	9	14	19	16
February	11	14	29	24	16
March	10	13	12	38	22
April	7	16	23	23	19
May	13	12	22	26	
June	14	10	26	28	
July	11	15	19	31	
August	17	21	7	28	
September	10	16	18	37	
October	15	18	39	40	
November	8	19	17	12	
December	12	17	33	27	
TOTAL FOR YEAR:	<u>139</u>	<u>180</u>	<u>259</u>	<u>333</u>	<u>73</u>



Permit #	Issue Date	Issued To	Type Res./	New/Acc.	Sq Ft	Lot #	Subdivision	Address
1399	4/1/2016	Encore Construction, LLC	SFR RES	NEW	3,776	LOT 57	Tollgate	3420 Colebrook Dr.
1400	4/1/2016	Willow Branch Partners	TWN RES	NEW	2,001	LOT 922	Canterbury	1661 Hampshire Place
1401	4/1/2016	Willow Branch Partners	TWN RES	NEW	2,248	LOT 919	Canterbury	1673 Hampshire Place
1402	4/1/2016	Willow Branch Partners	TWN RES	NEW	2,001	LOT 920	Canterbury	1669 Hampshire Place
1403	4/1/2016	Willow Branch Partners	TWN RES	NEW	2,028	LOT 921	Canterbury	1665 Hampshire Place
1404	4/1/2016	Willow Branch Partners	TWN RES	NEW	2,248	LOT 923	Canterbury	1657 Hampshire Place
1405	4/6/2016	Goodall Homes	SFR RES	NEW	2,913	LOT 412	Canterbury	2356 Stockwood Trail
1406	4/11/2016	Lennar Homes	SFR RES	NEW	3,525	LOT 1459	Tollgate	2801 Americus Dr.
1407	4/6/2016	Jones Company	SFR RES	NEW	3,464	LOT 740	Canterbury	2120 Ravenscourt Dr.
1408	4/7/2016	Willow Branch Partners	SFR RES	NEW	4,393	LOT 834	Canterbury	2664 Paddock Park Place
1409	4/18/2016	The Jones Company	SFR RES	NEW	2,803	LOT 766	Canterbury	2105 English Garden Way
1410	4/18/2016	Celebration Homes	SFR RES	NEW	3,320	LOT 304	Canterbury	2112 Chaucer Park Ln
1411	4/18/2016	The Jones Company	SFR RES	NEW	3,286	LOT 515	Canterbury	2400 Redwood Trail
1412	4/19/2016	Willow Branch Partners	SFR RES	NEW	3,669	LOT 1021	Canterbury	2672 Dunstan Place Dr.
1413	4/19/2016	Lennar Homes	SFR RES	NEW	3,625	LOT 1469	Tollgate	2853 Americus Dr
1414	4/19/2016	The Jones Company	SFR RES	NEW	3,884	LOT 721	Canterbury	2136 English Garden Way
1415	4/20/2016	Lennar Homes	SFR RES	NEW	3,866	LOT 4014	Bridgemore	3635 Martins Mill Rd
1416	4/25/2016	The Jones Company	SFR RES	NEW	3,159	LOT 712	Canterbury	2522 Tapestry St.
1417	4/25/2016	The Jones Company	SFR RES	NEW	3,152	LOT 767	Canterbury	2516 Tapestry St.

April 2016 Building Inspections - Inspections vs. Failed Inspections

<u>Date</u>	<u>Total Inspections</u>	<u>Total Failed</u>	<u>Fail Rate</u>	<u>Inspections that Failed:</u>
4/1/2016	20	4	20%	final, frame, pri
4/4/2016	15	7	47%	frame (x4), pri, insulation
4/5/2016	14	7	50%	PRI, insulation, slab, water/sewer, frame, final, lentil
4/6/2016	17	5	29%	insulation, final, footer, load point, lentil
4/7/2016	17	5	29%	frame (x2), final (x3)
4/8/2016	15	3	20%	insulation (x2), slab
4/11/2016	14	2	14%	frame, sewer/water
4/12/2016	15	5	33%	frame (x4), insulation
4/13/2016	10	3	30%	HVAC (x2), frame
4/14/2016	18	8	44%	final, PRI, frame (x2), hvac, lentil, gas (x2)
4/15/2016	32	8	25%	gas (x2), lentil (x2), final (x2), water/sewer (x2)
4/18/2016	22	6	27%	frame (x4), gas, slab
4/19/2016	16	6	38%	footer (x2), insulation, frame (x2), gas
4/20/2016	17	6	35%	final (x3), load point (x2) HVAC ⁹
4/21/2016	17	6	35%	footer (x2), final (x2) frame, loadpoints
4/22/2016	18	3	17%	HVAC/mech (x3)
4/25/2016	11	4	5%	frame (x2), slab, water/sewer
4/26/2016	18	4	22%	final, frame (x2) water/sewer
4/27/2016	13	3	23%	final, PRI, gas
4/28/2016	10	0	0%	
4/29/2016	14	3	21%	insulation, PRI, final
TOTAL for April	294	80	27%	
Average/Day	14	4	26%	



Town of Thompson's Station
Cash Balance Report
As of April 30, 2016

	Feb-16	Mar-16	Apr-16
General Fund:			
Checking Account	\$ 829,883	\$ 241,356	\$ 278,348
Money Market Investment Accounts	5,665,184	5,766,486	5,867,107
	Total General Fund Cash		
	\$ 6,495,067	\$ 6,007,842	\$ 6,145,456
Less: Developer Cash Bonds Held	(474,800)	(474,800)	(474,800)
Less: County Privilege Tax Held	(116,022)	(123,854)	(104,148)
Less: County Mixed Drink Tax Payable	(461)	(467)	(978)
Less: FY16 Capital Projects			
Greenway Trail	(829,078)	(825,302)	(824,891)
Mars PetCare SIA (State Industrial Access)	(280,000)	(100)	(100)
Parks	(100,000)	(100,000)	(100,000)
Community Center Design	(18,500)	(12,200)	(12,200)
Town Center	(350,000)	(350,000)	(350,000)
Critz Lane Design	(48,850)	(47,125)	(47,125)
Miscellaneous	(22,587)	(22,587)	(22,587)
	Cash Available - General Fund		
	\$ 4,254,769	\$ 4,051,407	\$ 4,208,626
Wastewater Fund:			
Checking Account	\$ 236,558	\$ 167,179	\$ 140,562
Money Market Investment Accounts	1,143,163	1,643,332	1,693,550
	Total Wastewater Fund Cash		
	\$ 1,379,722	\$ 1,810,511	\$ 1,834,112
	Cash Available - Wastewater Fund		
	\$ 1,379,722	\$ 1,810,511	\$ 1,834,112
	Total Cash Available		
	\$ 5,634,490	\$ 5,861,918	\$ 6,042,738



Town of Thompson's Station
General Fund Income and Expense Analysis
As of April 30, 2016

Year to Date
Actual versus Budget

	Year to Date (83%)				Comment
	Mar-16	Apr-16	Budget	% of Budget	
Income					
31111 · Real Property Tax Revenue	159,181	161,921	125,000	130%	
31310 · Interest & Penalty Revenue	119	119	-	100%	
31610 · Local Sales Tax - Trustee	547,153	610,673	600,000	102%	
31710 · Wholesale Beer Tax	75,946	83,612	95,000	88%	
31810 · City Portion of County Priv Tax	29,198	33,735	30,000	112%	
31900 · CATV Franchise Fee Income	10,317	10,317	12,000	86%	
32000 · Beer Permits	700	700	500	140%	
32200 · Building Permits	414,374	449,450	450,000	100%	
32230 · Submittal & Review Fees	107,241	119,987	30,000	400%	
32245 · Miscellaneous Fees	110	145	500	29%	
32260 · Business Tax Revenue	13,215	16,883	81,000	21%	
32300 · Impact Fees	621,997	674,071	650,000	104%	
33320 · TVA Payments in Lieu of Taxes	18,584	26,450	29,000	91%	
33510 · Local Sales Tax - State	158,814	175,508	170,000	103%	
33520 · State Income Tax	-	-	100,000	0%	
33530 · State Beer Tax	698	1,309	1,100	119%	
33535 · Mixed Drink Tax	4,581	5,093	4,000	127%	
33552 · State Streets & Trans. Revenue	4,092	4,547	5,500	83%	
33553 · SSA - Motor Fuel Tax	38,117	41,670	48,000	87%	
33554 · SSA - 1989 Gas Tax	6,143	6,698	7,700	87%	
33555 · SSA - 3 Cent Gas Tax	11,401	12,431	14,300	87%	
33725 · Greenways & Trails Grant	-	-	599,000	0%	
36120 · Interest Earned - Invest. Accts	6,910	7,532	7,500	100%	
36130 · Interest Income-Interfund Loan	11,667	11,667	12,000	97%	
37746 · Pavilion & Comm. Ctr. Rental	9,977	12,377	9,000	138%	
37747 · Pavilion Comm. Ctr Dep Refund	(5,350)	(5,550)	-	100%	
37990 · Other Revenue	2,454	3,231	-	100%	
37999 · Loan Repayment From W/W Fund	388,889	388,889	385,000	101%	
39999 · Budgeted Fund Balance - GF	-	-	193,200	0%	
Total Income	2,636,528	2,853,465	3,659,300		
Expense					
41110 · Payroll Expense	373,466	418,333	578,000	72%	
41141 · Payroll Taxes - FICA	23,102	25,874	29,000	89%	
41142 · Payroll Taxes - Medicare	5,403	6,051	8,000	76%	
41147 · Payroll Taxes - SUTA	3,312	3,550	3,500	101%	
41161 · Board Member Expenses	651	651	1,000	65%	
41211 · Postage, Freight & Express Chgs	3,951	4,439	5,500	81%	
41221 · Printing, Forms & Photocopy Exp	4,132	4,510	6,000	75%	
41230 · Recording & Filing Fees	152	152	1,000	15%	
41231 · Publication of Legal Notices	1,804	2,320	3,000	77%	
41235 · Memberships & Subscriptions	3,288	3,302	6,000	55%	
41241 · Utilities - Electricity	8,420	9,278	12,000	77%	
41242 · Utilities - Water	1,213	1,391	2,300	60%	
41244 · Utilities - Gas	945	1,055	2,000	53%	
41245 · Telecommunications Expense	2,728	3,028	4,500	67%	
41252 · Prof. Fees - Legal Fees	91,662	103,645	120,000	86%	
41253 · Prof. Fees - Auditor	13,000	13,000	13,000	100%	
41254 · Prof. Fees-Consulting Engineers	25,388	25,388	40,000	63%	
41259 · Prof. Fees - Other	11,724	11,724	60,000	20%	
41264 · Repairs & Maint - Vehicles	5,694	7,670	10,000	77%	
41265 · Parks & Rec. Expense	9,498	10,379	20,000	52%	
41266 · Repairs & Maint - Bldg	10,495	11,482	50,000	23%	
41268 · Repairs & Maint-Roads, Drainage	83,080	105,344	418,100	25%	
41269 · SSA - Street Repair Expense	0	0	70,000	0%	
41270 · Vehicle Fuel & Oil Expense	6,608	6,972	15,000	46%	
41280 · Travel Expense	759	792	2,000	40%	
41285 · Continuing Education Expense	3,127	3,377	7,000	48%	
41289 · Employee Retirement Expense	5,737	7,587	53,000	14%	
41291 · Animal Control Services	3,133	3,133	3,200	98%	
41300 · Economic Development Expense	5,654	5,734	10,000	57%	
41311 · Office Expense	12,251	13,135	15,000	88%	
41511 · Insurance - Property	2,701	2,701	2,800	96%	
41512 · Insurance - Workers Comp.	14,510	14,510	14,600	99%	
41513 · Insurance - Liability	4,357	4,357	4,500	97%	
41514 · Insurance - Employee Medical	66,827	75,797	100,000	76%	
41515 · Insurance - Auto	2,257	2,257	2,300	98%	
41516 · Insurance - E & O	10,695	10,695	12,000	89%	
41551 · Trustee Commission	2,734	2,734	3,000	91%	
41691 · Bank Charges	40	0	2,000	0%	
41720 · Donations	73,779	74,279	100,000	74%	
41899 · Other Expenses	174	174	10,000	2%	
41940 · Capital Projects	320,914	321,325	1,680,000	19%	
41943 · Acquisition of Public Use Prop.	26,938	26,938	-	-	
49030 · Capital Outlay Note Payment	143,250	143,250	160,000	90%	
Total Expense	1,389,553	1,492,313	3,659,300		
Net Income	1,246,975	1,361,152	0		



Town of Thompson's Station
General Fund Income and Expense Analysis
As of April 30, 2016

**Month to Month
Trend Analysis**

	Month to Month Trend Analysis			Comment
	Mar-16	Apr-16	Current Change	
Income				
31111 · Real Property Tax Revenue	54,838	2,740	(52,098)	
31310 · Interest & Penalty Revenue	-	-	-	
31610 · Local Sales Tax - Trustee	60,917	63,520	2,603	
31710 · Wholesale Beer Tax	7,292	7,666	374	
31810 · City Portion of County Priv Tax	-	4,537	4,537	
31900 · CATV Franchise Fee Income	-	-	-	
32000 · Beer Permits	100	-	(100)	
32200 · Building Permits	39,547	35,076	(4,471)	
32230 · Submittal & Review Fees	75,309	12,746	(62,563)	
32245 · Miscellaneous Fees	40	35	(5)	
32260 · Business Tax Revenue	1,499	3,668	2,169	
32300 · Impact Fees	61,952	52,074	(9,878)	
33320 · TVA Payments in Lieu of Taxes	2,853	7,866	5,013	
33510 · Local Sales Tax - State	15,248	16,694	1,446	
33520 · State Income Tax	-	-	-	
33530 · State Beer Tax	-	611	611	
33535 · Mixed Drink Tax	467	512	45	
33552 · State Streets & Trans. Revenue	454	455	1	
33553 · SSA - Motor Fuel Tax	4,061	3,553	(508)	
33554 · SSA - 1989 Gas Tax	682	555	(127)	
33555 · SSA - 3 Cent Gas Tax	1,265	1,030	(235)	
33725 · Greenways & Trails Grant	-	-	-	
36120 · Interest Earned - Invest. Accts	968	622	(346)	
36130 · Interest Income-Interfund Loan	-	-	-	
37746 · Pavilion & Comm. Ctr. Rental	1,200	2,400	1,200	
37747 · Pavilion Comm. Ctr Dep Refund	(950)	(200)	750	
37990 · Other Revenue	268	777	509	
37999 · Loan Repayment From W/W Fund	-	-	-	
39999 · Budgeted Fund Balance - GF	-	-	-	
Total Income	328,010	216,937	(111,073)	
Expense				
41110 · Payroll Expense	43,359	44,867	1,508	
41141 · Payroll Taxes - FICA	3,393	2,772	(621)	
41142 · Payroll Taxes - Medicare	794	648	(146)	
41147 · Payroll Taxes - SUTA	384	238	(146)	
41161 · Board Member Expenses	-	-	-	
41211 · Postage, Freight & Express Chgs	467	488	21	
41221 · Printing, Forms & Photocopy Exp	518	378	(140)	
41230 · Recording & Filing Fees	-	-	-	
41231 · Publication of Legal Notices	113	516	403	
41235 · Memberships & Subscriptions	14	14	-	
41241 · Utilities - Electricity	334	858	524	
41242 · Utilities - Water	(2)	178	180	
41244 · Utilities - Gas	63	110	47	
41245 · Telecommunications Expense	300	300	-	
41252 · Prof. Fees - Legal Fees	9,100	11,983	2,883	
41253 · Prof. Fees - Auditor	-	-	-	
41254 · Prof. Fees-Consulting Engineers	9,854	-	(9,854)	
41259 · Prof. Fees - Other	-	-	-	
41264 · Repairs & Maint - Vehicles	481	1,976	1,495	
41265 · Parks & Rec. Expense	1,721	881	(840)	
41266 · Repairs & Maint - Bldg	1,720	987	(733)	
41268 · Repairs & Maint-Roads, Drainage	4,685	22,264	17,579	Critz Lane repairs
41269 · SSA - Street Repair Expense	-	-	-	
41270 · Vehicle Fuel & Oil Expense	(73)	364	437	
41280 · Travel Expense	179	33	(146)	
41285 · Continuing Education Expense	320	250	(70)	
41289 · Employee Retirement Expense	3,001	1,850	(1,151)	
41291 · Animal Control Services	-	-	-	
41300 · Economic Development Expense	-	80	80	
41311 · Office Expense	742	884	142	
41511 · Insurance - Property	-	-	-	
41512 · Insurance - Workers Comp.	-	-	-	
41513 · Insurance - Liability	-	-	-	
41514 · Insurance - Employee Medical	11,002	8,970	(2,032)	
41515 · Insurance - Auto	-	-	-	
41516 · Insurance - E & O	-	-	-	
41551 · Trustee Commission	2,228	-	(2,228)	
41691 · Bank Charges	40	(40)	(80)	
41720 · Donations	72,979	500	(72,479)	
41899 · Other Expenses	-	-	-	
41940 · Capital Projects	291,701	411	(291,290)	
41943 · Acquisition of Public Use Prop.	-	-	-	
49030 · Capital Outlay Note Payment	13,163	-	(13,163)	
Total Expense	477,579	102,760	(369,819)	
Net Income	(149,569)	114,177	92,233	



Town of Thompson's Station
Wastewater Fund Income and Expense Analysis
As of April 30, 2016

Year to Date
 Actual versus Budget

	Year to Date (83%)				Comment
	Mar-16	Apr-16	Budget	% of Budget	
Income					
3100 · Wastewater Treatment Fees	426,260	479,031	550,000	87%	
3101 · Septage Disposal Fees	65,990	67,090	70,000	96%	
3105 · Late Payment Penalty	7,220	8,463		100%	
3109 · Uncollectible Accounts	0	0	(5,000)	0%	
3300 · Tap Fees	560,436	610,562	650,000	94%	
3902 · Interest Income - Invest Accts	1,292	1,510	300	503%	
4009 · Returned Check Charges	115	115		100%	
Total Income	1,061,313	1,166,771	1,265,300		
Expense					
4010 · Payroll Expense	75,189	83,005	110,000	75%	
4100 · Capital Expenditures	0	0	20,000	0%	
4150 · WW Infrastructure Installed	541	541	25,000	2%	
4210 · Permits & Fees Expense	9,654	9,654	10,000	97%	
4220 · Laboratory Water Testing	6,238	6,568	12,000	55%	
4230 · Supplies Expense	1,865	1,900	7,500	25%	
4240 · Repairs & Maint. Expense	32,223	32,454	81,200	40%	
4310 · Utilities - Electric	66,131	72,351	100,000	72%	
4320 · Utilities - Water	1,578	1,833	1,500	122%	
4390 · Insurance Expense	16,748	16,748	20,000	84%	
4400 · Prof. Fees-Consulting Engineers	60,983	70,603	100,000	71%	
4420 · Prof. Fees - Auditor	0	0	1,800	0%	
4490 · Prof. Fees - Other	0	600	10,000	6%	
4710 · Payroll Taxes - FICA	4,662	5,146	7,000	74%	
4720 · Payroll Taxes - Medicare	1,090	1,203	1,500	80%	
4730 · Payroll Taxes - SUTA	0	0	500	0%	
4789 · Employee Retirement Expense	782	1,172	12,000	10%	
4800 · Bank Charges	50	50	300	17%	
4900 · Other Expense	400	400	1,000	40%	
4990 · Depreciation Expense	206,253	229,170	275,000	83%	
4994 · Interest Expense	15,694	17,372	22,000	79%	
4995 · Interest Expense-Interfund Loan	11,667	11,667	12,000	97%	
Total Expense	511,748	562,437	830,300		
Net Income - Operating	549,565	604,334	435,000		
Financing Activities					
4993 · Loan Repayment-Franklin Synergy	83,333	92,593	112,000	83%	
4999 · Loan Repayment to General Fund	388,889	388,889	390,000	100%	
Net Income	77,343	122,852	(67,000)		



Town of Thompson's Station
Wastewater Fund Income and Expense Analysis
As of April 30, 2016

Month to Month
Trend Analysis

	Month to Month Trend Analysis			Comment
	Mar-16	Apr-16	Current Change	
Income				
3100 · Wastewater Treatment Fees	49,276	52,771	3,495	
3101 · Septage Disposal Fees	(150)	1,100	1,250	
3105 · Late Payment Penalty	712	1,243	531	
3109 · Uncollectible Accounts	0	0	0	
3300 · Tap Fees	57,626	50,126	(7,500)	
3902 · Interest Income - Invest Accts	163	218	55	
4009 · Returned Check Charges	0	0	0	
Total Income	107,627	105,458	(2,169)	
Expense				
4010 · Payroll Expense	9,712	7,816	(1,896)	
4100 · Capital Expenditures	0	0	0	
4150 · WW Infrastructure Installed	0	0	0	
4210 · Permits & Fees Expense	0	0	0	
4220 · Laboratory Water Testing	150	330	180	
4230 · Supplies Expense	606	35	(571)	
4240 · Repairs & Maint. Expense	236	231	(5)	
4310 · Utilities - Electric	5,920	6,220	300	
4320 · Utilities - Water	0	255	255	
4390 · Insurance Expense	0	0	0	
4400 · Prof. Fees-Consulting Engineers	400	9,620	9,220	Irrigation Design
4420 · Prof. Fees - Auditor	0	0	0	
4490 · Prof. Fees - Other	0	600	600	
4710 · Payroll Taxes - FICA	530	484	(46)	
4720 · Payroll Taxes - Medicare	62	113	51	
4730 · Payroll Taxes - SUTA	0	0	0	
4789 · Employee Retirement Expense	392	390	(2)	
4800 · Bank Charges	5	0	(5)	
4900 · Other Expense	0	0	0	
4990 · Depreciation Expense	22,917	22,917	0	
4994 · Interest Expense	1,588	1,678	90	
4995 · Interest Expense-Interfund Loan	0	0	0	
Total Expense	42,518	50,689	8,171	
Net Income - Operating	65,109	54,769	(10,340)	
Financing Activities				
4993 · Loan Repayment-Franklin Synergy	9,259	9,260	1	
4999 · Loan Repayment to General Fund	0	0	0	
Net Income	55,850	45,509	(10,341)	



DATE: May 10, 2016

TO: Board of Mayor and Aldermen

FROM: Wendy Deats, Town Planner

SUBJECT: **Second Reading/Public Hearing** – Two Farms at Thompson's Station Phase 2 – Request to rezone from T2 to Transect Community (TC) zone

The subject site was rezoned in January 2016 upon annexation to T2 – Rural because at the time, no concept plan was submitted for this phase of the development. In February 2016, the developer submitted a request to rezone for this land to TC in order to plan holistically for the project. On March 29, 2016, the Planning Commission, based on the findings for General Plan consistency recommended to the Board of Mayor and Aldermen for the rezoning of the subject property from the T2 zone to the TC zone.

The property is located south of West Harpeth Road, north of State Route 840 in the G1 – Controlled Growth sector. When determining the appropriateness of a zoning designation, consistency with the General Plan is required. The Town's General Plan states in Goal 1 of the Land Use Element to "preserve the rural characteristics of the community while accommodating for future growth in an orderly and sustainable manner." The use of the transect community zone encourages preservation of land while creating a mixed use community. The zoning dictates the type of community that is permitted within the transect community and this subject property is limited to the development of hamlets. These hamlets require 60% zoned either T1 or T2 while permitting mixed use development of the remaining 40% of the property. This type of zoning is also supported by Goal 5 which encourages the clustering of development for preservation, more specifically policy 5.1 to "preserve floodplains, streams, drainage ways, wetlands, hilltops, ridgelines." In addition, the transect community also achieves Goal 2 of the Land Use Element for a "balanced mix of uses within the Town," by providing "opportunities for a mix of housing and commercial throughout the Town to accommodate a range of needs" as promoted in policy 2.1.

The rezone of the property to TC is also consistent with the existing zoning for phase 1 of Two Farms project. The rezone is also appropriate given the characteristics of the proposed community including preservation of land, inclusion of civic spaces and development in conjunction with the Land Development Ordinance. Therefore, the project is consistent with the goals and policies of the General Plan and will comply with all code requirements so as to not have a deleterious effect on the surrounding properties. In addition, technical studies related to traffic and natural resources will be required to evaluate the proposal and be reviewed by the Town prior to any formal approvals.

Recommendation

Based on the findings for General Plan consistency, the Planning Commission recommends to the Board of Mayor and Aldermen for the rezoning of the subject property from the T2 – Rural zone to the TC – Transect Community zone with the following contingencies:

Phone: (615) 794-4333
Fax: (615) 794-3313
www.thompsons-station.com



1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

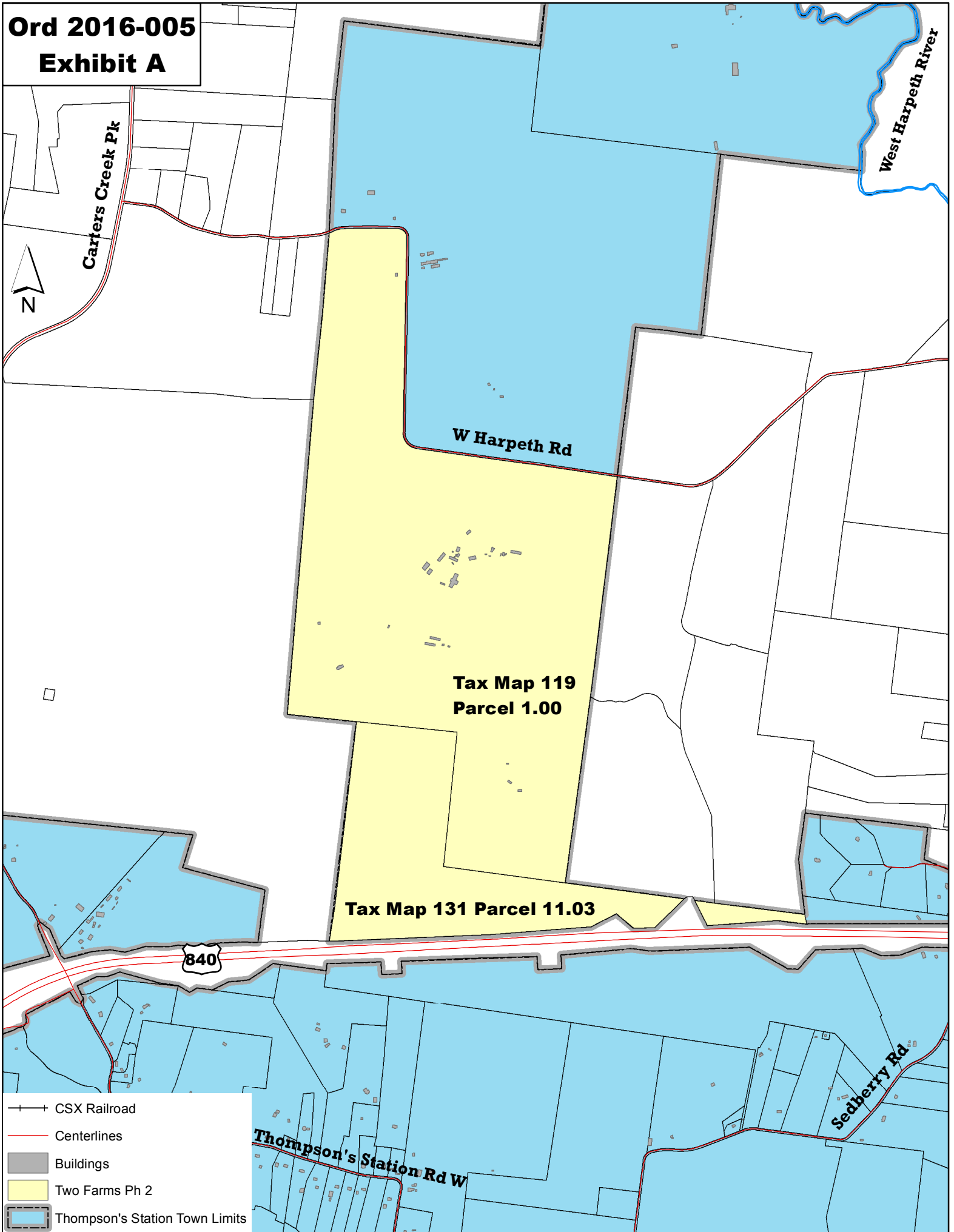
1. An acceptable school building site must be identified and dedicated from within the annexed area prior to the approval of any residential plat.
2. An acceptable public safety building must be identified and dedicated from within the annexed area prior to the approval of any residential plat.
3. All proposed trails within the community must be made to allow for future connections to the public trail system.
4. The wastewater treatment facility must be located in an area at least 1,000 feet away from any existing adjacent residential structure.
5. All off site infrastructure improvements necessary to serve this project will be paid for entirely by the developer/applicant. Improvements that are mutually beneficial may be presented and approved by the Board of Mayor and Aldermen where cost sharing and/or financial offsets can be considered.

Attachments

Ordinance 2016-005

Exhibit A

Ord 2016-005
Exhibit A



- CSX Railroad
- Centerlines
- Buildings
- Two Farms Ph 2
- Thompson's Station Town Limits

ORDINANCE NO. 2016-005

AN ORDINANCE OF THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO AMEND THE TOWN'S ZONING MAP BY REZONING CERTAIN PROPERTY GENERALLY LOCATED SOUTH OF WEST HARPETH ROAD AND NORTH OF I-840 (BEING TAX MAP 119 PARCEL 1.00 AND TAX MAP 131 PARCEL 11.03) FROM T2-RURAL TO TRANSECT COMMUNITY (TC) AS SHOWN ON THE ATTACHED MAP

WHEREAS, the property owners have requested that the territory described herein and shown on the attached map be zoned from T2-Rural to a Transect Community (TC) under the Town's Land Development Ordinance; and

WHEREAS, the Town's Planning Commission has recommended that the portion of the territory requested to be rezoned that is located north of I-840 be zoned as a Transect Community; and

WHEREAS, the Board of Mayor and Aldermen of the Town of Thompson's Station has determined that the proposed zoning is consistent with the General Plan and will not have a deleterious effect on surrounding properties or the Town as a whole.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee, as follows:

Section 1. That the Zoning Map of the Town of Thompson's Station, Tennessee is hereby amended by rezoning certain territory generally located south of West Harpeth Road and north of I-840 from T2-Rural to Transect Community (TC); said territory being more particularly described on the map attached hereto as Exhibit A.

Section 2. This ordinance shall take effect immediately upon the publication of its caption in a newspaper of general circulation after final reading by the Board of Mayor and Aldermen, the public welfare requiring it.

Duly approved and adopted by the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee, on the ____ day of _____, 2016.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

Passed First Reading: April 12, 2016

Passed Second Reading: _____

Submitted to Public Hearing on the 10th day of May, 2016, at 7:00 p.m., after being advertised in the *Williamson AM* Newspaper on the 24th day of April, 2016.

Recommended for approval by the Planning Commission on the 29th day of March, 2016.

APPROVED AS TO FORM AND LEGALITY:

Todd Moore, Town Attorney

Phone: (615) 794-4333
Fax: (615) 794-3313
www.thompsons-station.com



1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

DATE: May 4, 2016
TO: The Board of Mayor and Aldermen (BOMA)
FROM: Joe Cosentini, Town Administrator
SUBJECT: FY 2017 Budget

This is the second reading of our FY 2017 budget for both our general and wastewater funds. We have adjusted revenues slightly in the general fund side to account for a change in the Hall Income Tax made by the State. The existing 6% tax rate has been reduced to 5% beginning July 1, 2016. We have responded by reducing projected revenues for the line item from \$100,000 to \$80,000.

In addition, we have received assessment data from the County and it appears that property values have increased within Thompson's Station. Therefore, our estimated property tax projection has been adjusted to offset the reduced revenue from Hall Income Tax.

No other changes have been made between first and second reading.

Recommendation:

Upon public hearing, Staff recommends approval of the proposed budget for FY2017.

ORDINANCE 2016-007

**AN ORDINANCE OF THE TOWN OF THOMPSON'S STATION, TENNESSEE
ADOPTING THE ANNUAL BUDGET AND TAX RATE FOR THE FISCAL YEAR
BEGINNING JULY 1, 2016 AND ENDING JUNE 30, 2017.**

WHEREAS, *Tennessee Code Annotated* Title 9 Chapter 1 Section 116 requires that all funds of the State of Tennessee and all its political subdivisions shall first be appropriated before being expended and that only funds that are available shall be appropriated; and

WHEREAS, the Municipal Budget Law of 1982 requires that the governing body of each municipality adopt and operate under an annual budget ordinance presenting a financial plan with at least the information required by that state statute, that no municipality may expend any moneys regardless of the source except in accordance with a budget ordinance and that the governing body shall not make any appropriation in excess of estimated available funds; and

WHEREAS, the Board of Mayor and Aldermen has published the annual operating budget and budgetary comparisons of the proposed budget with the prior year (actual) and the current year (estimated) in a newspaper of general circulation not less than ten (10) days prior to the meeting where the Board will consider final passage of the budget.

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE AS FOLLOWS:

SECTION 1: That the governing body estimates anticipated revenues of the municipality from all sources to be as follows for fiscal year 2017:

General Fund	FY 2014-2015 Actual	FY 2015-2016 Estimated	FY 2016-2017 Proposed
Local taxes	\$1,016,799	\$1,123,301	\$1,092,000
Licenses and Permits	1,592,374	1,451,211	1,169,105
Intergovernmental	321,282	346,164	883,000
Other Revenue	29,731	421,258	11,500
Total Revenues	2,960,186	3,421,870	3,231,105
Beginning Fund Balance	4,085,496	4,118,082	5,708,153
Total Available Funds	\$7,045,682	\$7,539,952	\$8,939,258

State Street Aid Fund	FY 2014-2015 Actual	FY 2015-2016 Estimated	FY 2016-2017 Proposed
Intergovernmental	\$76,247	\$70,000	\$70,000
Total Revenues	76,247	70,000	70,000
Beginning Fund Balance	226	6,473	6,473
Total Available Funds	\$76,473	\$76,473	\$76,473

Wastewater Fund	FY 2014-2015 Actual	FY 2015-2016 Estimated	FY 2016-2017 Proposed
Wastewater Fees	\$619,296	\$640,238	\$555,000
Tap Fees	1,101,520	700,000	687,500
Other Revenue	200,597	1,866	500
Total Revenues	1,921,413	1,342,104	1,243,000
Beginning Fund Balance	11,325,049	12,546,569	13,192,078
Total Available Funds	\$13,246,462	\$13,888,673	\$14,435,078

SECTION 2: That the governing body appropriates from these anticipated revenues and unexpended and unencumbered funds as follows:

General Fund	FY 2014-2015 Actual	FY 2015-2016 Estimated	FY 2016-2017 Proposed
Government Administrative	\$2,371,842	\$1,042,541	\$1,348,600
Streets	345,019	117,593	291,005
Transfer to Capital	0	500,000	1,341,500
Parks	119,787	11,666	20,000
Debt Service	146,508	160,000	160,000
Total Appropriations	2,983,156	1,831,799	3,161,105
Surplus/(Deficit)	32,586	1,590,071	-
Ending Fund Balance	\$4,118,082	\$5,708,153	\$5,708,153

State Street Aid Fund	FY 2014-2015 Actual	FY 2015-2016 Estimated	FY 2016-2017 Proposed
Streets	\$70,000	\$70,000	\$70,000
Total Appropriations	70,000	70,000	70,000
Surplus/(Deficit)	0	0	0
Ending Fund Balance	\$6,473	\$6,473	\$6,473

Wastewater Fund	FY 2014-2015 Actual	FY 2015-2016 Estimated	FY 2016-2017 Proposed
Wastewater Department	\$663,225	\$657,935	\$1,109,000
Debt Service	36,668	38,660	22,000
Total Appropriations	699,893	696,595	1,131,000
Surplus/(Deficit)	1,221,520	645,509	0
Ending Fund Balance	\$12,546,569	\$13,192,078	\$13,304,078

SECTION 3: At the end of the current fiscal year the governing body estimates balances/ (deficits) as follows:

General Fund	\$5,708,153
State Street Aid Fund	\$6,473
Wastewater Fund	\$13,304,078

SECTION 4: That the governing body recognizes that the municipality has bonded and other indebtedness as follows:

Bonded or Other Indebtedness	Debt Principal	Interest Requirements	Debt Authorized and Unissued	Principal Outstanding at June 30
Bonds	\$0	\$0	\$0	\$0
Notes	\$2,153,000	\$56,500	\$0	\$1,690,918
Capital Leases	\$0	\$0	\$0	\$0
Other Debt	\$0	\$0	\$0	\$0

SECTION 5: No appropriation listed above may be exceeded without an amendment of the budget ordinance as required by the Municipal Budget Law of 1982 T.C.A. Section 6-56-208. In addition, no appropriation may be made in excess of available funds except for an actual emergency threatening the health, property or lives of the inhabitants of the municipality and declared by a two-thirds (2/3) vote of at least a quorum of the governing body in accord with Section 6-56-205 of the *Tennessee Code Annotated*.

SECTION 6: A detailed financial plan will be attached to this budget and become part of this budget ordinance. In addition, the published operating budget and budgetary comparisons shown by fund with beginning and ending fund balances and the number of full time equivalent employees required by Section 6-56-206, *Tennessee Code Annotated* will be attached.

SECTION 7: There is hereby levied a property tax of \$.103 per \$100 of assessed value on all real and personal property.

SECTION 8: This annual operating and capital budget ordinance and supporting documents shall be submitted to the Comptroller of the Treasury or Comptroller's Designee for approval if the Town has notes issued pursuant to Title 9, Chapter 21, *Tennessee Code Annotated* or

loan agreements with a public building authority issued pursuant to Title 12, Chapter 10, *Tennessee Code Annotated* approved by the Comptroller of the Treasury or Comptroller's Designee within fifteen (15) days of its adoption. This budget shall not become the official budget for the fiscal year until such budget is approved by the Comptroller of the Treasury or Comptroller's Designee in accordance with Title 9, Chapter 21, *Tennessee Code Annotated* (the "Statutes".) If the Comptroller of the Treasury or Comptroller's Designee determines that the budget does not comply with the Statutes, the Governing Body shall adjust its estimates or make additional tax levies sufficient to comply with the Statutes, or as directed by the Comptroller of the Treasury or Comptroller's Designee. If the Town does not have such debt outstanding, it will file this annual operating budget and capital budget ordinance and supporting documents with the Comptroller of the Treasury or Comptroller's Designee.

SECTION 9: All unencumbered balances of appropriations remaining at the end of the fiscal year shall lapse and revert to the respective fund balances.

SECTION 10: All ordinances or parts of ordinances in conflict with any provision of this ordinance are hereby repealed.

SECTION 11: If any section, clause, provision of this ordinance is held to be invalid or unconstitutional by any Court of competent jurisdiction, such holdings shall not affect any other section, clause, provision of this ordinance.

SECTION 12: This ordinance shall take effect July 1, 2016, the public welfare requiring it.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

Submitted to Public Hearing on _____, 2016 at 7:00 p.m. after publication of notice of public hearing by advertisement in the _____ newspaper on _____, 2016.

Passed 1st Reading: _____

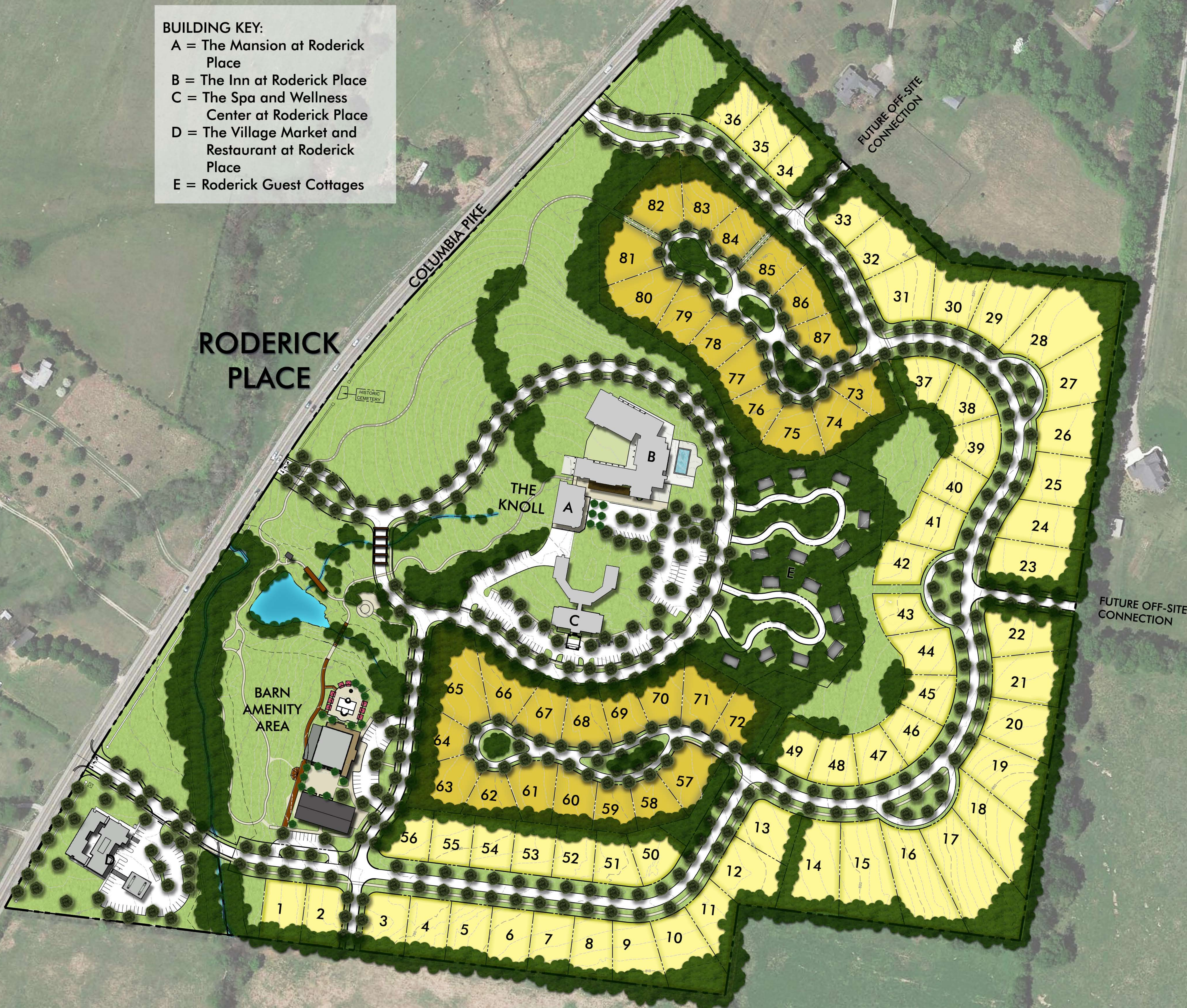
Passed 2nd Reading: _____

BUILDING KEY:

- A = The Mansion at Roderick Place
- B = The Inn at Roderick Place
- C = The Spa and Wellness Center at Roderick Place
- D = The Village Market and Restaurant at Roderick Place
- E = Roderick Guest Cottages

SITE DATA

EXISTING ZONING:	Specific Plan-High Intensity District
GROSS SITE AREA:	79.90 AC
COMMERCIAL AREA: (The Knoll & Village)	
COMMERCIAL AREA:	13.59 AC
OPEN SPACE REQUIRED:	6.80 AC (50%)
OPEN SPACE WITHIN COMMERCIAL:	7.18 AC (53%)
RESIDENTIAL	
RESIDENTIAL AREA:	63.0 AC
OPEN SPACE REQUIRED:	25.20 AC (40%)
OPEN SPACE WITHIN RESIDENTIAL:	27.18 AC (43%)
ESTATE LOTS:	56
GARDEN LOTS:	31
TOTAL SINGLE FAMILY:	87
RODERICK GUEST COTTAGES:	
RODERICK GUEST COTTAGES:	56
TOTAL UNITS:	143



RODERICK PLACE

COLUMBIA PIKE

THE KNOLL

BARN AMENITY AREA

FUTURE OFF-SITE CONNECTION

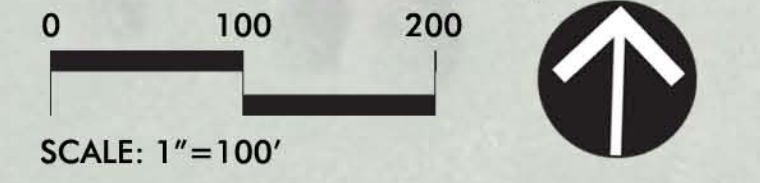
FUTURE OFF-SITE CONNECTION

CONCEPT PLAN

RODERICK PLACE
WILLIAMSON COUNTY, TENNESSEE

KV+D
KISER VOGRIN DESIGN

February 29, 2016
REV March 22, 2016
REV April, 26, 2016
Project #14046





May 2, 2016

Wendy Deats
Town Planner
Town of Thompson's Station
P.O. Box 100
Thompson's Station, TN 37179

Re: Revised Development Site Plan Re-Submittal

Ms. Deats:

On behalf of the land owner, Leon Heron, the project team and everyone at Kiser + Vogrin Design, please accept this re-submittal of the Development Concept Plan and Pattern Book for Roderick Place in the Town of Thompson's Station. Please find attached our revised conceptual master plan, pattern book, and technical sheets intended to be heard at the May 10, 2016 BOMA meeting.

Please find the following documents in support of the revised development site plan:

- Five (5) copies of the development concept plan package including
 - Conceptual Site Plan
 - Stormwater and Utility Plan
- Five (5) copies of the pattern book.
- One (1) CD with digital files of the above submitted documents

The pattern book and submittal documents have been revised per conversations with Alderman Bell in hopes of gaining his support for the project. Additionally, per our recent conversations, by way of this letter I have included a draft of the proposed revision to the site signage regulations to be incorporated into the pattern book before the project is heard at the May 24, 2016 planning commission and before it is heard at a second reading at BOMA on June 7, 2016.

The text on page 33 of the pattern book is to be omitted and replaced as follows:

Signs include any outdoor object, device, or structure used to advertise, identify, display, direct, or attract attention to any person, institution, organization, business, product, service, event or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination or projected images. Signs do not include flags or emblems of any nation, organization of nations, state, city or religious organization.

Development Signs:

- Nonresidential Monument Sign
 - One nonresidential Monument sign is permitted at each "commercial" entry to the property (including the southern entry and the middle entry).
 - All non-residential development signs shall be monument signs.
 - The sign shall have a maximum of 60 square feet and a maximum of six (6) feet in height (where permitted digital fuel signs are incorporated into a nonresidential monument sign, the combined sign shall have a maximum size of 60 square feet and a maximum height of 6 feet).



- Signs shall be located a minimum of 15 feet from the street right-of-way (or planned street right-of-way) and shall not be located within the site distance triangle.
- Non-residential development signs shall contain only the name of the development, center or business park.
- The commercial development sign shall be located within a landscape planter.

- Residential Monument Sign
 - One residential Monument sign is permitted at each "residential" entry to the property (including the southern entry and the northern entry).
 - All residential development signs shall be monument signs.
 - The sign shall have a maximum of 60 square feet and a maximum height of six (6) feet.
 - Signs shall be located a minimum of 15 feet from the street right-of-way and shall not be located within the site distance triangle.
 - Residential development signs shall only provide the name of the subdivision.
 - The residential development sign shall be located within a landscape planter.

- Additional Development Sign Standards
 - Lighting of a residential or nonresidential development sign (exclusive of permitted digital fuel signs) may be provided by the general lighting of the area, or by shielded spot-lights.
 - All development signs must be located on-site or within the common area of the development.
 - The use of off-site development signs is not permitted.

Wall Signs

- One wall sign is permitted on each elevation that has street or on-site parking lot frontage with a maximum of three wall signs per commercial use.
- The wall sign will be a maximum of one and a half (1.5) square feet per linear building or store frontage on the elevation consisting of the primary entrance.
- Wall signs are permitted to be a maximum of two (5) feet in height to accommodate three lines of text and a logo and to account for sign setback from street right of way.
- Lighting for wall signs may consist of internal lighting, back lighting or shielded spot lighting.
- Painted signs shall comply with the sign standards for wall signs and shall be designed to contain the distinct character of the business and professionally painted.

Fuel Pricing Signs

- One (1) digital fuel pricing sign may be approved per gas service station and shall be located within a landscape planter a minimum of 15 feet from the right-of-way.
- The fuel pricing sign may not exceed 32 square feet in sign area and shall not exceed five (5) feet in height (where permitted digital fuel signs are incorporated into a nonresidential monument sign, the combined sign shall have a maximum size of 60 square feet and a maximum height of 6 feet. Fuel sign portion thereof will not exceed 32 square feet).
- Fuel pricing signs are prohibited on the pump canopy.

Directional Signs

- On-site directional signs shall be no more than two (2) square feet in sign area and shall not exceed four (4) feet in height. A maximum of four (4) directional signs are permitted per nonresidential user and a maximum of two (2) signs per residential neighborhood are permitted. Combined signs providing direction to more than one use are preferred.




- Due to the complex nature of circulation, additional signs may be permitted with the approval of a sign plan

Auxiliary Signs

- Auxiliary signs may be permitted for ancillary uses and shall not exceed 10 square feet in sign area. A maximum of five (5) signs may be allowed for currently unanticipated signage needs.
- Due to the complex nature of the plan and the number of anticipated uses, additional signs may be permitted with the approval of a sign plan.

As always, let me know if there is any additional information you may require.

Thank you,



Jeffrey Rosiak
Principal



DATE: May 10, 2016

TO: Board of Mayor and Aldermen

FROM: Wendy Deats, Town Planner

SUBJECT: **First Reading** – Roderick Place – Request to approve a revised concept plan for the development of 87 single family lots, 56 rental guest suites and 127,606 square feet of commercial located at 4626 Columbia Pike and 4624 Columbia Pike.

Background

On March 29, 2016, the Planning Commission recommended approval of a revised concept plan which includes 87 single-family lots, 127,606 square feet of commercial consisting of an inn with a wellness facility and day along with 56 guest rental suites.

On April 12, 2016 the Board of Mayor and Aldermen reviewed the request. The Board did not pass first reading due to concerns related to the traffic signal, usable open space and the pending lawsuit.

Analysis

Traffic Signal

The traffic study states that “the projected traffic volumes at the intersection of Columbia Pike and the southern project access exceed the thresholds that would indicate that traffic signalization will be warranted in this location. Therefore, peak hour traffic counts should be conducted at all three project accesses when the development is complete.” Therefore, based on updated traffic counts, capacity analyses and signal warrant analyses, a traffic signal may be warranted. Staff recommends that a bond is put in place for the necessary improvements including the traffic signal at the time of final plat approval. Bonding for the improvements will be incorporated into the Development Agreement which will be reviewed and approved by the Board of Mayor and Aldermen.

Open Space

The plan is revised to include additional open space along the country road. With the inclusion of these open space lots, the configuration of the single-family lots has changed in order to accommodate the land along the roadway, however, no other changes to the overall plan is proposed.

Signage

The applicant has submitted a letter (attached) specifying the sign standards for the development. The sign standards are consistent with signage for commercial districts. The proposed sign standards will be incorporated in the pattern book.

Recommendation

Staff recommends that the Board of Mayor and Aldermen pass Ordinance 2016-006 and set a public hearing and second reading for June 14, 2016.

Attachments

Ordinance 2016-006
Concept Plan
Pattern Book
Letter dated 5-2-2016

R O D E R I C K P L A C E



E N V I S I O N I N G B O O K

S P E C I F I C P L A N - Z O N I N G R E Q U E S T

J a n u a r y 2 7 , 2 0 1 6

R E V I S I O N S E T :

M A Y 2 , 2 0 1 6

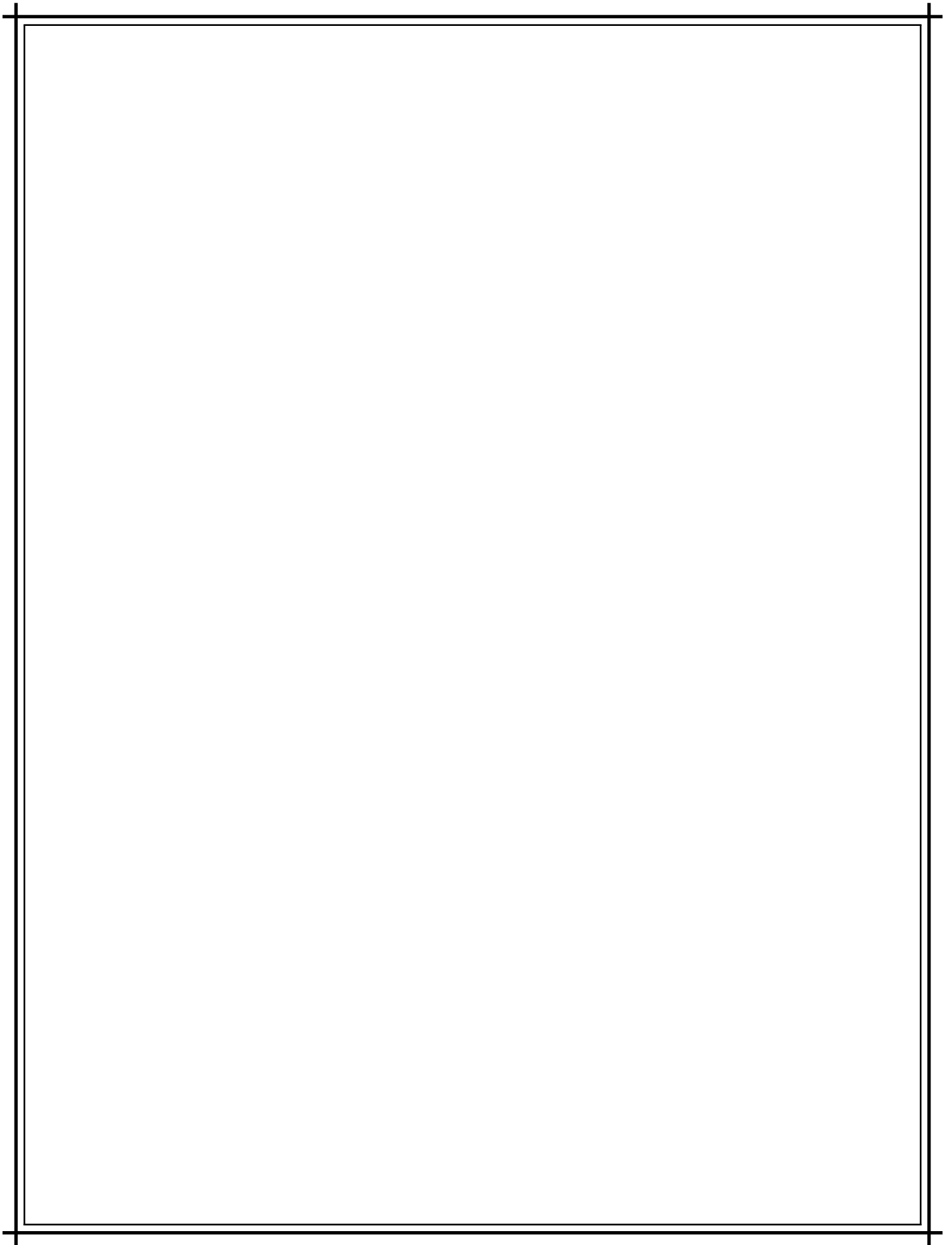


TABLE OF CONTENTS

SITE CONTEXT.....	5
<i>EXISTING FEATURES / SOILS MAP</i>	
<i>EXISTING PHOTOS</i>	
DESIGN INTENT.....	10
<i>DESIGN HIGHLIGHTS</i>	
<i>MASTER PLAN</i>	
OPEN SPACE.....	14
<i>OPEN SPACE MASTER PLAN</i>	
REGULATING PLAN.....	18
<i>REGULATORY MAP</i>	
<i>BUILDING TYPOLOGIES</i>	
ARCHITECTURE & SITE ELEMENTS.....	27
STREETS & WALKS.....	35
<i>STREET NETWORK MAP</i>	
<i>STREET SECTIONS</i>	

C&L Development, LLC
P.O. Box 241
Thompsons Station, TN
37179
V:615.595.5877



KISER VOGRIN DESIGN
5005 Meridian Blvd. Ste.100
Franklin TN, 37067
V:615.813.0863



906 STUDIO . ARCHITECTS
143 Fifth Ave. S
Franklin, TN 37064
V: 615.289.8737

Kimley»»Horn

KIMLEY-HORN
209 10th Ave. S
Nashville, TN 37203
V: 615.564.2701

HARRAH & ASSOCIATES

361 Mallory Station Road Ste. 108
Franklin, TN 37067
V: 615.778.0863

**FISCHBACH TRANSPORTATION
GROUP**

3326 Aspen Grove Dr. #130
Franklin, TN 37067
V: 615.771.8022

BDY ENVIRONMENTAL, LLC

2607 Westwood Dr.
Nashville, TN 37204
V: 615.460.9797

Topographic and base information provided by:
Paul A Badr
Independent Mapping consultants, inc.
8037 Corporate Center Drive Suite 300
Charlotte NC 28226
V:704.540.0087

This document is an update of previous
planning efforts including information
gathered by and work performed by:

- LandDesign, Inc.
- Suttle Mindlin Architects
- LandDesign Survey
- Paul A Badr

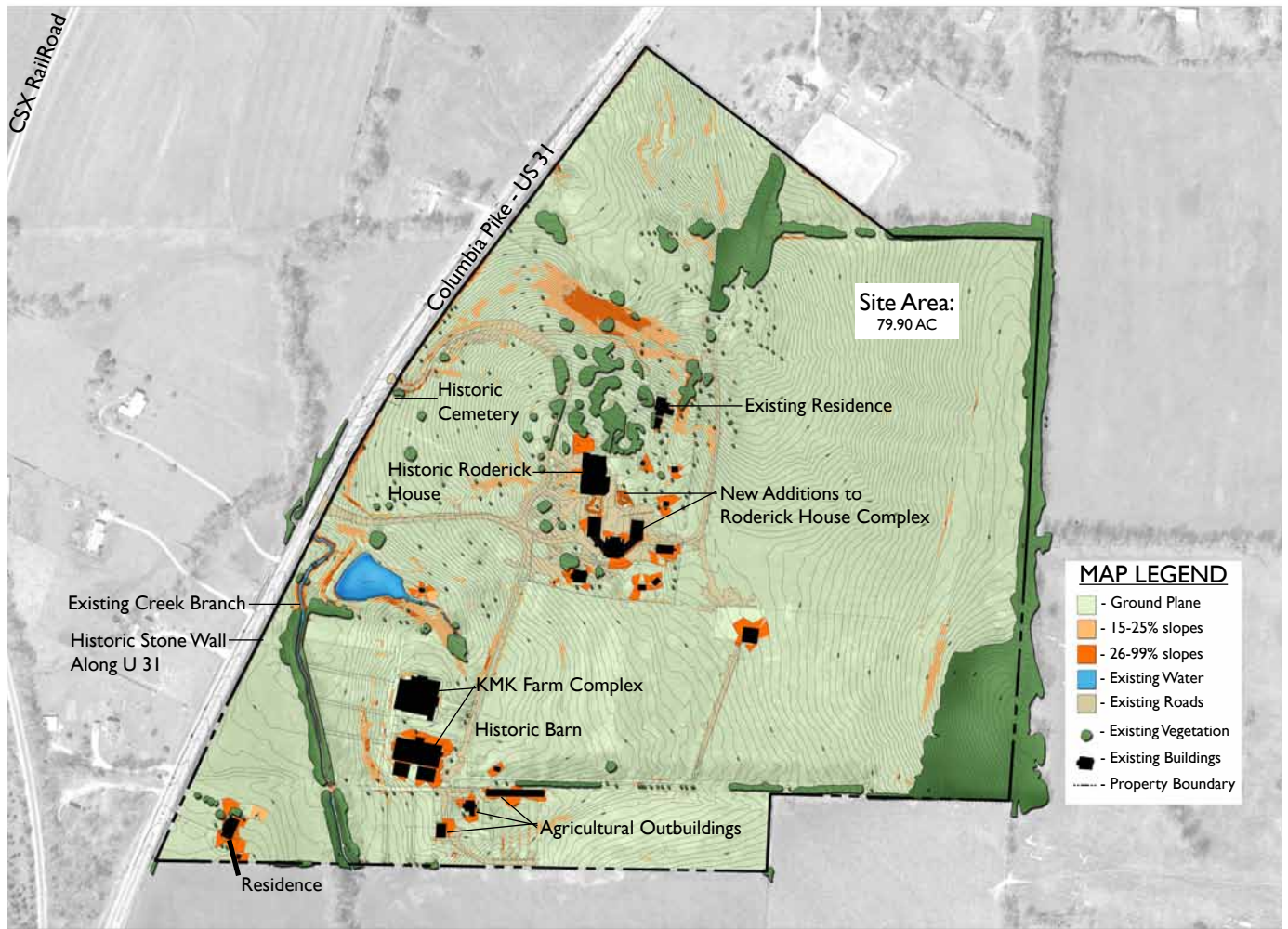
This document is a re-imagining, revision,
and re-submittal of The 'Roderick Place'
SP Rezoning Plan, approved in
October of 2007.



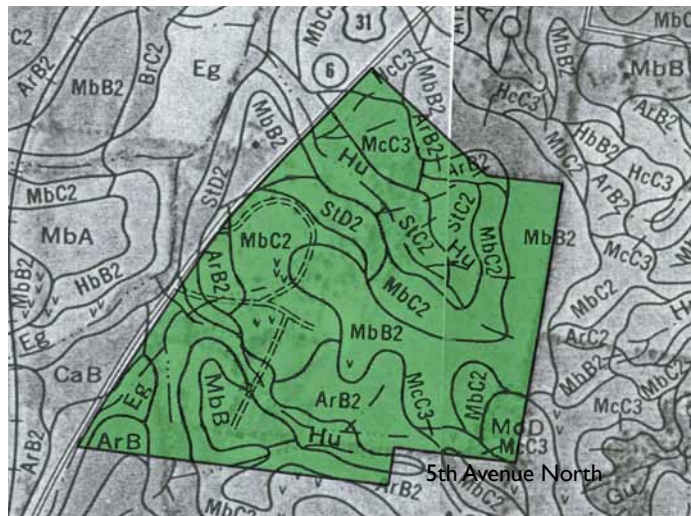
History of Roderick Farm

During the Civil War, at the Battle of Thompson's Station, noted General Nathan Bedford Forrest's horse, Roderick, was killed in effort to stand with the General. Roderick Farm is named for that horse. Roderick Place is located on a small portion of the original Roderick Farm Property which consisted of some three thousand acres belonging to Spencer Buford. A number of the site's historic elements will be retained as Roderick Place develops. Spencer Buford and his wife built the existing Federal Style home in 1801. This house is the focal point of the entire project. Mature tree stands and a cemetery marking the burial places of historic community figures will be preserved. Existing stone walls will be rebuilt and an existing statue of Roderick, who is buried in an unmarked grave at Roderick Farms, will be moved to a more visible location on the site.

In more recent years, Roderick Farms has been used as an Aberdeen Cattle farm known as KMK Acres.



In the rural farmlands of Thompson's Station, the historic Roderick Farm property is situated on gently sloping land crossed by an existing creek and dotted with mature trees. The 79.9 acre site is surrounded by farmland and beautiful existing vegetation and makes an ideal site for a project intending to preserve both cultural and natural features. Roderick Farm is located 7 miles south of Franklin, TN and just north of Spring Hill.



- ArB Armour silt loam, 2-5% slopes
- ArB2 Armour silt loam, 2-5% slopes, eroded
- Eg Egam silt loam, phosphatic
- Hu Huntington silt loam, phosphatic
- MbB Maury silt loam, 2-5% slopes
- MbB2 Maury silt loam, 2-5% slopes, eroded
- MbC2 Maury silt loam, 5-12% slopes, eroded
- McC3 Maury silt clay loam, 5-12% slopes, severely eroded
- MoD Mimosa and Ashwood very rocky soils, 5-20% slopes
- StC2 Stiversville silt loam, 5-12% slopes, eroded
- StD2 Stiversville silt loam, 12-20% slopes, eroded

SITE VIEWS



View of the existing structures overlooking the pond.



View of the existing rock wall along Columbia Pike.



View of the existing stream on site.



View of existing cemetery along Columbia Pike.



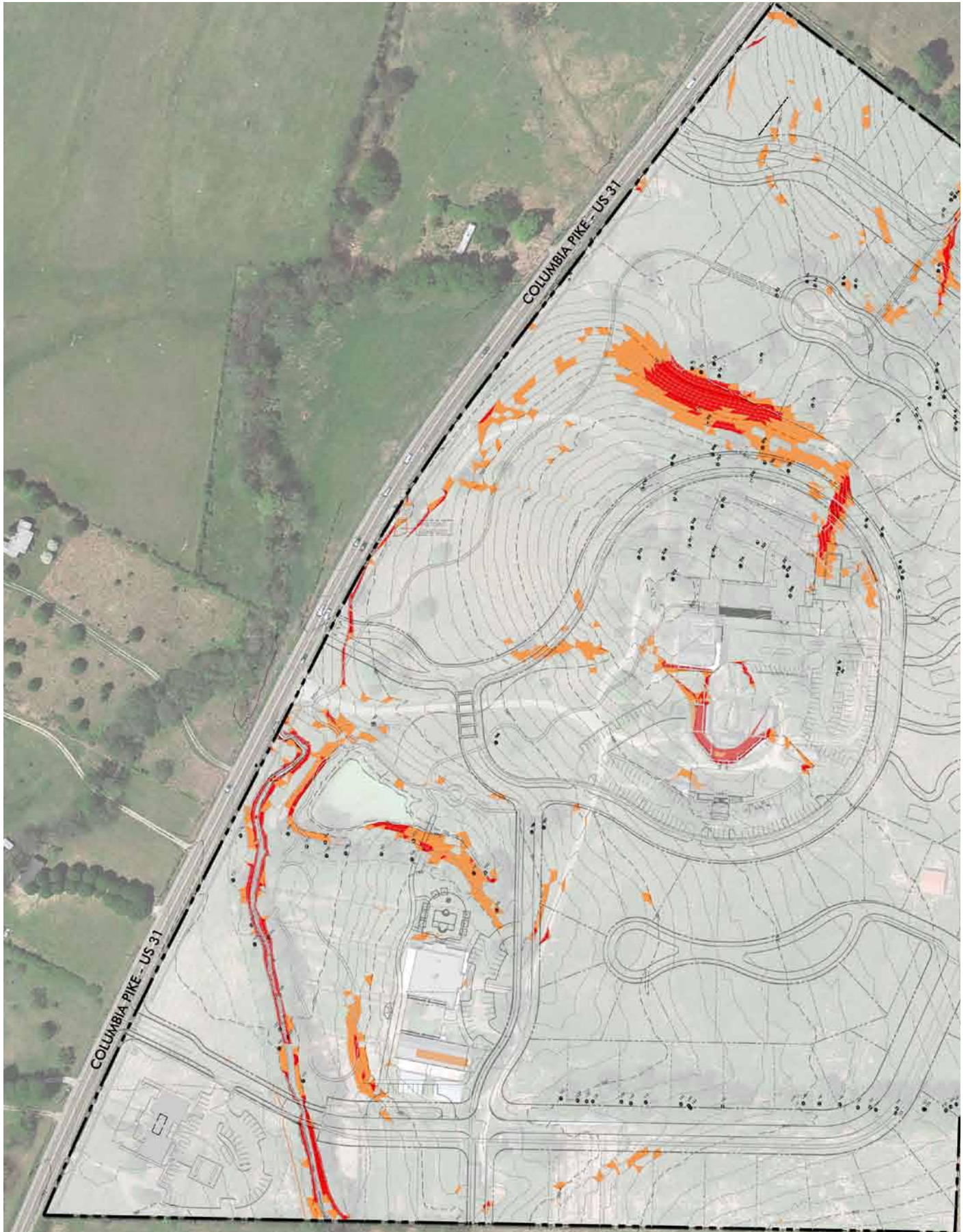
View of the preserved Roderick House.



View of existing tree line.



View of existing barn.





NATURAL RESOURCE INVENTORY



TREE SURVEY-LEGEND	
hac	hackberry
map	maple
cdi	cedar
wal	walnut
pine	pine
hic	hickory
cry	cherry
dog	dogwood
elm	elm
loc	locust
osa	osage
oak	oak
par	pear
mag	magnolia
cpis	cypress
box	box elder

Tree #	Tree Species	Tree DBH	Tree #	Tree Species	Tree DBH
2	HACKBERRY	30	125	HACKBERRY	30
7	HACKBERRY	24	131	HACKBERRY	40
8	HACKBERRY	24	132	TREE	48
9	OAK	24	133	TREE	24
11	MAPLE	30	134	TREE	24
12	HACKBERRY	36	136	TREE	36
13	TREE	48	138	TREE	24
15	HACKBERRY	30	140	TREE	24
16	OAK	40	141	TREE	30
17	OAK	36	142	TREE	24
18	HACKBERRY	24	143	TREE	24
19	HACKBERRY	24	144	TREE	24
20	OAK	30	145	TWIN TREE	24
21	HACKBERRY	24	146	TREE	40
22	HACKBERRY	24	147	TREE	30
23	HACKBERRY	48	148	TREE	24
28	OAK	30	149	HACKBERRY	24
30	HACKBERRY	24	151	HACKBERRY	36
34	HACKBERRY	36	152	HACKBERRY	24
35	HACKBERRY	24	153	HACKBERRY	24
36	HACKBERRY	24	154	TREE	24
37	HACKBERRY	24	157	HACKBERRY	36
38	HACKBERRY	24	158	HACKBERRY	24
39	HACKBERRY	48	159	HACKBERRY	36
40	HACKBERRY	36	160	TREE	36
45	MAPLE	24	161	TREE	36
52	OAK	24	162	TREE	24
53	HACKBERRY	24	164	TREE	24
54	HACKBERRY	24	167	TREE	24
55	HACKBERRY	36	168	TWIN TREE	24
56	HACKBERRY	24	176	TREE	36
57	HACKBERRY	48	177	HACKBERRY	36
58	HACKBERRY	24	179	HACKBERRY	24
59	HACKBERRY	24	182	HACKBERRY	48
60	HACKBERRY	24	183	HACKBERRY	36
63	TREE	36	184	HACKBERRY	30
65	OAK	24	185	HACKBERRY	36
69	OAK	24	186	HACKBERRY	24
70	OAK	24	187	HACKBERRY	24
71	HACKBERRY	48	189	HACKBERRY	24
72	HACKBERRY	30	190	HACKBERRY	36
73	HACKBERRY	24	191	HACKBERRY	30
74	TREE Hickory	30	192	MAPLE	24
75	HACKBERRY	40	195	HACKBERRY	24
76	HACKBERRY	24	196	HACKBERRY	48
77	HACKBERRY	24	197	HACKBERRY	48
78	HACKBERRY	24	198	SOURWOOD	40
79	HACKBERRY	24	199	CYPRESS	30
80	HACKBERRY	24	201	MAPLE	24
81	HACKBERRY	24	202	HACKBERRY	36
82	HACKBERRY	24	205	HACKBERRY	24
83	HACKBERRY	24	207	HACKBERRY	30
84	HACKBERRY	24	208	HACKBERRY	36
85	HACKBERRY	24	209	MAPLE	48
86	HACKBERRY	24	211	MAPLE	24
87	HACKBERRY	36	212	TWIN TREE	24
91	HACKBERRY	24	213	MAPLE	50
92	HACKBERRY	24	215	HACKBERRY	24
93	HACKBERRY	24	217	TWIN TREE	30
94	HACKBERRY	24	219	HACKBERRY	24
95	HACKBERRY	24	221	HACKBERRY	24
96	HACKBERRY	24	226	HACKBERRY	24
114	HACKBERRY	24	228	HACKBERRY	24
116	OAK	24	229	MAPLE	24
117	OAK	24	230	PINE	24
120	OAK	24	231	OAK	36
121	OAK	36	232	OAK	24
122	HACKBERRY	36	233	TREE	30
123	HACKBERRY	24	237	TREE	24
			238	TREE	42

SLOPE ANALYSIS			
NUMBER	COLOR	RANGE BEG.	RANGE END
1		15.00%	24.99%
2		25.00%	100.00%



Centered around the Civil War era Federal style Roderick House, Roderick Place responds to the importance of this historic land and historic home and enhances the story of this special place. This high quality mixed-use community is home to several distinct planned districts with a traditional Tennessee Federal house at its heart.

The Knoll is the diverse mixed-use core of the development centered around the Roderick Mansion. This area features an upscale restaurant, reception center, and conference space. Landscaped gardens surround and interconnect the expanded house to a new Roderick Spa and Wellness Center and the Inn at Roderick Place. Several residential options radiate from the Knoll including guest cottages, garden homes, and carriage estates. The Knoll Loop encircles the Knoll and connects to the mixed-use core to the cottage lots immediately to the east. Additional residential areas including garden homes, carriage estates, and amenity areas surround the knoll and can be accessed to the south.

Another mixed-use commercial area, The Village Market and Restaurant, is located along highway 31 to the south of the Knoll. The Village Market and Restaurant features a high-end convenience market and restaurant that, together, create a public commercial face of the project. The Barn, amenity area, and bridge are in close proximity and are a part of the public face of the project. Here, recreational amenities and a small, picturesque commercial building are nestled near one another at the south entrance to the project.

Roderick Place weaves planning concepts in a complex and interesting way. Incorporating landscape and historic features with new elements to create a development unlike any other in the Middle-Tennessee region. A rural-chic and rustic style coupled with unexpected informality create new and exciting experiences throughout the site. Each of the neighborhoods has a unique character and sense of place. While the styles are envisioned to be relaxed and informal, everything is designed to be luxurious and inviting. Roderick Place also brings residential forms and patterns, not yet seen in the region, but which fit perfectly within the fabric of the overall development.

An extensive trail network meanders through Roderick Place, linking a sequence of agrarian open spaces as you move through the property. Trails and pathways interconnect all areas of the site providing both recreational opportunities and access to the Knoll. The development offers a complete range of landscape features including open hillside meadows, a re-established boxwood garden, and informal floral gardens. Low stone walls, derived from the existing stone wall along Columbia Pike, will be used in select locations throughout the site as an important visual element and link to the historic character of the property.

MASTER PLAN DESIGN HIGHLIGHTS

The Knoll – Pedestrian-oriented, mixed-use heart of the project features Roderick's (a restaurant, conference and event space), Roderick Manor (a country inn) and a Roderick's Spa and Wellness Center.

The Barn Amenity Area – Existing barns, proposed pool and amenity area set in a creek-side park located at the south entrance to Roderick Place.

Roderick Market – High quality market and restaurant at south entry will provide convenience, retail, and auto fueling for both residents and for the town of Thompson's Station.

Neighborhoods – Unique housing types expand upon the regional availability through the creation of several neighborhoods with distinct character.

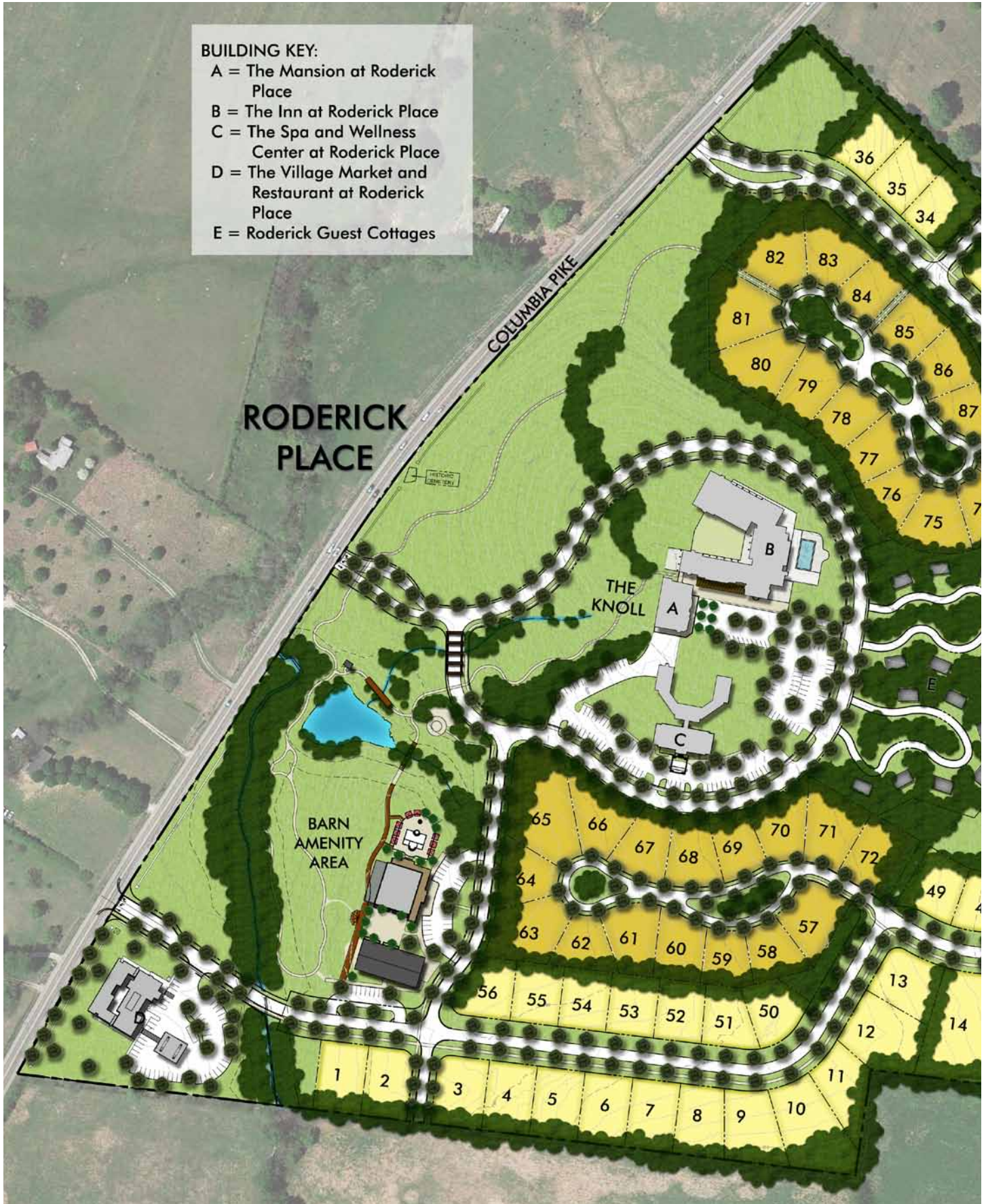
Landscape Amenities – An informal landscape style heavily populated with native plants and wildflowers are envisioned to be an integral part of the character of each individual area of the development

History – Preservation of the existing barns, recreation of gardens at the knoll and renovation of the original house recall the Civil War period, while the integration of a new equestrian-themed elements and the Roderick Statue pay tribute to the Roderick story.

Pedestrian Quality – Extensive network of paths, gardens and trails allow residents to enjoy the varied beauty of the



- BUILDING KEY:**
- A = The Mansion at Roderick Place
 - B = The Inn at Roderick Place
 - C = The Spa and Wellness Center at Roderick Place
 - D = The Village Market and Restaurant at Roderick Place
 - E = Roderick Guest Cottages



MASTER PLAN



MASTER PLAN TABULAR DATA

EXISTING ZONING: Specific Plan - High Intensity District
 PROPOSED ZONING: No Change
 GROSS SITE AREA: 79.90 AC

OWNER INFO: KMK Acres, LLC

PARCEL INFO:

Parcel A: 4626 Columbia Pike
 Deed Book & Page #: DB 6186, Pg. 657
 Tax Map & Parcel #: Map 146, Par. 15.01
 Size: 13.6 AC

Parcel B: 4624 Columbia Pike
 Deed Book & Page #: DB 1500, Pg. 191
 Tax Map & Parcel #: Map 146, Par. 15.01
 Size: 66.3 AC

REQUIREMENTS OF PROPOSED ZONING: Specific Plan, High Intensity District (Cluster Option)- General Plan Requirements:

Maximum Density: 3.00 DU/AC
 Maximum Height: 3 Stories
 Minimum Site Area: 10 Acres
 Maximum Site Area: 100 Acres
 Area Permitted as Residential: 100%
 Area Permitted as Commercial: 100%

COMMERCIAL AREAS: (The Knoll + Roderick Market & Restaurant)

Overall Acreage	
The Knoll	14.28 AC
Roderick Market & Restaurant	2.58 AC
Net Commercial Area:	16.90 AC

Required Commercial O.S.:	8.45 AC (50%)
The Knoll	9.59 AC (66%)
Roderick Market & Restaurant	1.64 AC (64%)
Provided Commercial O.S.:	11.23 AC (66%)

The Knoll	+/- 117,132 SF (Hotel - 76 Keys, Spa, + Mansion) (+/-55,000 sf existing)
Roderick Market & Restaurant:	+/- 5,530 SF
Guest Cottages:	+/- 44,800 SF (56 Units)
Total Square Non-Residential:	+/- 167,462 SF (56 Units)
Permitted FAR:	0.23
Net FAR:	0.23

RESIDENTIAL AREAS:

Net Residential Area:	63.00 AC
Required Residential O.S.:	25.20 AC (40%)
Provided Residential O.S.:	27.18 AC (43%)

Total Units:	87 Dwelling Units
Permitted Density:	3.00 DU/AC
Provided Density:	1.38 DU/AC

TRAILS

Proposed Trail Length:	+/- 4520 LF
------------------------	-------------



OPEN SPACE PLAN

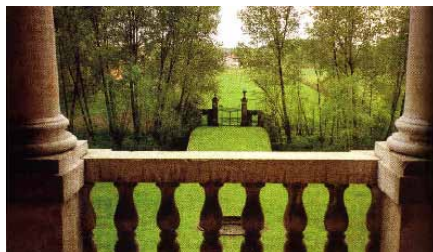
Open spaces and amenities are a key driving force in the plan for Roderick Place. The entire master plan celebrates the site's natural features through preservation of a significant amount of open space. The master plan balances mixed-uses and residential homes with exceptional and expansive natural scenery.

The Open Space Plan highlights some of the opportunities inherent in such an approach. Parks and trails will enhance and invite users to enjoy the site's natural features. In addition, it is the intention of the plan to restore natural habitat, where possible, to its original condition as is possible after years of grazing.

This natural habitat will be contrasted with a collection of informal parks, greens, and gardens within the neighborhoods. These areas will attract pedestrians and provide a relaxed settings for outdoor recreation. All of these spaces will be linked by a network of sidewalks, pedestrian footpaths and bikeways, allowing non-motorized traffic to move freely throughout the site.



Scenery to be preserved



Conceptual open space images

OPEN SPACE AREAS

“The Front Lawn” - The sloping meadow along Columbia Pike is bordered by an existing stone wall and includes the historic cemetery. The plan proposes preservation of the meadow and a dramatic forest hedgerow flanking and framing views to the Roderick House.

The Barn Amenity Area - Area includes the barn amenity area which features two existing buildings re-purposed to amenity buildings, a pool, and a community gathering space. The amenity buildings are set amidst bridges, waterfalls, a memorial to Roderick the horse, the Roderick Place trail system, and the wooded beauty of the existing creek.

The Gardens of The Knoll - These Gardens are in and around Roderick Mansion, the Inn at Roderick Place, and the Spa and Wellness Center, . The informal nature of the gardens and the careful selection of plants will create a casual and relaxed environment at the Knoll. The gardens link the elements of the Knoll to the cottages to the east and transition to a natural landscape to be re-forested over time.

Gardens of the Garden Homes - The gardens at the garden homes will be informal gardens and landscape areas that may be used for rain water treatment or may be purely aesthetic in nature. A strong emphasis on deep-rooted, native plants with a succession of blooms through all seasons is preferred.

The Green at the Cottages - The cottages are nestled into an immense open space that will be reforested over time to create a sense of privacy at the knoll and the surrounding residential lots. Outside of the forested area, a series of glades and pastures will be preserved where community spaces such as trails, fire pits, pavilions and other informal gathering spaces as a natural amenity area for guest of the knoll and residents alike.





OPEN SPACE MASTER PLAN

COMMUNITY OPEN SPACE / LANDSCAPE GUIDELINES:



Community Buffers

1. Residential Lot / Columbia Pike Buffer - A buffer of at least 200' is provided between residences and Columbia Pike. Existing trees will be preserved to the greatest extent possible. Where necessary, one canopy tree shall be provided for every 25 feet of Columbia Pike frontage to supplement and enhance preserved existing trees. A continuous evergreen hedge row shall be provided at the residential property line. Evergreen Hedge shall be installed at a height of at least 36 inches and shall be planted a maximum of 48 inches on center. Hedge should have a mature height of six feet.
2. Property Boundary Buffer - A landscape buffer / landscape buffer easement with a minimum width of 20 feet shall be provided at the exterior boundary of this development. Existing trees should be preserved where possible. Where existing trees do not exist or need to be supplemented, 3 canopy trees and 15 shrubs shall be planted for every 100 feet of adjacent boundary. Trees shall be a minimum of 2.5 inch caliper. One out of every three canopy trees installed shall be evergreen. Shrubs shall have a mature height of at least four feet.
3. Barn and Village Buffer - A minimum width of 15 feet of informally planted canopy trees shall be provided with one tree for every 50 feet of adjacent Columbia Pike Right-of-Way. Canopy Trees shall be a minimum of 2.5 inch caliper.
4. Eastern Property Boundary - Large lots are planned through this area to allow existing trees to be preserved to the greatest extent possible. Where existing trees do not exist or need to be supplemented, a combination of existing and proposed trees should achieve 3 canopy trees for every 100 feet of required buffer. Trees shall be a minimum of 2.5" caliper. One out of every 3 canopy trees installed shall be evergreen. Minimum of 30 feet landscape buffer / landscape buffer easement shall be provided and existing trees will be preserved where possible.
5. Garden Lot Buffer - Where Garden Lots back up to public rights-of-way, a 15' landscape buffer easement will be established within the lots adjacent to the right-of-way. Existing trees should be preserved where possible. Where existing trees do not exist or need to be supplemented, a combination of existing and proposed trees should achieve 4 canopy trees and 15 shrubs for every 100 feet of required buffer. Trees shall be a minimum of 2.5" caliper. One out of every 3 canopy trees installed shall be evergreen. Shrubs shall have a mature height of at least 4'.

Street Trees

Street trees to be provided per street sections beginning on page 37.

Parking Lot Landscape Requirements

- All off-street parking should be hidden from view of the public street and located at the rear of all proposed buildings where possible.
- Where off-street parking abuts a public or private road it shall have a minimum 7' buffer.
- Parking should be designed to minimize site impact on existing natural features.
- For every 12 continuous parking spaces there shall be a planting island.

Dumpster Requirement

- Where dumpsters are required, an opaque screen wall / fence shall be provided surrounding its perimeter with a minimum height of 72 inches.
- Dumpster screen / wall shall consist of wood, brick masonry, stone or faux stone
- Access gates shall be a minimum 72 inches in height, opaque and of a style appropriate to tie to surrounding architecture.
- Foundation planting shall be provided with an evergreen hedge with a minimum height of 30 inches at the time of installation.

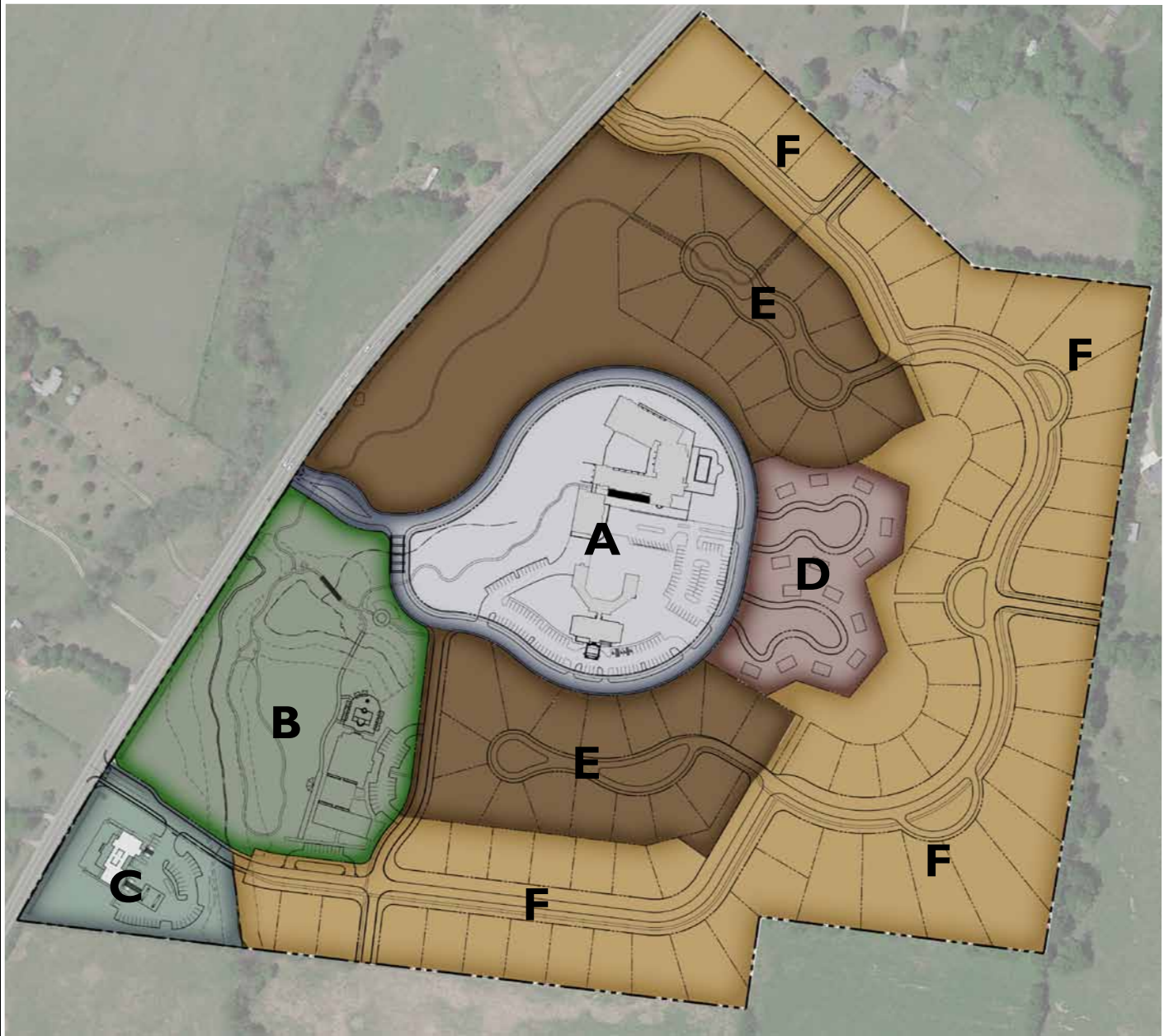


REGULATING PLAN

The Regulating Plan for Roderick Place graphically articulates the different residential patterns and specifies the building types permitted throughout. This is intended to ensure a project that will, at full build-out, meet or exceed the goals of both the developer and the Town of Thompson's Station, while creating an attractive, appealing, and sustainable community.

In general, the Roderick Place Regulating Plan defines the project's distinctive residential patterns and configurations and provides several housing types and prices. This plan is structured to encourage maximum compatibility with adjoining property uses and zoning. In addition, the Regulating Plan defines opportunities for commercial and civic uses within The Knoll and Roderick Market to reinforce the sense of place and to provide community services.





Building Typologies

- A. The Knoll
- B. The Barn Amenity Area
- C. The Village Market and Restaurant
- D. Roderick Guest Cottages
- E. Carriage Estate Homes
- F. Garden Homes

Notes

1. The regulatory plan is representative of the intended development. Final plan may include minor modifications to lot locations and lot sizes - not exceeding minimums or maximums established as part of this zoning document.
2. For further information, see the following building typologies beginning on page 20.

THE KNOLL (Mixed-Use Commercial)

The Central entrance drive leads visitors by a charming bridge, through open hillside meadow to The Knoll. The carefully expanded Roderick House and series of new buildings and services provide a beautiful setting for dining, receptions, conferences, events and wellness. To the West, the house remains the dominant architectural landmark overlooking preserved open pasture, the existing cemetery and Columbia Pike. Planted forest hedgerows flank Roderick House and cascade down the hillside to frame and enhance the importance of the original structure. Roderick Mansion forms the western terminus of an entry drive and arrival sequence that ties the Mansion, the Inn at Roderick Place, and the Spa and Wellness Center together. Looking east from the Mansion down the entry drive, guests will also see the Roderick Guest Cottages as the project transitions from commercial uses, to guest cottages, to the residences beyond.

Roderick's Spa and Wellness Center will provide state of the art Orthopedic Rehabilitation and Cosmetic Surgery care and service in a beautiful Tennessee Federal style building. Connected to the treatment center, the day spa occupies a courtyard building with private pool and terrace. These buildings are of a similar scale and style to the Roderick House and feature traditional red brick construction with cast stone detailing. The treatment center and spa are nestled in and surrounded by beautiful landscape elements. The Inn at Roderick Place, the boutique inn, reflects the architectural features of the Roderick House but in a more informal garden setting. A range of architectural styles from Federal (matching the existing house), to Colonial, to Country Farm House is envisioned to create a series of buildings that appear to have grown over time to create the proposed Boutique Inn. Each building will have its own style and furnishings appropriate to its historical period. The inn features an automobile arrival courtyard along the primary Knoll axis for guests and visitors. The landscaping and gardens are just as important as the buildings of the Knoll. Landscape features include a canopied entrance to Roderick Mansion at the arrival square, a well-landscaped, parking and arrival area, the entry courtyard to the Inn at Roderick Place, the Wellness Gardens associated with the Spa and Wellness Center and lush landscaping which conceals a new service area next to Roderick Mansion. The gardens interconnect to provide a beautiful setting for gatherings and events at the Knoll and within the Inn courtyard and front yard and serviced by the Inn and the Mansion. The gardens will be built to an exceptional horticultural level, and will be designed to compliment Roderick Mansion with historically rooted garden concepts.



PERMITTED USES:

- Restaurant
- Retail Shop
- Boutique Shop
- Boutique Inn
- Day Spa
- General office
- Medical office
- Conference rooms and event space
- Guest Cottages

LOT STANDARDS

- Building Coverage: 75% Maximum
- Primary Structure Front Setback: 0 Feet Minimum
- Primary Structure Side Setback: 0 Feet Minimum
- Primary Structure Rear Setback: 0 Feet Minimum
- Distance Between Buildings: 10 Feet Minimum
- Height: 3 Stories Maximum
- Easements
- Parking: Parking to be provided per plan. Valet parking will be available during hours of operation and Overflow Parking will be provided at designated Locations.
- Signage: See Page 26 For Signage Guidelines.

THE BARN AMENITY AREA (Residential Amenity)

The Barn, Bridge, Residential Amenity area, and Roderick Market and Restaurant present a unique “face” of Roderick Place and create a memorable entrance to the residential community. Two existing farm buildings (the Horse Barn and the Farm Office) are retained and given new life as recreational building and are the focal point of this amenity area.

The farm office will be home to a residential club and HOA office building and the hub for pool and outdoor gathering spaces. This could be used for parties or resident events. At the Horse Barn, a soaring second floor loft space provides an outstanding location for events, parties and receptions, and creates a unique experience for the residents of Roderick Place and Thompson’s Station. The loft also provides an additional venue for conferences taking place at the Knoll or a stage for summer theater productions. The ground floor of the barn houses the services and amenities associated with the event space and could include a marketplace for antiques and collectibles. A grassy open space next to the Barn provides remote or overflow parking for events on the property and eliminates the need for large paved parking lots. A proposed bridge in this area adds another landmark feature to Roderick Place to connect the many elements of Roderick Place. The historically inspired bridge serves vehicular traffic and offers an attractive and safe pedestrian walkway overlooking the existing stream. The Village Market and Restaurant provides for every-day at a local, retail shop which will offer necessities like milk and bread and will also be a casual place to go for coffee or ice cream.



PERMITTED USES:

- Residential Club
- Pool and other Recreational Uses
- Cabana and Changing Rooms
- HOA Offices
- Event Space

LOT STANDARDS:

- Building Coverage: 75% maximum
- Primary Structure Front Setback: 0 feet minimum
- Primary Structure Side Setback: 0 feet minimum
- Primary Structure Rear Setback: 0 feet minimum
- Distance Between Buildings: 10 feet minimum
- Height: 2 stories maximum
- Parking: Permitted uses shall satisfy parking requirements per the Town of Thompson’s Station Zoning Ordinance. On-street parking may count toward the required parking if directly adjacent the subject parcel.
- Signage: See page 26 for signage guidelines

THE VILLAGE MARKET AND RESTAURANT (Commercial Use)

The Village Market and Restaurant at Roderick Place is a small convenience-scale market with auto fueling and a +/- 150 seat restaurant. Ample outdoor seating in a partially-covered, fenced dining area is planned as a destination for outdoor dining. A central kitchen will support both the restaurant and will create the high-end on-the-go food at the convenience market. The restaurant and market will be served by parking tucked behind the building and hidden from Columbia Pike.



PERMITTED USES:

- Restaurant
- Retail Shop
- Catering
- Convenience Market
- Auto Fueling

LOT STANDARDS:

- Building Coverage: 75% maximum
- Primary Structure Front Setback: 0 feet minimum
- Primary Structure Side Setback: 0 feet minimum
- Primary Structure Rear Setback: 0 feet minimum
- Distance Between Buildings: 10 feet minimum
- Height: 25 feet maximum
- Parking: Parking Requirements Per The Town Of Thompson's Station Land Development Ordinance. On-Street Parking May Count Toward The Required Parking If Directly Adjacent The Subject Parcel.
- Signage: See page 26 for signage guidelines

RODERICK GUEST COTTAGES (Hospitality Use)

Roderick Guest Cottages are proposed just on the eastern periphery of the Knoll Mixed-Use Commercial area. A maximum of 56 units are permitted comprised of a mix of one, two, and four unit cottage homes. The Guest Cottages will provide a gentle transition from the Mixed-Use Knoll Commercial area to the surrounding for-sale residential uses. A variety of architectural styles and patterns is envisioned in this area to emphasize an informal and rural character. The landscape palette should evoke country garden imagery and should further emphasize the informal nature of this area.



LOT STANDARDS:

- Primary Structure Front Setback: 15 feet minimum
- Primary Structure Rear Setback: 35 feet minimum
- Primary Structure Side Setback: 5 feet minimum
- Building Height: 3 stories maximum
- Raised Foundation At Front Façade: 18 inches minimum
- Height: 2 stories maximum
- Parking: Permitted uses shall satisfy parking requirements per the Town of Thompson's Station Zoning Ordinance. On-street parking may count toward the required parking if directly adjacent the subject parcel.
- Distance Between Buildings: 20 feet minimum

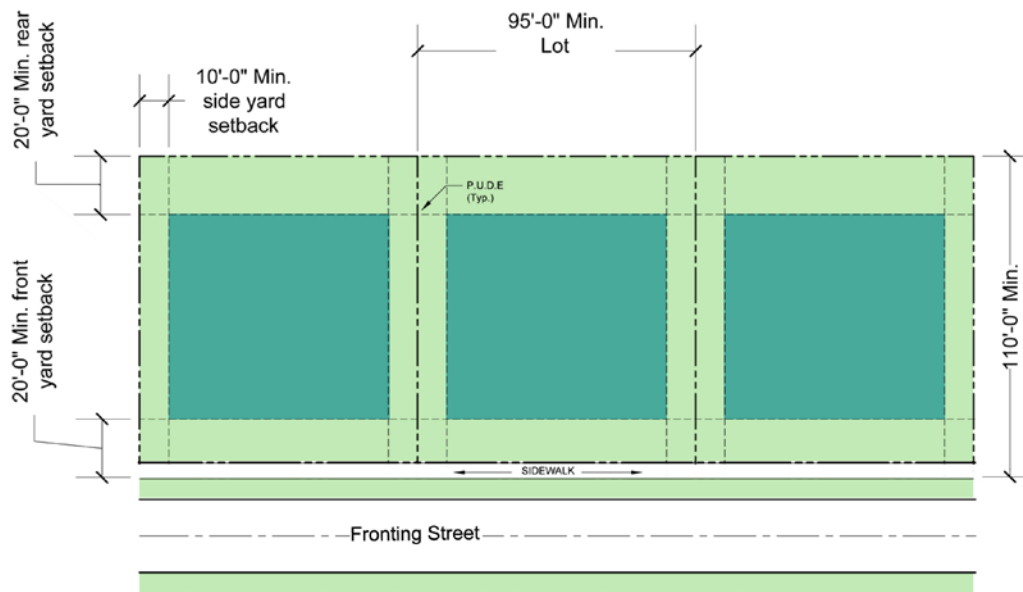
RESIDENTIAL USES AND LOT TYPES

The lots proposed for Roderick Place are designed to accommodate multiple home sizes appropriately scaled and set to create an informal streetscape with a rural country feel. Individual Phases or groups of lots within the development could possess unique architectural character by emphasizing and encouraging specific architectural styles such as: Tennessee Federal (which expands upon the original architecture of the area), Classic American, or Updated Neoclassical style. One group of homes' architectural styles could emphasize large, inviting front porches, while others might emphasize a formal front stoop, but each phase will strive to create significant variations within its architectural style; styles should not be repetitive. Generous landscaping and soft landscape lighting are essential to creating the inviting character of the neighborhood. Cottage Lots are accessed by a shared drive. All lots will have garages accessed from the street (or shared access drive) on which they front.

CARRIAGE ESTATE HOMES (TYP. LOT 95' X 110' | FRONT-LOADED) (RESIDENTIAL)



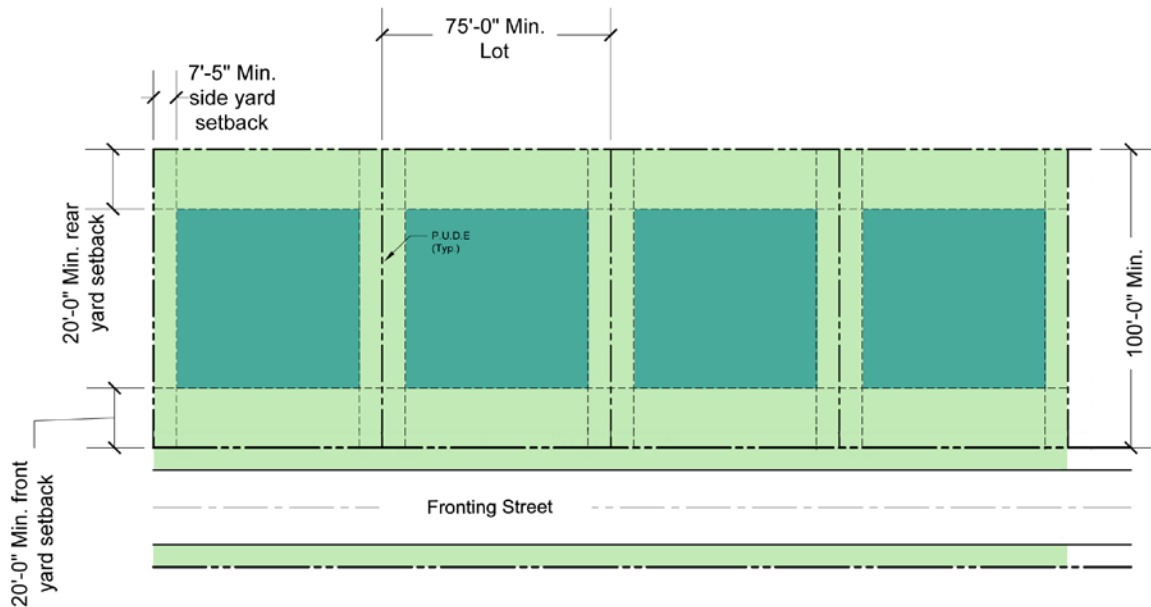
- Lot Area: 11,000 square feet minimum
- Building Coverage: 55% of lot maximum
- Primary Structure Front Setback: 20 feet minimum
- Primary Structure Rear Setback: 20 feet minimum (building envelope may not encroach into landscape easement)
- Primary Structure Side Setback: 10 feet
- Primary Structure Side Street Setback: 20 feet minimum
- Lot Width At Front Setback: 95 feet minimum
- Lot Depth: 110 feet minimum (measured at the central axis of the lot)
- Building Height: 3 Stories Maximum (including walk-out basements where possible)
- Raised Foundation At Front Façade: 18 Inches Minimum
- Required Off-Street Parking: Minimum 2 Cars Per Unit Within An Enclosed Garage.
- Front Facing Garages are discouraged. Where necessary the garage must be set back a minimum of 20 feet from the primary front facade and garage doors shall be improved and articulated to appear as carriage doors.
- Driveways shall be a maximum width of 12' wide from the street to the primary façade of the home. The driveway may expand to accommodate side load garages or extra parking area beyond the primary façade of the home, but shall be set back a minimum of 5' from the property line.

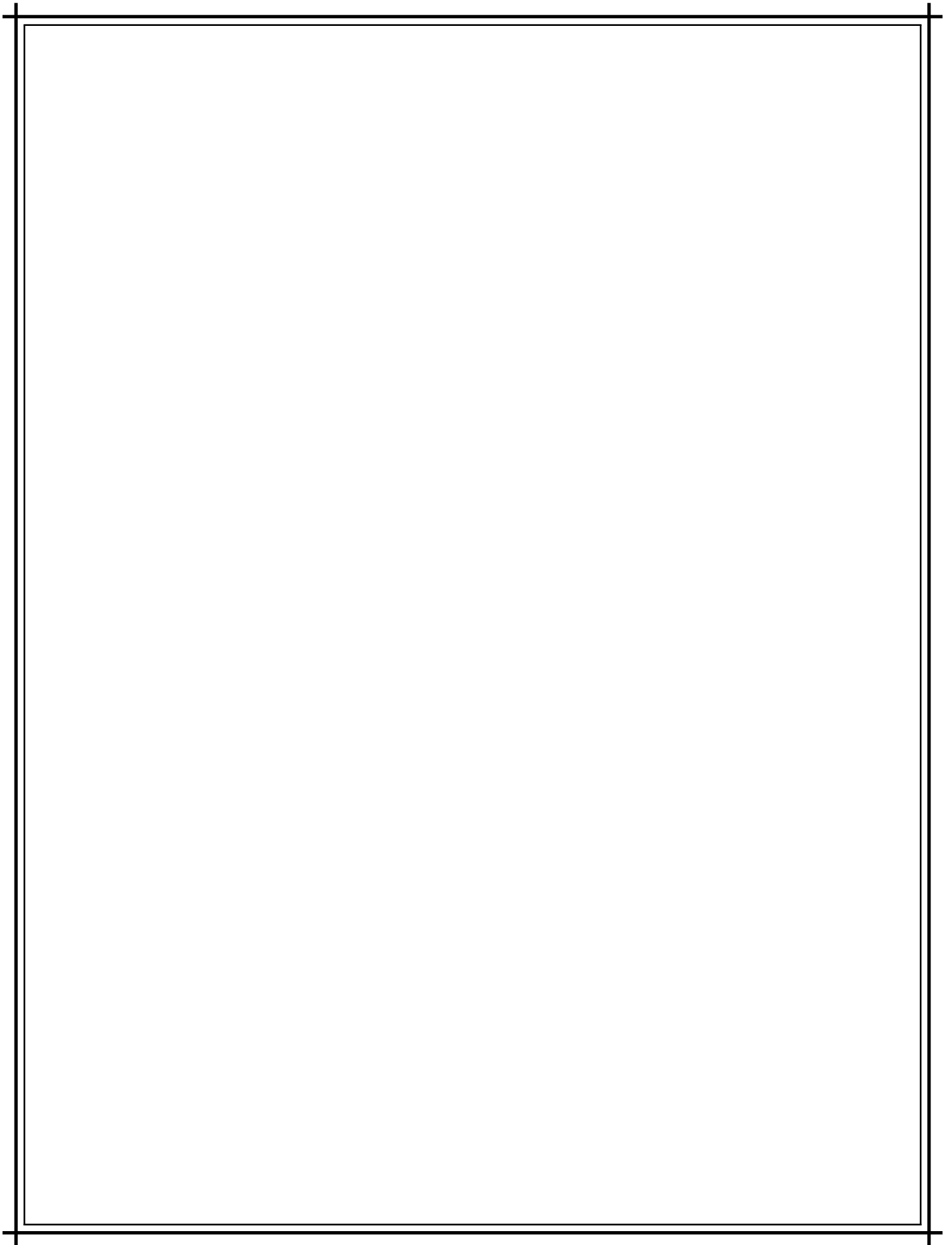


GARDEN HOMES (TYP. LOT 75' X 100' | FRONT-LOADED)



- Lot Area: 7,000 square feet minimum
- Building Coverage: 55% of lot maximum
- Primary Structure Front Setback Zone: 20 - 25 feet
- Primary Structure Rear Setback: 20 feet minimum
- Primary Structure Side Setback: 7.5 feet
- Primary Structure Side Street Setback: 12.5 feet minimum
- Lot Width at Front Setback: 75 feet minimum
- Lot Depth: 100 feet minimum (measured at the central axis of the lot)
- Building Height: 3 stories maximum (including walk-out basements where possible)
- Raised Foundation at Front Façade: 18 inches minimum
- Required Off-street Parking: Minimum 2 cars per unit within an enclosed garage.
- Where Garden Lots back up to street network, the homes must have strong front and rear elevations and shall be heavily screened from rear streets.
- Front Facing Garages are discouraged. Where necessary the garage must be set back a minimum of 20 feet from the primary front facade and garage doors shall be improved and articulated to appear as carriage doors.
- Driveways shall be a maximum width of 12' wide from the street to the primary façade of the home. The driveway may expand to accommodate side load garages or extra parking area beyond the primary façade of the home, but shall be set back a minimum of 5' from the property line.







A R C H I T E C T U R E
&
S I T E E L E M E N T S

ARCHITECTURAL PALETTE & STYLES

Tennessee Federal Style

- This is the most traditional and formal style in the palette.
- The façade is orderly, with windows in symmetrical vertical rows around a central door.
- Brick, stone, or fiber cement siding primary building material with cast stone or painted wood accents
- Windows are double-hung with sashes (upper and lower), typically with six panes per sash.
- Uses a hip or gable roof with brick or stone chimneys and optional gable accents or a flat roof with a detailed parapet and cornice.
- A semicircular or elliptical fanlight over panelized front door is a common feature of this style.
- Palladian and arched windows are common but restrained. These should only be used in a meaningful way.



Updated Neoclassical Style

- This style uses many of the principles of the Tennessee Federal style, but allows a greater range of less predictable details.
- The form of the house is still quite formal, but may include wings, terraces, bay windows, dormers and front porches to increase the architectural palette beyond the Tennessee Federal style.
- Brick and stone are the primary building materials with cast stone or painted wood accents.
- Material changes are acceptable throughout the house. For example, on multi-story houses and buildings, a first story of cast stone, can be used with upper stories of brick or cementitious siding.
- Details like iron work, French doors and appropriately scaled columns are encouraged to add interest to the architecture.



Classic American Style

- This style has roots in the folk Victorian, country farmhouse, bungalow, craftsman, and shingle styles, and is more informal than the above architectural styles.
- It can retain the basic symmetry and simplicity of the Federal style, or it may introduce asymmetrical floor plans of a looser nature.
- Roofs are frequently steeply pitched gable roofs with deep overhangs and are finished with asphalt shingles and/or standing seam metal.
- The primary building materials are cementitious siding, wood, stucco, brick or stone with wood or cast stone detailing.
- Dormers, chimneys, large front and side porches and other details are highly encouraged and the asymmetrical placement of these will “loosen” the appearance of the house.
- Bay windows, columns and French doors are all encouraged to add interest to the house.



Countryside Vernacular (Not for use in residential architecture)

- This style is an elegant version of a picturesque village. Architecture references barns and stables as well as the charm of Main Street America; all in a park-like setting.
- Cementitious Siding, Stone, brick, stucco and wood are the primary façade materials with simple high quality detailing.
- Roofs are hip or gable and may feature weather vanes, spires and cupolas of painted wood, copper or iron.
- Large windows, doors, generous front porches, and gazebos and an inviting attitude with a sense of hospitality.



GENERAL BUILDING REQUIREMENTS

- All buildings will use a level of detail and articulation on all sides of the building appropriate to articulate a complete architectural idea and a well-crafted feeling to each building. A simple farm house character is permitted.
- Avoid large monolithic massing.
- Use natural building materials and / or historically accurate materials where possible.
- Where two or more materials are combined on a façade, the visually heavier of the two materials shall be located below the lighter. Material composition will be in keeping with historical architectural precedents.
- Primary façade materials shall not change at outside corners. Material changes should happen at inside corners and offsets in walls. It is acceptable to change materials where used as trim or accents around windows, doors and cornices.
- Exterior colors shall be compatible and consistent with historical precedents. If bright colors are used, they shall be used in moderation and with respect to neighboring properties.
- The exterior building material of chimneys shall be masonry (stone or brick).
- Windows shall be double hung and shall be inset into walls to create shadow lines and a sense of quality.
- Secondary structures and garages shall generally be constructed of the same materials as the primary building or house, but varied materials may be permitted when attempting to create a sense of being built over time.
- Rooftop and ground-mounted utility units shall be screened from public views. A person standing on the property line of the site should not be able to see the equipment. Architectural screening shall be constructed of materials similar to those used on the building. Landscape screening is also permitted and shall be evergreen with a minimum installed height of 30 inches.
- Where required, all access to commercial building rooftops shall be by internal roof ladders not visible from the public way.
- All trash and service areas, meters, piping, transformers and other ground-installed equipment shall be screened. Architectural screening shall be constructed of materials similar to those used on the building. Landscape screening is also permitted and shall be evergreen with a minimum installed height of 30 inches.
- Repetition of home plans with the same front façade is generally discouraged and is prohibited within 6 homes on either side of the street.

ARCHITECTURAL MATERIALS

General Descriptions

- Natural building materials and / or historic materials where possible. Cementitious siding or faux stone are also permitted.
- Where two or more materials are combined on a façade, the visually heavier of the two materials shall be located below the lighter. Material composition will be in keeping with historical architectural precedents.
- Primary façade materials shall not change at outside corners. Material changes should follow form changes. It is acceptable to change materials where used as trim or accents around windows, doors and cornices.
- Exterior colors shall be compatible and consistent in keeping with historical precedents. If bright colors are used, they shall be used in moderation and with respect to neighboring properties.
- The exterior building material of chimneys shall be brick or stone only. Brick or stone should match primary façade material if primary facade is also brick or stone.
- Translucent or back-lit canopies and awnings must be canvas or metal. Plastic is not permitted.
- Glass shall be clear and non-reflective

Permitted Building Façade Materials

- Brick (standard modular or matching a historical standard)
- Natural Stone
- Cementitious Siding and Trim
- Faux Stone
- Wood
- Stucco

Soffits

- Cementitious Board Soffit
- Vinyl or Aluminum not permitted

Permitted Roof Materials

- 25-year Composition Shingle (or better)
- Standing Seam Metal
- Wood Shingles
- Concrete Roof Tiles
- Slate or Faux Slate
- Flat Roofs (where surrounded by a decorative parapet and cornice, with or without a balustrade, or where consistent with the architectural style of the building.)
- Accents of Copper (used in dormers, gutters, cupolas, spires, and other roof features)

Permitted Windows and Doors

- Wood, CVPC or aluminum clad window with historic inspired profiles are required.
- Clear, insulated, high performance, low-E glazing
- Windows should have appropriate muntins, with true divided lights, or simulated divided lights which place muntins pieces on the inside and outside of the glass. Grid Between Glass (GBG) is prohibited.
- High quality aluminum storefront for commercial use only
- Wood entry doors
- Garage doors, especially those facing public roads or courtyards, shall be of high-quality, carriage style, painted or stained wood or painted metal, well-detailed, and in character with the style of the building. Doors should be diminished and they should be a decorative feature of the elevation, accentuating the style of the building.

Shutters

- Painted or stained wood
- Shutters are to be installed with actual operating hardware or shall have the appearance of operable shutters
- Shutters should be of a style consistent with the style of the house, half the size of the window, and proportioned to be functional with relation to the size of the window it serves

Architectural Trim

- Painted or Stained Wood
- Hardiboard
- Cast Stone
- Azek or similar
- Vinyl or Aluminum Trim not permitted

Columns

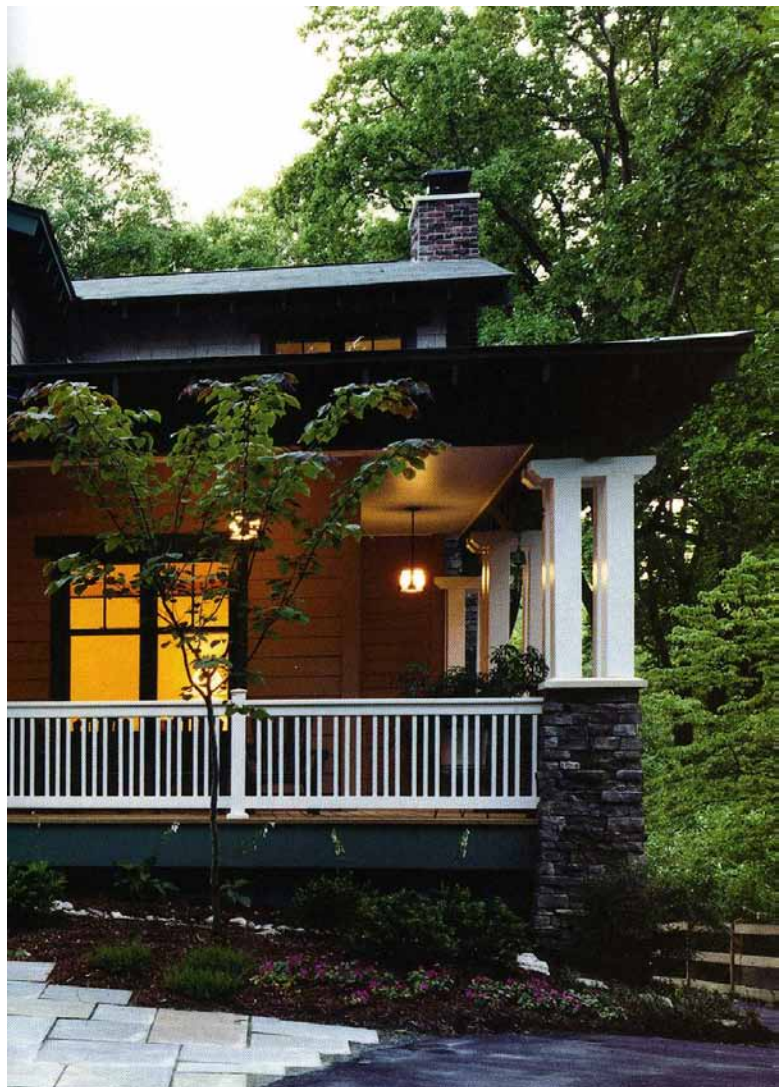
- Painted or Stained Wood
- Brick
- Natural Stone
- Cast Stone
- Azek or similar

Trellises and Garden Structures

- Painted, stained, or naturally weathering wood
- Steel with decorative finish
- Wrought Iron
- Cast Stone
- Azek or similar

Awnings

- Commercial quality canvas awning
- Open sides
- Sturdy metal frames
- Plastic or interior glowing awnings are prohibited



SITE SIGNAGE

Signs include any outdoor object, device, or structure used to advertise, identify, display, direct, or attract attention to any person, institution, organization, business, product, service, event or location by any means, including words, letters, figures, designs, symbols, fixtures, colors, illumination or projected images. Signs do not include flags or emblems of any nation, organization of nations, state, city or religious organization.

Categories of Signage

Directional Signage

- Traffic Signs
- Street Signs
- Parking Regulations

Development Signage (at entrances)

- Iron letters mounted to the stone wall
- Soft illumination by discreet lighting placed in the landscape

Neighborhood Identification Signage at neighborhood entries

- Iron letters mounted to masonry walls or pillars
- Soft illumination by discreet lighting placed in the landscaping

Commercial Signage

Individual letters on the buildings

- Individual letter signs will be of white, black, gold, bronze or silver. High quality wood or metal letters individually pin-mounted a minimum of one inch from face of wall or background. No plastic letters.
- Letters shall be prismatic face letterforms with full facets, round face forms, flat faces or layered letterforms with face and liner
- Wall signs shall be mounted through the wall material to the structure behind
- Blade Signs
- Awning Signs
- Letters painted on storefront glass
- When illuminated, signs should use either internal light sources, soft backlighting, decorative light source or concealed architectural light source
- Distinctive type styles is encouraged for all commercial signs

Gas Station

- Changeable electronic text or digital sign panels consistent with Town of Thompson's Station LDO are permitted





Bridges

- Spanning a small swale near the main (center) entry to the knoll, a natural stone bridge sits lightly in the quiet country landscape. Large scale lanterns add ambiance and highlight the craftsmanship of the bridge.
- Another bridge serves as a landmark for Roderick Market and Restaurant as the entry road transitions from the Market to residential amenities and to residential uses and helps to make Roderick Place a unique destination. See the Barn, Bridge, Amenity and Roderick Market and Restaurant section for more information about this area.
- Pedestrian bridges might also be incorporated in several locations including at the streams near the Residential Amenity Area.



Fences and Walls

- A series of horse fences and stone walls will be utilized as visual accents and reminders of the historic character of the Roderick Place Property.
- Low stone walls (30-36" high), hedgerows, equestrian fences (48" high of dark brown stained wood) and privacy walls will be used where functionally appropriate and when visually necessary.









Sidewalks

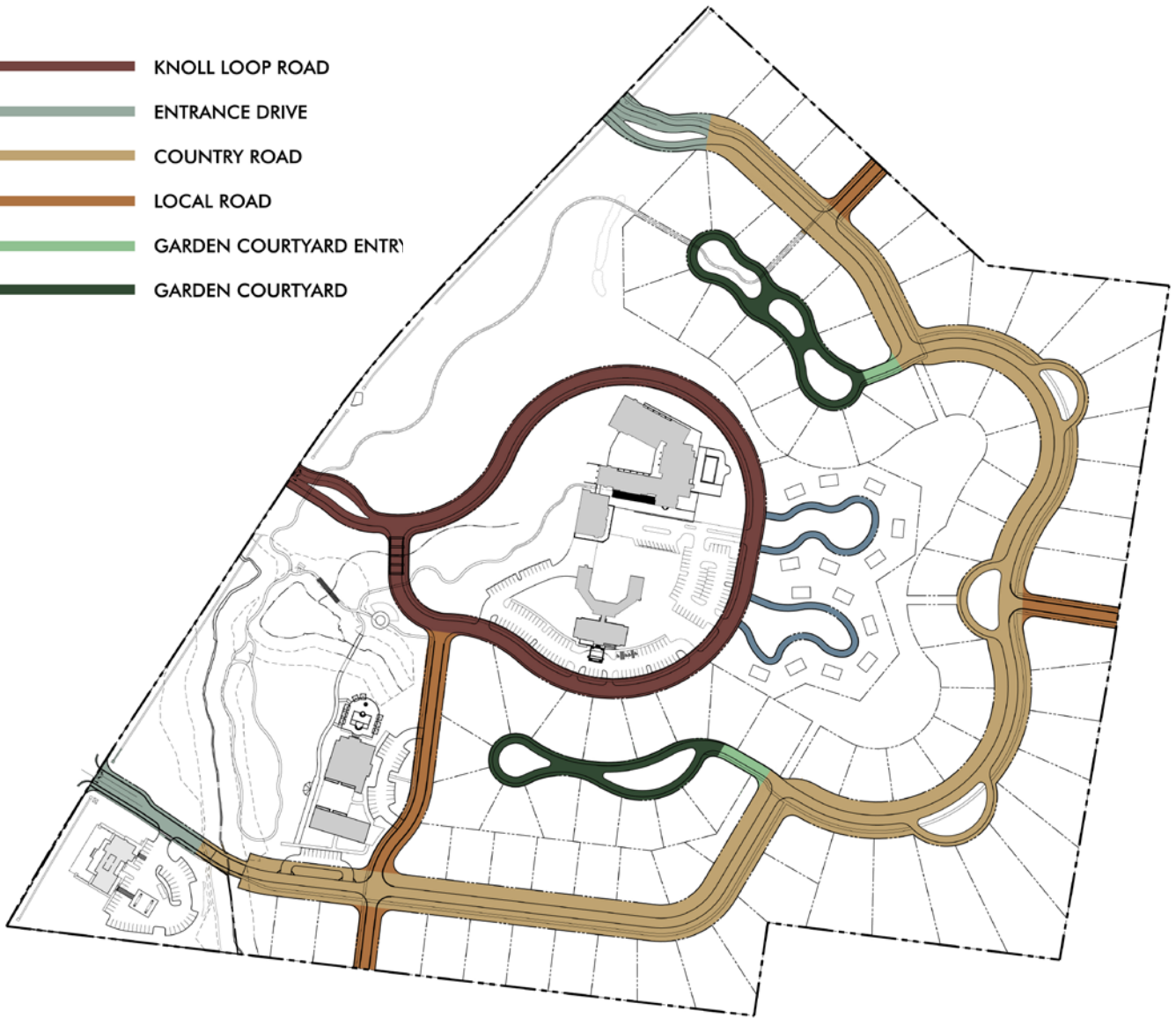
- Sidewalks to be provided per street sections beginning on page 37.
- Interconnecting primary sidewalks are encouraged. Primary walks shall be a minimum of 5' wide and constructed of concrete or approved alternate.
- Gravel or garden (secondary) walks are permitted in residential clusters, community garden areas, parks and amenity spaces and shall be a minimum of 4' wide.



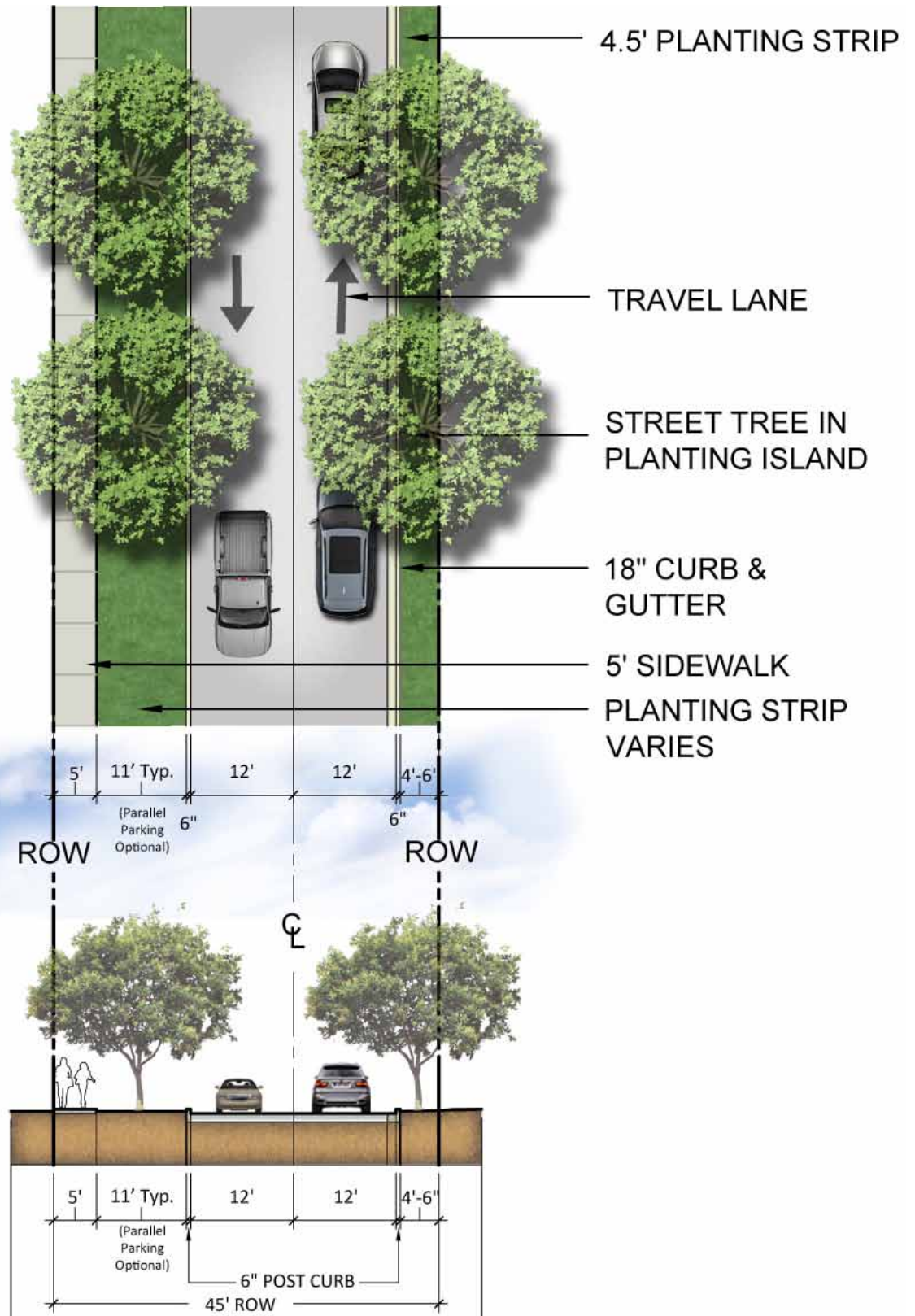


S T R E E T S & W A L K S

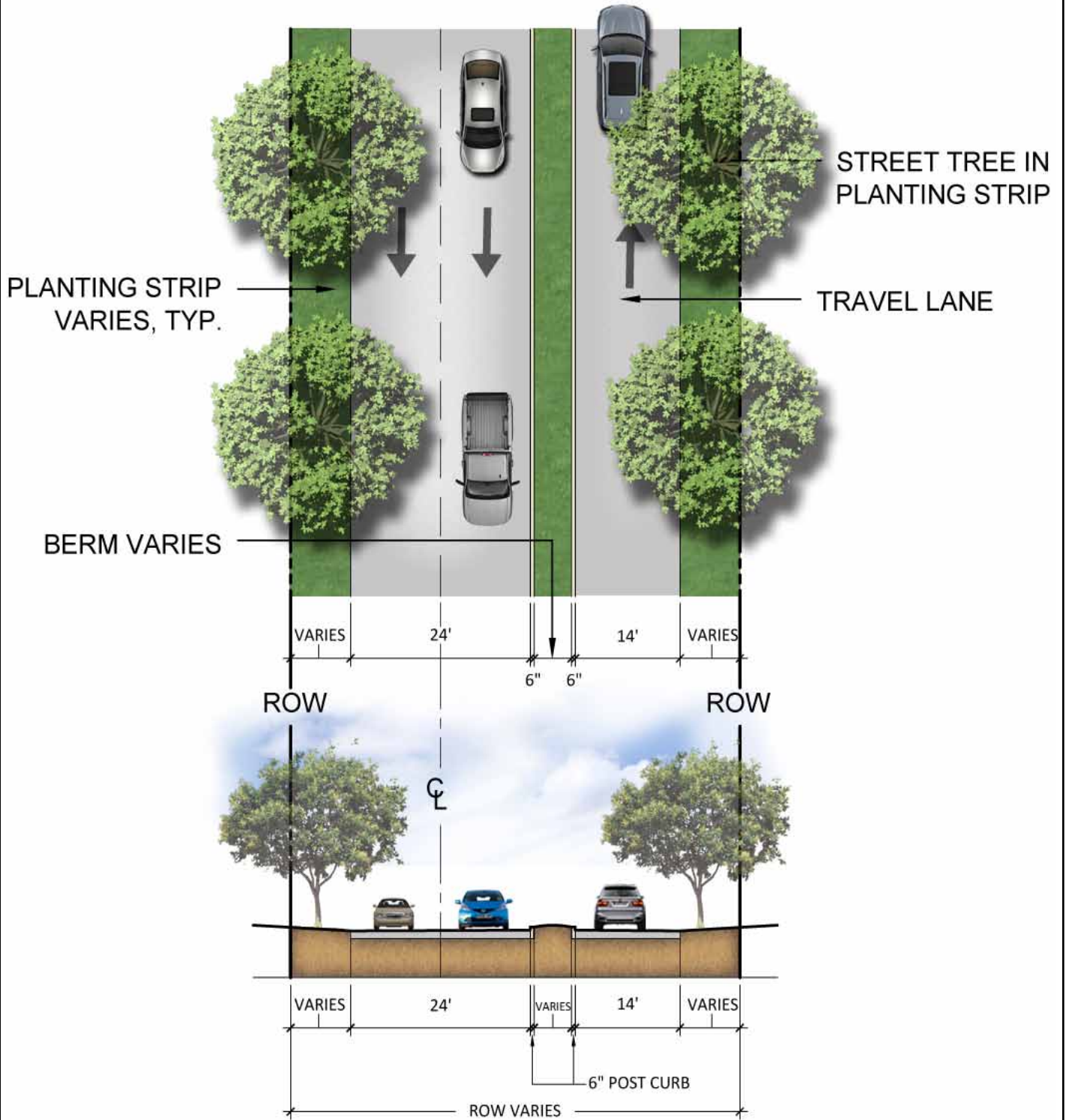
-  KNOLL LOOP ROAD
-  ENTRANCE DRIVE
-  COUNTRY ROAD
-  LOCAL ROAD
-  GARDEN COURTYARD ENTRY
-  GARDEN COURTYARD



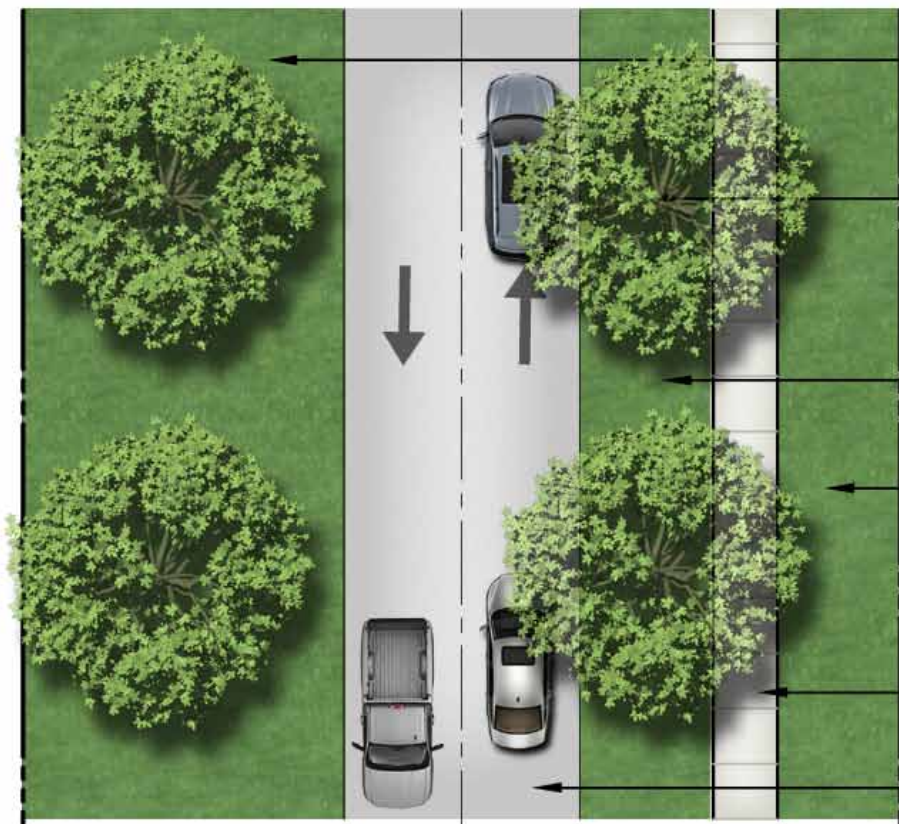
STREET NETWORK



KNOLL LOOP ROAD (45' ROW)



ENTRANCE DRIVE (ROW VARIES)

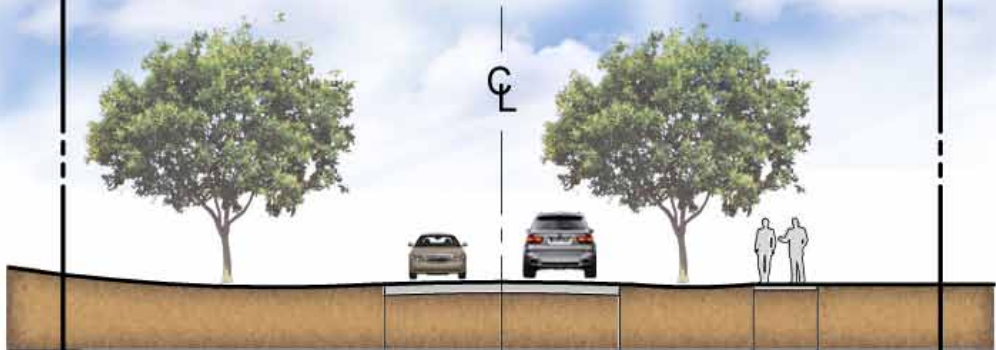


30' 11' 11' 12'-6" 6' 11'-6"

ROW

ROW

CL

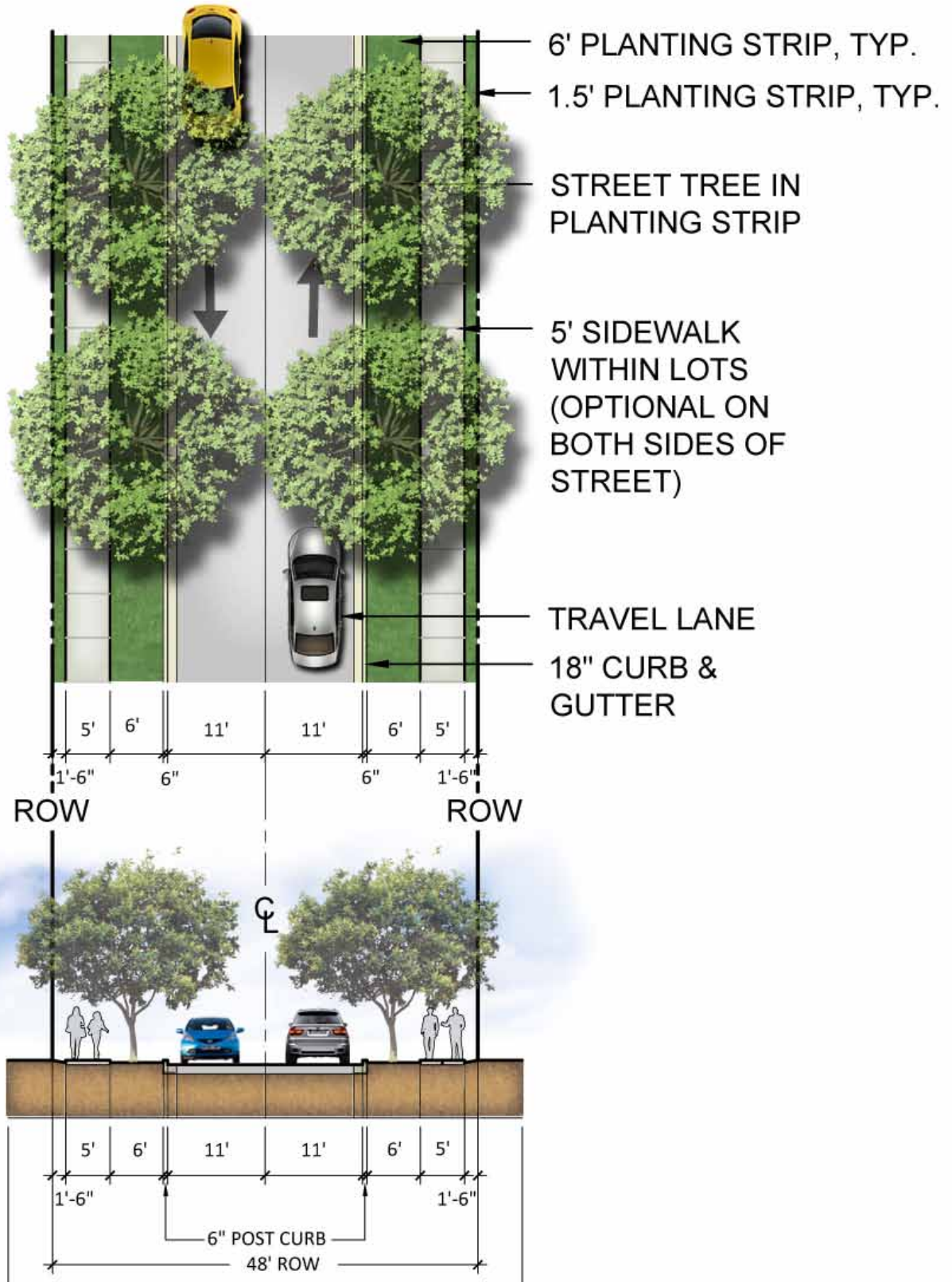


30' 11' 11' 12'-6" 6' 11'-6"

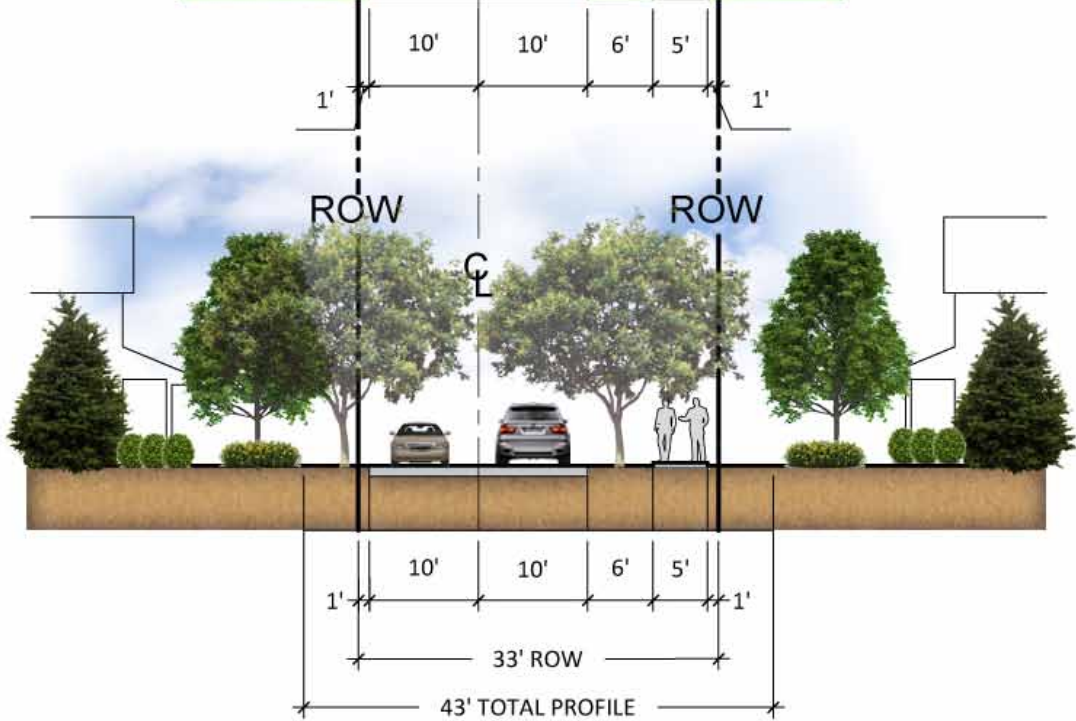
82' ROW

92' TOTAL PROFILE

COUNTRY ROAD (82' ROW)



LOCAL ROAD (48' ROW)



GARDEN COURTYARD ENTRY (PRIVATE - 33' ROW)



TRAVEL LANE

STREET TREE
IN PLANTING
STRIP

PLANTING STRIP
VARIES, TYP.

PLANT STRIP VARIES 15' MIN. ONE-WAY GARDEN WIDTH VARIES 15' MIN. ONE-WAY PLANT STRIP VARIES



ROW

ROW

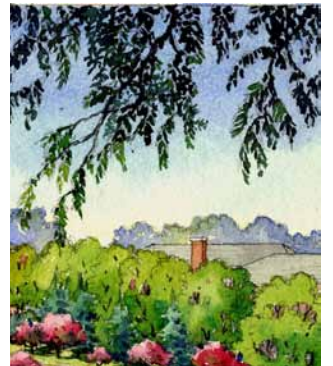
PLANT STRIP VARIES 15' MIN. ONE WAY GARDEN WIDTH VARIES 15' MIN. ONE WAY PLANT STRIP VARIES

ROW VARIES

PARKING OPTIONAL WHERE MEDIAN DOES NOT SEPARATE DRIVES

GARDEN COURTYARD (PRIVATE - ROW VARIES)

R O D E R I C K P L A C E



ORDINANCE NO. 2016-006

AN ORDINANCE OF THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO APPROVE A REVISED CONCEPT PLAN FOR THE RODERICK PLACE DEVELOPMENT (CP 2016-003) FOR 87 RESIDENTIAL LOTS, 56 DETACHED RENTAL SUITES AND 127,606 SQUARE FEET OF COMMERCIAL USES LOCATED AT 4626 COLUMBIA PIKE AND 4624 COLUMBIA PIKE.

WHEREAS, a development located on the east side of Columbia Pike ("Roderick Place") was previously approved and is zoned Specific Plan; and

WHEREAS, the property owner/developer has requested approval of a revised concept plan for Roderick Place which is subject to review and approval by the Board of Mayor and Aldermen; and

WHEREAS, on March 29, 2016, the Planning Commission reviewed the project modifications and is recommending to the Board of Mayor and Aldermen approval; and

WHEREAS, the Board of Mayor and Aldermen of the Town of Thompson's Station has determined that the revised concept plan is consistent with the General Plan and will not have a deleterious effect on surrounding properties or the Town as a whole.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee, as follows:

Section 1. That the concept plan for Roderick Place within the Town of Thompson's Station, Tennessee is hereby revised and amended by repealing the previously approved plans, and replacing them with concept plan attached hereto as Exhibit A and the pattern book attached hereto as Exhibit B, both incorporated herein by reference. The zoning for this territory shall remain Specific Plan (SP) and any further changes shall be subject to review by the Board of Mayor and Aldermen in accordance with the SP requirements.

Section 2. This ordinance shall take effect immediately upon the publication of its caption in a newspaper of general circulation after final reading by the Board of Mayor and Aldermen, the public welfare requiring it.

Duly approved and adopted by the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee, on the ____ day of _____, 2016.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

Passed First Reading: _____

Passed Second Reading: _____

Submitted to Public Hearing on the ____ day of _____, 2016, at 7:00 p.m., after being advertised in the *Williamson AM* Newspaper on the ____ day of _____, 2016.

Recommended for approval by the Planning Commission on the 26th day of January, 2016.

APPROVED AS TO FORM AND LEGALITY:

Todd Moore, Town Attorney

Phone: (615) 794-4333
Fax: (615) 794-3313
www.thompsons-station.com



1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

DATE: May 4, 2016
TO: The Board of Mayor and Aldermen (BOMA)
FROM: Joe Cosentini, Town Administrator
SUBJECT: Utility Relocation Contract

(Note: This item has been carried over from our meeting in April and has not been amended. The utility relocation request was not considered due to the denial of the Roderick Place concept plan. The concept plan has been amended and is on the agenda for consideration.)

Attached are three resolutions with associated contracts that involve utility relocation along Columbia Pike and are scheduled to be included in the Mars SIA project. The Town has an existing 4" wastewater line that runs parallel to Route 31. The SIA project will require this line to be relocated. Roderick Place will be utilizing this line when the project begins to tie in to our Regional Wastewater Facility. The Town would also like to upsize this infrastructure to a 6" line in order to handle potential future wastewater flow from the South (Town Center).

TDOT will include this work in their SIA Project as long as the Town agrees to pay for 50% of the engineering work, 12% of the actual construction activities, and the full cost of the line upgrade. The cost to the Town for these items are estimated at \$80,719.17 for the construction activity and line upgrade and \$8,304.06 for 50% of the engineering costs not covered by TDOT. If approved, the Town would be agreeing to pay an estimated total of \$89,023.23 for the project. The first resolution would be agreeing to enter into the contract with TDOT and agreeing to pay the Town's estimated share.

Kimley-Horn has agreed to perform the engineering activities on behalf of the Town and Roderick Place. They will also be providing the inspection services for the utility relocation project as required by TDOT. The Town will have to enter into a contract with Kimley-Horn for the performance of these services in order for TDOT to cover the expenses on behalf of the Town. These anticipated costs are already included in the proposed TDOT contract. The second resolution is for the approval of the contract with Kimley-Horn.

Since this project will not only benefit the Town but also Roderick Place, the Town will be requiring all out of pocket expenses to be reimbursed by the developers of Roderick Place. The final resolution is the contract with C&L Development for the deposit of funds of all anticipated costs to the Town.

Recommendation:

Staff recommends approval of the attached resolutions as proposed given the overall benefit of this utility relocation project.

RESOLUTION NO. 2016-005

A RESOLUTION OF THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO APPROVE A UTILITY RELOCATION AGREEMENT WITH THE STATE OF TENNESSEE DEPARTMENT OF TRANSPORTATION RELATED TO THE SIA ROAD SERVING MARS PETCARE AND TO AUTHORIZE THE MAYOR TO EXECUTE SAID AGREEMENT.

WHEREAS, the Industrial Highway Act of 1959 authorizes the TDOT to contract with cities and counties for the construction and maintenance of "Industrial Highways" to provide access to industrial areas and to facilitate the development and expansion of industry within the State of Tennessee, and

WHEREAS, the Town and the TDOT previously entered into a project agreement for the construction and maintenance of improvements to Highway 31/Columbia Pike and an Industrial Access Road to serve Mars Petcare ("the Project"); and

WHEREAS, a part of the Project includes the relocation of the Town's existing 4" wastewater line, and the Town would also like to replace this wastewater line with an upgraded 6" line as part of the Project; and

WHEREAS, the Board of Mayor and Aldermen have determined that it is in the best interest of the Town to approve the attached utility relocation agreement with TDOT to allow for the construction of the Project, including the improvements to the wastewater infrastructure described therein.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

That the Utility Relocation Agreement of the State of Tennessee Department of Transportation attached hereto as Exhibit A and incorporated herein by reference, is approved and that the Mayor is hereby authorized to execute said Proposal on behalf of the Town.

RESOLVED AND ADOPTED this _____ day of _____, 2016.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

Todd Moore, Town Attorney

RESOLUTION NO. 2016-006

A RESOLUTION OF BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO APPROVE AN AGREEMENT WITH KIMLEY HORN AND ASSOCIATES, INC. FOR PROFESSIONAL SERVICES RELATED TO THE WASTEWATER LINE RELOCATION AND UPGRADE ALONG HIGHWAY 31 AS A PART OF THE TDOT PROJECT FOR MARS PETCARE

WHEREAS, the Town and the TDOT previously entered into a project agreement for the construction and maintenance of improvements to Highway 31/Columbia Pike and an Industrial Access Road to serve Mars Petcare ("the Project"); and

WHEREAS, as a part of the Project, the Town is relocating and upgrading a wastewater line; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to enter into an agreement with Kimley Horn and Associates, Inc. for professional engineering services related to the design and installation of the relocation and upgrade of the wastewater line.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

That the agreement with Kimley Horn and Associates, Inc. for professional engineering services, attached hereto as Exhibit A and incorporated herein by reference, is hereby approved, and the Mayor is authorized to sign said Agreement on the behalf of the Town.

RESOLVED AND ADOPTED this _____ day of _____, 2016.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

Todd Moore, Town Attorney

RESOLUTION NO. 2016-007

A RESOLUTION OF THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO APPROVE A DEPOSIT AND REIMBURSEMENT AGREEMENT WITH C&L DEVELOPMENT, LLC FOR THE INSTALLATION OF A NEW WASTEWATER FORCE MAIN AND TO AUTHORIZE THE MAYOR TO EXECUTE SAID AGREEMENT.

WHEREAS, the Town and the TDOT previously entered into a project agreement for the construction and maintenance of improvements to Highway 31/Columbia Pike and an Industrial Access Road to serve Mars Petcare ("the TDOT Project"); and

WHEREAS, a part of the TDOT Project includes the relocation of the Town's existing 4" wastewater line, and C&L Development, LLC ("Developer") would also like to replace this wastewater line with an upgraded 6" line, with the work to be done by TDOT as part of their project; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to enter into a Utility Relocation Agreement with TDOT to allow for the construction of the Project, including the improvements to the wastewater infrastructure described therein, provided that Developer agrees to deposit funds sufficient to reimburse the Town for its expenses; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to enter into the Deposit and Reimbursement Agreement with C&L Development, LLC, attached hereto as Exhibit A.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

That the Deposit and Reimbursement Agreement with C&L Development, LLC, attached hereto as Exhibit A and incorporated herein by reference, is approved and that the Mayor is hereby authorized to execute said agreement on behalf of the Town.

RESOLVED AND ADOPTED this _____ day of _____, 2016.

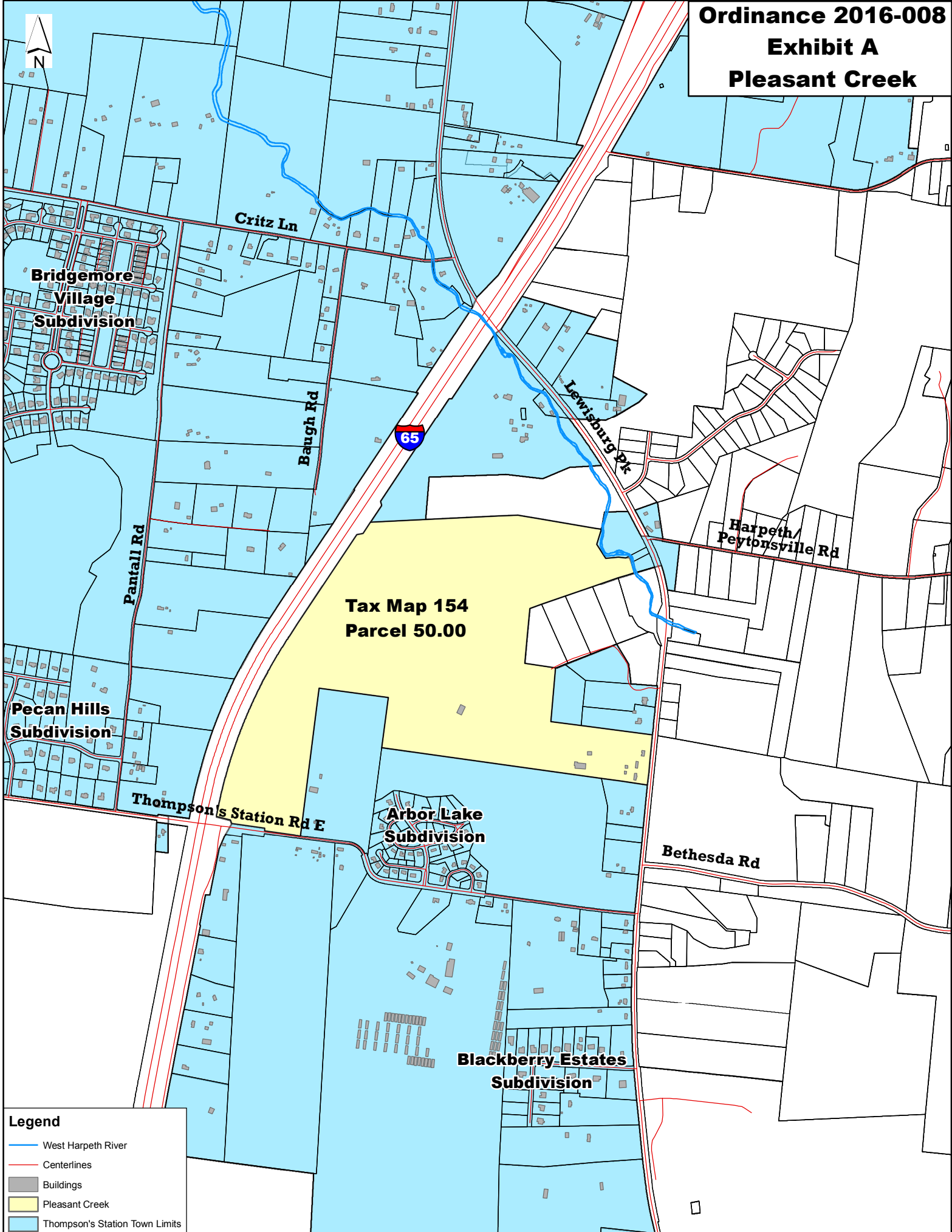
Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

Todd Moore, Town Attorney



Legend

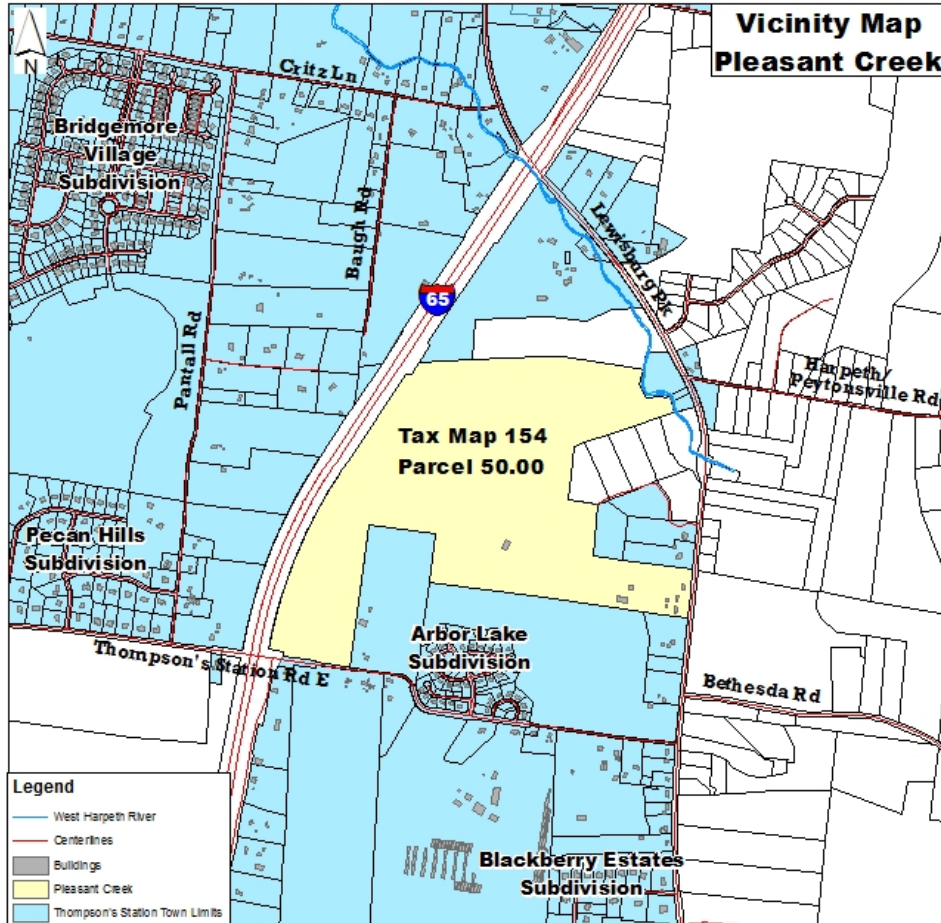
- West Harpeth River
- Centerlines
- Buildings
- Pleasant Creek
- Thompson's Station Town Limits

**Thompson's Station Board of Mayor and Aldermen
Staff Report –Zone Amend 2016-003
May 10, 2016**

Rezone for Pleasant Creek (Map 154 50.00) from D1 zoning to Transect Community (TC) zoning.

PROJECT DESCRIPTION

A request from Pleasant Creek, LLC to rezone 212.2 acres north of Thompson's Station Road East, along the west side of State Route 106/Highway 431 (Lewisburg Pike), east of Interstate 65 to Transect Community (TC) for the Pleasant Creek neighborhood.



The land is zoned D1 which is a low intensity residential district that permits the development of single family residential. The site is bounded by agricultural and residential to the north, residential and vacant land to the east, and residential and commercial (Riverbend Nurseries) to the south.

PURPOSE OF A ZONING MAP AMENDMENT OR REZONING REQUEST

Amendments to the zoning ordinance or the zoning map are considered on a case by case basis upon request or petition. Zoning to the Transect Community (TC) must be “predicated by a finding that the proposed amendment is consistent with the intent of the Town’s General Plan and the proposed amendment will not have a deleterious effect on surrounding properties or the Town as a whole” (LDO 5.3.3).

Changing the zoning of a particular parcel will allow the owner of the parcel to develop or use their property based on the corresponding use table within the Land Development Ordinance (Table 4.1 Land Use and Building Type). The Planning Commission evaluated the request based on the General Plan and made a formal recommendation to the Board of Mayor and Aldermen. The Board decision can be one of denial, approval, or approval with conditions.

THE REQUEST BEFORE THE PLANNING COMMISSION

The subject site is located within the G1 – Controlled Growth sector of the General Plan and is zoned as D1– Low Intensity Residential. The applicant is requesting approval of a zone change to the transect zone.

A transect plan was submitted with the project showing the conceptual development of two villages on the subject site; however per the Land Development Ordinance the development of villages requires wastewater service, transportation adjacency and community adjacency. The project applicant will be proposing an on-site wastewater system for consideration by the Board, is within a ¼ mile from an existing residential subdivision and commercial development but does not meet the requirement for transportation adjacency. Therefore, the project will be limited to the development of hamlets which will contain a mix of residential types along with the required 60% open space.

STAFF FINDINGS

The subject property is located north of Thompson’s Station Road East and east of Interstate 65. The subject property is located within the G1 – Controlled Growth Sector of the General Plan which permits the development of land as a Transect Community. The site has access to Lewisburg Pike and Thompson’s Station Road and is in proximity to State Route 840 north along Lewisburg Pike. The project’s characteristics will include the preservation of land, inclusion of civic spaces and development in conjunction with the development standards for each transect district. In addition, technical studies related to traffic, geotechnical, biology, archeology and other natural or cultural resources will be required to evaluate the proposal and be reviewed by the Town prior to any formal approvals.

Therefore, the TC zoning for the property north of Thompson’s Station Road East is consistent with the General Plan and will be developed in accordance with the Town’s Land Development Ordinance so as to not have a negative effect on the surrounding properties.

RECOMMENDATION

Based on the findings for General Plan consistency, the Planning Commission recommends adoption of Ordinance 2016-008 to rezone the land north of Thompson’s Station Road East, along the west side of Lewisburg Pike (State Route 106/431), east of Interstate 65 (Map 154 50.00) for the Pleasant Creek neighborhood as Transect Community (TC).

ATTACHMENTS

Rezone Map
Ordinance 2016-008
Exhibit A

ORDINANCE NO. 2016-008

AN ORDINANCE OF THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO AMEND THE TOWN'S ZONING MAP BY REZONING CERTAIN PROPERTIES GENERALLY LOCATED NORTH OF THOMPSON'S STATION ROAD EAST, ALONG THE WEST SIDE OF LEWISBURG PIKE (STATE ROUTE 106/HIGHWAY 431), EAST OF INTERSTATE 65 (BEING TAX MAP 154 50.00) FROM D1 – LOW INTENSITY TO TRANSECT COMMUNITY (TC) AS SHOWN ON THE ATTACHED MAP

WHEREAS, the property owners have requested that the territory described herein and shown on the attached map be zoned from D1 – Low Intensity to a Transect Community (TC) under the Town's Land Development Ordinance; and

WHEREAS, the Town's Planning Commission has recommended that the 212.2 acres located along the west side of Lewisburg Pike, east of Interstate 65 be rezoned that is located north of I-840 be zoned as a Transect Community; and

WHEREAS, the Board of Mayor and Aldermen of the Town of Thompson's Station has determined that the proposed zoning for the transect community is consistent with the General Plan and will not have a deleterious effect on surrounding properties or the Town as a whole.

NOW, THEREFORE, BE IT ORDAINED by the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee, as follows:

Section 1. That the Zoning Map of the Town of Thompson's Station, Tennessee is hereby amended by rezoning certain territory generally located along the west side of Lewisburg Pike, east of Interstate 65 from D1 – Low Intensity to Transect Community (TC); said territory being more particularly described on the map attached hereto as Exhibit A.

Section 2. This ordinance shall take effect immediately upon the publication of its caption in a newspaper of general circulation after final reading by the Board of Mayor and Aldermen, the public welfare requiring it.

Duly approved and adopted by the Board of Mayor and Aldermen of the Town of Thompson's Station, Tennessee, on the ____ day of _____, 2016.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

Passed First Reading:

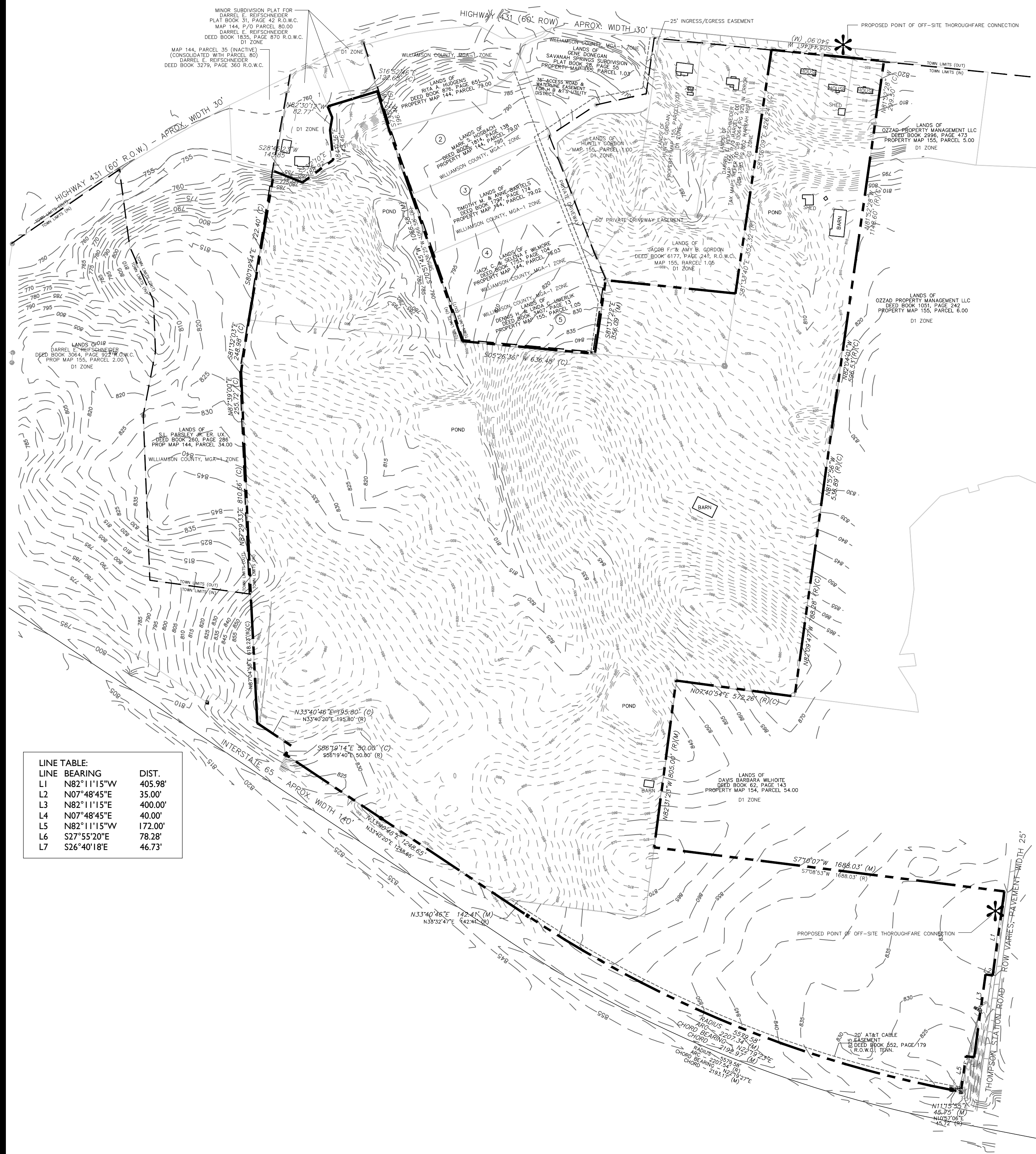
Passed Second Reading: _____

Submitted to Public Hearing on the _____ day of _____, 2016, at 7:00 p.m.,
after being advertised in the *Williamson AM* Newspaper on the _____ day of _____, 2016.

Recommended for approval by the Planning Commission on the _____ day of _____, 2016.

APPROVED AS TO FORM AND LEGALITY:

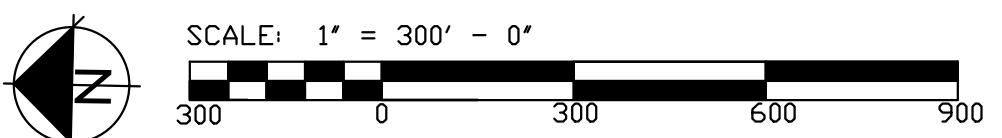
Todd Moore, Town Attorney



LINE	BEARING	DIST.
L1	N82°11'15"W	405.98'
L2	N07°48'45"E	35.00'
L3	N82°11'15"E	400.00'
L4	N07°48'45"E	40.00'
L5	N82°11'15"W	172.00'
L6	S27°55'20"E	78.28'
L7	S26°40'18"E	46.73'

BASE AND SURVEY DATA PROVIDED BY:
HARRAH & ASSOCIATES
 504 AUTUMN SPRINGS COURT, SUITE B-15
 FRANKLIN, TN
 ROGER HARRAH

COUNSEL:
JOSHUA R. DENTON
 GULLETT SANFORD ROBINSON & MARTIN
 150 3RD AVE S, #2800
 NASHVILLE, TN 37201



SITE DATA:

OWNER:
 PLEASANT CREEK INVESTMENTS LLC
 144 SOUTHEAST PARKWAY, SUITE 230
 FRANKLIN, TN 37064
 JOHN FRANKS

APPLICANT:
 GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY, SUITE 200
 FRANKLIN, TN 37064
 GREG GAMBLE

PROPERTY IDENTIFICATION:
 MAP 154, PARCEL 50

NO 100 YEAR FLOOD PLAIN ON PROPERTY. FEMA MAP#47187C0365F, 9/29/2006

Description of property.
 The property, identified as Map 154, Parcel 50, is located east of Interstate 65 and south of Lewisburg Pike. It is comprised of approximately 212 acres, and is a mix of open farm land and woodland. The property is consistent with the gentle rolling terrain of Middle Tennessee and forms a valley that flows into a Creek along Lewisburg Pike. The property is bordered to the west by Interstate 65, to the east by Lewisburg Pike, and to the south by Thompson's Station Road.

Existing Use of Land:
 Residential and Agricultural

Current Zoning
 Zoning District: D1
 Sector: G1 (Controlled Growth Sector)

Proposed Community Unit Type(s):
 Accessory dwelling, duplex, multi-family dwelling, town house, senior housing, single family detached

Proposed Designation of Zoning District
 Transect Community (TC) - for purposes of a Transect Community Village.

Statement as to how the re-zoning request is consistent with the Thompson's Station General Plan.
 The request to re-zone the property at issue, so that it may be developed into a Transect Community Village, is completely consistent with the Thompson's Station General Plan and the Land Development Ordinance ("LDO").

As a preliminary matter, one of the stated goals of the Town's General Plan is the establishment of a Sector Plan and various Growth Sectors. See General Plan at pp. 6, 7 and 20. The Town, through its LDO, adopted the Sector Plan in support and in furtherance of the General Plan. See LDO, Section 2.1. That Sector Plan prescribes the various community types that are expressly permitted within each Growth Sector. The property at issue in this re-zoning request is located within the G1 Controlled Growth Sector.

Thompson's Station has sought to balance its rural atmosphere with a desire for higher-density housing by identifying suitable locations for this type of housing to be in proximity to major thoroughfares. The Town's General Plan states:

[I]n recent years, higher density housing has started to occur in locations suitable to providing easy access to commercial activities. These developments, including Tollgate Village, Bridgemore Village and Fields of Canterbury offer a variety of housing in proximity to major thoroughfares. Interstate 65, State Route 840, Lewisburg Pike and Columbia Pike provide easy access north of Thompson's Station into the Franklin/Cool Springs area. These major roadways also provide valuable opportunities for locating commercial land uses that will have a positive economic impact while maintaining the integrity and rural atmosphere of the community as a whole.

General Plan at p. 4; see also General Plan at pp. 6, 8, 10 ("locating higher intensity uses near the major thoroughfares and freeways" and locating "higher intensity commercial land uses in proximity to State Route 840 and major arterials.")

As provided for in the Town's General Plan, the properties located near these major roadways are suitable for higher-density housing. The proposed Pleasant Creek development is located adjacent to these major thoroughfares - bordered by a freeway (Interstate 65) and one of two arterials in the Town (Lewisburg Pike). See General Plan at pp. 10-11. Further, the General Plan seeks to "[m]aintain the rural character of the Town while permitting hamlets and villages to develop (sic) within the Controlled Growth Sector." General Plan at p. 7 (emphasis supplied). As noted, in furtherance of the General Plan, the Sector Plan permits hamlets and villages in the G1 Controlled Growth Sector. See LDO, Section 2. The Pleasant Creek development, located in the G1 Controlled Growth Sector, is consistent with the Town's General Plan to utilize these areas for a higher-density housing development in the form of a Transect Community Village. Additionally, in keeping with the community overview and Transect T3/T4 overviews in the General Provisions of the LDO, the Pleasant Creek development will incorporate a variety of housing types, with compact residential design, to allow for a range of open spaces to be distributed throughout the neighborhood.

The following goals further evidence how the proposed re-zoning is consistent with the General Plan:

Goal 1 - Preserve the rural characteristics of the community while accommodating for future growth in an orderly and sustainable manner.
 The proposed Transect Community will provide the opportunity for a unique, master-planned neighborhood within the Interstate 65 Corridor. Natural areas identified as environmental resources will be preserved and integrated into an open space network where recreation and preservation co-mingle. A diverse mix of residential housing will be provided with higher intensities closer to Interstate 65 and lower intensities closer to Lewisburg Pike - helping to transition into a more-rural atmosphere. Homes will be clustered adjacent to open space and civic areas will be designed to be focal points and gathering spaces within the neighborhood blocks. These civic spaces shall serve as common destinations for pedestrian sheds, the development of which is expressly encouraged under the LDO, in furtherance of the General Plan.

Goal 2 - Achieve a balanced mix of uses within the Town.
 The Transect Community provides the opportunity for a mix of housing types and more recreational opportunities within the community. A clustered mix of housing types allows for a wide range of residential intensities and a range of economic options. Homes for this Transect Community include senior housing, "Big House" condominiums, town homes, and single family detached. Preserved open space areas and parks link the clustered neighborhood blocks through both sidewalks and walking trails within the neighborhood. This connectivity promotes recreation activities and socialization.

Goal 3 - Achieve a balanced mix of non-residential uses within the Town.
 There is limited commercial potential within the proposed neighborhood. However, residential use in this location will promote and potentially expand opportunities for commercial uses along Lewisburg near Interstate 65. The BP Market located at Lewisburg Pike and Harpheth Peytonville Road, and Riverbend Nursery are examples of a local commercial services that are and have been successful in this corridor. Walkable pedestrian connections to Lewisburg Pike and clustered residential housing will promote the success of these neighborhood service retailers. Within the neighborhood, amenities such as a fitness club, residents' pool club, and outdoor gathering spaces will be within walkable distances from the neighborhood clusters, and will promote socialization and recreation among the residents. Senior housing is a proposed use for this neighborhood. This housing type will be supported by the internal amenities as well as benefit from the close proximity to local commercial activities and easy access to major thoroughfares and freeways to Franklin/Cool Springs.

Goal 4 - Encourage design flexibility for future developments, in consideration of site grading, increased impermeable surfaces.
 The master-planned neighborhood approach allows for the clustering of homes in areas suitable for development where minimal grading and land disturbance would occur. Stormwater is considered holistically and is held in common to be maintained by a Home Owner's Association.

Goal 5 - Encourage cluster development for preservation of natural and cultural resources where feasible and consistent with surrounding land uses.
 The Transect Community provides the opportunity to cluster residential within areas suitable for development. Land with steep slopes, natural features, and wooded areas are set aside for preservation.

Goal 6 - Evaluate the jobs/housing balance and update plans as necessary to ensure that job opportunities are available through the possible development of land as economically feasible.
 This property is located in proximity to the Cool Springs Corridor and is recognized as "a desirable place for families to reside who want a rural atmosphere while keeping in proximity to goods and services." Varying intensities of clustered housing are suitable in this location to provide easy access to commercial activities.

Goal 7 - Develop a predictable strategy for the location and intensity of future development.
 The recognition of this property as a Transect Community affords the Town a new neighborhood with a diverse residential housing mix. The proposed community, Pleasant Creek, will have access to two main thoroughfares with access to the Interstate 65 corridor. The proposed subdivision will be buffered along Lewisburg Pike by existing large residential lots and preserved natural features. This transition area will maintain the rural character of the Town along Lewisburg Pike and complement future and existing localized neighborhood commercial.

LEGAL DESCRIPTION

A parcel of land in the Eleventh Civil District of Williamson County, Tennessee, and a being a portion of the Lands owned by Darrel E. Reifschneider and being more particularly described as follows:

Point of Beginning is at a point in the easterly Right-of-Way of Interstate 65 (Right-of-Way Varies), also being the northwest corner of Property Map 155, Parcel 2.00 of record in Deed Book 3064, Page 922, R.O.W.C., TN, which is included in this description, and also being the southwest corner of Property Map 144, Parcel 32.00 of record in Deed Book 1662, Page 557, Register's Office for Williamson County, Tennessee (R.O.W.C.):

Thence, Leaving said 145 right-of-way, with the southerly line of Parcel 32.00, generally along a fence, North 87°04'55" East, a distance of 618.23 feet to an iron rod (new) lying at the southwest corner of property conveyed to S.L. Parsley, Jr. as recorded in Deed Book 260, Page 286, R.O.W.C.;

Thence, with the southerly line of said Parsley property and the northerly line of the herein described tract for the next four (4) calls:
 1) North 87°29'33" East, a distance of 810.66 feet to an iron rod (new); thence,
 2) North 87°39'09" East, a distance of 255.72 feet to an iron rod (new); thence,
 3) South 81°32'03" East, a distance of 248.98 feet to an iron rod (old); thence,
 4) South 80°19'44" East, a distance of 722.40 feet to an iron rod (new) lying at the common northerly corner of Lot 1 and Lot 2 of the final plat entitled, "Minor Subdivision Plat for Darrel E. Reifschneider" of record in Plat Book 31, Page 42, R.O.W.C.;

Thence, with the common lot line of said Lots 1 and 2 of Plat Book 31, Page 42, R.O.W.C., for the next four (6) calls:
 1) South 28°45'23" West, a distance of 145.85 feet to an iron rod (new); thence,
 2) South 33°02'10" East, a distance of 188.92 feet to an iron rod (new); thence,
 3) North 84°00'36" East, a distance of 143.46 feet to an iron rod (new); thence,
 4) South 82°30'12" East, 82.77 feet to an iron rod (new);
 5) South 43°25'29" East, a distance of 129.72 feet to an iron rod (new); thence,
 6) South 16°52'46" East, a distance of 122.65 feet to an iron rod (new) lying in the northerly line of property conveyed to Rita A. Hudgens of record in Deed Book 876, Page 651, R.O.W.C.;

Thence, with Hudgens' northerly line, South 73°02'27" West, a distance of 196.46 feet to an iron rod (old) lying at the northwest corner of said Hudgens property and the northeast corner of Lot 2 of the final plat entitled, "Savannah Springs" of record in Plat Book 27, Page 40, R.O.W.C.;

Thence, with the northerly line of said Savannah Springs Subdivision, South 70°51'45" West, a distance of 1066.58 feet to an iron rod (old) lying at the northwest corner of Lot 5 of said Savannah Springs Subdivision and being the southwest corner of Lot 2 of said Minor Subdivision Plat for Darrel E. Reifschneider;

Thence, with the westerly line of said Lot 5 Savannah Springs Subdivision, South 05°26'36" West, a distance of 636.48 feet to an iron rod (old) at the common lot corner of Lot 6 and Lot 5 of said Savannah Springs Subdivision;

Thence, with the common lot line of said Lots 5 and 6, South 81°37'22" East, a distance of 356.09 feet to an iron rod (old), said iron rod (old) being the northwest corner of property conveyed to Jacob F. and Amy B. Gordon of record in Deed Book 6177, Page 241, R.O.W.C.;

Thence, with the common line of said Lot 6 and said Gordon property, South 05°51'42" West, a distance of 623.77 feet to an iron rod (new) lying at the southwest corner of said Gordon property and the southeast corner of said Lot 6;

Thence, leaving Lot 6, with the southerly line of said Gordon property, South 81°33'40" East, a distance of 352.32 feet to an iron rod (old) lying at the southwest corner of property conveyed to Darrel E. Reifschneider of record in Deed Book 1795, Page 852, R.O.W.C. (Tax Maps refer to Deed Book 3064, Page 920 in error);

Thence, with the southerly line of said Reifschneider property, South 81°36'09" East, a distance of 826.24 feet to an iron rod (old) lying in the westerly right-of-way line of said Highway 431;

Thence, with the westerly right-of-way line of said Highway 431, South 05°44'46" West, a distance of 540.90 feet to an iron rod (old) lying at the northeasterly corner of property conveyed to Ozzad Property Management, LLC of record in Deed Book 2996, Page 473, R.O.W.C.;

Thence, with the northerly line of said Ozzad property, North 81°52'28" West, a distance of 1148.60 feet to an iron rod (new) lying in the northerly line of property conveyed to Ozzad Property Management, LLC of record in Deed Book 1051, Page 242, R.O.W.C.;

Thence, continuing with said Ozzad property for the next three (3) calls:
 1) North 82°04'01" West, a distance of 596.53 feet to an iron rod (new); thence,
 2) North 81°57'56" West, a distance of 536.89 feet to an iron rod (old); thence,
 3) North 82°09'47" West, a distance of 788.28 feet to an iron rod (new) lying in the easterly line of property conveyed to Davis Barbara Wilhoite of record in Deed Book 62, Page 143, R.O.W.C.;

Thence, with the easterly line of said Wilhoite property, North 07°40'54" East, a distance of 572.26 feet to an iron rod (old) at the northwest corner of said Wilhoite property;

Thence, with Wilhoite's north line, North 82°31'23" West, a distance of 805.00 feet to an iron rod (old) at the northeast corner of property conveyed to Darrel E. Reifschneider of record in Deed Book 3064, Page 918, R.O.W.C. and being identified as Parcel 50.00 on Williamson County property map no. 154;

Thence, with the common line of said Wilhoite and Reifschneider, South 07°10'07" West, a distance of 1688.03 feet to an iron rod (new) lying in the northerly right-of-way of Thompson Station Road (right-of-way varies);

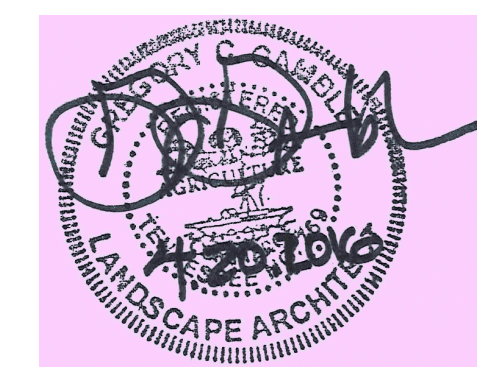
Thence, with the northerly right-of-way of said Thompson Station Road for the next five (5) calls:
 1) North 82°11'15" West, a distance of 405.96 feet to an iron rod (old); thence,
 2) North 07°48'45" East, a distance of 35.00 feet to an iron rod (new); thence,
 3) North 82°11'15" West, a distance of 400.00 feet to an iron rod (old); thence,
 4) North 07°48'45" East, a distance of 40.00 feet to an iron rod (new); thence,
 5) North 82°11'15" West, a distance of 172.00 feet to a concrete monument (old) lying in the easterly right-of-way of Interstate 65 (right-of-way varies) and being the southwest corner of the herein described tract of land;

Thence, with said easterly right-of-way of Interstate 65 for the next six (6) calls:
 1) North 11°15'50" East, a distance of 45.75 feet to a concrete monument (old) at the beginning of a curve; thence,
 2) Along said curve concave to the east having a radius of 5579.58 feet and a central angle of 22°40'00" and a distance of 2207.34 feet being subtended by a chord which bears North 22°19'23" East 2192.97 feet to a concrete monument (old); thence,
 3) North 33°40'46" East, a distance of 142.41 feet to an iron rod (old); thence,
 4) North 33°40'46" East, a distance of 1248.65 feet to a concrete monument (old); thence,
 5) South 56°19'14" East, a distance of 50.00 feet to an iron rod (old); thence,
 6) North 33°40'46" East, a distance of 195.80 feet to the Point of Beginning, containing 9243387 square feet or 212.20 acres, more or less, as calculated by the above described courses and distances, according to an ALTA/ACSM Land Title Survey prepared by Harrah & Associates, Roger Harrah, PLS #2039, dated April 18, 2016.



Pleasant Creek PUD Subdivision Rezoning Request

Parcel 02 on Tax Map 155 / Parcel 80 Tax Map 144
 Town of Thompson's Station, Williamson County, Tennessee



GAMBLE DESIGN COLLABORATIVE
 144 SOUTHEAST PARKWAY
 SUITE 200
 FRANKLIN, TENNESSEE 37064
 GREG GAMBLE
 greggamble209@gmail.com
 615.975.5765

rev. date
 April 18, 2016
 April 20, 2016
 Date: FEBRUARY 24, 2016

Phone: (615) 794-4333
Fax: (615) 794-3313
www.thompsons-station.com



1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

DATE: May 4, 2016
TO: The Board of Mayor and Aldermen (BOMA)
FROM: Joe Cosentini, Town Administrator
SUBJECT: Pleasant Creek Wastewater Request

The ability of the Board to consider wastewater requests falls under the Town's Water and Sewers ordinance which states the following:

18-106. Ownership. All of the components of the wastewater reclamation and reuse system, including the collection system, shall be dedicated, owned and operated by the Town of Thompson's Station or a designated agent.

18-130. Applicability. The Town has selected deep cell, long duration aerated lagoon treatment followed by irrigation as its wastewater reclamation and reuse system of choice. Use of systems other than the above will not be prohibited, but will be considered when a developer shows that the use of the system of choice will cause an economic hardship. If a developer proposes to use other wastewater treatment processes, they shall prepare a detailed written explanation containing both technical, and capital and operating cost evaluations justifying its use. Final approval of all systems shall lie with the mayor and board of aldermen of the town.

Analysis:

The enclosed information was submitting requesting a Sabre SBR system identical to the system that was conceptually approved for the Whistle Stop subdivision. The system for Pleasant Creek will be more than double the size of the system proposed for Whistle Stop and there is little existing information on the Sabre systems being able to accommodate a plant this size.

The Town's regulations require a deep cell aerated lagoon system as the system of choice. Staff has not evaluated whether or not the lagoon setback requirement of 500' per TDEC would be a serious hardship given the overall size of the project site. However, given previous conversation with the Board, individual lagoon systems within a new subdivision may no longer be the preferred system.

Staff would like the Board to authorize additional investigation into the Sabre SBR system for the Pleasant Creek subdivision in order to address potential sizing concerns prior to giving conceptual approval. If these concerns are not adequately addressed, an alternative should be presented during second reading of the zoning request.

Recommendation:

Authorize Staff to work with the development team of Pleasant Creek on the evaluation of a Sabre SBR wastewater system and potential alternatives.

ORDINANCE 2016-010

**AN ORDINANCE OF THE TOWN OF THOMPSON'S STATION, TENNESSEE
WHICH AMENDS THE ANNUAL BUDGET FOR THE FISCAL YEAR BEGINNING
JULY 1, 2015 AND ENDING JUNE 30, 2016.**

WHEREAS, *Tennessee Code Annotated* Title 9 Chapter 1 Section 116 requires that all funds of the State of Tennessee and all its political subdivisions shall first be appropriated before being expended and that only funds that are available shall be appropriated; and

WHEREAS, the Municipal Budget Law of 1982 requires that the governing body of each municipality adopt and operate under an annual budget ordinance presenting a financial plan with at least the information required by that state statute, that no municipality may expend any moneys regardless of the source except in accordance with a budget ordinance and that the governing body shall not make any appropriation in excess of estimated available funds; and

WHEREAS, the Board of Mayor and Aldermen may amend the annual budget as deemed necessary.

NOW THEREFORE BE IT ORDAINED BY THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE AS FOLLOWS:

SECTION 1: Amendments to the General Fund budget line items are as follows:

- a. Real Property Tax Revenue is increased from \$125,000 to \$160,000
- b. Beer Permits is increased from \$500 to \$700
- c. Building Permits Revenue is increased from \$450,000 to \$500,000.
- d. Submittal & Review Fees is increased from \$30,000 to \$120,000.
- e. Impact Fees Revenue is increased from \$650,000 to \$675,000.
- f. State Beer Tax is increased from \$1,100 to \$1,500
- g. Mixed Drink Tax Revenue is increased from \$4,000 to \$5,000.
- h. Pavilion & Comm. Ctr. Rental Revenue is increased from \$9,000 to \$12,500.
- i. Budgeted Fund Balance-GF is decreased from \$193,200 to \$0.
- j. Payroll Taxes – FICA is increased from \$29,000 to \$30,000.
- k. Payroll Taxes – SUTA is increased from \$3,500 to \$5,000
- l. Postage, Freight & Express Chgs Expense is increased from \$5,500 to \$6,000.
- m. Prof. Fees-Legal Expense is increased from \$120,000 to \$135,000.
- n. Repairs & Maint-Roads, Drainage is decreased from \$418,100 to \$411,500.
- o. Trustee Commission is increased from \$3,000 to \$3,500.

- SECTION 2: Amendments to the Wastewater Fund budget line items are as follows:
- a. Interest Income – Invest Accts is increased from \$300 to \$1500.
 - b. Capital Expenditures is increased from \$20,000 to \$65,000
 - c. WW Infrastructure Installed Expense is decreased from \$25,000 to \$5,000.
 - d. Laboratory Water Testing Expense is decreased from \$12,000 to \$10,000.
 - e. Repairs & Maint. Expense is decreased from \$81,200 to \$60,200
 - f. Utilities – Water is increased from \$1,500 to \$2,500
 - g. Prof. Fees - Others is decreased from \$10,000 to \$3,000.
 - h. Payroll Taxes – Medicare is increased from \$1,500 to \$1,700.
 - i. Employee Retirement Expense is decreased from \$12,000 to \$3,000.
 - j. Depreciation Expense is increased from \$275,000 to \$276,000

SECTION 3: The amended budget is detailed in the attached Budget Worksheet.

SECTION 4: No appropriation listed above may be exceeded without an amendment of the budget ordinance as required by the Municipal Budget Law of 1982 T.C.A. Section 6-56-208. In addition, no appropriation may be made in excess of available funds except for an actual emergency threatening the health, property or lives of the inhabitants of the municipality and declared by a two-thirds (2/3) vote of at least a quorum of the governing body in accord with Section 6-56-205 of the *Tennessee Code Annotated*.

SECTION 5: All unencumbered balances of appropriations remaining at the end of the fiscal year shall lapse and revert to the respective fund balances.

SECTION 6: All ordinances or parts of ordinances in conflict with any provision of this ordinance are hereby repealed.

SECTION 7: If any section, clause, provision of this ordinance is held to be invalid or unconstitutional by any Court of competent jurisdiction, such holdings shall not affect any other section, clause, provision of this ordinance.

SECTION 8: This ordinance shall take effect July 1, 2015, the public welfare requiring it.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

Submitted to Public Hearing on May 10, 2016 at 7:00 p.m. after publication of notice of public hearing by advertisement in the _____ newspaper on _____, 2016.

Passed 1st Reading: _____

Passed 2nd Reading: _____



Town of Thompson's Station
General Fund Income and Expense Analysis
As of April 30, 2016

Year to Date
 Budget Revision

	Year to Date (83%)					
	Apr-16	Current Budget	Current % of Budget	Proposed Budget	Adjusted % of Budget	Proposed Change
Income						
31111 · Real Property Tax Revenue	161,921	125,000	130%	160,000	101%	35,000
31310 · Interest & Penalty Revenue	119	-	100%	-	100%	-
31610 · Local Sales Tax - Trustee	610,673	600,000	102%	600,000	102%	-
31710 · Wholesale Beer Tax	83,612	95,000	88%	95,000	88%	-
31810 · City Portion of County Priv Tax	33,735	30,000	112%	30,000	112%	-
31900 · CATV Franchise Fee Income	10,317	12,000	86%	12,000	86%	-
32000 · Beer Permits	700	500	140%	700	100%	200
32200 · Building Permits	449,450	450,000	100%	500,000	90%	50,000
32230 · Submittal & Review Fees	119,987	30,000	400%	120,000	100%	90,000
32245 · Miscellaneous Fees	145	500	29%	500	29%	-
32260 · Business Tax Revenue	16,883	81,000	21%	81,000	21%	-
32300 · Impact Fees	674,071	650,000	104%	675,000	100%	25,000
33320 · TVA Payments in Lieu of Taxes	26,450	29,000	91%	29,000	91%	-
33510 · Local Sales Tax - State	175,508	170,000	103%	170,000	103%	-
33520 · State Income Tax	-	100,000	0%	100,000	0%	-
33530 · State Beer Tax	1,309	1,100	119%	1,500	87%	400
33535 · Mixed Drink Tax	5,093	4,000	127%	5,000	102%	1,000
33552 · State Streets & Trans. Revenue	4,547	5,500	83%	5,500	83%	-
33553 · SSA - Motor Fuel Tax	41,670	48,000	87%	48,000	87%	-
33554 · SSA - 1989 Gas Tax	6,698	7,700	87%	7,700	87%	-
33555 · SSA - 3 Cent Gas Tax	12,431	14,300	87%	14,300	87%	-
33725 · Greenways & Trails Grant	-	599,000	0%	599,000	0%	-
36120 · Interest Earned - Invest. Accts	7,532	7,500	100%	7,500	100%	-
36130 · Interest Income-Interfund Loan	11,667	12,000	97%	12,000	97%	-
37746 · Pavilion & Comm. Ctr. Rental	12,377	9,000	138%	12,500	99%	3,500
37747 · Pavilion Comm. Ctr Dep Refund	(5,550)	-	100%	-	100%	-
37990 · Other Revenue	3,231	-	100%	-	100%	-
37999 · Loan Repayment From W/W Fund	388,889	385,000	101%	385,000	101%	-
39999 · Budgeted Fund Balance - GF	-	193,200	0%	-	-	(193,200)
Total Income	2,853,465	3,659,300		3,671,200		11,900
Expense						
41110 · Payroll Expense	418,333	578,000	72%	578,000	72%	-
41141 · Payroll Taxes - FICA	25,874	29,000	89%	30,000	86%	1,000
41142 · Payroll Taxes - Medicare	6,051	8,000	76%	8,000	76%	-
41147 · Payroll Taxes - SUTA	3,550	3,500	101%	5,000	71%	1,500
41161 · Board Member Expenses	651	1,000	65%	1,000	65%	-
41211 · Postage, Freight & Express Chgs	4,439	5,500	81%	6,000	74%	500
41221 · Printing, Forms & Photocopy Exp	4,510	6,000	75%	6,000	75%	-
41230 · Recording & Filing Fees	152	1,000	15%	1,000	15%	-
41231 · Publication of Legal Notices	2,320	3,000	77%	3,000	77%	-
41235 · Memberships & Subscriptions	3,302	6,000	55%	6,000	55%	-
41241 · Utilities - Electricity	9,278	12,000	77%	12,000	77%	-
41242 · Utilities - Water	1,391	2,300	60%	2,300	60%	-
41244 · Utilities - Gas	1,055	2,000	53%	2,000	53%	-
41245 · Telecommunications Expense	3,028	4,500	67%	4,500	67%	-
41252 · Prof. Fees - Legal Fees	103,645	120,000	86%	135,000	77%	15,000
41253 · Prof. Fees - Auditor	13,000	13,000	100%	13,000	100%	-
41254 · Prof. Fees-Consulting Engineers	25,388	40,000	63%	40,000	63%	-
41259 · Prof. Fees - Other	11,724	60,000	20%	60,000	20%	-
41264 · Repairs & Maint - Vehicles	7,670	10,000	77%	10,000	77%	-
41265 · Parks & Rec. Expense	10,379	20,000	52%	20,000	52%	-
41266 · Repairs & Maint - Bldg	11,482	50,000	23%	50,000	23%	-
41268 · Repairs & Maint-Roads, Drainage	105,344	418,100	25%	411,500	26%	(6,600)
41269 · SSA - Street Repair Expense	0	70,000	0%	70,000	0%	-
41270 · Vehicle Fuel & Oil Expense	6,972	15,000	46%	15,000	46%	-
41280 · Travel Expense	792	2,000	40%	2,000	40%	-
41285 · Continuing Education Expense	3,377	7,000	48%	7,000	48%	-
41289 · Employee Retirement Expense	7,587	53,000	14%	53,000	14%	-
41291 · Animal Control Services	3,133	3,200	98%	3,200	98%	-
41300 · Economic Development Expense	5,734	10,000	57%	10,000	57%	-
41311 · Office Expense	13,135	15,000	88%	15,000	88%	-
41511 · Insurance - Property	2,701	2,800	96%	2,800	96%	-
41512 · Insurance - Workers Comp.	14,510	14,600	99%	14,600	99%	-
41513 · Insurance - Liability	4,357	4,500	97%	4,500	97%	-
41514 · Insurance - Employee Medical	75,797	100,000	76%	100,000	76%	-
41515 · Insurance - Auto	2,257	2,300	98%	2,300	98%	-
41516 · Insurance - E & O	10,695	12,000	89%	12,000	89%	-
41551 · Trustee Commission	2,734	3,000	91%	3,500	78%	500
41691 · Bank Charges	0	2,000	0%	2,000	0%	-
41720 · Donations	74,279	100,000	74%	100,000	74%	-
41899 · Other Expenses	174	10,000	2%	10,000	2%	-
41940 · Capital Projects	321,325	1,680,000	19%	1,680,000	19%	-
41943 · Acquisition of Public Use Prop.	26,938	-	100%	-	100%	-
49030 · Capital Outlay Note Payment	143,250	160,000	90%	160,000	90%	-
Total Expense	1,492,313	3,659,300		3,671,200		11,900
Net Income	1,361,152	-		-		-



Town of Thompson's Station
Wastewater Fund Income and Expense Analysis
As of April 30, 2016

Year to Date
 Budget Revision

	Year to Date (83%)					
	Apr-16	Current Budget	Current % of Budget	Proposed Budget	Adjusted % of Budget	Proposed Change
Income						
3100 · Wastewater Treatment Fees	479,031	550,000	87%	550,000	87%	-
3101 · Septage Disposal Fees	67,090	70,000	96%	70,000	96%	-
3105 · Late Payment Penalty	8,463		100%		100%	-
3109 · Uncollectible Accounts	0	(5,000)	0%	(5,000)	0%	-
3300 · Tap Fees	610,562	650,000	94%	650,000	94%	-
3902 · Interest Income - Invest Accts	1,510	300	503%	1,500	101%	1,200
4009 · Returned Check Charges	115		100%		100%	-
Total Income	1,166,771	1,265,300		1,266,500		1,200
Expense						
4010 · Payroll Expense	83,005	110,000	75%	110,000	75%	0
4100 · Capital Expenditures	0	20,000	0%	65,000	0%	45,000
4150 · WW Infrastructure Installed	541	25,000	2%	5,000	11%	(20,000)
4210 · Permits & Fees Expense	9,654	10,000	97%	10,000	97%	-
4220 · Laboratory Water Testing	6,568	12,000	55%	10,000	66%	(2,000)
4230 · Supplies Expense	1,900	7,500	25%	7,500	25%	-
4240 · Repairs & Maint. Expense	32,454	81,200	40%	60,200	54%	(21,000)
4310 · Utilities - Electric	72,351	100,000	72%	100,000	72%	-
4320 · Utilities - Water	1,833	1,500	122%	2,500	73%	1,000
4390 · Insurance Expense	16,748	20,000	84%	20,000	84%	-
4400 · Prof. Fees-Consulting Engineers	70,603	100,000	71%	100,000	71%	-
4420 · Prof. Fees - Auditor	0	1,800	0%	1,800	0%	-
4490 · Prof. Fees - Other	600	10,000	6%	3,000	20%	(7,000)
4710 · Payroll Taxes - FICA	5,146	7,000	74%	7,000	74%	-
4720 · Payroll Taxes - Medicare	1,203	1,500	80%	1,700	71%	200
4730 · Payroll Taxes - SUTA	0	500	0%	500	0%	-
4789 · Employee Retirement Expense	1,172	12,000	10%	3,000	39%	(9,000)
4800 · Bank Charges	50	300	17%	300	17%	-
4900 · Other Expense	400	1,000	40%	1,000	40%	-
4990 · Depreciation Expense	229,170	275,000	83%	276,000	83%	1,000
4994 · Interest Expense	17,372	22,000	79%	22,000	79%	-
4995 · Interest Expense-Interfund Loan	11,667	12,000	97%	12,000	97%	0
Total Expense	562,437	830,300		818,500		(11,800)
Net Income - Operating	604,334	435,000		448,000		13,000
Financing Activities						
4993 · Loan Repayment-Franklin Synergy	92,593	112,000	83%	112,000		0
4999 · Loan Repayment to General Fund	388,889	390,000	100%	390,000		0
Net Income	122,852	(67,000)		(54,000)		13,000

RESOLUTION NO. 2016-009

A RESOLUTION OF THE BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE TO AWARD BID AND APPROVE A CONTRACT WITH K. W. LANGFORD EXCAVATING FOR THE CONSTRUCTION OF PHASE I OF THE TOWN'S GREENWAY AND TO AUTHORIZE THE MAYOR TO EXECUTE SAID AGREEMENT.

WHEREAS, the Town has publicly advertised and received sealed bids to its Proposal Contract for the construction of Phase I of the Town's Greenway Trail (the "Project"); and

WHEREAS, Kerry Lankford d/b/a K. W. Lankford Excavating ("K. W. Lankford Excavating") submitted the lowest acceptable bid in the amount of \$616,741.50; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to approve the bid and contract with K. W. Lankford Excavating for the Project, subject to the review, approval and concurrence of the Tennessee Department of Transportation ("TDOT").

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

1. That the construction bid submitted by K. W. Lankford for the Project in the amount of \$616,741.50 is approved;
2. That Contract # _____ between the Town and K. W. Lankford for the construction of the Project, including all Contract Documents incorporated by referenced in said contract, attached hereto as Exhibit A is approved;
3. That the bid award and contract approval is conditioned upon the approval and concurrence of TDOT; and
3. Upon TDOT concurrence, the Mayor is hereby authorized to execute said contract on behalf of the Town.

RESOLVED AND ADOPTED this _____ day of _____, 2016.

Corey Napier, Mayor

ATTEST:

Jennifer Jones, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

Todd Moore, Town Attorney

PROPOSAL CONTRACT

FOR THE CONSTRUCTION OF

Contract No. ____

PIN: 108854.04

County: Williamson

Federal Project No.: STP-EN-9400(52)

State Project No.: 94LPLM-F3-040

Local Agency Reference No.:

Description Of Project: Greenway, Phase 1 Design

Project Length: 0.836 Miles

Completion Time: On or Before October 14, 2016

DBE Goal: 5%

By: K. L. Lankford Excavating
City, P.O. Box 1287 1055 E. Railroad Street
St.: Dickson, TN 37056 Dickson, TN 37055
Surety: Westfield Insurance Company

TDOT Version: 1/27/15

TABLE OF CONTENTS

Instruction to Bidders	3
Supplemental Specifications to The Standard Specifications	<u>Revision Date</u>
Supplemental Specification to Section 100.....	03-30-15
Supplemental Specification to Section 200.....	05-18-15
Supplemental Specification to Section 300.....	N/A
Supplemental Specification to Section 400.....	07-13-15
Supplemental Specification to Section 500.....	05-18-15
Supplemental Specification to Section 600.....	05-18-15
Supplemental Specification to Section 700.....	N/A
Supplemental Specification to Section 800.....	N/A
Supplemental Specification to Section 900.....	05-18-15

The above Supplemental Specifications, revised as noted, are incorporated by reference for bidding purposes and will be printed with the Contract after awards. These Supplemental Specifications may be obtained from the Department at Suite 700, James K. Polk Bldg., Nashville, Tennessee or viewed on the Department's website at <http://www.tdot.state.tn.us/construction>.

Special Provisions.....	Special Provision Number, Regarding:.....	<u>Date</u>
Employing and Contracting with Illegal Immigrants.....	102I.....	02/05/07
Buy America Requirements.....	106A.....	06/20/11
Water Quality & Storm Water Permits.....	107FP.....	12/22/14
No Water Quality Permits Are Required For This Project		
Specialty Items.....	108A	
Equal Employment Opportunity.....	1230.....	01/01/15
Standard Federal Equal Employment Opportunity.....	1231.....	01/01/15
Notice Of Requirement for Affirmative Action to Ensure.....	1232.....	10/19/12
Disadvantaged Business Enterprise Participation.....	1246.....	11/10/08
DBE Contract Goal.....	1247.....	04/17/15
Required Contract Provisions (Federal-Aid Construction).....	1273.....	05/01/12
Certification Regarding Debarment, Suspension, and Other		
Tennessee Department of Transportation Minimum Wage Scales For		
Federal-Aid Construction and State Funded Construction.....	1320.....	01/06/15
18.42 Retention and Access Requirements for Records		
18.36 Procurement		
18.26 Non-Federal Audits		
Federal Wage Rates		66
State Wage Rates		71
Proposal.....		74
Bid Form		76
Proposal Certification.....		78
Proposal Bond		79
Proposal Guarantee.....		81
Contract		82
Contract Payment and Performance Bond		85

Other Technical Special Provisions
.....

ATTENTION

It shall be the bidders' responsibility to confirm that the Proposal Contract contains all the documents indicated on the Table of Contents.

Should any omissions occur, the appropriate documents may be obtained from the Construction Division upon request.

TOWN OF THOMPSON'S STATION

INSTRUCTIONS TO BIDDERS

BIDS TO BE RECEIVED

5/17/2016

Sealed bids for the construction of the following projects will be received by the **TOWN of THOMPSON'S STATION, 1550 THOMPSON'S STATION RD. W., P.O. BOX 100, THOMPSON'S STATION, TN 37179** until 12:00 PM 5/17/2016 and opened publicly at TOWN HALL, 12:00 PM 5/17/2016. The reading of the bids will begin at 12:00 PM.

The proposed construction shall be performed in accordance with the most current version of the Standard Specifications for Road and Bridge Construction of the Tennessee Department of Transportation , and the Standard Roadway and Structures Drawings of the Tennessee Department of Transportation which are incorporated herein by reference and made a part hereof. In addition, only the Special Provisions contained within the applicable Proposal Contract will be considered binding. Any reference to any Special Provision not contained within the applicable Proposal Contract shall be disregarded. All questions related to the Proposal Contract, Plans, Specifications or Special Provisions shall be directed to the **TOWN OF THOMPSON'S STATION (615-794-4333)**. Information received from other offices of the **TOWN** strictly advisory.

IMPORTANT NOTICE TO BIDDERS:

Prospective bidders should read the following instructions carefully before submitting their bids. Special attention is called to the regulations of the **TOWN** that total bids, rather than unit prices, will be read. Proposals shall be rejected as being irregular if they fail to contain a unit price for each item listed. Extensions of the various items must be sub-totaled, carried forward, and shown as a grand total following the last proposal item. All entries must be in ink.

After a bidder has deposited a proposal with the **TOWN**, he can withdraw it only on written request in accordance with Subsection 102.07 of the Tennessee Department of Transportation Standard Specifications.

Totals read at the opening of the bids are not guaranteed to be correct and no final award of the contract will be made until bids and extensions have been checked and re-checked.

On all projects which are financed in whole or in part by funds received through Federal agencies and/or the Tennessee Department of Transportation, the awarding of contracts by the **TOWN** will be subject to approval by the Tennessee Department of Transportation. The **TOWN** reserves the right to reject any bid proposal which is not acceptable to the parties as listed, although such bid proposal would otherwise qualify as the lowest and best bid under the Tennessee Department of Transportation Standard Specifications.

The **TOWN** reserves the right to reject any or all Proposals, to waive technicalities or to advertise for new Proposals, if in the judgment of the awarding authority and subject to TDOT concurrence, the best interest of the **TOWN** will be promoted thereby.

The **TOWN** reserves the right to cancel the award of any Contract, at any time prior to execution of said Contract by all parties without any liability against the **TOWN**.

The awarding of the contract or rejection of all proposals will be made within 60 days after the formal opening of the proposals. Upon award, a detailed letter of instructions will be forwarded along with appropriate documents to the low bidder.

The **TOWN** hereby notifies all bidders, that it will affirmatively insure that in any contract entered into pursuant to this advertisement, disadvantaged business enterprises will be afforded full opportunity to submit bids in response to this invitation and will not be discriminated against on the basis of age, race, color, religion, national origin, sex or disability in consideration for an award.

The **TOWN** is an equal opportunity affirmative action employer, drug-free, with policies of nondiscrimination on the basis of race, sex, religion, color, national or ethnic origin, age, disability, or military service.

PREQUALIFICATION OF BIDDERS:

Each prospective bidder and subcontractor will be required to file a document entitled "Prequalification Questionnaire." The foregoing shall be filed on a form provided by the Tennessee Department of Transportation. The form must be filled out completely, and the truth and accuracy of the information provided must be certified by a sworn affidavit signed by an officer, partner, owner or other authorized representative of the applicant who has authority to sign contracts or other legal documents on behalf of the applicant. A prospective bidder must be prequalified by and in good standing with the Tennessee Department of Transportation prior to the issuance of a proposal form. A prospective subcontractor must be prequalified by and in good standing with the Tennessee Department of Transportation prior to being approved as a subcontractor. Each prospective bidder or subcontractor shall notify the Tennessee Department of Transportation if there is any subsequent change in the name, organization or contact information provided.

Prospective bidders' "Prequalification Questionnaire" shall be filed with the Tennessee Department of Transportation at least fourteen (14) days prior to the date of opening bids on any letting in which the applicant intends to submit a bid to the **TOWN**, or at least fourteen (14) days prior to the date on which the applicant requests approval as a subcontractor under a contract awarded by the **TOWN**. Bidders intending to submit proposals consistently shall complete and submit the prequalification application annually; however, this document may be changed during such period upon submission of additional favorable reports or upon receipt by the Tennessee Department of Transportation of substantiated evidence of unsatisfactory performance. The Tennessee Department of Transportation reserves the right to request additional information and documentation to clarify and/or verify any information submitted in an applicant's prequalification application.

**The prequalification form can be found at the web address
<http://www.tdot.state.tn.us/construction>**

A proposal to be used for non-bidding purposes may be issued to any interested party regardless of prequalification.

PROPOSAL BOND

Each proposal must be accompanied by a bidder's bond, or Cashier's Check, or Certified Check made payable to the **TOWN** in an amount equaling not less than five percent (5%) of the amount bid. In the case of optional items in the proposals, the amount of the bidder's bond or check must be in an amount equaling not less than five percent (5%) of the total amount of the bid based on the high option.

If the bidder's bond is offered as guaranty, the bond must be on the form furnished by the **TOWN** and made by a surety company, qualified and authorized to transact business in the State of Tennessee and must be acceptable to the **TOWN**.

If a check is offered as guaranty, the check of the successful bidder will be cashable at the discretion of the **TOWN**, pending the satisfactory execution and acceptance of the contract and the contract bond.

ISSUANCE OF BIDDING DOCUMENTS

This **TOWN** and the Tennessee Department of Transportation are on a cash basis for sales of Plans, Proposal Contracts, Standard Specifications, Standard Drawings, Standard Drawing Books and Tabulations of Bids. Requests for documents must be accompanied by cash, check, money order, or they may be mailed to the buyer C.O.D.

A charge of **\$0.00** plus **0%** sales tax, for in-state delivery, will be made for each Proposal Contract. This charge is applicable regardless of whether the Proposal is to be used for bidding or non-bidding purposes. Proposals will be obtainable until the time set for opening bids. The charge for Plans and/or Cross-sections will be as specified in the Notice to Contractors and this charge will be applicable before the letting and for three months after the letting. Plans ordered after the three month period will be furnished at **1.00** per sheet. Individual Plan sheets and individual Standard Drawings will be furnished at **\$1.00** per sheet. Tabulations of bids will be furnished at **\$1.00** per sheet. Tennessee Department of Transportation Standard Drawing Books will be furnished by the Tennessee Department of Transportation at **\$100.00** per book plus **9.25%** sales tax, for in-state delivery. The most recent version of the Tennessee Department of Transportation Standard Specifications for Road and Bridge Construction will be furnished by the Tennessee Department of Transportation at **\$12.00** per book plus **9.25%** sales tax, for in-state delivery. There will be a minimum charge of \$2.00 on any purchase. All documents will be furnished without refund and transmitted at your risk.

When two or more contractors wish to bid together in a joint venture, each contractor will be required to make a written request for such a proposal to the **TOWN**. This request shall be signed by an authorized signatory of each firm.

Requests for joint venture proposals may be made in person or by telephone. However, the proposal for said joint venture will not be issued until the request in writing, as set forth above, is received by the **TOWN**.

REJECTION OF PROPOSALS

Proposals will be rejected as irregular if prior to the formal opening of the Proposal all of the following documents have not been signed: (1) the bidder shall sign by written signature the Proposal form, (2) the bidder shall sign by written signature the Proposal

Certification form, (3) the bidder shall sign by written signature the Proposal Bond form or the Proposal Guarantee, whichever is applicable, (4) the Agent or Attorney-in-Fact representing a Surety Company shall sign by written signature the Proposal Bond, if applicable. In addition, Proposals will be rejected if any of the above signatures are a reproduced copy, such as, but not limited to a photostatic copy or a facsimile transmission. An original, dated and valid Power of Attorney for the Attorney-in-Fact must accompany the Proposal and the Contract. The accompanying Power of Attorney must be dated, and the date must be the exact same date as the date on the Proposal Bond. The Proposal and the Proposal Bond, including the attached Power of Attorney, shall be valid and binding for 60 days subsequent to the date of opening bids.

Proposals shall be completed on the forms as issued. Proposals will be rejected as being irregular if they are not prepared on the prescribed forms; if they show any omissions, alterations of form, additions, or conditions not called for, unauthorized alternate bids, or irregularities of any kind; or if they fail to contain a unit price for each item listed. Proposals may be rejected if any of the unit prices contained therein are mathematically unbalanced, either excessive or below the Engineer's Estimate.

Written alterations to unit prices and extensions of the various items in the bid item sheets of the Proposal or, for computer assisted bids (CAB), in the CAB program generated set of bid item sheets will not be cause for rejection of the Proposal, provided each alteration is made in ink and is initialed by a duly authorized official of the company. In case of conflict between altered unit prices or extensions thereof, the unit price in numerals will govern.

The Plans and Specifications are as much a part of the proposal form as if they were bound therein. All of the documents contained therein are part of the proposal. Proposals shall not be taken apart. Proposals taken apart may be subject to rejection. Photostatic or facsimile copies of Proposal sheets may not be attached to the Proposal. Proposals containing forms not issued by the **TOWN** may be subject to rejection.

Proposals will be rejected as irregular if the bidder fails to acknowledge all addenda.

Proposals will be rejected as irregular when submitted by a bidder who is not prequalified and in good standing on the date of letting in accordance with Subsection 102.01 of the Tennessee Department of Transportation Standard Specifications and Chapter 1680-5-3, Prequalification of Contractors, of the Rules of the Tennessee Department of Transportation.

Reasonable grounds for believing that there has been collusion among the Bidders will cause a rejection of all Proposals in which the Bidders involved are interested.

Proposals will be rejected as irregular when submitted by a bidder not licensed with the Tennessee Department of Commerce and Insurance (TDCI), Board for Licensing Contractors (BLC) within twenty-one (21) days in accordance with Subsection 102.11 of the Tennessee Department of Transportation Standard Specifications

ADDENDA

Addenda to the Proposal will be acknowledged by all bidders. Failure to acknowledge receipt of Addendum Letters is grounds for rejection.

RETAINAGE

Effective for all contracts, the **TOWN** will not hold retainage. In addition, the Contractor will not be able to hold retainage from the subcontractor.

SUBCONTRACTS

Your special attention is called to Section 105 - Control of Work, and Section 108 - Prosecution and Progress of the Tennessee Department of Transportation Standard Specifications, concerning duties of the contractor and subletting of contracts.

CHANGED CONDITIONS

Your special attention is called to Section 104.02 of the Tennessee Department of Transportation Standard Specifications, concerning changed conditions on this contract.

Town Officer

The following information applies to Federal-Aid construction projects:

NOTICE TO ALL BIDDERS

To report bid rigging activities call:

1-800-424-9071

The U.S. Department of Transportation (DOT) operates the above toll-free "hotline" Monday through Friday, 8:00 a.m. to 5:00 p.m. eastern time. Anyone with knowledge of possible bid rigging, bidder collusion, or other fraudulent activities should use the "hotline" to report such activities.

The "hotline" is part of the DOT's continuing effort to identify and investigate highway construction contract fraud and abuse and is operated under the direction of the DOT Inspector General. All information will be treated confidentially and caller anonymity will be respected.

PROPOSAL
TO THE TOWN OF THOMPSON'S STATION
THOMPSON'S STATION, TENNESSEE

By submitting this Proposal, the undersigned bidder represents that it has carefully examined the site of the work described herein, has become familiar with local conditions and the character and extent of the work; has carefully examined the Plans, the most current version of the *Standard Specifications for Road and Bridge Construction* and the Standard Roadway and Structures Drawings adopted by the State of Tennessee, Department of Transportation, with subsequent revisions which are acknowledged to be a part of this Proposal, the Special Provisions, the Proposal Form, the Form of Contract, and the Form of Contract Payment and Performance Bond; and thoroughly understands their stipulations, requirements, and provisions.

The undersigned bidder has determined the quality and quantity of materials required; has investigated the location and determined the sources of supply of the materials required; has investigated labor conditions; and, has arranged for the continuous prosecution of the work herein described.

By submitting this Proposal, the undersigned bidder agrees to provide all necessary equipment, tools, labor, incidentals, and other means of construction, to do all the work, and furnish all the materials of the specified requirements which are necessary to complete the work in accordance with the Plans, and the Specifications, and agrees to accept as payment in full the unit prices for the various items described in the Specifications that are set forth in this Proposal. The bidder understands that the quantities of work specified are approximate only and are subject to increase or decrease and that any such increase or decrease will not affect the unit prices set forth in this Proposal. Compensation for "extra work" which may be required by the **TOWN** in connection with the construction and completion of the work but which was not reflected in the Plans and Specifications at the time of bidding, will be made in the following manner: work for which there is a unit price set forth in this Proposal will be compensated at that unit price; work for which there is no unit price set forth in this Proposal will be compensated in accordance with the applicable Tennessee Department of Transportation Standard Specifications.

By submitting this Proposal, the undersigned bidder hereby agrees to be bound by the award of the Contract and, if awarded the Contract on this Proposal, to execute the required Contract and the required Contract Payment and Performance Bond within ten (10) days after receipt of notice of the award. The undersigned bidder submits herewith the required Proposal guaranty in an amount of not less than five percent (5%) of the total amount of the Proposal offered and agrees and consents that the Proposal guaranty shall immediately be at the disposal of the **TOWN**, not as a penalty, but as an agreed liquidated damage if the required Contract and Contract Payment and Performance Bond are not executed within ten (10) days from receipt of the notice of award.

THIS PROPOSAL SUBMITTED BY:
K. W. Lankford Excavating
Bidder (1)

By: 

Kerry W. Lankford, Owner
Printed Name and Title

1055 E. Railroad Street
Address

Dickson, TN 37055
City/State/Zip

Bidder (1) being _____ composed of officers, partners, or owners as
a Sole proprietor follows:
(Type of business entity)

<u>Kerry W. Lankford, Owner</u>	
Name/Title	Name/Title
Name/Title	Name/Title
Name/Title	Name/Title

Bidder (2)*

By: _____

Printed Name and Title

Address

City/State/Zip

Bidder (2) being _____ composed of officers, partners, or owners as
a _____ follows:
(Type of business entity)

Name/Title	Name/Title
Name/Title	Name/Title
Name/Title	Name/Title

BID FORM TOWN OF THOMPSON'S STATION GREENWAY, PHASE 1		UNIT	QUANT	UNIT PRICE	TOTAL PRICE
ITEM NO.	DESCRIPTION				
105-01	CONSTRUCTION STAKES, LINES AND GRADES	LS	1	25,000.-	25,000.-
201-01.03	CLEARING AND GRUBBING	ACRE	1	17,000.-	17,000.-
203-01	ROAD & DRAINAGE EXCAVATION (UNCLASSIFIED)	C.Y.	765	47.-	35,955.-
203-03	BORROW EXCAVATION (UNCLASSIFIED)	C.Y.	3938	25.-	98,450.-
203-04	PLACING AND SPREADING TOPSOIL	C.Y.	1920	11.-	21,120.-
203-06	WATER	M.G.	8	110.-	880.-
209-05	SEDIMENT REMOVAL	C.Y.	101	11.-	1,111.-
209-08.02	TEMPORARY SILT FENCE (WITH BACKING)	L.F.	500	7 ⁸⁰	3,400.-
209-08.03	TEMPORARY SILT FENCE (WITHOUT BACKING)	L.F.	5697	2.50	14,242. ⁵⁰
303-01	MINERAL AGGREGATE, TYPE A BASE, GRADING D	TON	1620	18.-	29,160.-
402-01	BITUMINOUS MATERIAL FOR PRIME COAT (PC)	TON	8	770.-	6,160.-
411-01.10	ACS (PG64-22) GR "D"	TON	539	86.-	46,354.-
602-03.02	PEDESTRIAN BRIDGE	LS	1	122,000.-	122,000.-
604-10.91	MISCELLANEOUS BRIDGE ITEMS (BRIDGE ABUTMENT-COMplete)	EACH	6	12500.-	75,000.-
607-03.02	18" CONCRETE PIPE CULVERT (CLASS III)	L.F.	31	100.-	3,100.-
607-07.02	36" CONCRETE PIPE CULVERT (CLASS III)	L.F.	123	196.-	24,108.-
611-07.01	CLASS A CONCRETE (PIPE ENDWALLS)	C.Y.	7	1,000.-	7,000.-
611-07.02	STEEL BAR REINFORCEMENT (PIPE ENDWALLS)	LB.	153	4.-	612.-
701-01.01	CONCRETE SIDEWALK (4")	S.F.	244	9.-	2,196.-
701-02.03	CONCRETE CURB RAMP	S.F.	176	19.-	3,344.-
709-05.05	MACHINED RIP-RAP (CLASS A-3)	TON	102	30.-	3,060.-
709-05.08	MACHINED RIP-RAP (CLASS B)	TON	6	30.-	180.-
709-05.09	MACHINED RIP-RAP (CLASS C)	TON	137	30.-	4,110.-
712-01	TRAFFIC CONTROL	LS	1	500.-	500.-
712-06	SIGNS (CONSTRUCTION)	S.F.	72	13. ⁷⁵	990.-
713-11.01	"U" SECTION STEEL POSTS	LB.	366	5.-	1,830.-

713-13.02	FLAT SHEET ALUMINUM SIGNS (0.080" THICK)	S.F.	31	15.-	465.-
716-02.13	PLASTIC PAVEMENT MARKING (CROSSWALK)	S.F.	120	11.-	1,320.-
716-04.10	PLASTIC PAVEMENT MARKING (HANDICAP SYMBOL)	EACH	2	300.-	600.-
716-12.01	ENHANCED FLATLINE THERMO PVMT MRKING (4IN LINE)	L.M.	0.1	11,000.-	1,100.-
717-01	MOBILIZATION	LS	1	50,000.-	50,000.-
730-12.42	CURB MARKER (PRECAST CONCRETE PARKING CURB)	EACH	28	40.-	1,120.-
740-10.03	GEOTEXTILE (TYPE III) (EROSION CONTROL)	S.Y.	172	17.-	2,924.-
740-11.04	TEMPORARY SEDIMENT TUBE (20 INCH)	L.F.	670	6.-	4,020.-
801-01	SEEDING (WITH MULCH)	UNIT	128	50.-	6,400.-
801-03	WATER (SEEDING & SODDING)	M.G.	13	110.-	1,430.-
TOTAL BID				616,741.⁵⁰	

Six hundred sixteen thousand seven hundred forty one dollars & fifty cents

TOTAL BID IN WORDS

ACKNOWLEDGE RECEIPT OF ADDENDUM BY INITIALING

NONE

*NOTE: The signature and information for Bidder (2) is to be provided when there is a joint venture.

PROPOSAL CERTIFICATION

The undersigned, being first duly sworn, certifies on behalf of the bidder that it has not, either directly or indirectly, entered into any agreement, participated in any collusion, or otherwise taken any action in restraint of free competitive bidding in connection with this Proposal or Contract. This is an official document that is required or authorized by law to be made under oath and is presented in an official proceeding. A person who makes a false statement in this certification is subject to the penalties of perjury.

The undersigned further certifies that said bidder is not under the control of any person, firm, partnership, or corporation, which has or exercises any control of any other person, firm, partnership, or corporation, which is submitting a bid on this Contract.

K.W. Lankford Excavating Sworn to and subscribed before me
Bidder (1)

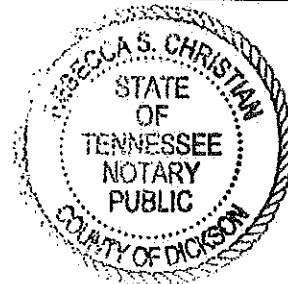
By: [Signature] this 2nd day of May, 2014

Kerry Lankford / Owner
Printed Name and Title

Rebecca S. Christian
Notary Public

My commission expires 1/26/19

(Seal)



_____ Sworn to and subscribed before me
Bidder (2)

By: _____ this _____ day of _____

Printed Name and Title

Notary Public

My commission expires _____

(Seal)

***NOTE: The signature and information for Bidder (2) is to be provided when there is a joint venture.**

**TOWN OF THOMPSON'S STATION
THOMPSON'S STATION, TENNESSEE
PROPOSAL BOND**

CONTRACT NO. _____

Principal: Kerry Lankford DBA K.W. Lankford Excavating
Print Name of Principal

Surety: Westfield Insurance Company
Print Name of Surety

KNOW ALL MEN BY THESE PRESENTS, that we, the Principal and Surety above named, are held and firmly bound unto the **TOWN** in the full and just sum of five percent (5%) of the total amount bid by the Principal for the project stated above, for the payment of which sum well and truly to be made, we bind ourselves, our heirs, executors, administrators, and successors, jointly and severally, firmly by these presents.

NOW, THEREFORE, the condition of this obligation is: the Principal shall not withdraw its bid within sixty (60) days after the opening of the bids, or within such other time period as may be provided in the Proposal, and if the **TOWN** shall award a Contract to the Principal, the Principal shall, within ten (10) days after written notice of the award is received by him, fully execute a Contract on the basis of the terms, conditions and unit prices set forth in his Proposal or bid and provide bonds with good and sufficient surety, as required for the faithful performance of the Contract and for the protection of all persons supplying labor, material, and equipment for the prosecution of the work. In the event the Principal withdraws its bid after bids are opened, or after award of the Contract has been made fails to execute such the Contract and/or such additional documents as may be required and to provide the required bonds within the time period specified above, then the amount of the Proposal Bond shall be immediately paid to the **TOWN**, not as a penalty, but as agreed upon liquidated damages.

IN WITNESS WHEREOF, the Principal has caused these presents to be signed by a duly authorized official and the Surety has caused these presents to be duly signed and sealed by an authorized agent or attorney-in-fact.

Kerry Lankford DBA K.W. Lankford Excavating Westfield Insurance Company
Principal (1) Surety (1)

By: *Kerry Lankford*

By: *Wm C. [Signature]*
General Agent or Attorney-in-Fact

Kerry Lankford, Owner May 2nd, 2016
Print Name and Title Date
May 2nd, 2016 Date
Date (Seal)

Principal (2) Surety (2)
By: By:
General Agent or Attorney-in-Fact

Print Name and Title Date
Date (Seal)

***NOTE: The signature and information for Principal(2) and Surety(2) is to be provided when there is a joint venture.**

Power
of Attorney

Westfield Insurance Co.
Westfield National Insurance Co.
Ohio Farmers Insurance Co.
Westfield Center, Ohio

CERTIFIED COPY

Know All Men by These Presents, That WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY, corporations, hereinafter referred to individually as a "Company" and collectively as "Companies," duly organized and existing under the laws of the State of Ohio, and having its principal office in Westfield Center, Medina County, Ohio, do by these presents make, constitute and appoint
W. C. MORRISON, III, THOMAS M. FUSON, JR., STEPHANIE FUSON SCOTT, LINDA PETERS, THOMAS M. FUSON, III, ANGELA F. HUNT, STACY E. TIPPING, JOINTLY OR SEVERALLY

of DICKSON and State of TN its true and lawful Attorney(s)-in-Fact, with full power and authority hereby conferred in its name, place and stead, to execute, acknowledge and deliver any and all bonds, recognizances, undertakings, or other instruments or contracts of suretyship.

LIMITATION: THIS POWER OF ATTORNEY CANNOT BE USED TO EXECUTE NOTE GUARANTEE, MORTGAGE DEFICIENCY, MORTGAGE GUARANTEE, OR BANK DEPOSITORY BONDS.

and to bind any of the Companies thereby as fully and to the same extent as if such bonds were signed by the President, sealed with the corporate seal of the applicable Company and duly attested by its Secretary, hereby ratifying and confirming all that the said Attorney(s)-in-Fact may do in the premises. Said appointment is made under and by authority of the following resolution adopted by the Board of Directors of each of the WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY:

"Be it Resolved, that the President, any Senior Executive, any Secretary or any Fidelity & Surety Operations Executive or other Executive shall be and is hereby vested with full power and authority to appoint any one or more suitable persons as Attorney(s)-in-Fact to represent and act for and on behalf of the Company subject to the following provisions:

The Attorney-in-Fact may be given full power and authority for and in the name of and on behalf of the Company, to execute, acknowledge and deliver, any and all bonds, recognizances, contracts, agreements of indemnity and other conditional or obligatory undertakings and any and all notices and documents canceling or terminating the Company's liability thereunder, and any such instruments so executed by any such Attorney-in-Fact shall be as binding upon the Company as if signed by the President and sealed and attested by the Corporate Secretary."

"Be it Further Resolved, that the signature of any such designated person and the seal of the Company heretofore or hereafter affixed to any power of attorney or any certificate relating thereto by facsimile, and any power of attorney or certificate bearing facsimile signatures or facsimile seal shall be valid and binding upon the Company with respect to any bond or undertaking to which it is attached." (Each adopted at a meeting held on February 8, 2000).

In Witness Whereof, WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY have caused these presents to be signed by their National Surety Leader and Senior Executive and their corporate seals to be hereto affixed this 07th day of AUGUST A.D., 2012.

Corporate
Seals
Affixed



WESTFIELD INSURANCE COMPANY
WESTFIELD NATIONAL INSURANCE COMPANY
OHIO FARMERS INSURANCE COMPANY

By: *Dennis P. Baus*
Dennis P. Baus, National Surety Leader and Senior Executive

State of Ohio
County of Medina ss.:

On this 07th day of AUGUST A.D., 2012, before me personally came Dennis P. Baus to me known, who, being by me duly sworn, did depose and say, that he resides in Wooster, Ohio; that he is National Surety Leader and Senior Executive of WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY, the companies described in and which executed the above instrument; that he knows the seals of said Companies; that the seals affixed to said instrument are such corporate seals; that they were so affixed by order of the Boards of Directors of said Companies; and that he signed his name thereto by like order.

Notarial
Seal
Affixed



William J. Kahelin
William J. Kahelin, Attorney at Law, Notary Public
My Commission Does Not Expire (Sec. 147.03 Ohio Revised Code)

State of Ohio
County of Medina ss.:

I, Frank A. Carrino, Secretary of WESTFIELD INSURANCE COMPANY, WESTFIELD NATIONAL INSURANCE COMPANY and OHIO FARMERS INSURANCE COMPANY, do hereby certify that the above and foregoing is a true and correct copy of a Power of Attorney, executed by said Companies, which is still in full force and effect; and furthermore, the resolutions of the Boards of Directors, set out in the Power of Attorney are in full force and effect.

In Witness Whereof, I have hereunto set my hand and affixed the seals of said Companies at Westfield Center, Ohio, this 2nd day of May A.D., 2016.



Frank A. Carrino
Frank A. Carrino, Secretary

TOWN OF THOMPSON'S STATION
THOMPSON'S STATION, TENNESSEE

PROPOSAL GUARANTEE

CONTRACT NO. _____

Bidder: K.W. Lankford Excavating
Print Name of Bidder

KNOW ALL MEN BY THESE PRESENTS, that the above-named Bidder has tendered the attached cashier's or certified check in an amount equal to five percent (5%) of the total amount it bid for the project stated above, payable to the **TOWN**, to be held pending the fulfillment of the following obligation conditions.

NOW, THEREFORE, the condition of this obligation is: the Bidder shall not withdraw its bid within sixty (60) days after the opening of the bids, or within such other time period as may be provided in the Proposal, and if the **TOWN** shall award a Contract to the Bidder, the Bidder shall, within ten (10) days after it receives written notice of the award, fully execute a Contract on the basis of the terms, conditions and unit prices set forth in its Proposal or bid and provide bonds with good and sufficient surety, as required for the faithful performance of the Contract and for the protection of all persons supplying labor, material, and equipment for the prosecution of the work. In the event the Bidder withdraws its bid after bids are opened, or after award of the Contract has been made fails to execute such the Contract and/or such additional documents as may be required and to provide the required bonds within the time period specified above, then the **TOWN** shall cash the attached check and retain the funds, not as a penalty, but as agreed upon liquidated damages.

IN WITNESS WHEREOF, the Bidder has caused these presents to be signed by a duly authorized official.

K.W. Lankford Excavating
Bidder (1) Bidder (2)*

By: [Signature] By: _____

Kerry W. Lankford, Owner
Print Name and Title Print Name and Title

May 2, 2016
Date Date

*NOTE: The signature and information for Bidder(2) is to be provided when there is a joint venture.

