

Town of Thompson's Station
Municipal Planning Commission
Meeting Agenda
May 24, 2022

Meeting Called To Order - Determination Of Quorum

Minutes-

- **Consideration Of The Minutes Of The April 26, 2022, Meeting**

Documents:

[APRIL 262022 MINUTES.PDF](#)

Public Comments-

Planner Report & Announcements

AGENDA ITEMS

- 1. Fountain View Subdivision, Final Plat, Section 1. Request For Approval Of 74 Single Family Residential Lots, 1 Non-Residential Lots, And 3 Open Space Lots Located Along Fountain View Boulevard, Kathie Drive, Hector Drive, And Marseille Way, All East Of Columbia Pike.**

Documents:

[ITEM 1- FOUNTAIN VIEW FINAL PLAT SECTION 1 PC REPORT 5-12-22.PDF](#)
[ITEM 1- FOUNTAIN VIEW FINAL PLAT SECTION 1 5-12-22.PDF](#)

- 2. The Hills Subdivision, Final Plat, Section 1. Request For Approval Of 32 Single Family Residential Lots And 2 Open Space Lots Located Along Dean Road And Silver Fox Road, All South Of Thompson's Station Road West.**

Documents:

[ITEM 2- THE HILLS FINAL PLAT SECTION 1 PC REPORT 5-12-22.PDF](#)
[ITEM 2- THE HILLS FINAL PLAT SECTION 1 5-12-22.PDF](#)

- 3. Thomas Downs Subdivision, Preliminary Plat. Request For Approval Of 16 Single Family Residential Lots And 1 Open Space Lot Located Along Landry Place, All South Of West Harpeth Road.**

Documents:

[ITEM 3- THOMAS DOWNS PRELIMINARY PLAT PC REPORT 5-12-22.PDF](#)
[ITEM 3- THOMAS DOWNS PRELIMINARY PLAT 5-12-22.PDF](#)

- 4. Avenue Down Subdivision, Subdivision Entrance Sign. Request For Approval Of Main And Secondary Subdivision Entrance Signage Located In Opens Space At Critz Lane And Clayton Arnold Road.**

Documents:

[ITEM 4- AVENUE DOWNS SUBDIVISION SIGNAGE PC REPORT 5-12-22.PDF](#)

BOND ACTIONS/REPORT

5. Update On Long-Held Bonds

Adjourn

*This meeting will be held at 6:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Rd West*

Minutes of the Meeting
of the Municipal Planning Commission
of the Town of Thompson 's Station, Tennessee
April 26, 2022

Call to Order:

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 6:00 p.m. April 26, 2022.

Commissioners and Staff present were Chairman Trent Harris; Commissioner Luis Parra; Commissioner Tara Rumpler; Commissioner Bob Whitmer; Planning Director Micah Wood; Planning Technician Jennifer Banaszak, Town Attorney Andrew Mills, and Town Engineer Will Owen. Commissioner Kreis White arrived at 6:20 pm. Alderman Shaun Alexander and Commissioner Sheila Shipman were unable to attend.

Minutes:

The minutes of the February 22, 2022, regular meeting were presented.

Commissioner Whitmer made a motion to approve the February 22, 2022 meeting minutes. The motion was seconded and carried by all present.

Public Comment:

None.

Town Planner Report:

Mr. Wood updated the Commission regarding the Comprehensive Planning Process, stating that a public meeting was held on April 7, 2022 and that the All Aboard online survey was still underway. Also the Countywide Growth plan is moving along, albeit slower than anticipated, and we should have a solid plan by year end.

AGENDA ITEMS:

- 1. Station Hill Subdivision Concept Plan – a presentation of a concept plan for a residential subdivision with 290 homes on approximately 220 acres located at 1824 Sedberry Road.**

Mr. Jay Easter with Ragan Smith and Andrew Ethridge with Willow Branch Partners came forward to answer any questions on behalf of the applicant.

Concerns of Planning Commissioners: amenities (i.e., pool, tennis courts, etc.), style of homes, connectivity to greenway and traffic counts.

- 2. Tollgate Food Hall, Site Plan – a request for approval of a 2 story, 2,000 square foot building with a restaurant and office space at 2201 Portsmouth Drive in the Tollgate Village subdivision.**

Mr. Wood reviewed his report and Staff recommends approval of the site plan, with the following contingencies:

1. A copy of the executed share access easement shall be provided to the Town prior to Certificate of Occupancy.
2. The landscape material shall be installed, per the approved Landscape Plan, prior to Certificate of Occupancy and the Town shall be provided a copy of the 1-year warranty provided by the landscape installer.
3. The applicant shall resolve all Town Engineer's comments related to grading prior to the issuance of the grading permit for this site.
4. After Planning Commission approval, the applicant shall contact staff to set the pre-construction meeting for the issuance of the grading and infrastructure permits for this project.

Matt Bryan, engineer at M2 Group for the applicant and Aaron Rogers, architect at 906 Studio for the applicant came forward to answer any questions.

After discussion, Commissioner Parra made a motion to approve the Tollgate Food Hall site plan with Staff recommended contingencies. The motion was seconded and approved by all present.

BOND ACTIONS/REPORT

1. Update on Long Held Bonds

Mr. Wood stated that the bond assessment for Tollgate Village will be completed in June of 2022.

A meeting for Bridgemore Village took place onsite and they're working to have everything completed by December of 2022.

There being no further business, the meeting was adjourned at 6:33 p.m.

Trent Harris, Chairman

Attest:

Municipal Planning Commission – Minutes of the Meeting
April 26, 2022

Page 3

Micah Wood, Secretary

PROJECT REQUEST

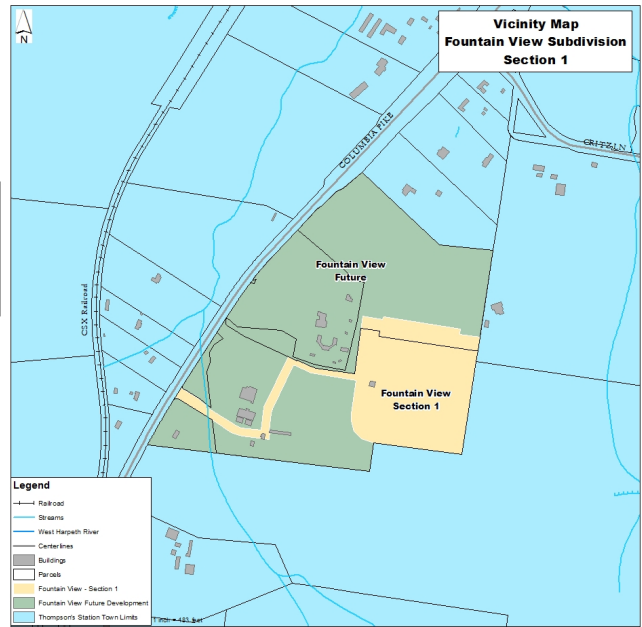
Final Plat approval for Fountain View Subdivision, Section 1

PROJECT DESCRIPTION

The applicant requests approval of 74 single family residential lots, 1 non-residential lot, and 3 open space lot located along Fountain View Boulevard, Kathie Drive, Hector Drive, and Marseille Way, all east of Columbia Pike.

ANALYSIS

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7). The preliminary plat for this subdivision was approved by the Planning Commission at the February 25, 2020, meeting to create 126 single family lots, 7 commercial/mixed use lots, 1 hotel/residential lot, and 8 open space lots on 79.9 acres. Section 1 is the first plat submitted for this subdivision. The site design, roadways, and public infrastructure depicted on the plat conform to the LDO and the preliminary plat for this development.



SURETIES

Sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans.

After an evaluation of this section and the progress of the construction, the Town Engineer recommends that the roads, drainage and erosion control surety should be set at \$3,750,000.

Improvements to the sewer are required. After an evaluation of the progress of the sewer, the Town Engineer recommends that the sewer surety be set at \$370,000.

RECOMMENDATION

Staff recommends approval of the final plat, with the following contingences:

1. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$3,750,000 for roadways, drainage and erosion control.
2. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$370,000 for sewer.
3. The applicant shall revise the plat to update the Certificate of Accuracy to remove the word "Regional" and replace it with the word "Municipal".
4. The applicant shall add the following standard note: "Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities (including cable television, electrical, natural gas, sewer, telephone, and water lines) shall be placed underground."
5. The applicant shall revise the plat to ensure all sewer lines shown show the pipe size.
6. All tree replacements shall be installed in accordance with the approved replacement plan for this phase of Fountain View Subdivision.
4. As built drawings shall be required for the drainage system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

ATTACHMENTS

Final Plat

PARCEL ID: 146 01503
 WILLIAMSON CO. TAX MAP 146
 PARCELS 15, 15.01, 15.02, 15.03, 15.04 & 15.05
 DEED REFERENCES: BOOK 7955, PAGE 512
 BOOK 7590, PAGE 298
 BOOK 6363, PAGE 951
 BOOK 1500 PAGE 191
 ZONING: Specific Plan (SP)
 OWNED BY: SAMSON INVESTMENT, LLC
 4590 Columbia Pike
 Thompson's Station, TN 37179
 Email tomking3@gmail.com

OWNER/DEVELOPER
 SAMSON INVESTMENT, LLC
 P.O. BOX 187
 THOMPSON'S STATION
 TENNESSEE, 37179
 KMK Acres
 3490 FIDDLEHEAD COURT
 BONITA SPRINGS
 FLORIDA 34134

| SITE AREA | | |
|-------------------------|---------------------|-----------------|
| LOT AREA (residential) | 655,278 SF | 15.04 Ac |
| Lot AREA (pump station) | 2,593 SF | 0.06 Ac |
| OPEN SPACE | 119,589 SF | 2.75 Ac |
| RIGHTS OF WAY | 270,595 SF | 6.21 Ac |
| RIGHTS OF WAY (TDOT) | 8,520 SF | 0.20 Ac |
| ALLEY AREA | 28,800 SF | 0.66 Ac |
| TOTAL AREA | 1,085,375 SF | 24.92 Ac |
| SECTION 1 | | |

ON-STREET PARKING SPACES
 FOR PHASE 1 = 111

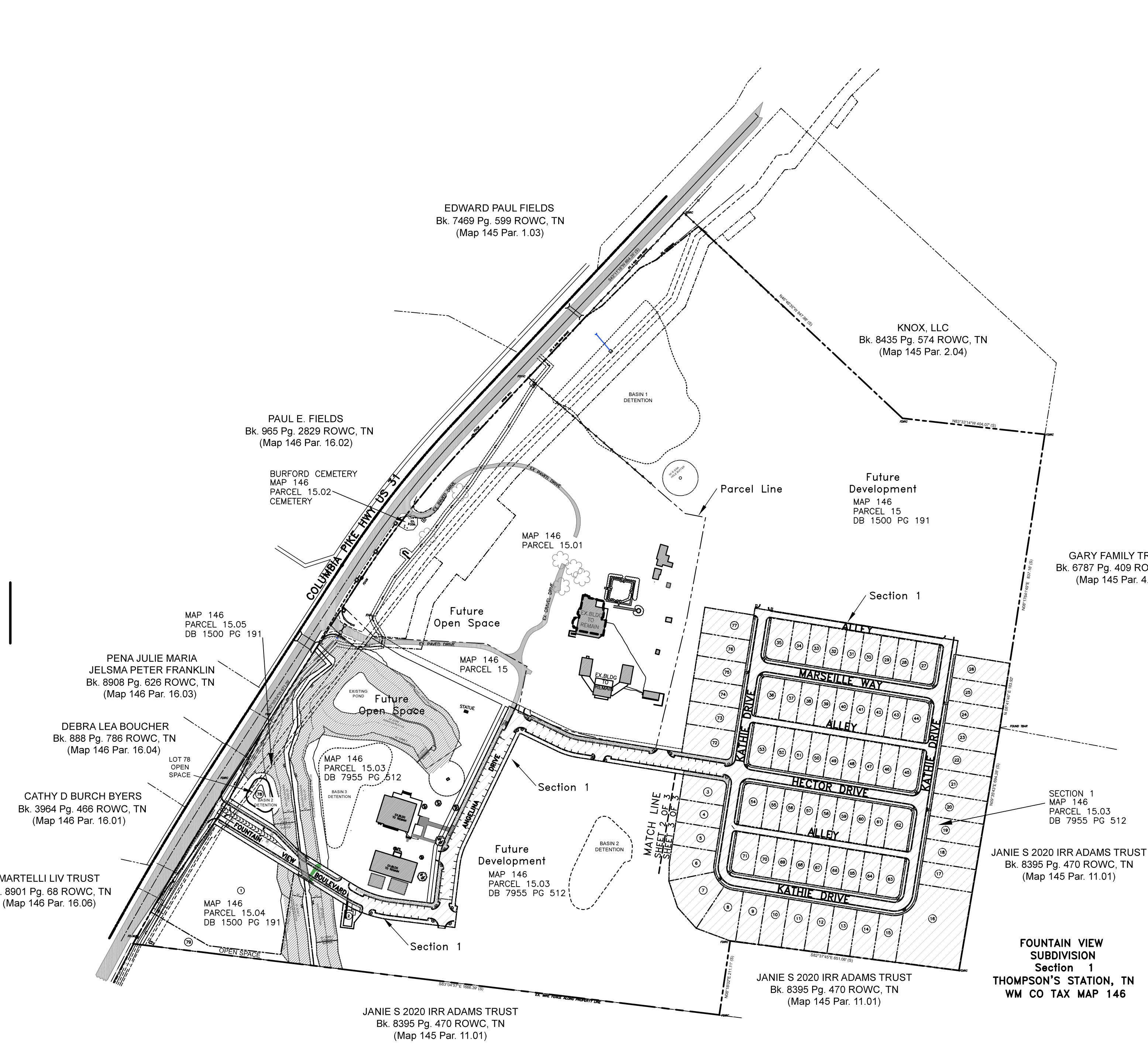
SEWER TAPS REQUIRED
 SECTION 1
 74 RESIDENTIAL LOTS
 NO TAP REQUIRED OF LOTS
 7, 78 & 79

| DEVELOPMENT | OPEN SPACE % | REQUIRED OPEN SPACE | REMAINING OPEN SPACE ACRES |
|------------------|--------------|---------------------|----------------------------|
| PRELIMINARY PLAT | 35.8 Ac | 44% | NA |
| Section 1 | 2.75 Ac | 7.6% | 33.05 |

NOTES

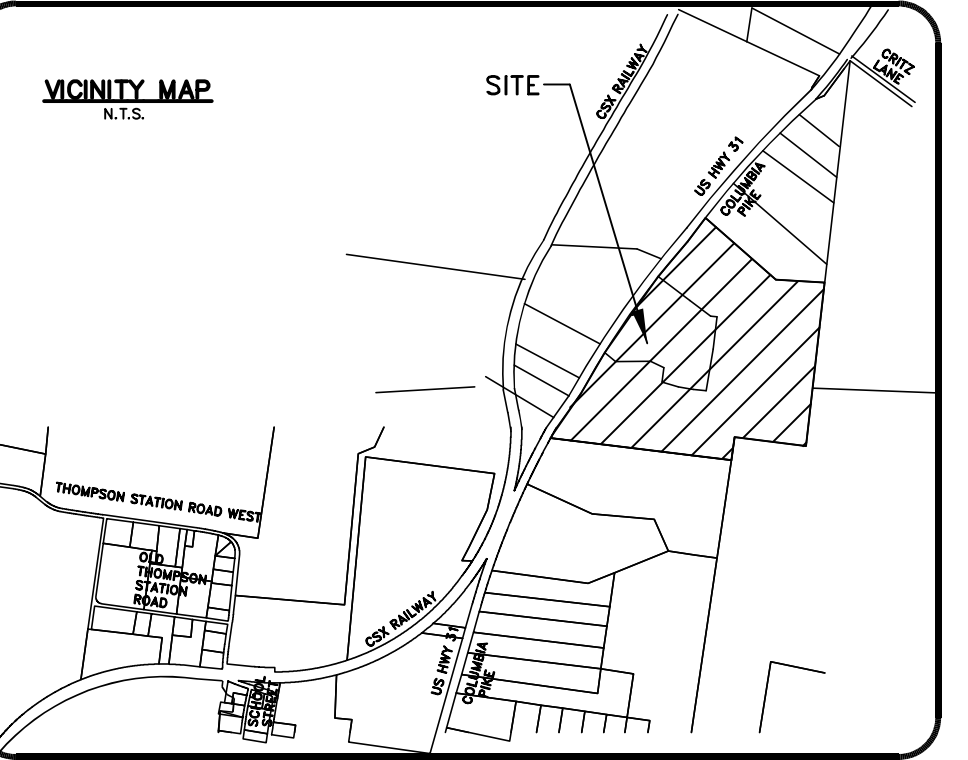
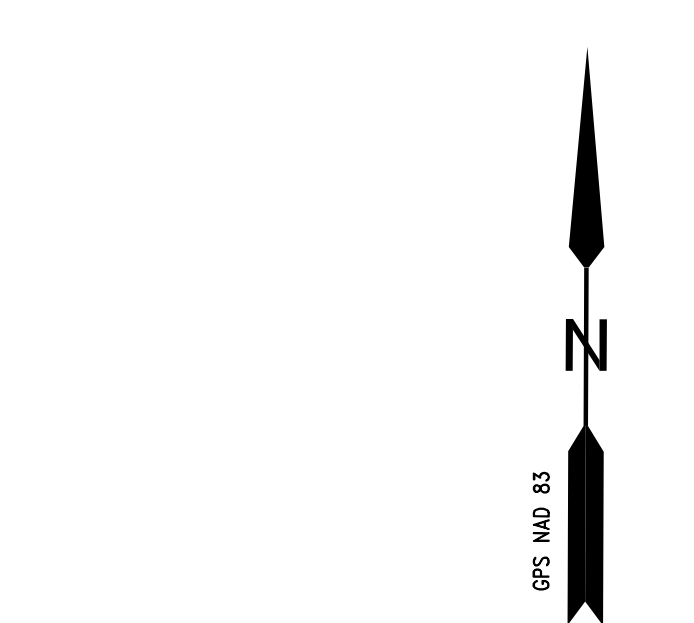
- THE PURPOSE OF THIS FINAL PLAT IS TO CREATE SINGLE FAMILY RESIDENTIAL LOTS, COMMERCIAL MIXED-USE, OPEN SPACE TRACTS AND RELATED PUBLIC RIGHT OF WAY FOR THIS DEVELOPMENT.
- BEARING SYSTEM IS BASED ON TENNESSEE STATE PLANE COORDINATES.
- PUBLIC UTILITY AND DRAINAGE EASEMENTS WHERE SHOWN HEREON ARE INTENDED TO INDICATE AN EASEMENT FOR CONSTRUCTION, OPERATION, AND MAINTENANCE OF PUBLIC UTILITIES AND DRAINAGE WAYS; INCLUDING, BUT NOT LIMITED TO, SANITARY SEWER, FORCE MAINS, WATER LINES, TELEPHONE SIGNAL CONDUITS, ELECTRIC CONDUCTORS, DRAINAGE PIPES, AND NATURAL GAS LINES.
- THE PROPERTY IS ZONED S.P. (SPECIFIC PLAN), THE ZONING REQUIREMENTS ARE STATED IN THE "RODERICK PLACE CONCEPT PLAN VISION BOOK," APPROVED FEBRUARY 11, 2020.
- PARCELS ARE SUBJECT TO ALL EASEMENTS AS SHOWN AND ANY OTHER EASEMENTS AND/OR RESTRICTIONS BY RECORD OR PRESCRIPTION, THAT A COMPLETE TITLE SEARCH MAY REVEAL.
- ANY STREET IN THIS SUBDIVISION MAY BE EXTENDED INTO ADJOINING PROPERTY AT ANY TIME WITHOUT ADDITIONAL NOTICE OR CONSULTATION.
- THE STREETS IDENTIFIED ON THE PLAT MAY BE CONSTRUCTED OR RECONSTRUCTED IN THE FUTURE WITHOUT CONSULTATION OR NOTICE TO THE OWNERS OF THE LOTS IN THE SUBDIVISION.
- EASEMENTS IN THE SUBDIVISION MAY NOT HAVE INFRASTRUCTURE CONSTRUCTED WITHIN THEM UNTIL SOME FUTURE TIME AND THERE MAY BE NO NOTICE OR CONSULTATION WITH THE INDIVIDUAL LOT OWNERS OF THIS CONSTRUCTION.
- ALL OPEN SPACE SHALL BE CONSIDERED A PUBLIC PEDESTRIAN, UTILITY, AND DRAINAGE EASEMENT. MAINTENANCE OF ALL OPEN SPACE, INCLUDING LANDSCAPE AND DETENTION/RETENTION AREAS, SHALL BE THE RESPONSIBILITY OF THE HOMEOWNERS ASSOCIATION.
- HOMEOWNERS ASSOCIATION DOCUMENTS RECORDED IN DEED BOOK _____ PAGE _____ R.O.W.C.T.

Middle Tennessee Electric Membership Corporation (MTEMC) will provide electric service to the subject property according to normal operating practices of MTEMC as defined in the rules and regulations, bylaws, policy bulletins and operational bulletins of MTEMC, and in accordance with the plat approval checklist, tree planting guidelines and other regulations contained on the MTEMC website at www.mtemc.com (collectively the "Requirements"). No electric service will be provided until MTEMC's Requirements have been met and approved in writing by an authorized representative of MTEMC. Any approval is, at all times, contingent upon continuing compliance with MTEMC's Requirements.



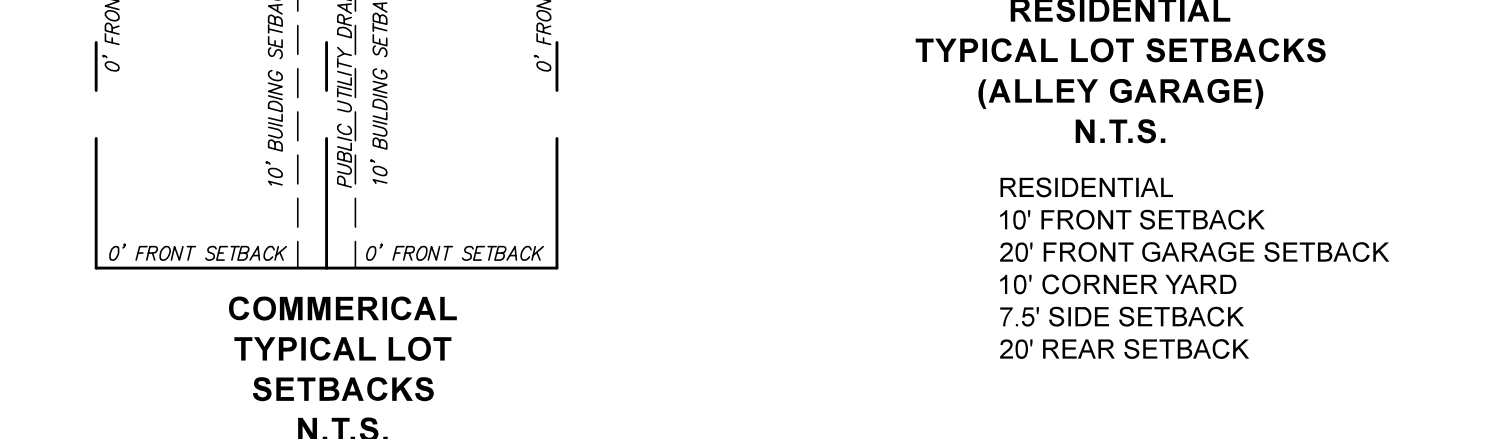
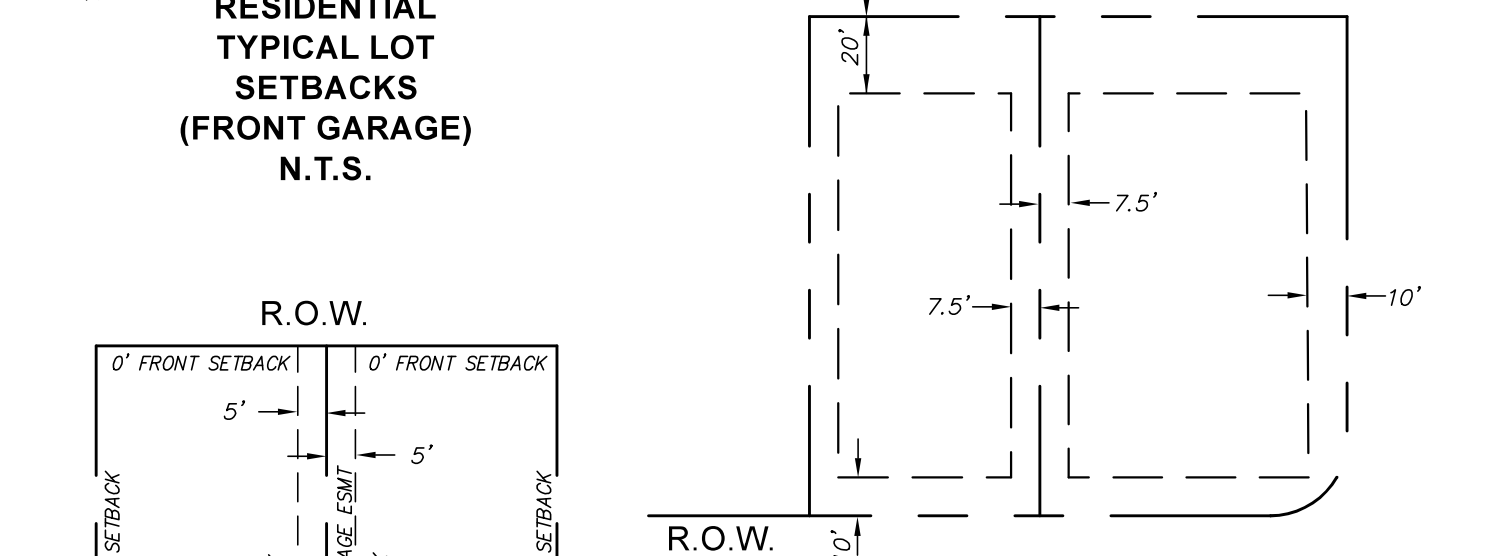
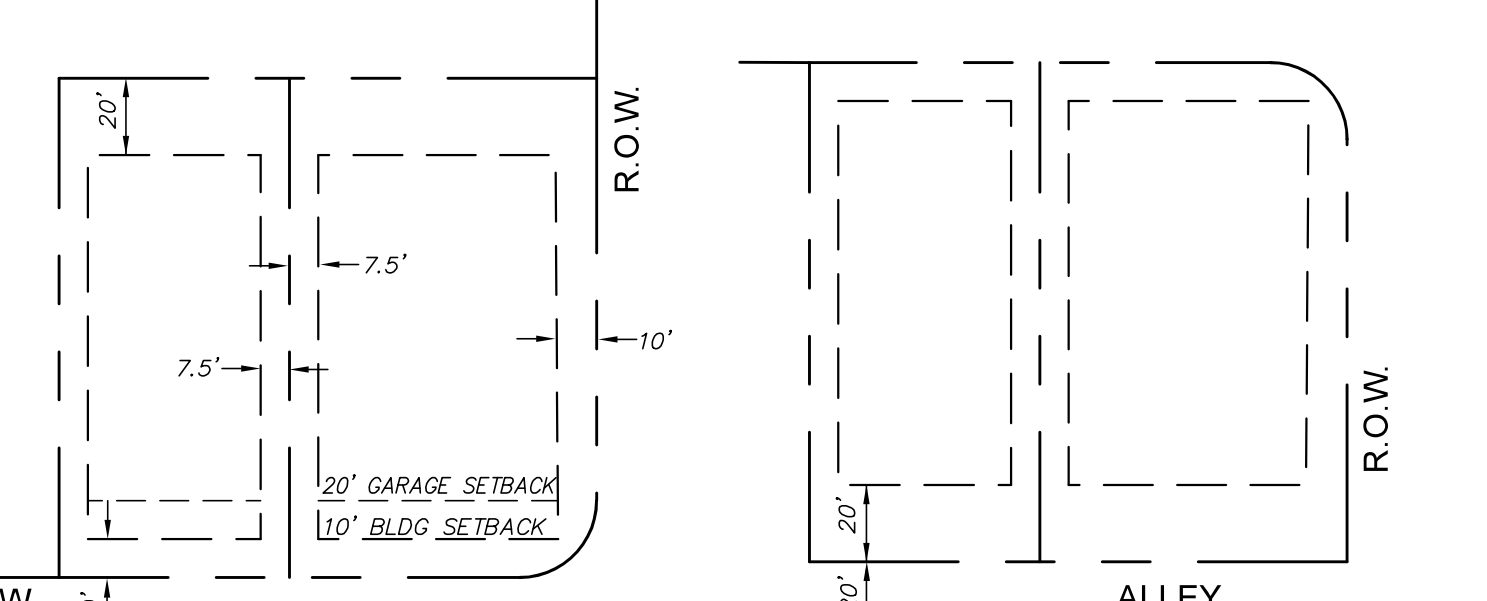
LOT AREA

| Lot | Sq. Feet | Acres |
|-------|----------|-------|
| 1 | 92968 | 2.13 |
| 2 | 2593 | 0.06 |
| 3 | 8702 | 0.20 |
| 4 | 8125 | 0.19 |
| 5 | 8125 | 0.19 |
| 6 | 10191 | 0.23 |
| 7 | 13864 | 0.32 |
| 8 | 12036 | 0.28 |
| 9 | 9193 | 0.21 |
| 10 | 9065 | 0.21 |
| 11 | 8937 | 0.21 |
| 12 | 8809 | 0.20 |
| 13 | 8561 | 0.20 |
| 14 | 8553 | 0.20 |
| 15 | 8533 | 0.20 |
| 16 | 38770 | 0.89 |
| 17 | 9892 | 0.23 |
| 18 | 9929 | 0.23 |
| 19 | 9965 | 0.23 |
| 20 | 10001 | 0.23 |
| 21 | 10811 | 0.25 |
| 22 | 10076 | 0.23 |
| 23 | 10112 | 0.23 |
| 24 | 10121 | 0.23 |
| 25 | 10097 | 0.23 |
| 26 | 10067 | 0.23 |
| 27 | 7427 | 0.17 |
| 28 | 5750 | 0.13 |
| 29 | 5750 | 0.13 |
| 30 | 5750 | 0.13 |
| 31 | 5750 | 0.13 |
| 32 | 5750 | 0.13 |
| 33 | 5750 | 0.13 |
| 34 | 5750 | 0.13 |
| 35 | 7427 | 0.17 |
| 36 | 7427 | 0.17 |
| 37 | 5750 | 0.13 |
| 38 | 5750 | 0.13 |
| 39 | 5750 | 0.13 |
| 40 | 5750 | 0.13 |
| 41 | 5750 | 0.13 |
| 42 | 5750 | 0.13 |
| 43 | 5750 | 0.13 |
| 44 | 7427 | 0.17 |
| 45 | 7752 | 0.18 |
| 46 | 6000 | 0.14 |
| 47 | 6000 | 0.14 |
| 48 | 6000 | 0.14 |
| 49 | 6000 | 0.14 |
| 50 | 6000 | 0.14 |
| 51 | 6000 | 0.14 |
| 52 | 6000 | 0.14 |
| 53 | 7752 | 0.18 |
| 54 | 7752 | 0.18 |
| 55 | 6000 | 0.14 |
| 56 | 6000 | 0.14 |
| 57 | 2017 | 0.05 |
| 58 | 2021 | 0.05 |
| 59 | 2025 | 0.05 |
| 60 | 2029 | 0.05 |
| 61 | 2033 | 0.05 |
| 62 | 2037 | 0.05 |
| Total | 777404 | 17.85 |



STREET ADDRESS

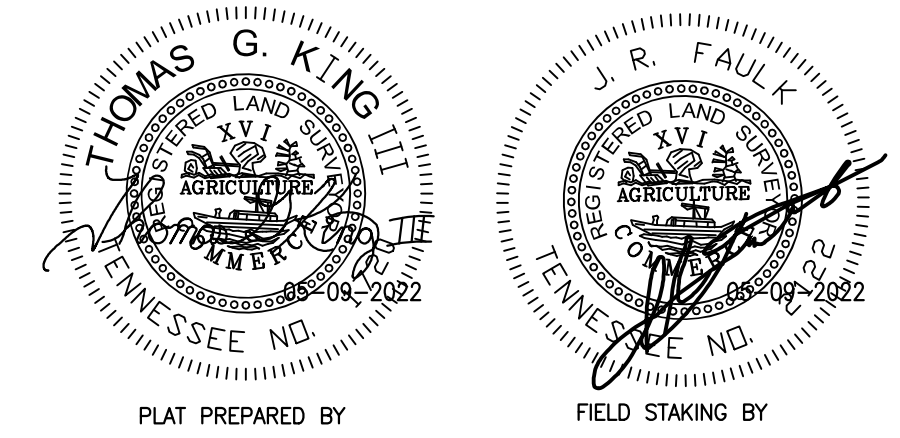
| FOUNTAIN VIEW BLVD. LOT# | ADDRESS | KATHIE DRIVE LOT# | ADDRESS | MARSELLE WAY LOT# | ADDRESS | FOUNTAIN VIEW BLVD. LOT# | ADDRESS |
|--------------------------|---------|-------------------|---------|-------------------|---------|--------------------------|---------|
| 1 | 1101 | 35* | 3977 | 35* | 3000 | 1 | 1101 |
| 2 | 1105 | 36* | 3981 | 36* | 3004 | | |
| 3 | 1109 | 37* | 3985 | 37* | 3008 | | |
| 4 | 1109 | 38* | 3989 | 38* | 3012 | | |
| 5 | 1109 | 39* | 3993 | 39* | 3016 | | |
| 6 | 1109 | 40* | 3997 | 40* | 3020 | | |
| 7 | 1109 | 41* | 4001 | 41* | 3024 | | |
| 8 | 1109 | 42* | 4005 | 42* | 3028 | | |
| 9 | 1109 | 43* | 4009 | 43* | 3032 | | |
| 10 | 1109 | 44* | 4013 | 44* | 3036 | | |
| 11 | 1109 | 45* | 4017 | 45* | 3040 | | |
| 12 | 1109 | 46* | 4021 | 46* | 3044 | | |
| 13 | 1109 | 47* | 4025 | 47* | 3048 | | |
| 14 | 1109 | 48* | 4029 | 48* | 3052 | | |
| 15 | 1109 | 49* | 4033 | 49* | 3056 | | |
| 16 | 1109 | 50* | 4037 | 50* | 3060 | | |
| 17 | 1109 | 51* | 4041 | 51* | 3064 | | |
| 18 | 1109 | 52* | 4045 | 52* | 3068 | | |
| 19 | 1109 | 53* | 4049 | 53* | 3072 | | |
| 20 | 1109 | 54* | 4053 | 54* | 3076 | | |
| 21 | 1109 | 55* | 4057 | 55* | 3080 | | |
| 22 | 1109 | 56* | 4061 | 56* | 3084 | | |
| 23 | 1109 | 57* | 4065 | 57* | 3088 | | |
| 24 | 1109 | 58* | 4069 | 58* | 3092 | | |
| 25 | 1109 | 59* | 4073 | 59* | 3096 | | |
| 26 | 1109 | 60* | 4077 | 60* | 3100 | | |
| 27 | 1109 | 61* | 4081 | 61* | 3104 | | |
| 28 | 1109 | 62* | 4085 | 62* | 3108 | | |
| 29 | 1109 | 63* | 4089 | 63* | 3112 | | |
| 30 | 1109 | 64* | 4093 | 64* | 3116 | | |



SECTION 1
 FOUNTAIN VIEW SUBDIVISION
 FINAL PLAT

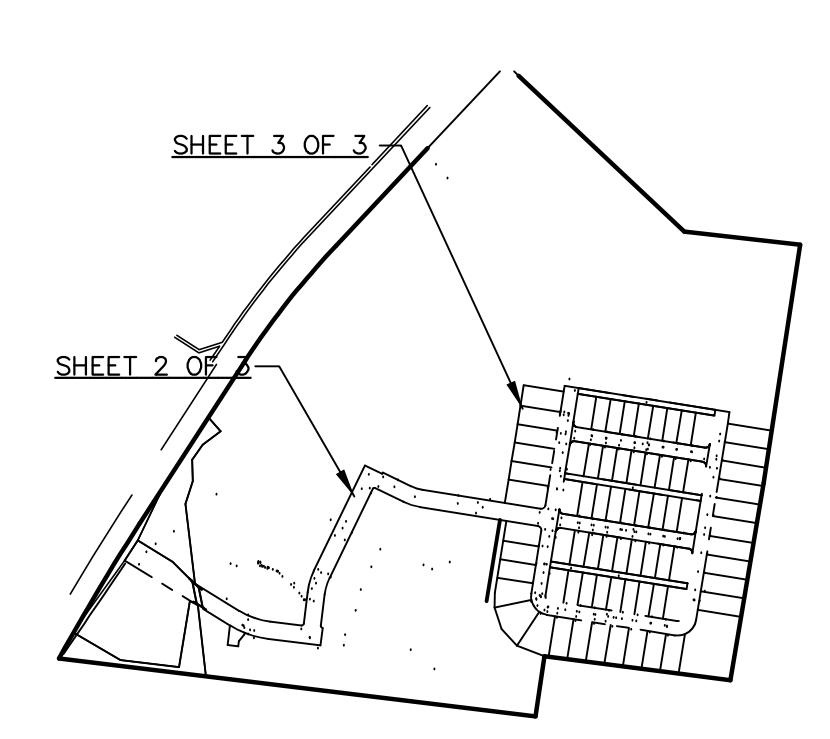
| | | |
|--|---------------------|-----------------------------|
| NET AREA | 24.92 Ac | 3 OPEN SPACE |
| ACRES NEW ROAD | 5.29 Ac | 1 NON RESIDENTIAL |
| MILES NEW ROAD | 0.97 MILES (5.129') | TOTAL LOTS: 74 RESIDENTIAL |
| ACRES ALLEY | 1.12 Ac | CIVIL DISTRICT: 4th |
| MILES ALLEY | 0.30 MILES (1.590') | CLOSURE ERROR: >1:15,000 |
| OWNER: SAMSON JOINT VENTURES | | |
| SURVEYOR: HYDE PARK HOMES, LLC THOMAS G KING III, RLS 1720 | | |
| SCALE: 1"=200' | REV 5/09/2022 | DATE 4/15/2022 SHEET 1 OF 3 |

| | | | | | | | |
|---|---|--|---|--|---|---|--|
| CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS | CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION | CERTIFICATE OF ACCURACY | CERTIFICATE OF APPROVAL FOR RECORDING | CERTIFICATE OF OWNERSHIP AND DEDICATION | CERTIFICATION OF THE APPROVAL OF STREETS | CERTIFICATE OF ADDRESSES | CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES |
| The following utility systems outlined or indicated on the plan shown hereon have been either installed in conformity with local and/or state government requirements or that a surety bond has been posted with the Town to assure completion of all required improvements in case of default. Upon information and review, that the hydraulic design criteria specified of Town of Thompson's Station Subdivision Regulations have been met. Any approval is at all times contingent upon continuing compliance with the aforementioned requirements. | I hereby certify that the requirements set forth in rules, regulations, by-laws, policy and operational bulletins, plat approval checklist, tree planting guidelines and other regulations of MTEMC. Any approval is at all times contingent upon continuing compliance with the aforementioned requirements. | I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Town of Thompson's Station, Tennessee Regional Planning Commission and that the monuments have been or will be placed as shown hereon, to the specifications of the Land Development Ordinance, as approved by the Town Engineer. This survey is greater than 1:10,000 as shown hereon. | I hereby certify that the subdivision plat shown hereon has been found to comply with Thompson's Station Land Development Ordinance with the exception of such approved deviations, if any, as are noted in the minutes the Planning Commission and that it has been approved for recording in the office of the County Register. | Undersigned hereby certifies that it is the owner of the property shown and described hereon as evidenced in Book _____ Page _____ R.O.W.C.T., and that undersigned hereby adopts this plan of subdivisions with undersigned's free consent, establishes the minimum building restriction line, I (we) do further certify that the recording of this plat is an irrevocable offer of dedication to the Town (or applicable Utility), subject to the Town's approval and acceptance per the Town's Land Development Ordinance, for all streets, utilities, and other public improvements. | All all streets designated on this final subdivision plat have been installed in an acceptable manner and according to Thompson's Station, Land Development Ordinance or a surety bond approved by the Planning Commission been posted, per the Land Development Ordinance, with the Town to assure completion of all required improvements in case of default. | I hereby certify that the addresses denoted on this final plat are those assigned by Williamson County E-911. | I do hereby certify that the subdivision name and street names denoted on this final plat have been approved by the Williamson County Dept. of Emergency Communications. |
| SEWER SYSTEM Town Engineer or Name, Title and Agency of Authorized Approving Agent DATE | Date: | Date | Date | BY: Leon Herron KMK Acres LLC Date | Town Engineer Date | Date: | Date |
| WATER SYSTEM Name, Title, and Agency of Authorized Approving Agent | Name, Title, and Agency of Authorized Approving Agent | Registered Land Surveyor | Secretary of Planning Commission | BY: Jay N. Franks Samson Investments LLC Date | Town Engineer Date | Williamson County E-911 Dept. Title | Williamson County Dept. of Emergency Management |

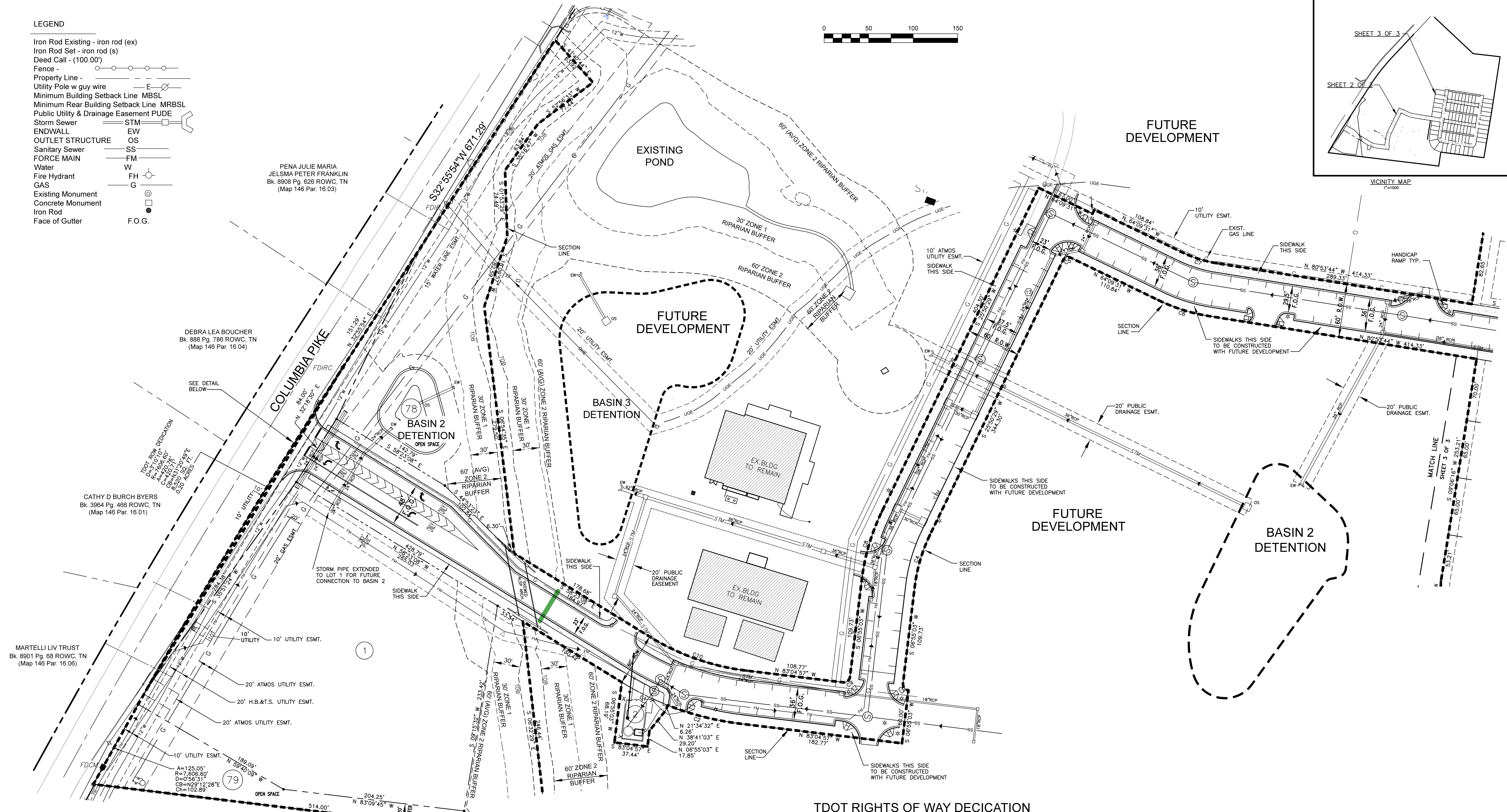


LEGEND

- Iron Rod Existing - iron rod (ex)
- Iron Rod Set - iron rod (s)
- Deed Call - (100.00')
- Fence -
- Property Line -
- Utility Pole w guy wire
- Minimum Building Setback Line MBSL
- Minimum Rear Building Setback Line MRBSL
- Public Utility & Drainage Easement PUDE
- Storm Sewer
- ENDWALL
- OUTLET STRUCTURE
- Sanitary Sewer
- FORCE MAIN
- Water
- Fire Hydrant
- GAS
- Existing Monument
- Concrete Monument
- Iron Rod
- Face of Gutter



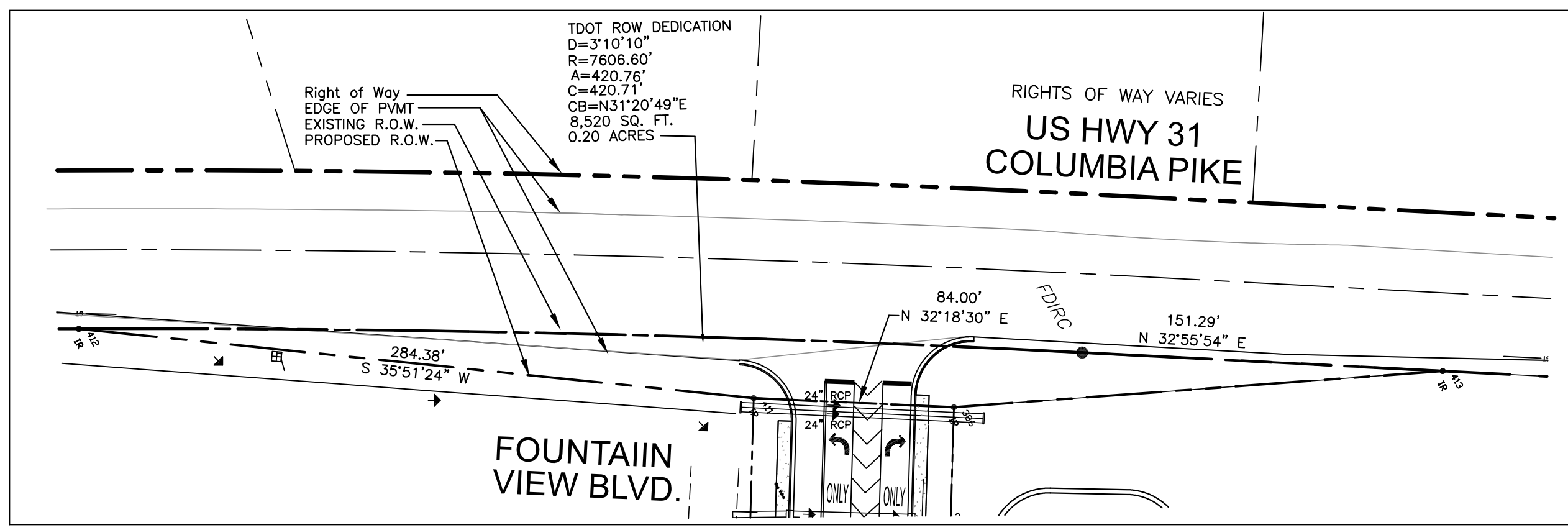
VICINITY MAP



CURVE TABLE

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|----------|------------|--------------|---------------|-------------|
| C1 | 330.00' | 57.82' | 57.75' | S 83°24'18" E | 107°02'20" |
| C2 | 330.00' | 84.43' | 84.20' | N 75°45'13" W | 14°39'50" |
| C3 | 7.00' | 11.00' | 9.90' | N 38°04'57" W | 90°00'00" |
| C4 | 183.00' | 60.44' | 60.13' | N 18°22'46" E | 118°52'27" |
| C5 | 5.00' | 7.85' | 7.07' | N 70°50'29" E | 90°00'00" |
| C6 | 205.00' | 59.88' | 59.67' | S 72°31'37" E | 16°44'13" |
| C7 | 1745.00' | 42.38' | 42.21' | N 72°51'57" W | 18°44'11" |
| C8 | 243.00' | 80.26' | 79.90' | S 16°22'46" W | 118°52'27" |
| C9 | 7.00' | 11.00' | 9.90' | N 51°55'03" E | 90°00'00" |
| C10 | 270.00' | 116.38' | 115.48' | N 70°44'02" W | 24°41'50" |
| C11 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C12 | 65.00' | 23.26' | 23.14' | S 01°08'55" E | 20°30'23" |
| C13 | 65.00' | 51.00' | 49.71' | S 33°52'53" E | 44°57'32" |
| C14 | 65.00' | 27.83' | 27.62' | S 88°37'41" E | 24°32'05" |
| C15 | 65.00' | 36.07' | 35.61' | N 33°12'21" E | 114°47'51" |
| C16 | 65.00' | 66.03' | 63.23' | S 38°12'21" W | 58°12'09" |
| C17 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C18 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C19 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C20 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C21 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C22 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C23 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C24 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C25 | 15.00' | 23.56' | 21.21' | N 54°06'16" W | 90°00'00" |
| C26 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C27 | 15.00' | 23.56' | 21.21' | N 54°06'16" W | 90°00'00" |

TDOT RIGHTS OF WAY DEDICATION



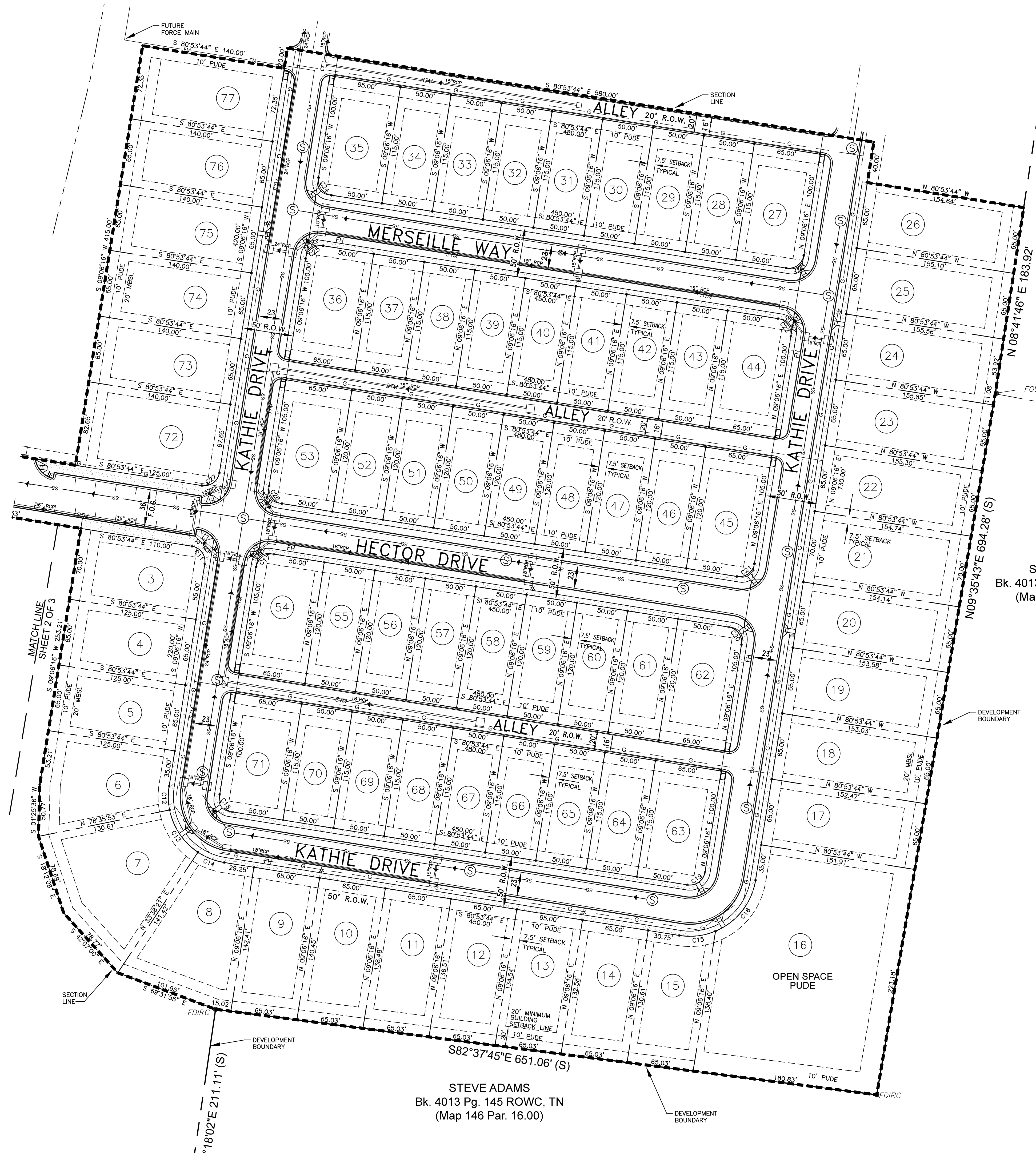
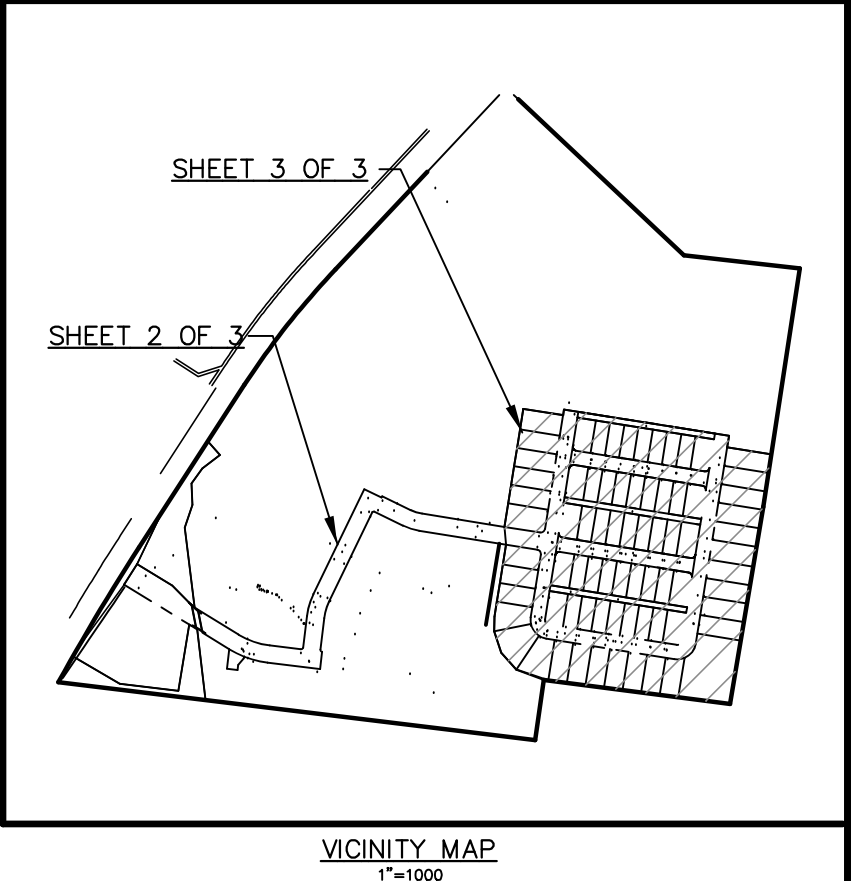
SECTION 1
FOUNTAIN VIEW SUBDIVISION

FINAL PLAT

TOWN OF THOMPSON'S STATION
PLANNING COMMISSION

| | | |
|----------------|---------------------|---------------------------|
| NET AREA | 24.92 Ac | 3 OPEN SPACE |
| ACRES NEW ROAD | 5.29 Ac | 1 NON RESIDENTIAL |
| MILES NEW ROAD | 0.97 MILES (5,128') | CIVIL DISTRICT: 4th |
| ACRES ALLEY | 1.12 Ac | CLOSURE ERROR: >=1:15,000 |
| MILES ALLEY | 0.30 MILES (1,590') | |

OWNER: SAMSON JOINT VENTURES
 SURVEYOR: HYDE PARK HOMES, LLC THOMAS G KING III, RLS 1720
 SCALE: 1"=200'
 REV 5/09/2022
 DATE 4/15/2022 SHEET 1 OF 3



STEVE ADAMS
Bk. 4013 Pg. 145 ROWC, TN
(Map 146 Par. 16.00)

CURVE TABLE

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|---------|------------|--------------|---------------|-------------|
| C1 | 330.00' | 57.82' | 57.75' | S 63°24'18" E | 10°02'20" |
| C2 | 330.00' | 84.43' | 84.20' | N 75°45'13" W | 14°39'30" |
| C3 | 7.00' | 11.00' | 9.90' | N 38°04'57" W | 90°00'00" |
| C4 | 183.00' | 60.44' | 60.17' | N 16°22'46" E | 18°55'27" |
| C5 | 5.00' | 7.85' | 7.07' | N 70°50'29" E | 90°00'00" |
| C6 | 209.00' | 59.89' | 59.67' | S 72°31'37" E | 16°44'13" |
| C7 | 145.00' | 42.36' | 42.21' | N 72°31'37" W | 16°44'13" |
| C8 | 243.00' | 80.26' | 79.90' | S 16°22'46" W | 18°55'27" |
| C9 | 7.00' | 11.00' | 9.90' | N 51°55'03" E | 90°00'00" |
| C10 | 270.00' | 116.38' | 115.48' | N 70°44'02" E | 24°41'50" |
| C11 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C12 | 65.00' | 23.26' | 23.14' | S 01°08'55" E | 20°30'23" |
| C13 | 65.00' | 51.00' | 49.71' | S 33°52'53" E | 44°51'35" |
| C14 | 65.00' | 27.83' | 27.62' | S 68°37'41" E | 24°32'05" |
| C15 | 65.00' | 36.07' | 35.61' | N 83°12'21" E | 31°47'51" |
| C16 | 65.00' | 66.03' | 63.23' | S 38°12'21" W | 58°12'03" |
| C17 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C18 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C19 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C20 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C21 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C22 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C23 | 15.00' | 23.56' | 21.21' | N 54°06'16" E | 90°00'00" |
| C24 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C25 | 15.00' | 23.56' | 21.21' | N 54°06'16" W | 90°00'00" |
| C26 | 15.00' | 23.56' | 21.21' | S 35°53'44" E | 90°00'00" |
| C27 | 15.00' | 23.56' | 21.21' | N 54°06'16" W | 90°00'00" |

SECTION I
FOUNTAIN VEIW SUBDIVISION

FINAL PLAT

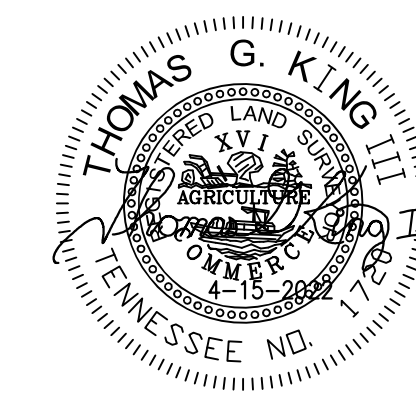
TOWN OF THOMPSON'S STATION
PLANNING COMMISSION

| | | |
|----------------|---------------------|--------------------------|
| NET AREA | 24.92 Ac | 3 OPEN SPACE |
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OWNER: SAMSON JOINT VENTURES

SURVEYOR: HYDE PARK HOMES, LLC THOMAS G KING III, RLS 1720

SCALE: 1"=200' REV 5/09/2022
DATE 4/15/2022 SHEET 1 OF 3



STEVE ADAMS
Bk. 4013 Pg. 145 ROWC, TN
(Map 146 Par. 16.00)

PROJECT REQUEST

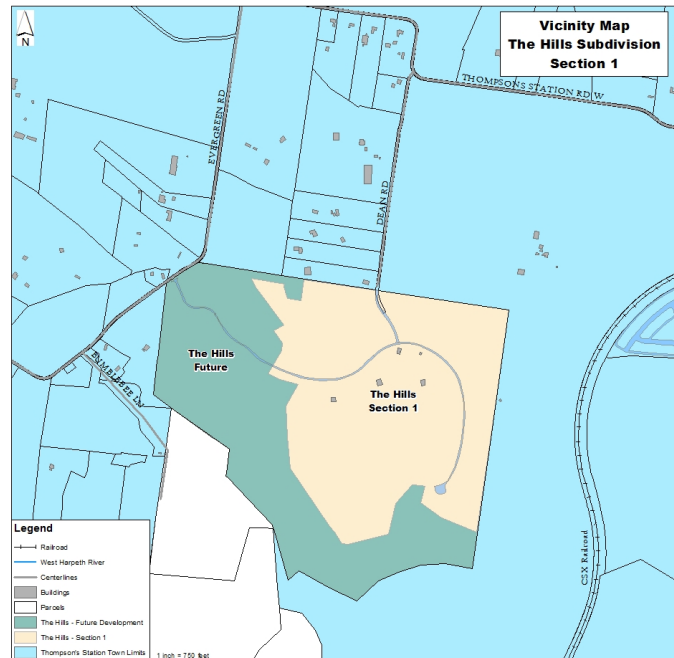
Final Plat approval for The Hills Subdivision, Section 1

PROJECT DESCRIPTION

The applicant requests approval of 32 single family residential lots and 2 open space lot located along Dean Road and Silver Fox Road, all south of Thompson's Station Road West.

ANALYSIS

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7). The preliminary plat was approved by the Planning Commission at the February 23, 2021, meeting to create 41 single family lots and 6 open space lots on 225 acres. Since the approval of the preliminary plat, the applicant has made some minor adjustments to the overall plat, which have been administratively approved by Town Staff per LDO Section 5.2.4(d), which allows for minor adjustments to an approved preliminary plat. The revisions to the approved plat include minor changes to lot lines on three lots to accommodate a slight shift in the alignment of Dean Road and Silver Fox Road to preserve an existing row of trees and to better accommodate the septic areas on certain lots. The changes to the plat did not impact overall lot count, overall open space, or overall access for this subdivision.



Section 1 is the first plat submitted for this subdivision. The site design, roadways, and public infrastructure depicted on the plat conform to the LDO and the preliminary plat for this development.

SURETIES

Sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans.

After an evaluation of this section and the progress of the construction, the Town Engineer recommends that the roads, drainage and erosion control surety should be set at \$975,000.

Since this subdivision is on septic, no sewer surety is required by the LDO.

RECOMMENDATION

Staff recommends approval of the final plat, with the following contingences:

1. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$975,000 for roadways, drainage and erosion control.
2. All tree replacements shall be installed in accordance with the approved replacement plan for this phase of The Hills Subdivision.
3. The applicant shall add the Certificate of Address to the Plat.
4. As built drawings shall be required for the drainage system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

ATTACHMENTS

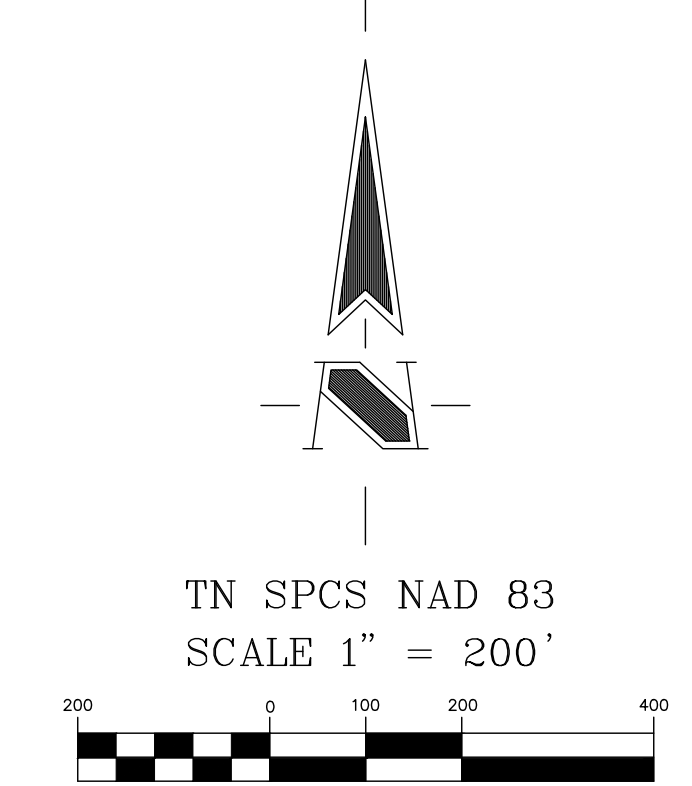
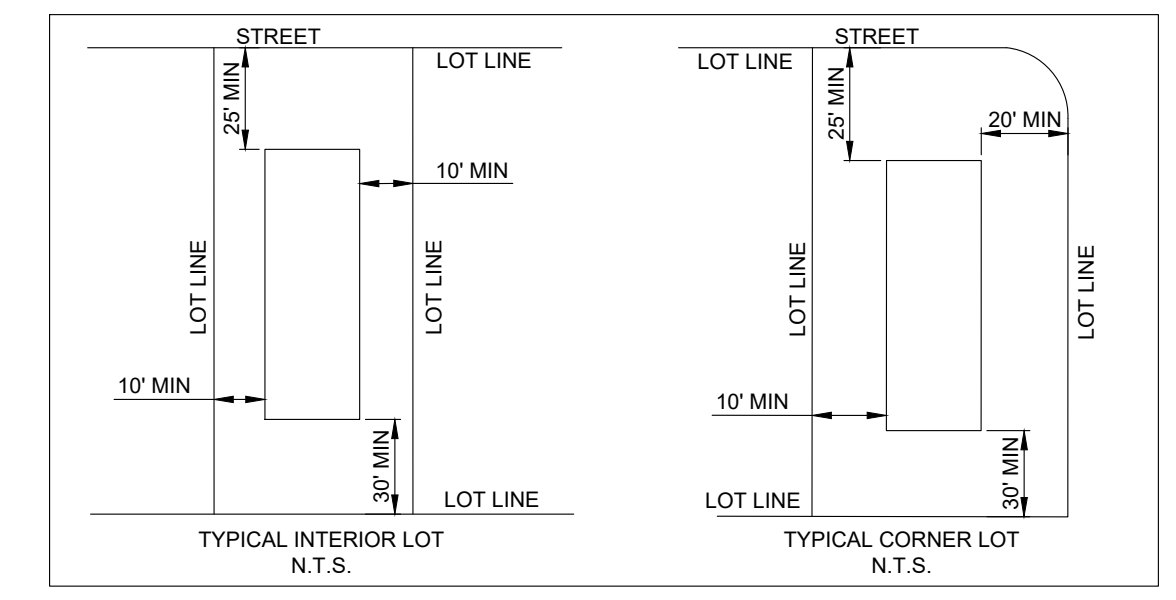
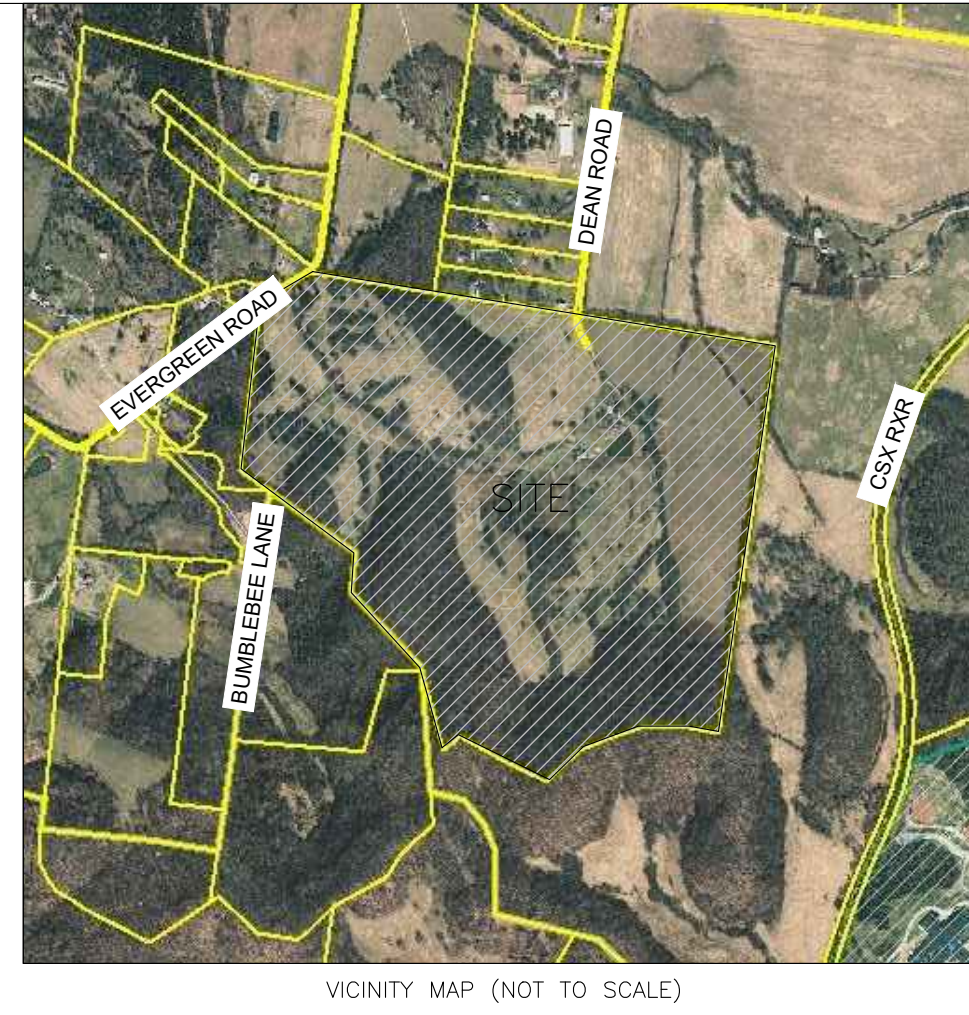
Final Plat



| LINE | BEARING | DISTANCE | LINE | BEARING | DISTANCE |
|------|---------------|----------|------|---------------|----------|
| L1 | N 30°46'53" E | 236.14 | L85 | S 44°34'13" W | 123.07 |
| L2 | N 04°43'36" E | 91.93 | L86 | S 55°16'07" W | 255.76 |
| L3 | N 37°59'24" W | 156.14 | L87 | S 54°14'31" W | 96.42 |
| L4 | N 58°23'28" E | 128.07 | L88 | S 42°14'47" W | 269.46 |
| L5 | N 25°29'33" W | 88.77 | L89 | N 81°41'04" W | 70.57 |
| L6 | S 07°58'21" W | 35.06 | L90 | N 30°32'13" W | 139.10 |
| L7 | S 18°14'58" E | 127.57 | L91 | S 44°34'13" W | 123.07 |
| L8 | S 81°41'04" E | 147.89 | L92 | S 55°16'07" W | 255.76 |
| L9 | N 07°38'48" E | 200.39 | L93 | S 16°17'33" W | 98.93 |
| L10 | N 07°38'48" E | 19.78 | L94 | N 56°45'45" E | 10.46 |
| L11 | S 82°01'39" E | 743.94 | L95 | S 82°01'39" E | 743.94 |
| L12 | N 88°45'31" W | 236.61 | L96 | N 83°13'49" W | 84.67 |
| L13 | S 33°58'57" W | 95.82 | L97 | N 13°38'27" E | 185.89 |
| L14 | N 79°58'41" W | 53.96 | L98 | N 54°19'38" W | 265.93 |
| L15 | S 28°25'23" E | 67.45 | L99 | S 07°32'25" W | 126.40 |
| L16 | N 84°54'53" W | 413.62 | L100 | S 62°59'54" E | 407.18 |
| L17 | N 08°13'17" W | 210.56 | L101 | S 32°21'07" E | 227.88 |
| L18 | N 84°54'53" W | 208.43 | L102 | N 07°32'25" W | 145.75 |
| L19 | S 15°44'13" E | 181.10 | L103 | S 11°47'41" E | 147.46 |
| L20 | N 81°25'45" E | 181.37 | L104 | S 61°51'16" E | 367.81 |
| L21 | S 46°27'21" E | 377.13 | L105 | S 07°32'25" W | 203.38 |
| L22 | S 08°11'49" W | 27.84 | L106 | S 65°56'00" E | 317.01 |
| L23 | S 06°31'04" W | 247.55 | L107 | S 07°32'25" W | 172.79 |
| L24 | N 78°48'41" W | 108.11 | L108 | N 16°17'33" E | 7.21 |
| L25 | S 78°48'41" E | 76.44 | L109 | S 78°44'51" E | 157.94 |
| L26 | S 09°32'40" E | 59.65 | L110 | S 75°40'49" E | 157.42 |
| L27 | N 02°53'39" W | 83.33 | L111 | N 16°17'33" E | 145.66 |
| L28 | N 29°13'34" E | 261.87 | L112 | S 77°44'00" E | 292.76 |
| L29 | S 12°18'58" W | 202.91 | L113 | S 07°32'25" W | 148.65 |
| L30 | N 77°43'22" W | 252.50 | L114 | N 16°17'33" E | 139.02 |
| L31 | S 04°45'59" E | 308.32 | L115 | S 82°27'35" E | 245.90 |
| L32 | S 42°56'50" E | 243.38 | L116 | S 07°32'25" W | 182.72 |
| L33 | S 83°07'47" E | 178.62 | L117 | S 07°32'25" W | 200.00 |
| L34 | S 07°36'50" W | 94.89 | L118 | N 82°27'35" W | 20.00 |
| L35 | S 33°18'56" W | 88.13 | L119 | N 82°27'35" W | 230.51 |
| L36 | N 81°17'33" W | 154.58 | L120 | N 03°17'33" W | 76.32 |
| L37 | N 44°43'09" W | 86.60 | L121 | S 87°12'39" E | 237.48 |
| L38 | S 56°12'20" W | 52.62 | L122 | S 07°32'25" W | 188.75 |
| L39 | S 12°48'58" E | 122.91 | L123 | N 89°48'07" E | 152.60 |
| L40 | S 37°02'50" W | 178.62 | L124 | S 42°59'54" E | 142.20 |
| L41 | S 86°06'11" W | 194.81 | L125 | S 07°32'25" W | 187.77 |
| L42 | N 68°11'49" E | 27.64 | L126 | N 03°44'43" W | 242.81 |
| L43 | N 82°23'10" W | 235.84 | L127 | N 25°49'03" W | 86.93 |
| L44 | S 28°40'40" W | 119.46 | L128 | S 28°40'40" W | 119.46 |
| L45 | S 72°51'50" W | 101.54 | L129 | S 55°39'23" E | 511.69 |
| L46 | S 81°10'58" W | 278.89 | L130 | S 07°32'25" W | 530.52 |
| L47 | S 13°20'58" W | 178.62 | L131 | S 42°59'54" E | 142.20 |
| L48 | S 79°20'46" E | 286.53 | L132 | N 51°04'56" E | 536.76 |
| L49 | N 27°13'01" E | 72.39 | L133 | N 20°50'41" E | 274.00 |
| L50 | S 42°59'54" E | 235.75 | L134 | S 81°33'57" E | 103.71 |
| L51 | S 07°32'25" W | 376.47 | L135 | S 07°32'25" W | 436.34 |
| L52 | N 89°22'48" W | 359.02 | L136 | N 42°59'09" W | 93.59 |
| L53 | N 04°00'34" W | 125.45 | L137 | S 81°33'57" E | 203.58 |
| L54 | S 16°17'33" W | 153.40 | L138 | N 03°17'33" W | 212.45 |
| L55 | N 74°17'34" W | 312.26 | L139 | N 17°29'23" E | 140.18 |
| L56 | N 04°00'34" W | 99.87 | L140 | N 17°29'23" E | 143.79 |
| L57 | S 16°17'33" W | 227.05 | L141 | S 81°33'57" E | 205.85 |
| L58 | N 70°13'04" W | 244.21 | L142 | N 79°13'04" W | 286.53 |
| L59 | N 07°40'12" E | 93.41 | L143 | S 89°33'21" E | 346.66 |
| L60 | N 08°44'24" W | 128.74 | L144 | N 89°08'29" E | 418.29 |
| L61 | N 81°20'54" W | 253.48 | L145 | N 20°50'41" E | 67.45 |
| L62 | S 80°12'03" W | 315.84 | L146 | S 81°33'57" E | 544.36 |
| L63 | N 68°28'23" W | 28.54 | L147 | S 87°05'59" E | 10.17 |
| L64 | S 54°17'08" W | 27.29 | L148 | S 86°49'42" E | 5.23 |
| | | | L149 | S 07°02'11" W | 20.05 |
| | | | L150 | N 86°49'42" W | 25.46 |

| LOT | ACRES | Sq. Ft. |
|-------|------------|-----------------|
| 1** | 2.92 AC. | 127302 sq. ft. |
| 2** | 2.50 AC. | 108744 sq. ft. |
| 3** | 2.93 AC. | 127570 sq. ft. |
| 4** | 3.16 AC. | 136657 sq. ft. |
| 5** | 3.16 AC. | 137725 sq. ft. |
| 14* | 3.91 AC. | 170281 sq. ft. |
| 15** | 4.49 AC. | 195646 sq. ft. |
| 16** | 5.42 AC. | 236192 sq. ft. |
| 17** | 6.16 AC. | 268465 sq. ft. |
| 18 | 2.90 AC. | 126399 sq. ft. |
| 19 | 3.32 AC. | 144478 sq. ft. |
| 20 | 1.27 AC. | 55316 sq. ft. |
| 21 | 1.08 AC. | 47240 sq. ft. |
| 22** | 1.35 AC. | 58713 sq. ft. |
| 23** | 10.14 AC. | 441487 sq. ft. |
| 24 | 6.12 AC. | 266382 sq. ft. |
| 25** | 2.48 AC. | 108233 sq. ft. |
| 26** | 1.83 AC. | 79653 sq. ft. |
| 27** | 1.55 AC. | 67687 sq. ft. |
| 28** | 1.01 AC. | 44019 sq. ft. |
| 29** | 1.10 AC. | 47762 sq. ft. |
| 30 | 1.01 AC. | 43900 sq. ft. |
| 31 | 1.01 AC. | 43900 sq. ft. |
| 32 | 1.01 AC. | 43908 sq. ft. |
| 33 | 1.12 AC. | 48895 sq. ft. |
| 34 | 1.86 AC. | 81145 sq. ft. |
| 35 | 3.79 AC. | 164921 sq. ft. |
| 36 | 3.76 AC. | 163712 sq. ft. |
| 37 | 1.82 AC. | 79409 sq. ft. |
| 38 | 1.41 AC. | 61340 sq. ft. |
| 39 | 1.13 AC. | 49103 sq. ft. |
| 40 | 2.01 AC. | 87444 sq. ft. |
| OS.1 | 9.84 AC. | 428454 sq. ft. |
| OS.4 | 15.34 AC. | 668373 sq. ft. |
| OS.5 | 4.20 AC. | 182850 sq. ft. |
| Total | 118.12 AC. | 5145452 sq. ft. |

| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING |
|-------|---------|------------|--------------|---------------|
| C1 | 250.00' | 91.12 | 90.61' | S 09°31'59" W |
| C2 | 250.00' | 91.12 | 90.61' | S 07°12'09" E |
| C3 | 250.00' | 38.31 | 38.27' | S 22°02'01" E |
| C4 | 525.00' | 222.61' | 220.94' | S 14°16'33" E |
| C5 | 525.00' | 379.46' | 371.26' | S 18°34'39" W |
| C6 | 525.00' | 264.93' | 262.13' | S 53°44'25" W |
| C7 | 825.00' | 191.67' | 191.24' | S 74°51'10" W |
| C8 | 825.00' | 283.37' | 281.38' | N 89°39'05" W |
| C9 | 975.00' | 292.26' | 291.17' | N 70°13'27" W |
| C10 | 875.00' | 328.62' | 326.70' | S 89°34'15" E |
| C11 | 312.00' | 256.94' | 249.74' | N 14°02'54" E |
| C12 | 363.00' | 132.60' | 131.87' | N 27°10'34" E |
| C13 | 363.00' | 28.09' | 28.08' | N 14°29'39" E |
| C14 | 875.00' | 175.21' | 174.92' | N 73°56'00" E |
| C15 | 575.00' | 184.91' | 184.12' | N 58°59'04" E |
| C16 | 575.00' | 344.60' | 339.46' | N 32°36'10" E |
| C17 | 25.00' | 37.18' | 33.85' | N 58°02'39" E |
| C18 | 25.00' | 37.18' | 33.85' | N 36°44'10" W |
| C19 | 575.00' | 128.83' | 127.83' | N 00°30'29" W |
| C20 | 575.00' | 128.44' | 128.18' | N 13°17'21" W |
| C21 | 575.00' | 67.59' | 67.55' | N 23°03'21" W |
| C22 | 200.00' | 103.94' | 102.78' | N 11°32'04" W |
| C23 | 200.00' | 19.94' | 19.63' | N 06°04'55" E |
| C24 | 525.00' | 31.89' | 31.88' | N 77°36'22" W |
| C25 | 525.00' | 81.95' | 81.87' | N 71°23'39" W |
| C26 | 525.00' | 132.73' | 132.37' | N 59°40'47" W |
| C27 | 525.00' | 86.60' | 86.50' | N 47°42'42" W |
| C28 | 525.00' | 55.77' | 55.74' | N 39°52'41" W |
| C29 | 525.00' | 40.01' | 40.00' | N 34°39'08" W |
| C30 | 525.00' | 217.00' | 213.46' | N 07°16'58" W |
| C31 | 525.00' | 174.52' | 173.72' | N 00°44'13" E |
| C32 | 709.64' | 55.26' | 55.25' | N 13°16'35" E |
| C33 | 709.64' | 43.09' | 43.09' | N 33°05'01" W |
| C34 | 25.00' | 35.45' | 32.55' | N 56°54'59" E |
| C35 | 75.00' | 51.99' | 50.95' | N 03°33'54" E |
| C36 | 55.00' | 56.81' | 54.32' | N 06°10'07" E |
| C37 | 55.00' | 94.46' | 83.27' | N 84°57'27" W |
| C38 | 310.95' | 82.68' | 82.43' | N 64°18'33" E |
| C39 | 310.95' | 86.28' | 86.00' | N 79°52'31" E |
| C40 | 310.95' | 48.33' | 48.88' | N 87°40'04" W |
| C41 | 288.00' | 213.77' | 208.89' | S 75°02'21" W |
| C42 | 55.00' | 97.77' | 85.39' | S 05°05'02" W |
| C43 | 75.00' | 51.99' | 50.95' | N 36°09'00" E |
| C44 | 475.00' | 34.09' | 34.09' | S 14°14'10" W |
| C45 | 475.00' | 173.05' | 172.09' | N 01°44'56" W |
| C46 | 475.00' | 283.74' | 279.54' | S 25°48'23" E |
| C47 | 475.00' | 161.79' | 161.01' | S 52°44'52" E |
| C48 | 475.00' | 139.64' | 139.14' | S 70°59'24" E |



GENERAL NOTES

- No portion of the described tract lies within Floodway, and is shown in the area Zone X as said tract shows on FEMA Flood Map Number 47187C04587 on the Flood Insurance Rate Maps for Town of Thompson's Station, Tennessee (effective date September 29, 2006).
- This survey was prepared from current deeds of record without benefit of facts and does not represent a title search or a guarantee of title, and is subject to any state of facts a current, full, or accurate search may reveal. No investigation of independent search for easements, encumbrances, restrictive covenants or ownership title evidence has occurred. The surveyor reserves the right to revise any easement(s) not provided for or known of, per the date of this survey.
- The utility information shown hereon was taken from actual field evidence, utility agency records, or any other available evidence. Other utilities may exist and may not be shown, or may vary from where shown. No guarantee is expressed or implied in regard to the utility location shown hereon. The Owner(s) and Contractor(s) should assume responsibility for verifying utility existence, size, location, depth and availability of service, and be solely responsible for contacting the utility location service prior to commencing construction.
- Basics of bearings is based on the Tennessee State Plane Coordinate System 4100 Zone on the 1983 North American Datum (NAD83).
- In Tennessee it is a requirement of the "Underground Utility Damage Prevent Act" that anyone who engages in excavation must notify all known underground utility owner(s) no less than three nor more than ten working days prior to the date of their intent to excavate and also to avoid any hazard or conflict. The Tennessee One Call telephone number is 1-800-351-1111. No utilities were called, nor marked for this project.
- The subject property is zoned D1 (Low Intensity Residential Zone), sector O2 (Rural Open Space Sector).
- All Sidewalks, Open Space, and Drainage Improvement to be maintained by the Home Owner's Association.
- All Open Space shall be considered as: (1) a public utility easement, but only for public utilities installed specifically to service this development; and (2) a drainage easement.
- The purpose of this plat is to create 32 Single Family lots with Open Spaces.
- This development is subject to the Declaration of Covenants, Conditions, and Restrictions recorded in D.B. _____ pg. _____, R.O.W.C.
- Underground Utility Note: Within new developments and for off-site lines constructed as a result of, or to provide service to, the new development, all utilities (including cable television, electrical, natural gas, sewer, telephone, and water lines) shall be placed underground.
- All lots designated with a (*) are considered critical lots.
- All lots designated with a (**) have slippage soils defined on the approved soil map and/or NRCS Web Soil Survey. These lots contain colluvial soils which by definition are prone to creep and slippage. As such, it is recommended that a geo-technical assessment and a soils stabilization plan be obtained for proposed structures.
- At all temporary turnarounds, a sign shall be placed stating, "Streets to be extended by authority of the Town of Thompson's Station."
- There are no mineral rights held by any parties other than the owner of record.
- All street light locations and quantities are approximate. Final positioning and quantity shall be at the direction of MTEMC.

Date _____ Dept. of Sewage Disposal Mgmt., Brian Corwin

Certificate of Approval for Recording
I hereby certify that the subdivision plot shown hereon has been found to comply with the Thompson's Station Land Development Ordinance with the exception of such approved deviations, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the office of the County Register.

Date _____ Secretary, Planning Commission

Certificate of Ownership & Dedication
I (we) hereby certify that I am (we are) the owner(s) of the property shown and described herein as evidenced in book number _____ page _____, R.O.W.C. and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction line. I (we) do further certify that the recording of this plan is an irrevocable offer of dedication to the Town (or applicable Utility), subject to the Town's approval and acceptance per the Town's Land Development Ordinance, for all public streets, utilities, and other public improvements.

Date _____ Owner

Certificate of Approval of Utility Systems
The following utility systems outlined or indicated on the plan shown hereon have either been installed in conformity with current local and/or state government requirements or a surety bond has been posted with the Town to assure completion of all required improvements in case of default. Upon information and review, the hydraulic design criteria specified in the Thompson's Station Subdivision Regulations have been met. Any approval is at all times contingent upon continuing compliance with the aforementioned requirements.

Date _____ Name, Title, and Agency of Authorized Approving Agent

Certificate of Approval of Subdivision Name & Street Names
I do hereby certify that the subdivision name and street names denoted on this final plat have been approved by the Williamson County Emergency Communications Agency.

Date _____ Department, Title

Certificate of Approval of Middle Tennessee Electric Membership Corporation
I hereby certify that the requirements set forth in rules, regulations, by-laws, policy and operational bulletins, plat approval checklist and tree planting guidelines have been met for MTEMC. Any approval is at all times contingent upon continuing compliance with the aforementioned requirements.

Date _____ Name, Title, and Agency of Authorized Approving Agent

Certificate of the Approval of Streets
All streets designated on this final subdivision plat have been installed in an acceptable manner and according to Thompson's Station's Land Development Ordinance, or a surety bond approved by the Planning Commission has been posted, per the Land Development Ordinance, with the Town to assure completion of all required improvements in case of default.

Date _____ Town Engineer

| The Hills | Open Space % | Required Open Space | Remaining Open Space |
|------------------|--------------|---------------------|----------------------|
| Preliminary Plat | 45.0% | 101.54 Acres | N/A |
| Phase 1 | 13.0% | 29.37 Acres | 72.17 acres |
| Phase 2 | 32.0% | 72.17 Acres | 0.00 acres |

Certificate of Accuracy
I hereby certify that the plan shown and described hereon is a true and correct survey to the accuracy required by the Thompson's Station Municipal Planning Commission and that the monuments have been or will be placed as shown hereon to the specifications of the Land Development Ordinance as approved by the Town Engineer. This is a Category I Survey and the ratio of precision of the unadjusted survey is greater than 1:15,000 as shown hereon.

Date 4-21-2022 Mark Contrell, RLS #1859

T-SQUARE ENGINEERING SURVEY DIVISION
1329 WEST MAIN STREET, FRANKLIN, TN. 37064



FINAL PLAT - THE HILLS, SECTION 1
RAM LAND VENTURES LLC, OWNER
D.B. 8772, PG. 874, R.O.W.C.
MAP 146, PARCEL 039.00
4TH CIVIL DISTRICT
WILLIAMSON COUNTY, TENNESSEE

PROJECT:
19-0306

REVISIONS

| NO. | DATE |
|-----|----------|
| 1 | 5-5-2022 |

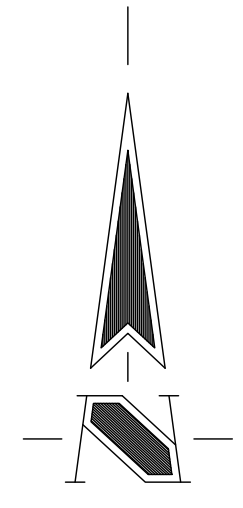
DATE: 27 APR 2022
SCALE: 1" = 200'
DRAWN BY: DSW
REVIEWER:

SHEET:
1 OF 3

OWNER OF RECORD
RAM LAND VENTURES LLC - BILL VARNEY, CONTACT
3577

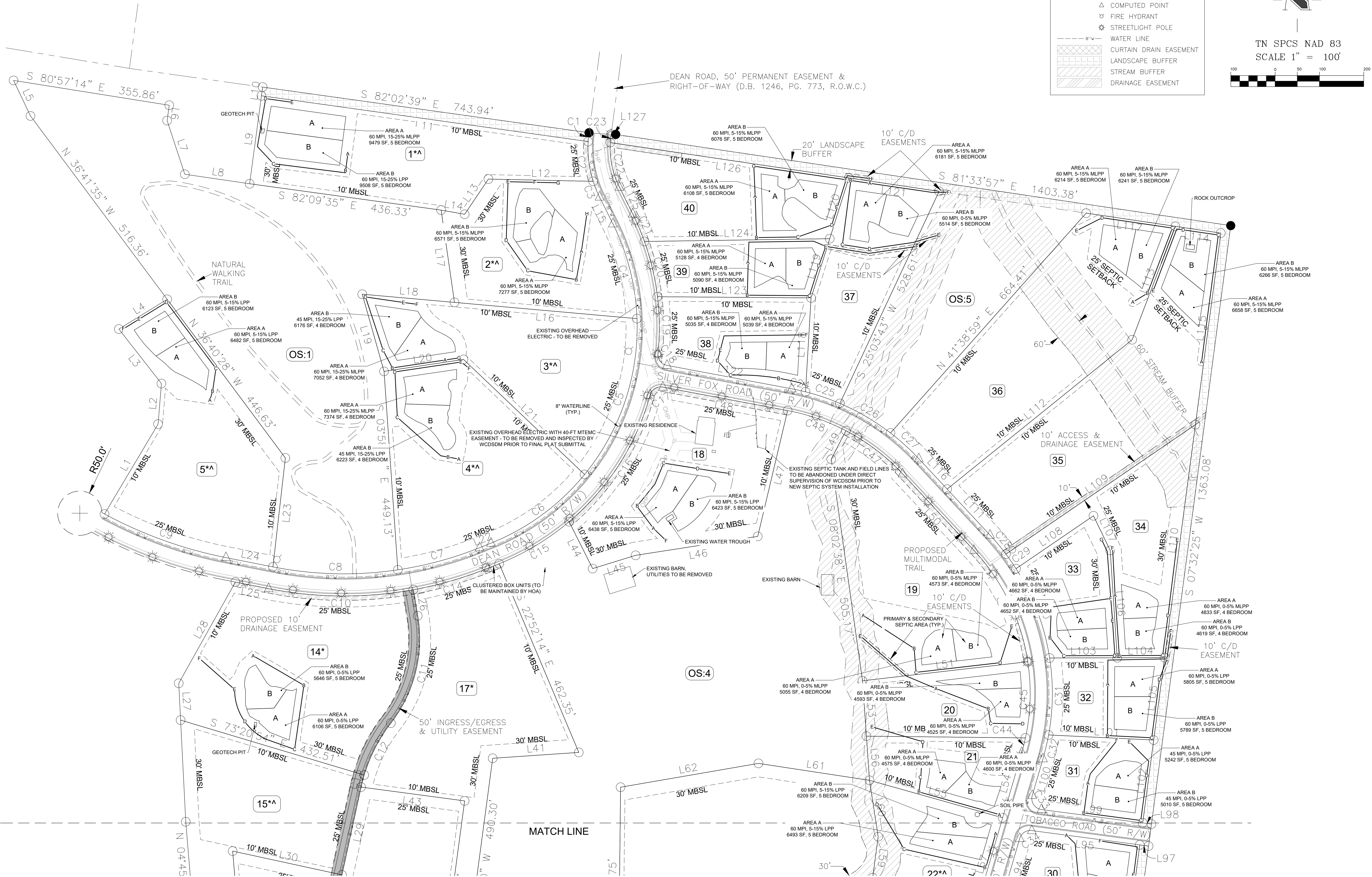


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1-800-351-1111
TENNESSEE ONE CALL
IT'S THE LAW



TN SPCS NAD 83
SCALE 1" = 100'

- IRON PIN SET
- IRON PIN FOUND
- △ COMPUTED POINT
- ⊕ FIRE HYDRANT
- ⊙ STREETLIGHT POLE
- WATER LINE
- ▨ CURTAIN DRAIN EASEMENT
- ▧ LANDSCAPE BUFFER
- ▩ STREAM BUFFER
- DRAINAGE EASEMENT

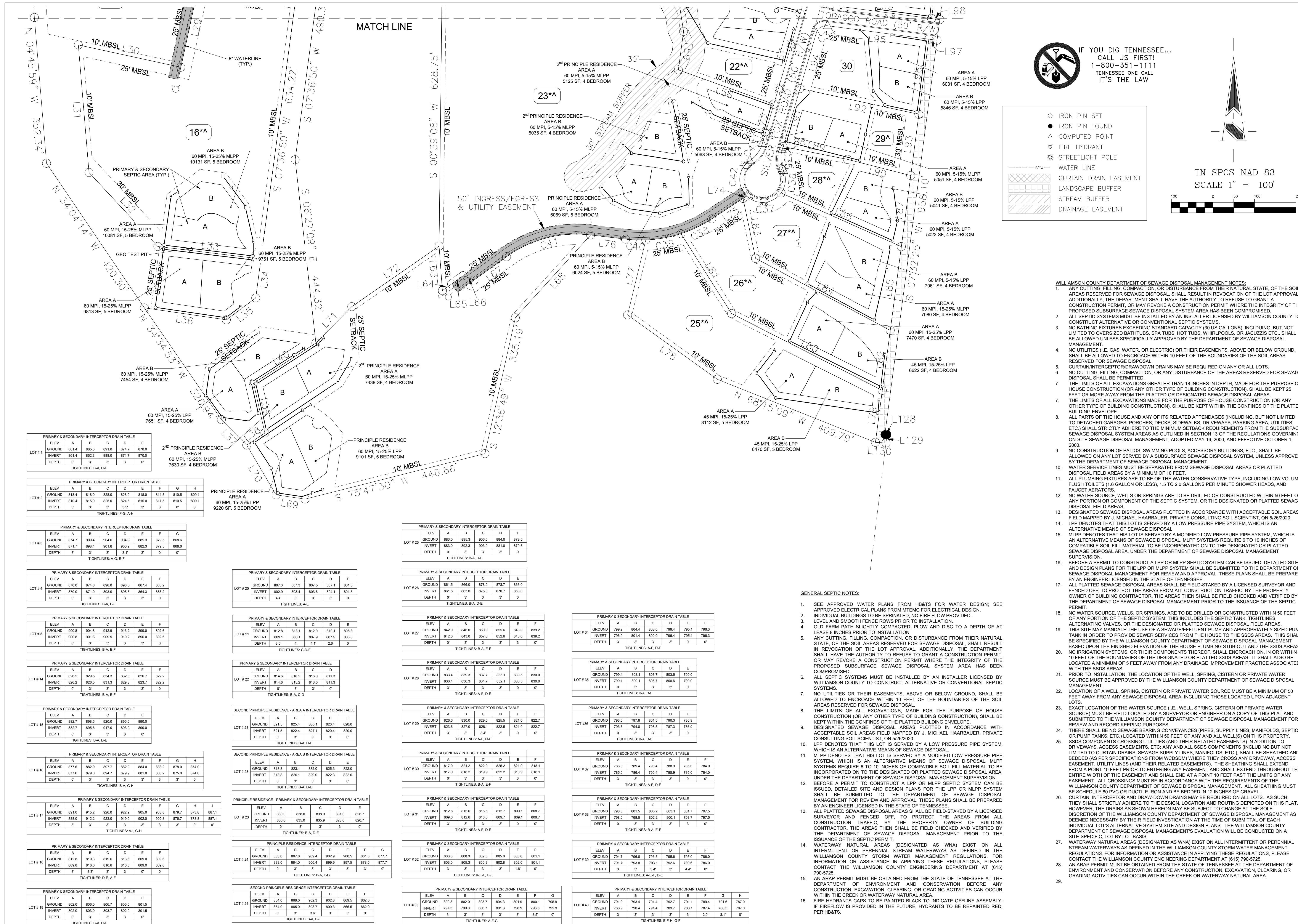


T-SQUARE ENGINEERING
SURVEY DIVISION
1329 WEST MAIN STREET, FRANKLIN, TN, 37064



FINAL PLAT - THE HILLS, PHASE 1
RAM LAND VENTURES LLC, OWNER
D.B. 8772, PG. 874, R.O.W.C.
MAP 146, PARCEL 039.00
4TH CIVIL DISTRICT
WILLIAMSON COUNTY, TENNESSEE

| | |
|-----------------------------|-------------|
| PROJECT: | |
| 19-0306 | |
| REVISIONS | |
| NO. | DATE |
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| DATE: 27 APR 2022 | |
| SCALE: 1" = 100' | |
| DRAWN BY: DSW | |
| REVIEWER: | |
| SHEET: | |
| 2 OF 3 | |



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○ IRON PIN SET
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 --- LANDSCAPE BUFFER
 --- STREAM BUFFER
 --- DRAINAGE EASEMENT

TN SPCS NAD 83
 SCALE 1" = 100'
 0 50 100 200

- WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT NOTES:**
- ANY CUTTING, FILLING, COMPACTION, OR DISTURBANCE FROM THEIR NATURAL STATE, OF THE SOIL AREAS RESERVED FOR SEWAGE DISPOSAL, SHALL RESULT IN REVOCATION OF THE LOT APPROVAL. ADDITIONALLY, THE DEPARTMENT SHALL HAVE THE AUTHORITY TO REFUSE TO GRANT A CONSTRUCTION PERMIT, OR MAY REVOKE A CONSTRUCTION PERMIT WHERE THE INTEGRITY OF THE PROPOSED SUBSURFACE SEWAGE DISPOSAL SYSTEM AREA HAS BEEN COMPROMISED.
 - ALL SEPTIC SYSTEMS MUST BE INSTALLED BY AN INSTALLER LICENSED BY WILLIAMSON COUNTY TO CONSTRUCT ALTERNATIVE OR CONVENTIONAL SEPTIC SYSTEMS.
 - NO BATHING FIXTURES EXCEEDING STANDARD CAPACITY (30 US GALLONS), INCLUDING, BUT NOT LIMITED TO OVERSIZED BATHTUBS, SPA TUBS, HOT TUBS, WHIRLPOOLS, OR JACUZZIS ETC., SHALL BE ALLOWED UNLESS SPECIFICALLY APPROVED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT.
 - NO UTILITIES (I.E. GAS, WATER, OR ELECTRIC) OR THEIR EASEMENTS, ABOVE OR BELOW GROUND, SHALL BE ALLOWED TO ENCRoACH WITHIN 10 FEET OF THE BOUNDARIES OF THE SOIL AREAS RESERVED FOR SEWAGE DISPOSAL.
 - CURTAIN/INTERCEPTOR/DRAINAGE DRAINS MAY BE REQUIRED ON ANY OR ALL LOTS.
 - NO CUTTING, FILLING, COMPACTION, OR ANY DISTURBANCE OF THE AREAS RESERVED FOR SEWAGE DISPOSAL SHALL BE PERMITTED.
 - THE LIMITS OF ALL EXCAVATIONS MADE FOR THE PURPOSE OF HOUSE CONSTRUCTION OR ANY OTHER TYPE OF BUILDING CONSTRUCTION, SHALL BE KEPT WITHIN THE CONFINES OF THE PLATTED BUILDING ENVELOPE.
 - ALL PARTS OF THE HOUSE AND ANY OF ITS RELATED APPENDAGES (INCLUDING, BUT NOT LIMITED TO DETACHED GARAGES, PORCHES, DECKS, SIDEWALKS, DRIVEWAYS, PARKING AREA, UTILITIES, ETC.) SHALL STRICTLY ADHERE TO THE MINIMUM SETBACK REQUIREMENTS FROM THE SUBSURFACE SEWAGE DISPOSAL SYSTEM AREAS AS OUTLINED IN SECTION 13 OF THE REGULATIONS GOVERNING ON-SITE SEWAGE DISPOSAL MANAGEMENT, ADOPTED MAY 16, 2000, AND EFFECTIVE OCTOBER 1, 2000.
 - NO CONSTRUCTION OF PATIOS, SWIMMING POOLS, ACCESSORY BUILDINGS, ETC., SHALL BE ALLOWED ON ANY LOT SERVED BY A SUBSURFACE SEWAGE DISPOSAL SYSTEM, UNLESS APPROVED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT.
 - WATER SERVICE LINES MUST BE SEPARATED FROM SEWAGE DISPOSAL AREAS OR PLATTED DISPOSAL FIELD AREAS BY A MINIMUM OF 10 FEET.
 - ALL PLUMBING IN THE STATE OF TENNESSEE CONSERVATIVE TYPE, INCLUDING LOW VOLUME FLUSH TOILETS (1.6 GALLON OR LESS), 1.5 TO 2.0 GALLONS PER MINUTE SHOWER HEADS, AND FAUCET AERATORS.
 - NO WATER SOURCE, WELLS OR SPRINGS ARE TO BE DRILLED OR CONSTRUCTED WITHIN 50 FEET OF ANY PORTION OF THE SEPTIC SYSTEM, OR THE DESIGNATED OR PLATTED SEWAGE DISPOSAL FIELD AREA.
 - DESIGNATED SEWAGE DISPOSAL AREAS PLOTTED IN ACCORDANCE WITH ACCEPTABLE SOIL AREAS FIELD MAP NO. 10, AS REVISED BY J. MICHAEL HAARBAUER, PRIVATE CONSULTING SOIL SCIENTIST, ON 5/26/2020.
 - LPP DENOTES THAT THIS LOT IS SERVED BY A LOW PRESSURE PIPE SYSTEM, WHICH IS AN ALTERNATIVE MEANS OF SEWAGE DISPOSAL.
 - MLPP DENOTES THAT THIS LOT IS SERVED BY A MODIFIED LOW PRESSURE PIPE SYSTEM, WHICH IS AN ALTERNATIVE MEANS OF SEWAGE DISPOSAL. MLPP SYSTEMS REQUIRE 6 TO 10 INCHES OF COMPATIBLE SOIL FILL MATERIAL TO BE INCORPORATED ON TO THE DESIGNATED OR PLATTED SEWAGE DISPOSAL AREA, UNDER THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT SUPERVISION.
 - BEFORE A PERMIT TO CONSTRUCT A LPP OR MLPP SEPTIC SYSTEM CAN BE ISSUED, DETAILED SITE AND DESIGN PLANS FOR THE LPP OR MLPP SYSTEM SHALL BE SUBMITTED TO THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT FOR REVIEW AND APPROVAL. THESE PLANS SHALL BE PREPARED BY AN ENGINEER LICENSED IN THE STATE OF TENNESSEE.
 - ALL PLATTED SEWAGE DISPOSAL AREAS SHALL BE FIELD-STAKED BY A LICENSED SURVEYOR AND FENCED OFF, TO PROTECT THE AREAS FROM ALL CONSTRUCTION TRAFFIC. BY THE PROPERTY OWNER OF BUILDING CONTRACTOR. THE AREAS THEN SHALL BE FIELD CHECKED AND VERIFIED BY THE DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT PRIOR TO THE ISSUANCE OF THE SEPTIC PERMIT.
 - NO WATER SOURCE, WELLS, OR SPRINGS, ARE TO BE DRILLED OR CONSTRUCTED WITHIN 50 FEET OF ANY PORTION OF THE SEPTIC SYSTEM, OR THE DESIGNATED OR PLATTED SEWAGE DISPOSAL AREAS.
 - ALTERNATING VALVES, OR THE DESIGNATED OR PLATTED SEWAGE DISPOSAL FIELD AREAS.
 - THIS SITE MAY MANDATE THE USE OF A SEWAGE/EFFLUENT PUMP AND APPROPRIATELY SIZED PUMP TANK IN ORDER TO PROVIDE SEWER SERVICES FROM THE HOUSE TO THE SSSS AREAS. THIS SHALL BE SPECIFIED BY THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT BASED UPON THE FINISHED ELEVATION OF THE HOUSE PLUMBING STUB-OUT AND THE SSSS AREAS.
 - NO IRRIGATION SYSTEMS, OR THEIR COMPONENTS THEREOF, SHALL ENCRoACH ON, OR WITHIN 10 FEET OF THE BOUNDARIES OF THE DESIGNATED OR PLATTED SSSS AREAS. IT SHALL ALSO BE LOCATED A MINIMUM OF 5 FEET AWAY FROM ANY DRAINAGE IMPROVEMENT PRACTICE ASSOCIATED WITH THE SSSS AREAS.
 - PRIOR TO INSTALLATION, THE LOCATION OF THE WELL, SPRING, CISTERN OR PRIVATE WATER SOURCE MUST BE APPROVED BY THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT.
 - LOCATION OF A WELL, SPRING, CISTERN OR PRIVATE WATER SOURCE MUST BE A MINIMUM OF 50 FEET AWAY FROM ANY SEWAGE DISPOSAL AREA, INCLUDING THOSE LOCATED UPON ADJACENT LOTS.
 - EXACT LOCATION OF THE WATER SOURCE (I.E., WELL, SPRING, CISTERN OR PRIVATE WATER SOURCE) MUST BE FIELD LOCATED BY A SURVEYOR OR ENGINEER ON A COPY OF THIS PLAT AND SUBMITTED TO THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT FOR REVIEW AND RECORD KEEPING PURPOSES.
 - THERE SHALL BE NO SEWAGE BEARING CONVEYANCES (PIPES, SUPPLY LINES, MANIFOLDS, SEPTIC, OR PUMP TANKS, ETC.) LOCATED WITHIN 50 FEET OF ANY AND ALL WELLS ON THIS PROPERTY.
 - SSSS COMPONENTS (CROSSING UTILITIES AND THEIR RELATED EASEMENTS) IN ADDITION TO DRIVEWAYS, ACCESS EASEMENTS, ETC. ANY AND ALL SSSS COMPONENTS (INCLUDING BUT NOT LIMITED TO CURTAIN DRAINS, SEWAGE SUPPLY LINES, MANIFOLDS, ETC.) SHALL BE SHEATHED AND BEDDED (AS PER SPECIFICATIONS) TO PROTECT ANY DRIVEWAY, ACCESS EASEMENT, UTILITY LINES (AND THEIR RELATED EASEMENTS), THE SHEATHING SHALL EXTEND FROM A POINT 10 FEET PRIOR TO ENTERING ANY EASEMENT AND SHALL EXTEND THROUGHOUT THE ENTIRE WIDTH OF THE EASEMENT AND SHALL END AT A POINT 10 FEET PAST THE LIMITS OF ANY EASEMENT. ALL CROSSINGS MUST BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT. ALL SHEATHING MUST BE SCHEDULE 80 PVC OR DUCTILE IRON AND BE BEDDED IN 12 INCHES OF GRAVEL.
 - CURTAIN, INTERCEPTOR AND DRAINAGE DRAINS MAY BE REQUIRED ON ALL LOTS, AS SUCH, THEY SHALL STRICTLY ADHERE TO THE DESIGN, LOCATION AND ROUTING DEPICTED ON THIS PLAT. HOWEVER, THE DRAINS AS SHOWN HEREON MAY BE SUBJECT TO CHANGE AT THE SOLE DISCRETION OF THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT AS DEEMED NECESSARY BY THEIR FIELD INVESTIGATION AT THE TIME OF SUBMITTAL OF EACH INDIVIDUAL LOT'S ALTERNATIVE SYSTEM SITE AND DESIGN PLANS. THE WILLIAMSON COUNTY DEPARTMENT OF SEWAGE DISPOSAL MANAGEMENT'S EVALUATION WILL BE CONDUCTED ON A SITE-SPECIFIC, LOT BY LOT BASIS.
 - WATERWAY NATURAL AREAS (DESIGNATED AS WNA) EXIST ON ALL INTERMITTENT OR PERENNIAL STREAM WATERWAYS AS DEFINED IN THE WILLIAMSON COUNTY STORM WATER MANAGEMENT REGULATIONS. FOR INFORMATION OR ASSISTANCE IN APPLYING THESE REGULATIONS, PLEASE CONTACT THE WILLIAMSON COUNTY ENGINEERING DEPARTMENT AT (615) 790-5725.
 - AN ARAP PERMIT MUST BE OBTAINED FROM THE STATE OF TENNESSEE AT THE DEPARTMENT OF ENVIRONMENT AND CONSERVATION BEFORE ANY CONSTRUCTION, EXCAVATION, CLEARING, OR GRADING ACTIVITIES CAN OCCUR WITHIN THE CREEK OR WATERWAY NATURAL AREA.
 - FIRE HYDRANTS GAPS TO BE PAINTED BLACK TO INDICATE OFFLINE ASSEMBLY; IF FIREFLOW IS PROVIDED IN THE FUTURE, HYDRANTS TO BE REPAINTED RED, PER HBATS.

T-SQUARE ENGINEERING
SURVEY DIVISION
1-329 WEST MAIN STREET, FRANKLIN, TN, 37064



FINAL PLAT - THE HILLS, PHASE 1
RAM LAND VENTURES LLC, OWNER
D.B. 8772, PG. 874, R.O.W.C.
MAP 146, PARCEL 039.00
4TH CIVIL DISTRICT
WILLIAMSON COUNTY, TENNESSEE

PROJECT:
19-0306

REVISIONS

| NO. | DATE |
|-----|------|
| | |

DATE:
27 APR 2022

SCALE:
1" = 100'

DRAWN BY:
DSW

REVIEWER:

SHEET:
3 OF 3

PROJECT REQUEST

Preliminary Plat approval for Thomas Downs Subdivision

PROJECT DESCRIPTION

The applicant requests approval of 16 single family residential lots and 1 open space lot located along Landry Place and south of West Harpeth Road.

ANALYSIS

This property was rezoned by the BOMA under the terms of an existing agreement with the property owner at 1550 West Harpeth Road, also known as the Ozzad Agreement. Per the terms of this agreement, the Town received drip fields for wastewater use and the remainder tract of land would be developed as 16 single-family residences. Per this agreement, the preliminary plat is the responsibility of the Town to submit to the Planning Commission. While it is unusual for the Town to be the applicant for a private development, the preliminary plat was designed to meet all Town requirements.

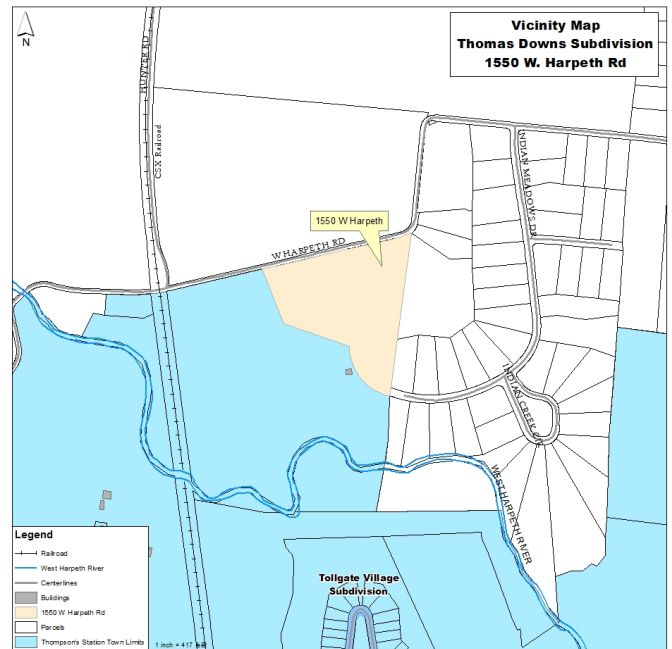
The project proposes 16 single family residential to meet the D2 zoning of this property. Lot widths vary throughout the development; however, all lots meet LDO requirements for a D2 zone. Setbacks are identified on the plat as a minimum of 30 feet for the front yard (the LDO minimum is 20), 10 feet for the side yard (the LDO allows for 20 ft total with a minimum of 5 ft), and 20 feet for the rear yard.

The site requires a type buffer 2 (a semi opaque screen) between the adjacent properties to the south and west, which is Town owned land for the drip fields. The landscaping plan shall be provided with the Construction Documents. No buffer requirement is identified at this time to the north or east since those properties are not within the Town's limits. However, an open space lot covers the immediately adjacent areas to existing properties in Indian Meadows and the existing vegetation on the property lines will provide some screening.

Access for this development is provided from West Harpeth Road.

OPEN SPACE

Development of the site includes approximately 6.89 acres set aside for open space, which complies with and exceeds the 45% open space requirement.



RIDGELINE HILLTOP PRESERVATION/SLOPES

The site does not contain land within the Ridgeline Hilltop Preservation Area (RHPA).

WOODLANDS/TREES

The site contains very limited existing trees, having previously been used for agricultural purposes. Additional tree removal and replacement information shall be required with the submittal of the Construction Documents for this development.

WATER RESOURCES/STORMWATER

Stormwater detention is proposed on site and will be reviewed further during the Construction Documents review process.

TRAFFIC

A traffic study is required for any development that creates 500 or greater trips per day, 100 trips or greater during a peak hour or is located along a major arterial. This project does not require a traffic study.

UTILITIES

The applicant shall be responsible for any improvements to water and electric infrastructure to meet the demands of the project. Sewer is availability in the Town's regional wastewater treatment facility is granted as part of the original Ozzad Agreement, approved by the Town in 2013.

The preliminary plat meets the minimum standards and requirements of the Land Development Ordinance.

RECOMMENDATION

Staff recommends approval of the preliminary plat with the following contingencies:

1. The applicant shall set a pre-application meeting with Town Staff prior to the submittal of the constructions plans for this development.
2. Prior to the approval of construction plans, the developer shall enter into a development agreement for the project.
3. Prior to the approval of construction plans, the developer shall obtain any necessary permits through the Tennessee Department of Environment and Conservation.
4. Prior to the approval of construction plans, all applicable codes and regulations shall be addressed to the satisfaction of the Town Engineer.
5. Any signage proposed for the subdivision shall comply requirements set forth within the Land Development Ordinance and shall be located within the open space and maintained by the homeowner's association.
6. Streetlights shall be incorporated in accordance with the Land Development Ordinance and shall be documented on the construction drawings and final plat(s) for this development.

ATTACHMENTS

Preliminary Plat Submittal

Thomas Downs Subdivision

1550 West Harpeth Road

Thompson's Station, Tennessee

Preliminary Plat

Drawing Index

| Sheet No. | Title |
|-----------|------------------|
| C0.0 | Cover Sheet |
| C0.1 | Master Site Plan |
| C1.0 | Preliminary Plat |

Purpose Statement:
This site is on the south side of West Harpeth Rd and West of the existing Indian Meadows Subdivision. This development is proposing to construct 16 single family residential lots with public infrastructure.



Site Location Map
Not To Scale

Owner/Developer:

A-1 Home Builders, Inc.
c/o Brandon Robertson
2020 Fieldstone Parkway
Suite 900-220
Franklin, TN 37069
Phone: (770) 231-9917

Floodplain Note:

A Portion of this site lies within a 100 Year Flood Hazard Area per F.E.M.A. Map No. 47187C0335F, dated Sept. 29, 2006. Williamson County Civil District 11

Land Data:

16 Buildable Lots on 11.42 Ac.±
Zoned: D2

Lot Setbacks:

Front: 30'
Side: 10'
Rear: 20'

Deed Reference:

The property shown hereon as follows, in Williamson County.

| Tax Map | Parcel | Deed | Page |
|---------|--------|------|------|
| 118 | 7.01 | 8766 | 330 |

Approved by the City of Thompson Station Planning Commission, with such conditions as are indicated in the minutes of the Commission on ___/___/___.

Contacts:

Middle Tennessee Elec. Member. Corp.:
2156 Edward Curd Lane
Franklin, TN 37067
Phone: (615) 794-3561
Contact: Jacob Cain

Engineer/Surveyor:
Site Engineering Consultants, Inc.
850 Middle Tennessee Blvd.
Murfreesboro, TN 37129
Phone: (615) 890-7901
Contact: Jamie Reed

H.B. & T.S.
505 Downs Blvd.
Franklin, TN 37064
Phone: (615) 794-7796
Contact: Cody Lovett

Atmos Gas
810 Crescent Centre Dr. #600
Franklin, TN 37067
Phone: (615) 771-8300
Contact: Tim Brown

Watershed: West Harpeth River

This plat is subject to the approval of the Ozzad agreement with BOMA.

Open Space is provided per the BOMA agreement for this property.

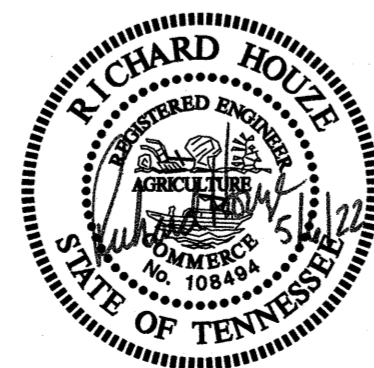
SEC, Inc. SITE ENGINEERING CONSULTANTS
ENGINEERING · SURVEYING · LAND PLANNING
LANDSCAPE ARCHITECTURE

850 MIDDLE TENNESSEE BOULEVARD MURFREESBORO, TENNESSEE 37129
PHONE: (615) 890-7901 E-MAIL: RHOUZE@SEC-CIVIL.COM FAX: (615) 895-2567

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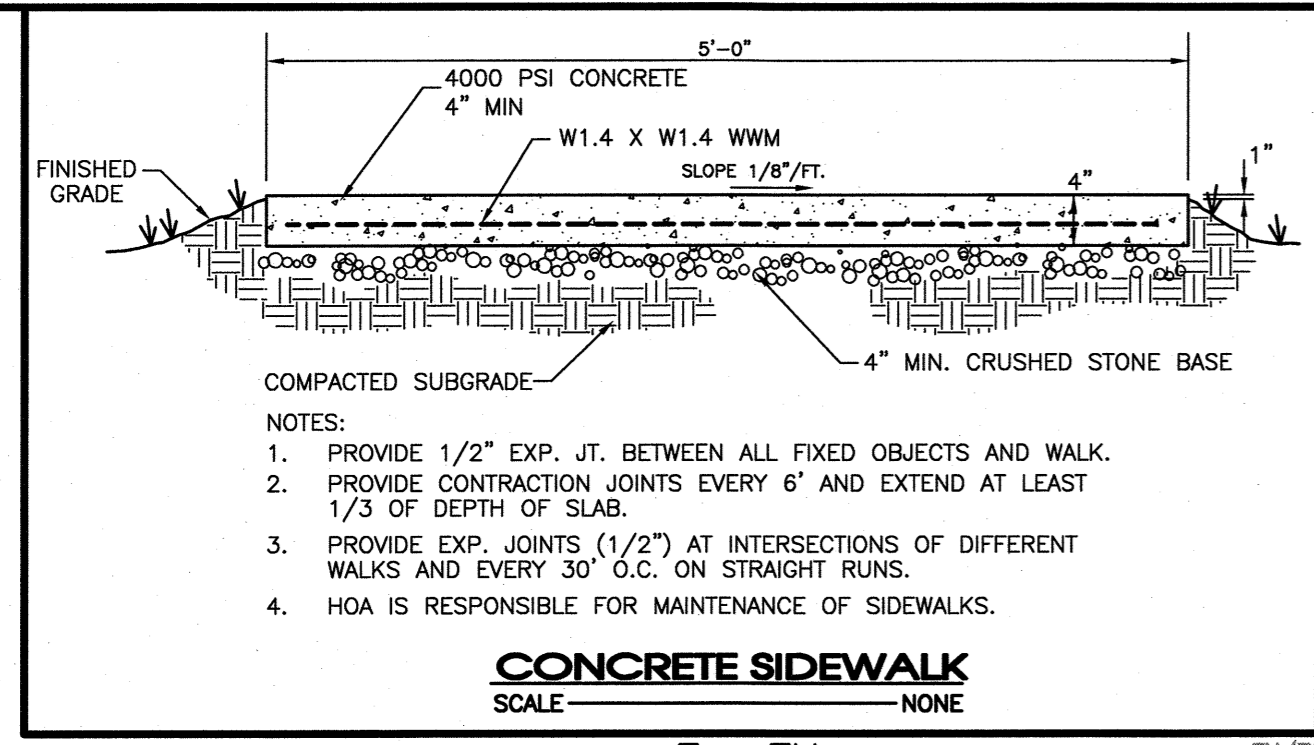
By: Richard Houze Date: 5/4/22

Richard Houze, P.E. TN. Reg. #108494



Sheet C0.0
Thomas Downs Subdivision
Preliminary Plat
S.E.C. Project #20156
Date: 4/4/2022
Revised:

| LOT # | SQ. FEET |
|-------|----------|
| 1 | 8612 |
| 2 | 8612 |
| 3 | 10229 |
| 4 | 10229 |
| 5 | 10229 |
| 6 | 10229 |
| 7 | 10229 |
| 8 | 9162 |
| 9 | 9453 |
| 10 | 9056 |
| 11 | 9428 |
| 12 | 12155 |
| 13 | 12775 |
| 14 | 12775 |
| 15 | 8612 |
| 16 | 8612 |

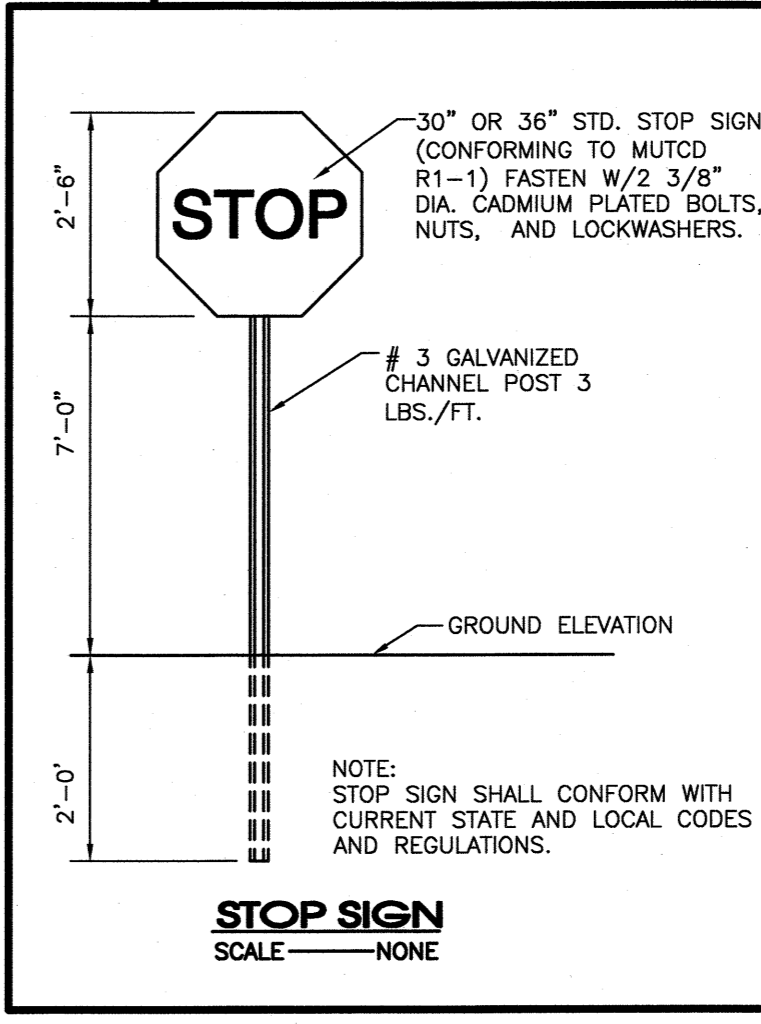


Notes:
 1. There are no trees to be saved on this site.
 2. There are no mineral rights on this property.
 3. Street lights to be installed per MTE plans and details.

| PI Station | Radius Length | Arc Length | Delta Angle | Degree of Curve | Chord Length |
|------------|---------------|------------|-------------|-----------------|--------------|
| 3+41.74 | 300.00' | 302.95' | 57°51'34" | 19°05'55" | 290.24' |

E MAIN ST
 D3-1
STREET SIGN
 SCALE - NONE

NOTE: STREET SIGN SHALL CONFORM WITH CURRENT STATE AND LOCAL CODES AND REGULATIONS.
 BACKGROUND COLOR TO BE GREEN WITH WHITE BORDER AND TEXT.

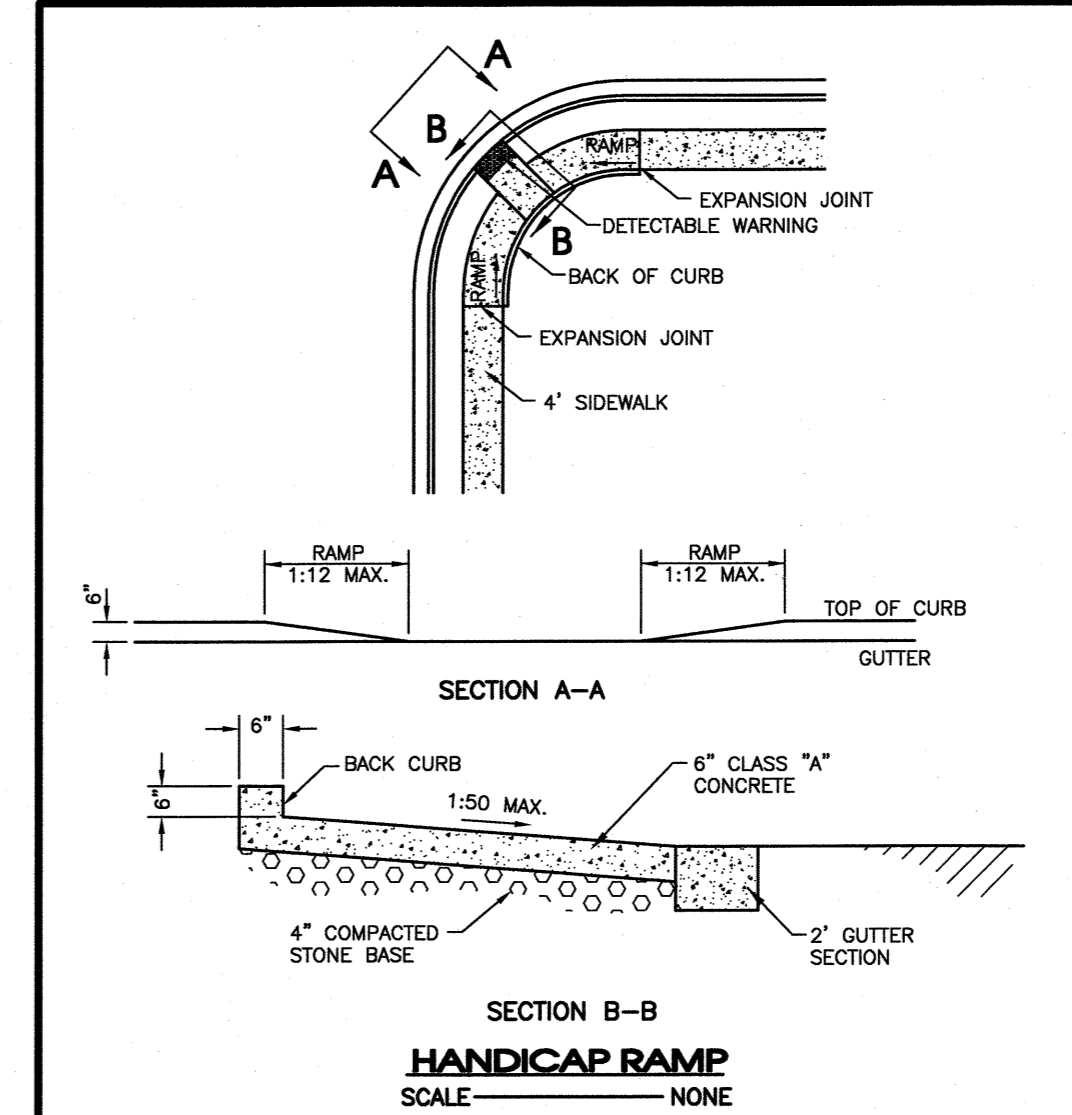
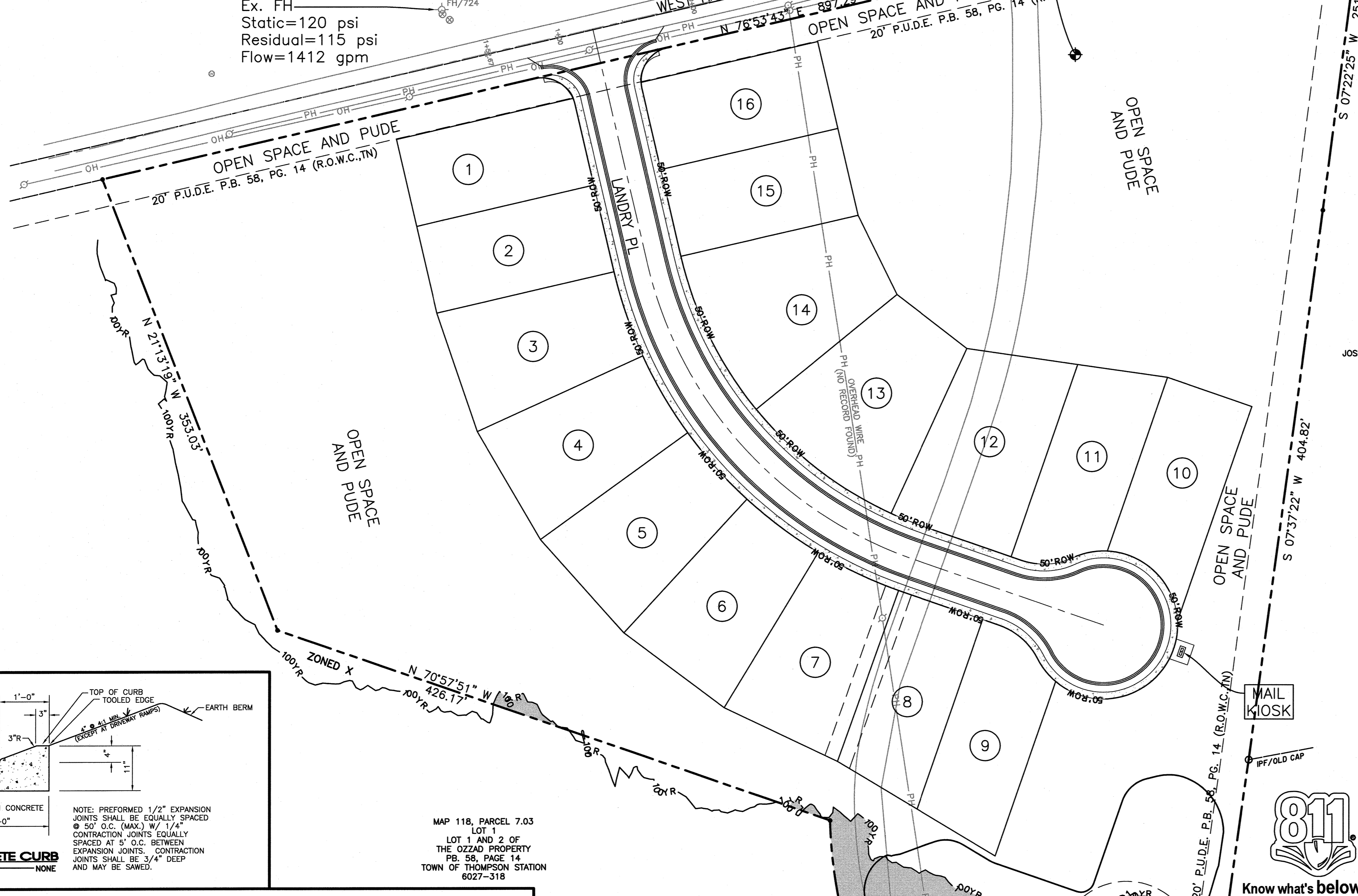


| Legend: | | | |
|---------|----------------------------------|----------|-------------------------------------|
| □ | EXIST. CONCRETE MONUMENT | ⊕ | BENCHMARK |
| ● | IRON PIN SET (I.P.S.) | ♿ | HANDICAP SYMBOL |
| ○ | IRON PIN FOUND (I.P.F.) | V.A. | VAN ACCESSIBLE HANDICAP DESIGNATION |
| + | EXIST. SIGN POST | + | HC SIGN |
| ○ | EXIST. SEWER CLEANOUT | + | PROPOSED SIGN POST |
| ○ | EXIST. MANHOLE (SEWER & PHONE) | • | CONCRETE BOLLARD |
| ⊕ | EXIST. CATCH BASIN (STORM SEWER) | ⊕ | WHEEL STOP |
| ⊕ | EXIST. WATER/GAS VALVE | ▬ | CONCRETE SIDEWALK |
| ⊕ | EXIST. TELEPHONE RISER | ▬ | EXTRUDED CURB |
| ⊕ | EXIST. GAS RISER | ▬ | CURB & GUTTER |
| ⊕ | ELECTRICAL ENCLOSURE | ➔ | TRAFFIC ARROW |
| ⊕ | EXIST. WATER METER | ➔ | TURN LANE ARROWS |
| ⊕ | EXIST. UTILITY POLE | ⚠ | REVISION NUMBER |
| ⊕ | EXIST. FIRE HYDRANT | #1 | DRAINAGE STRUCTURE DESIGNATION |
| ⊕ | POST INDICATOR VALVE | ⊕ | DRAINAGE PIPE DESIGNATION |
| ⊕ | BLOW OFF VALVE | ⊕ | RIP RAP |
| ⊕ | REDUCER | ➔ | RUNOFF FLOW ARROW |
| ⊕ | REMOTE FIRE DEPT. CONNECTION | ⊕ | INLET FILTER PROTECTION |
| ⊕ | CONCRETE THRUST BLOCK | 63.25 | PROPOSED SPOT ELEVATION |
| ⊕ | DOUBLE DETECTOR CHECK VALVE | (63.25) | EXIST. SPOT ELEVATION |
| ➔ | FIRE DEPT. CONNECTION | ➔ | SEWER/STORM FLOW DIRECTION |
| ⊕ | FIRE HYDRANT | ⊕ | CATCH BASIN |
| ⊕ | GATE VALVE & BOX | ⊕ | CURB INLET |
| ⊕ | WATER METER | ⊕ | AREA DRAIN |
| ⊕ | GAS METER | ⊕ | HEADWALL |
| ⊕ | GREASE TRAP | ⊕ | WINGED HEADWALL |
| ○ | EXTERIOR CLEANOUT | ⊕ | CONCRETE SWALE |
| ○ | MANHOLE | ⊕ | TYPE X-HEADWALL |
| ⊕ | LIGHT POLE | ⊕ | CANOPY LIGHT |
| PH | EXISTING PHONE | PH | |
| OH | EXISTING ELECTRIC | OH | |
| --- | PROPERTY LINE | --- | |
| --- | EASEMENTS | --- | |
| --- | RIGHT OF WAY | 50' ROW | |
| SF | EROSION CONTROL SILT FENCE | SF SF SF | |
| E | EROSION EEL | E E E | |
| ~ | EXISTING TREELINE | ~ | |
| X | EXISTING FENCELINE | X X X X | |
| --- | MINIMUM BUILDING SETBACK LINE | --- | |
| --- | PHASE BOUNDARY | --- | |
| --- | EXISTING GAS LINE | GAS | |
| --- | PROPOSED GAS LINE | GAS | |
| --- | EXISTING STORM | --- | |
| --- | PROPOSED STORM | STM STM | |
| --- | EXISTING CONTOUR LINES | 60' | |
| --- | PROPOSED CONTOUR LINES | 60' | |
| --- | EXISTING SANITARY SEWER | SS SS | |
| --- | PROPOSED SANITARY SEWER | SS SS | |
| --- | EXISTING WATER | W W W | |
| --- | PROPOSED WATER | W W W | |
| --- | FORCEMAIN | FM FM | |
| --- | FORCEMAIN RETURN | FMR FMR | |
| --- | FLOODWAY | FW | |

SEC, Inc.
 ENGINEERING - SURVEYING - LAND PLANNING
 LANDSCAPE ARCHITECTURE
 850 MIDDLE TENNESSEE BOULEVARD, SUITE 31700
 MEMPHIS, TENNESSEE 38120
 PHONE: (901) 504-7000 FAX: (901) 504-7001
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SITE ENGINEERING CONSULTANTS

REGISTERED PROFESSIONAL ENGINEER
 STATE OF TENNESSEE
 LICENSE NO. 34851



GENERAL NOTES:
 1. LANDING SHALL BE FLUSH WITH EDGE OF PAVEMENT.
 2. SURFACE TEXTURE OF THE CURB RAMP SHALL BE STABLE, FIRM, AND SLIP RESISTANT; THE SURFACE SHALL BE COARSE BROOMED FINISH TRANSVERSE TO THE SLOPE OF THE RAMP.
 3. BACK CURB HEIGHT ALONG RAMP SHALL TRANSITION FROM 0 INCHES AT EXPANSION JOINTS TO 6" AT LANDING AND SHALL BE A CONSTANT HEIGHT OF 6" THROUGH LANDING, CROSS-SLOPE (BACK TO FRONT) OF TOP OF BACK CURB SHALL BE THE SAME AS THE SIDEWALK CROSS-SLOPE.
 4. RAMP SHALL HAVE A MAXIMUM SLOPE OF 1:12 (VERTICAL/HORIZONTAL) AND SHALL NOT BE REQUIRED TO EXCEED 8 FEET (96 INCHES) IN LENGTH.
 5. HANDICAP RAMP SHALL BE CONSTRUCTED WITH DETECTABLE WARNINGS WHICH SHALL CONSIST OF RAISED TRUNCATED DOMES WITH A NOMINAL DIAMETER OF 0.9 INCHES, A NOMINAL HEIGHT OF 0.2 INCHES AND A NOMINAL CENTER-TO-CENTER SPACING OF 2.35 INCHES AND SHALL CONTRAST VISUALLY WITH ADJOINING SURFACES, WITHIN LIGHT-ON-DARK, OR DARK-ON-LIGHT. THE MATERIAL USED SHALL BE YELLOW BRICK PAVERS AND SHALL PROVIDE CONTRAST AND BE AN INTEGRAL PART OF THE WALKING SURFACE. THE PAVERS SHALL COMPLY WITH THE CURRENT REQUIREMENTS SET FORTH IN THE ADA AND BE INSTALLED PER THE MANUFACTURERS RECOMMENDATIONS. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND FOR 2 FEET FROM THE BOTTOM OF RAMP.
 6. A CURB RAMP SHALL HAVE A DETECTABLE WARNING COMPLYING WITH 4.29.2 OF ADA REQUIREMENTS. THE DETECTABLE WARNING SHALL EXTEND THE FULL WIDTH AND DEPTH OF THE CURB RAMP.

| LINE BEARING | DISTANCE |
|------------------|----------|
| L1 S 09°48'31" W | 4.63' |
| L2 N 76°49'46" W | 5.73' |

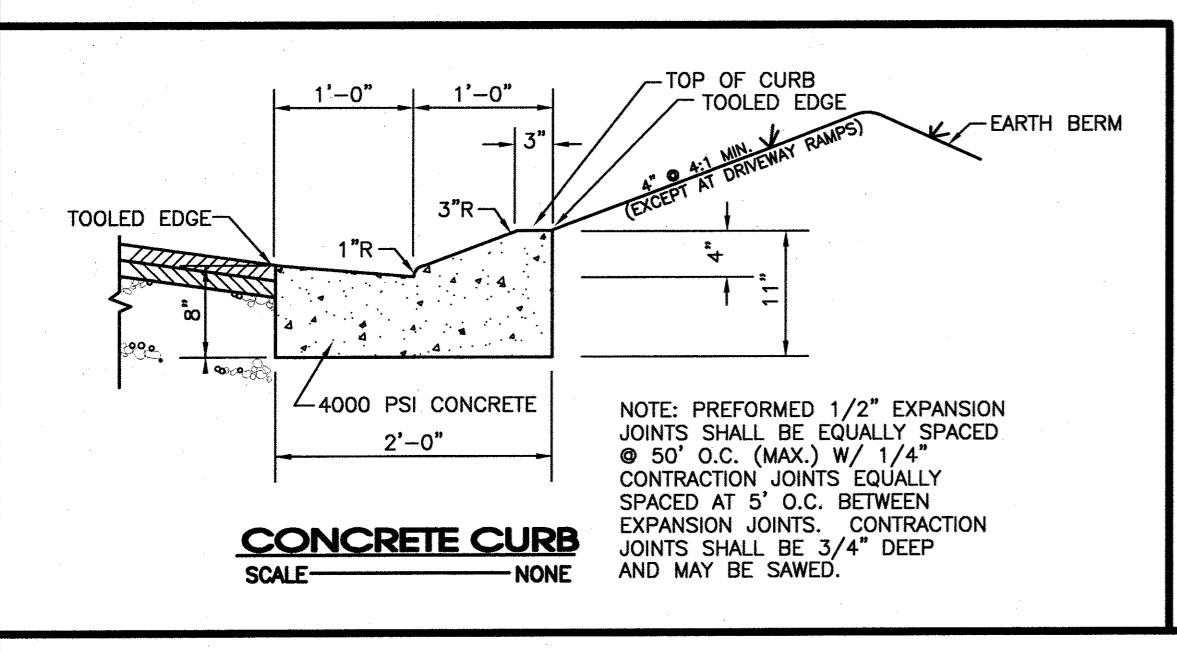
| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DELTA ANGLE |
|-------|---------|------------|--------------|---------------|-------------|
| C1 | 115.27' | 53.96' | 53.47' | N 63°29'05" E | 26°49'16" |
| C2 | 325.00' | 428.12' | 397.83' | N 39°00'50" W | 75°28'31" |

The proposed water information shown hereon is not an actual design to be used for construction, and is for reference and illustrative purposes only. The contractor shall refer to the actual final design for each proper discipline (electrical, civil, mechanical, etc.) with the Tennessee professional engineer's seal, for precise design information.

Thomas Downs
 Thompson's Station, TN
 Thompson's Station Mail Kiosk Notes:
 Mail Kiosk Lot To Be Maintained By H.O.A.
 Kiosk Construction Must Meet All Applicable Building, Fire, and USPS Codes

Mail Kiosk:
 Total Boxes Required: 16 Boxes
 Units Provided: 1 Units
 16-Box Unit: 1 Units (16 Boxes)
 Total Boxes Provided: 16 Boxes

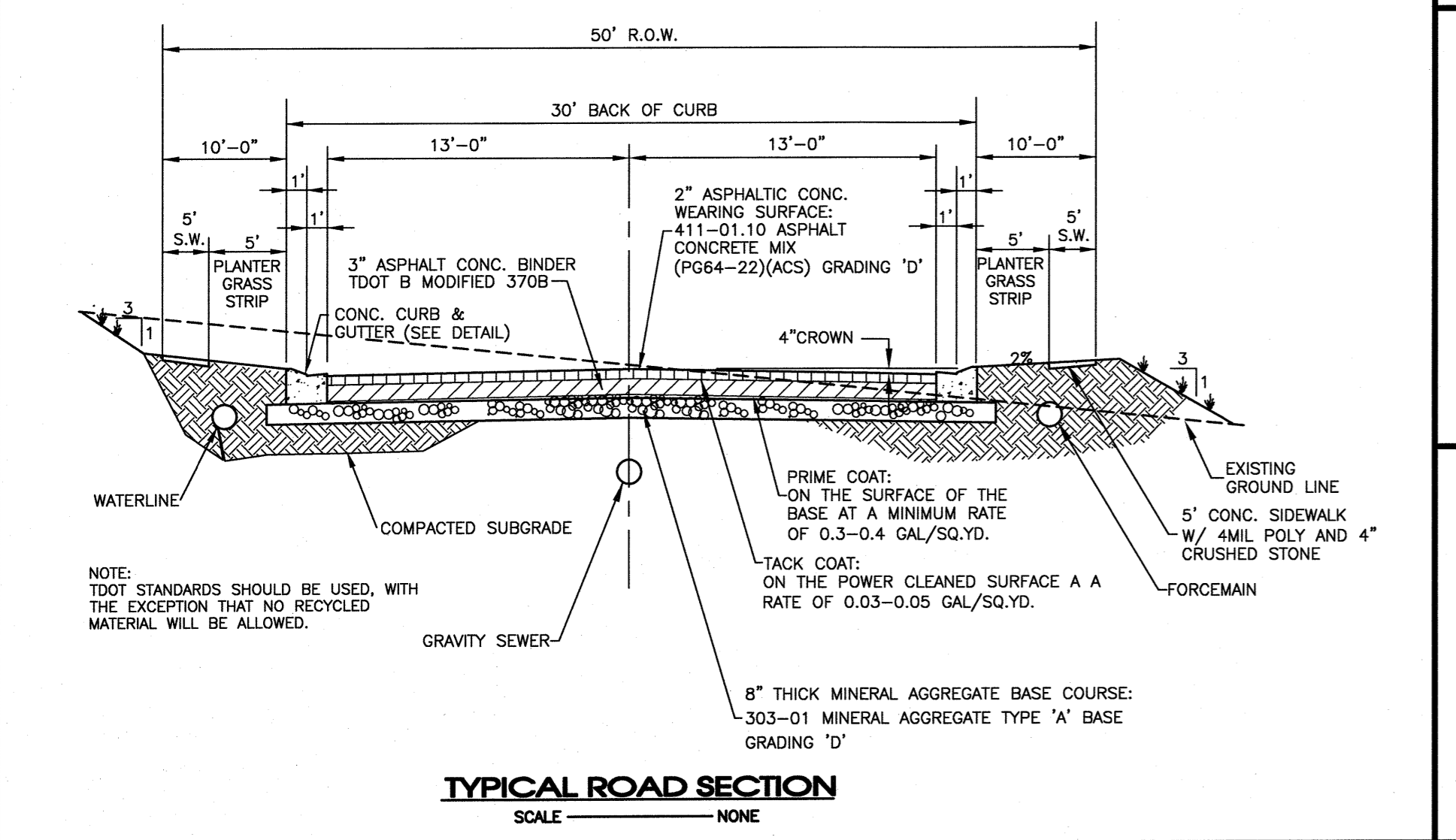
SCALE: 1" = 50'



MAP 118, PARCEL 7.03
 LOT 1
 LOT 1 AND 2 OF
 THE OZZAD PROPERTY
 P.B. 58, PAGE 14
 TOWN OF THOMPSON STATION
 6027-318

SPEED LIMIT 20
 TYPICAL 'SPEED LIMIT' SIGN
 SCALE - NONE

NO OUTLET
 W14-2
 TYPICAL 'NO OUTLET' WARNING SIGN
 SCALE - NONE



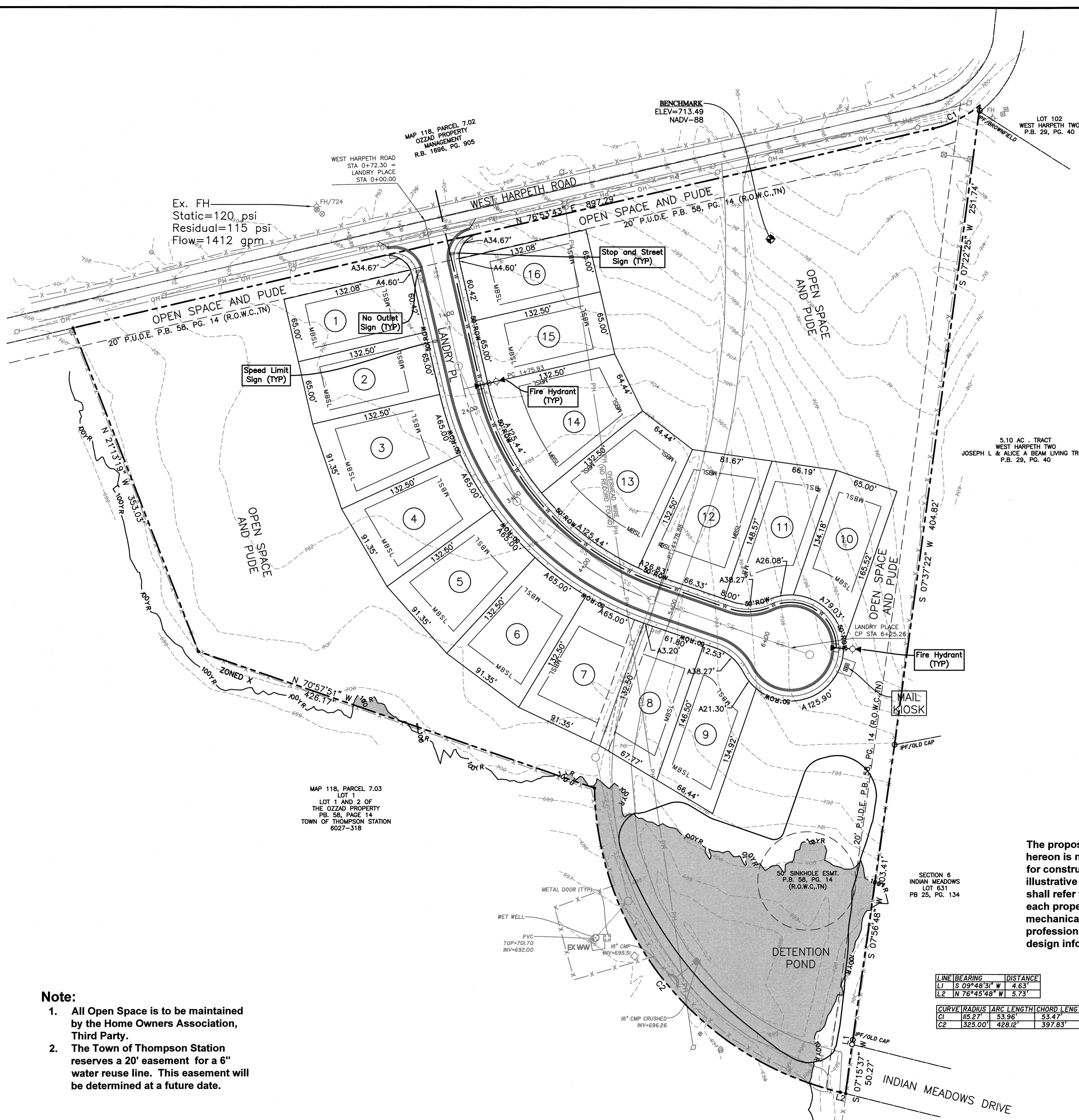
Thomas Downs Subdivision
1550 West Harpeth Road
 Thompson's Station, Tennessee

Master Plan

REVISIONS:

| | |
|------------|-----------------|
| DATE: | 4-4-2022 |
| CHECKED: | RH |
| FILE NAME: | 201560zzard.dwg |
| SCALE: | 1" = 50' |
| JOB NO.: | 20156 |
| SHEET: | C0.1 |

Plot Style: S.E.C. Standard Monocolor Plot Date: 5/6/2022 9:14 AM User: Richard House



Legend:

| | | | |
|---|----------------------------------|---------|-------------------------------------|
| □ | EXIST. CONCRETE MONUMENT | ⊕ | BENCHMARK |
| ● | IRON PIN SET (I.P.S.) | ♿ | HANDICAP SYMBOL |
| ○ | IRON PIN FOUND (I.P.F.) | V.A. | VAN ACCESSIBLE HANDICAP DESIGNATION |
| + | EXIST. SIGN POST | ⊙ | HC SIGN |
| ○ | EXIST. SEWER CLEANOUT | + | PROPOSED SIGN POST |
| ○ | EXIST. MANHOLE (SEWER & PHONE) | • | CONCRETE BOLLARD |
| ⊕ | EXIST. CATCH BASIN (STORM SEWER) | ⊞ | WHEEL STOP |
| ⊞ | EXIST. WATER/GAS VALVE | ▬ | CONCRETE SIDEWALK |
| ⊞ | EXIST. TELEPHONE RISER | ▬ | EXTRUDED CURB |
| ⊞ | EXIST. GAS RISER | ▬ | CURB & GUTTER |
| ⊞ | ELECTRICAL ENCLOSURE | ➔ | TRAFFIC ARROW |
| ⊞ | EXIST. WATER METER | ➔ | TURN LANE ARROWS |
| ⊞ | EXIST. UTILITY POLE | ⚠ | REVISION NUMBER |
| ⊞ | EXIST. FIRE HYDRANT | #1 | DRAINAGE STRUCTURE DESIGNATION |
| ⊞ | POST INDICATOR VALVE | A | DRAINAGE PIPE DESIGNATION |
| ⊞ | BLOW OFF VALVE | ⊞ | RIP RAP |
| ⊞ | REDUCER | ➔ | RUNOFF FLOW ARROW |
| ⊞ | REMOTE FIRE DEPT. CONNECTION | ⊞ | INLET FILTER PROTECTION |
| ⊞ | CONCRETE THRUST BLOCK | 63.25 | PROPOSED SPOT ELEVATION |
| ⊞ | DOUBLE DETECTOR CHECK VALVE | (63.25) | EXIST. SPOT ELEVATION |
| ➔ | FIRE DEPT. CONNECTION | ➔ | SEWER/STORM FLOW DIRECTION |
| ⊞ | FIRE HYDRANT | ⊞ | CATCH BASIN |
| ⊞ | GATE VALVE & BOX | ⊞ | CURB INLET |
| ⊞ | WATER METER | ⊞ | AREA DRAIN |
| ⊞ | GAS METER | ⊞ | HEADWALL |
| ⊞ | GREASE TRAP | ⊞ | WINGED HEADWALL |
| ⊞ | EXTERIOR CLEANOUT EGO | ⊞ | CONCRETE SWALE |
| ⊞ | MANHOLE | ⊞ | TYPE X-HEADWALL |
| ⊞ | LIGHT POLE | ⊞ | CANOPY LIGHT |

| | |
|-------------------------------|----------|
| EXISTING PHONE | PH |
| EXISTING ELECTRIC | OH |
| PROPERTY LINE | --- |
| EASEMENTS | --- |
| RIGHT OF WAY | 50' ROW |
| EROSION CONTROL SILT FENCE | SF SF SF |
| EROSION EEL | E E E |
| EXISTING TREELINE | ~ ~ ~ |
| EXISTING FENCELINE | X X X X |
| MINIMUM BUILDING SETBACK LINE | --- |
| PHASE BOUNDARY | ----- |
| EXISTING GAS LINE | GAS |
| PROPOSED GAS LINE | GAS |
| EXISTING STORM | --- |
| PROPOSED STORM | STM STM |
| EXISTING CONTOUR LINES | 601 |
| PROPOSED CONTOUR LINES | 601 |
| EXISTING SANITARY SEWER | SS SS |
| PROPOSED SANITARY SEWER | SS SS |
| EXISTING WATER | W W |
| PROPOSED WATER | W W |
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| FORCEMAIN RETURN | FMR FMR |
| FLOODWAY | FW |

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| LINE | BEARING | DISTANCE |
|------|---------------|----------|
| L1 | S 09°48'31" W | 4.63' |
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| CURVE | RADIUS | ARC LENGTH | CHORD LENGTH | CHORD BEARING | DEL TA ANGLE |
|-------|---------|------------|--------------|---------------|--------------|
| C1 | 115.27' | 53.96' | 53.47' | N 63°29'05" E | 26°49'16" |
| C2 | 325.00' | 428.12' | 397.83' | N 39°00'50" W | 75°28'31" |

811 Know what's below. Call before you dig.

- Note:**
- All Open Space is to be maintained by the Home Owners Association, Third Party.
 - The Town of Thompson Station reserves a 20' easement for a 6" water reuse line. This easement will be determined at a future date.

SEC, Inc.
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REVISIONS:

| | |
|------------|-----------------|
| DATE: | 4-4-2022 |
| CHECKED: | RH |
| FILE NAME: | 201560zzard.dwg |
| SCALE: | 1"=50' |
| JOB NO.: | 20156 |
| SHEET: | C1.0 |

Thomas Downs Subdivision
1550 West Harpeth Road
 Thompson's Station, Tennessee

Preliminary Plat

PROJECT REQUEST

Subdivision Entrance Signage the Avenue Downs Subdivision

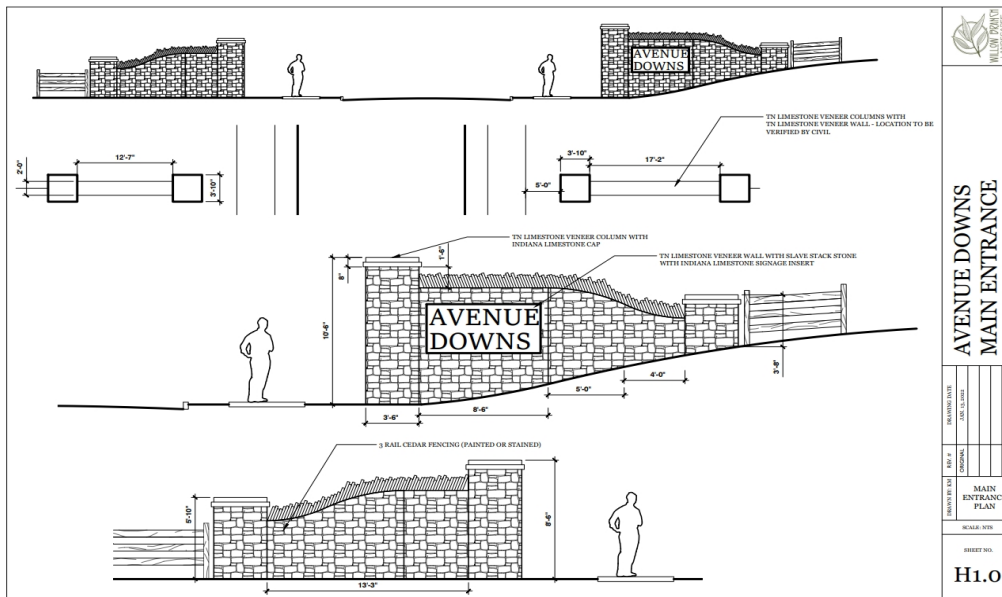
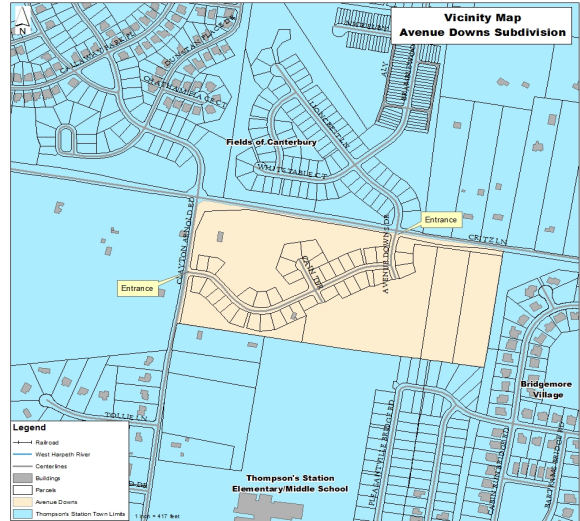
PROJECT DESCRIPTION

The applicant requests approval of two entrance monument signs for the Avenue Downs Subdivision.

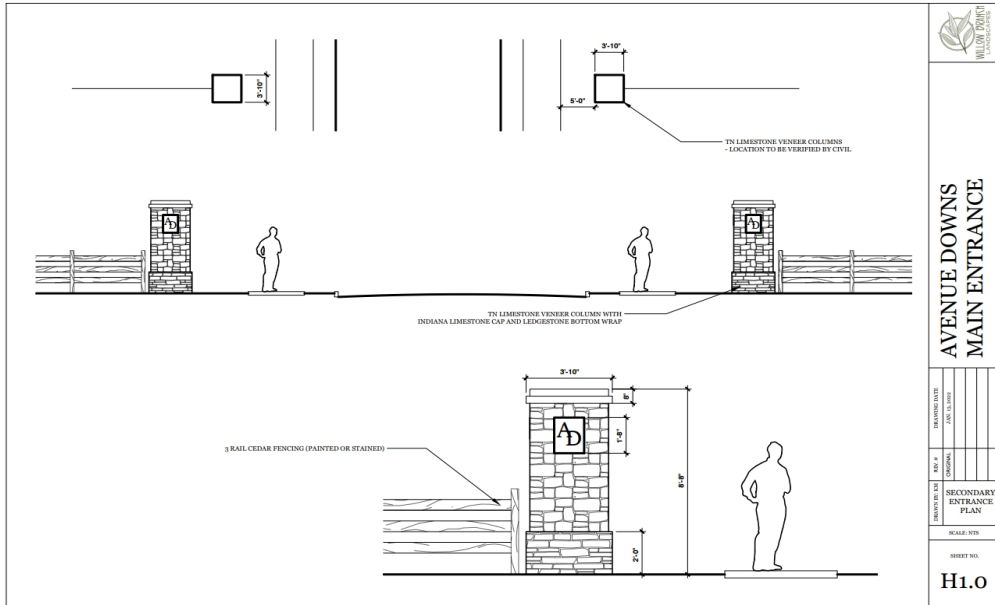
ANALYSIS

The project site consists of a new subdivision entrance monument and signage for the Avenue Downs Subdivision. These monuments will be located at the Critz Lane (main entrance) and Clayton Arnold Road (secondary entrance). The Planning Commission has approval jurisdiction over subdivision entrance monuments and signs per Section 4.17.4(b)(i) of the Land Development Ordinance. The main sign is just over 26 square feet and the secondary sign is just over 2 square feet. Both are well under the permitted 80 square feet for a monument sign, per the LDO standards.

The elevations and overall site plan are shown, below.



Critz Lane Main Entrance Site Plan & Sign Elevation



Clayton Arnold Road Secondary Entrance Site Plan & Sign Elevation

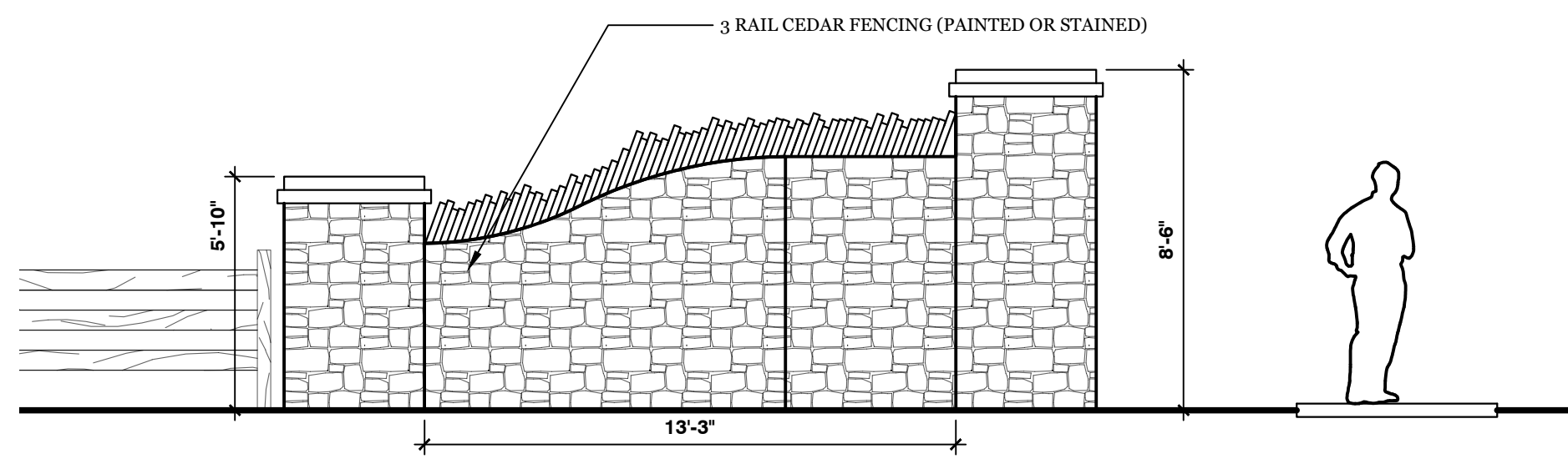
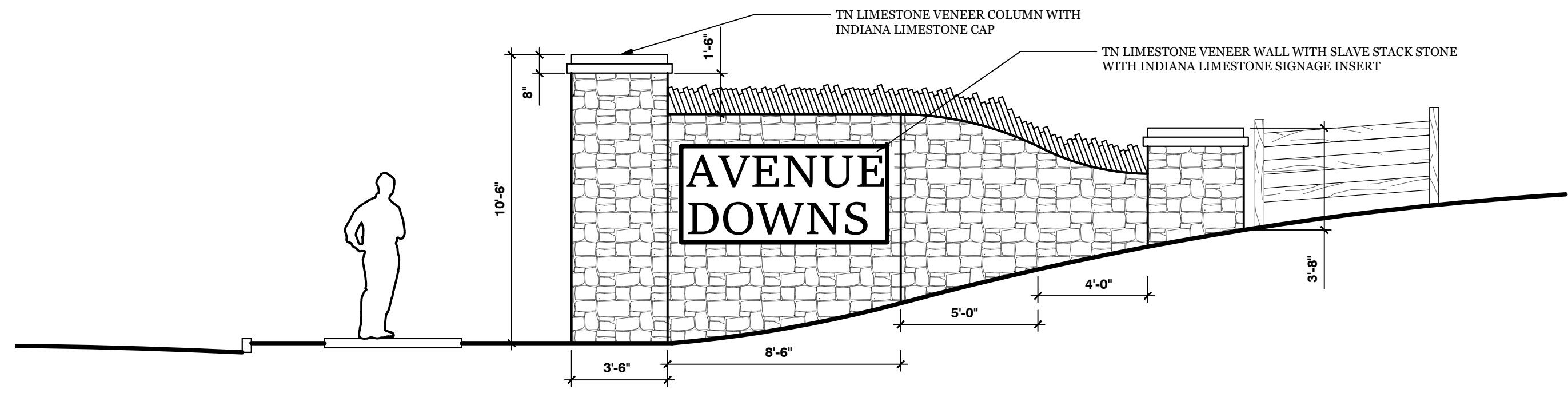
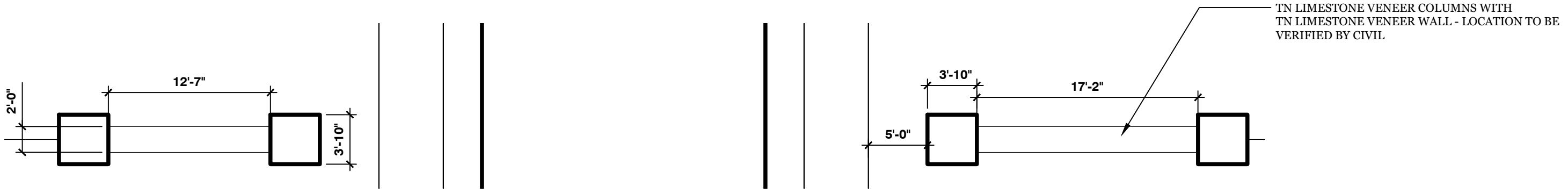
The subdivision entrance monument and signage meet the minimum requirements of the LDO.

RECOMMENDATION

Staff recommends approval of the subdivision entrance veneer monument and signage.

ATTACHMENTS

Signage Plan Submittal



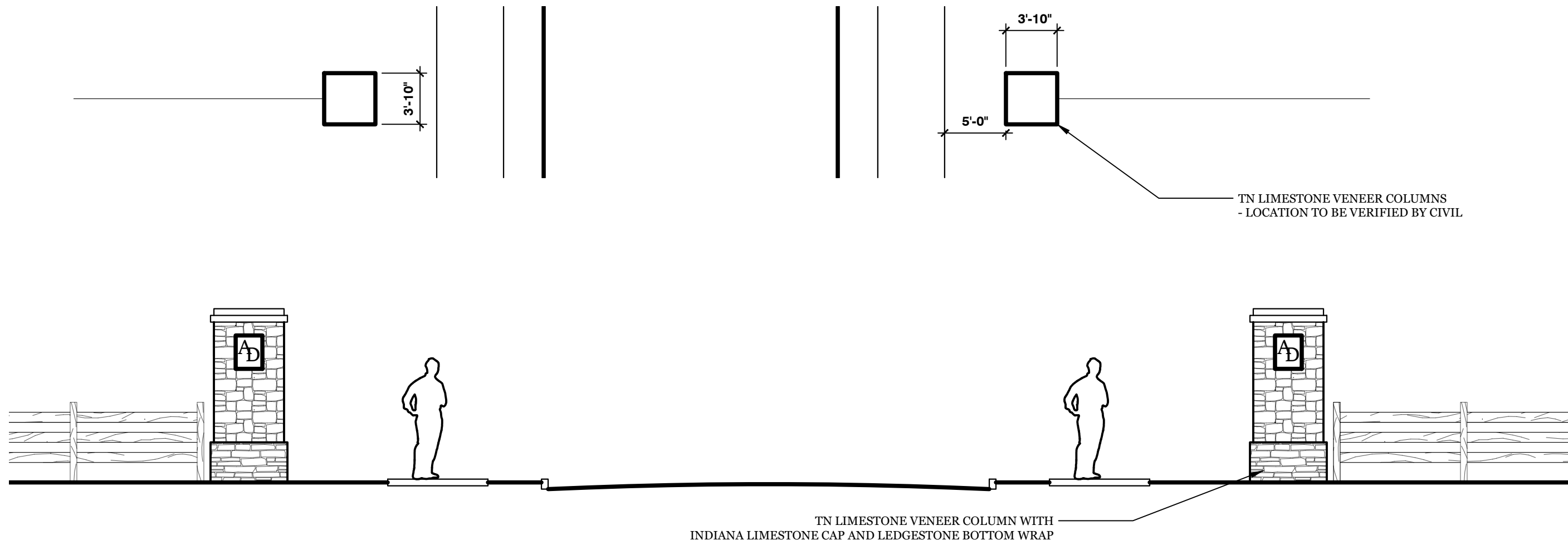
AVENUE DOWNS MAIN ENTRANCE

| | |
|--------------|--------------------|
| DRAWING DATE | JAN. 13, 2022 |
| REV. # | ORIGINAL |
| DRAWN BY: KM | MAIN ENTRANCE PLAN |

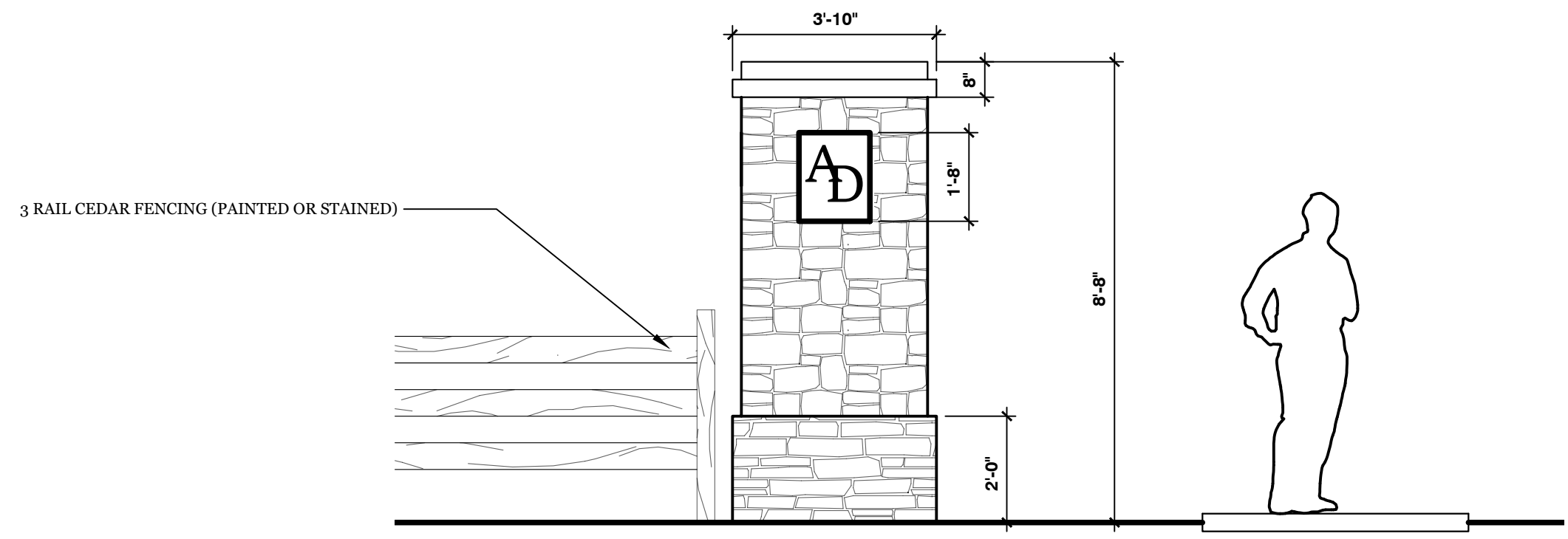
SCALE: NTS

SHEET NO.

H1.0



AVENUE DOWNS MAIN ENTRANCE



| | | |
|-------------------------|--------------|---------------|
| DRAWN BY: KM | DRAWING DATE | JAN. 13, 2022 |
| | REV. # | ORIGINAL |
| SECONDARY ENTRANCE PLAN | | |

SCALE: NTS

SHEET NO.

H1.0