

Town of Thompson's Station
Design Review Commission
Meeting Agenda
June 13, 2018

Meeting Called To Order

Minutes-

Consideration Of The Minutes Of The March 7, 2018 Meeting

Documents:

[03072018 MINUTES.PDF](#)

New Business:

1. Design Review – Modification To Approved Design Of Thompson’s Machinery Located At Columbia Pike (File: SP 2017-006; DR 2017-004).

Documents:

[ITEM 1 MEMO THOMPSON MACHINERY.PDF](#)
[ITEM 1 THOMPSON MACHINERY DESIGN PLANS.PDF](#)

2. Design Review – A Gas Station/Convenience Center With A Drive Through Coffee Shop (Twice Daily & White Bison Coffee) Located At 4570 Columbia Pike. (File: SP 2018-003; DR 2018-003).

Documents:

[ITEM 2 STAFF REPORT TWICE DAILY.PDF](#)
[ITEM 2 DESIGN PLANS.PDF](#)

Adjourn

*Meetings are held in Thompson's Station Town Hall
1550 Thompson's Station Rd West*

Town of Thompson's Station
Design Review Commission
Minutes of the Meeting
March 7, 2018

Call to Order.

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:25 p.m. on Wednesday, March 7, 2018 with the required quorum. Members and staff in attendance were Commissioners Kim Peterson, Huntly Gordon, Steve Bennett, Town Planner Wendy Deats and Town Clerk Jennifer Jones.

Consideration of Minutes.

The minutes of the February 7, 2018 meeting were previously submitted.

Commissioner Bennett moved for the approval of the February 7, 2018 minutes. The motion was seconded and carried unanimously.

Unfinished Business:

None.

New Business.

- 1. Design Review - Revised color palette for the development of two commercial and one mixed use building located at the northwest corner of Tollgate Boulevard/Elliston Way (File: SP 2018-002; DR 2018-002).**

After discussion, Commissioner Peterson made a motion to approve item 1, a revised color palette for the development of two commercial and one mixed use building located at the northwest corner of Tollgate Boulevard/Elliston Way (File: SP 2018-002; DR 2018-002). The motion was seconded and carried by all.

There being no further business, the meeting was adjourned at 4:31 p.m.

Huntly Gordon, Chairman

Kim Peterson, Vice Chairman



MEMO

DATE: June 8, 2018
TO: Design Review Commission
FROM: Wendy Deats, Town Planner
SUBJECT: Thompson Machinery (SP 2017-006; DR 2018-004)

BACKGROUND

On May 16, 2017, the Board of Zoning Appeals approved a special exception permit (File: BZA 2017-002) to permit the construction of an equipment sales, rental and maintenance facility with the following contingencies:

1. *All storage of equipment shall be located behind the primary retail building and screened.*
2. *All maintenance activities shall be conducted within an enclosed building located in the rear of the site.*
3. *The subject site shall be developed in accordance with all development standards identified within the Land Development Ordinance and the Design Guidelines.*
4. *Access shall be improved to public roadway standards for the south access and one access to the north is permitted and limited to a right-in/right-out access.*

On October 24, 2017, the Planning Commission approved the site plan (File SP 2017-006, DR 2017-004) for the development of a 11,430-square foot building and a 225-square foot equipment enclosure with the following contingencies:

1. *The project shall comply with all Board of Zoning Appeals conditions of approval.*
2. *Prior to the issuance of building permits, TDOT approval shall be obtained for access on Columbia Pike (SR6).*
3. *Prior to issuance of grading or building permits, construction plans shall be submitted and approved. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.*
4. *Prior to the installation of a building permit, approval from the Design Review Commission shall be obtained.*
5. *Prior to the issuance of a building permit, the landscape plan shall be revised to include additional shrubs along the south property line and the parking area within 25 feet of Columbia Pike.*
6. *Prior to installation of the landscaping, the applicant shall meet with staff to confirm location of all landscaping.*
7. *Prior to the installation of any lighting on site, a photometric survey shall be submitted and subject to Planning Commission review and approval.*
8. *Prior to the installation of signage, a master sign plan approval shall be obtained.*
9. *Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.*

On November 1, 2017, the Design Review Commission approved the architecture for the building with the following contingencies:

1. *The trellis/canopy structure shall have the split face gray block at the base of the columns to match the building.*
2. *The trellis/canopy structure shall be extended along the east elevation to cover a minimum of one of the single windows.*
3. *The wing wall screening the utilities on the north side of the building shall be extended to the west to entirely screen the utilities from the public right-of-way.*
4. *Awnings shall be added over the bay doors on the north and south elevations.*

Thompson Machinery is requesting an amendment to the approval granted by the DRC. The changes include the following:

North elevation:

1. Two additional roll-up doors with windows and a pedestrian door were added to the elevation.

Staff does not have any concern with the addition of the roll up doors or the pedestrian door.

East elevation:

2. Front windows are removed from above the trellis structure and the trellis and the glass store front is expanded horizontally across the front elevation. The trellis was extended as part of the previous DRC approval. Additional aluminum was added in place of the windows. In addition, a second metal is proposed for the front elevation.

Staff does not have any concerns with the modification to remove the windows across the roofline and extend the storefront windows and trellis. The design guidelines recommend no more than two materials therefore, Staff recommends the use of one metal. Staff has discussed this with the applicant and they will modify the materials to include a single metal paneling for the elevations.

3. Two front windows were replaced with two 3' x 5' windows without mullions.

Due to the extension of the trellis and storefront windows, a smaller window was used for the front windows. Staff does not have any concerns with the changes to the front windows.

South elevation:

4. One additional roll up door with windows is proposed along with a pedestrian door.

Staff does not have any concerns with the addition of the roll up door or pedestrian door.

West elevation:

5. Removal of the brick on the elevation.

The elevation is not visible from the public right-of-way and therefore will not have a negative visual impact.

Signage

While the applicant did provide signage on the front elevation, they have requested signage be reviewed under a separate permit to consider the sign options permitted by the Land Development Ordinance. Therefore, no signage will be approved at this time and will be reviewed by the DRC prior to installation of any signage.

RECOMMENDATION

Staff recommends that the Design Review Commission review the proposed modifications and approve the revisions as proposed.

ATTACHMENTS

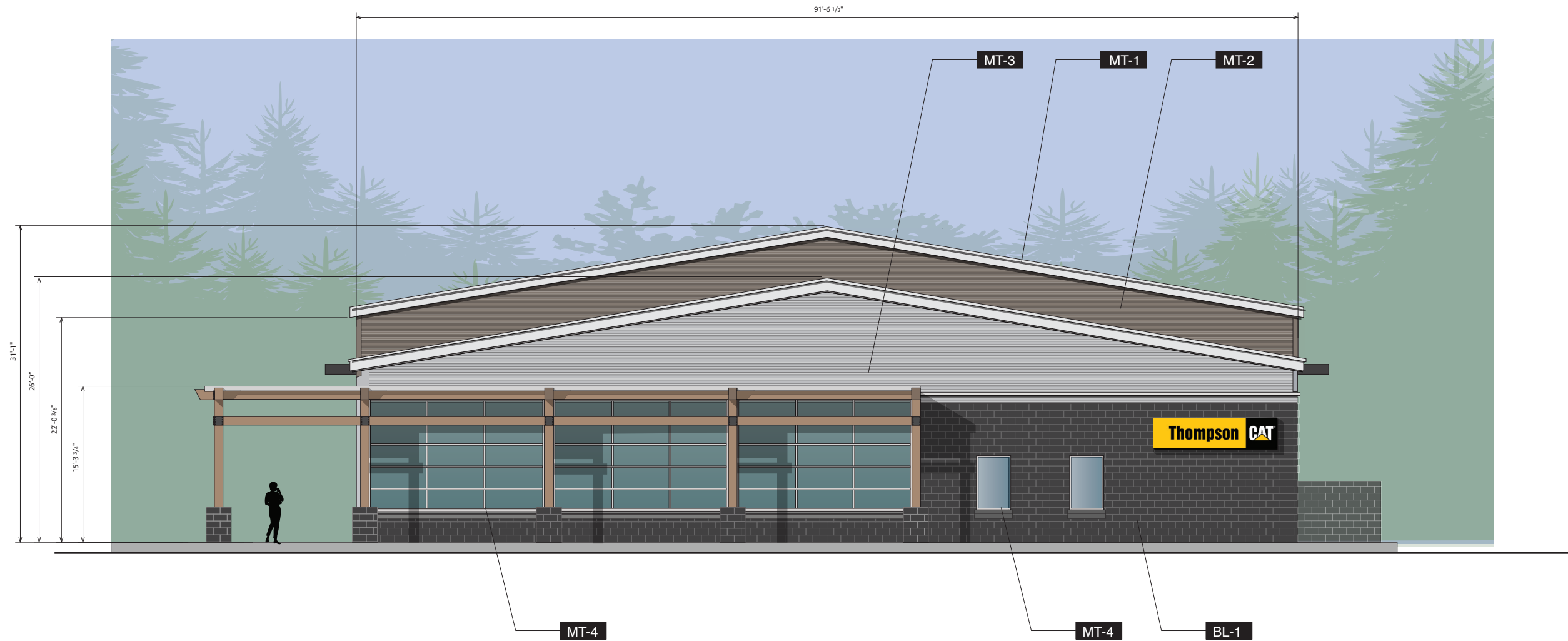
Notice of Action Letter

Approved Plans

Proposed Plans

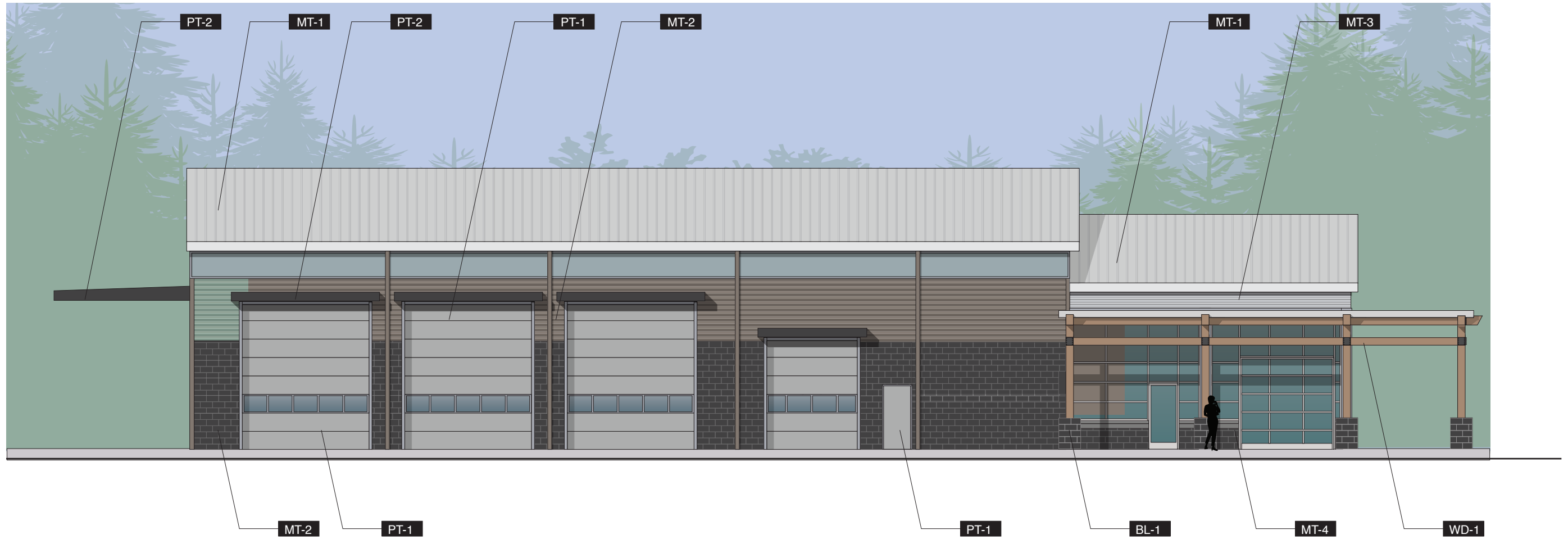


Thompson CAT | THOMPSON STATION
Exterior Elevation Design
JUNE 5, 2018



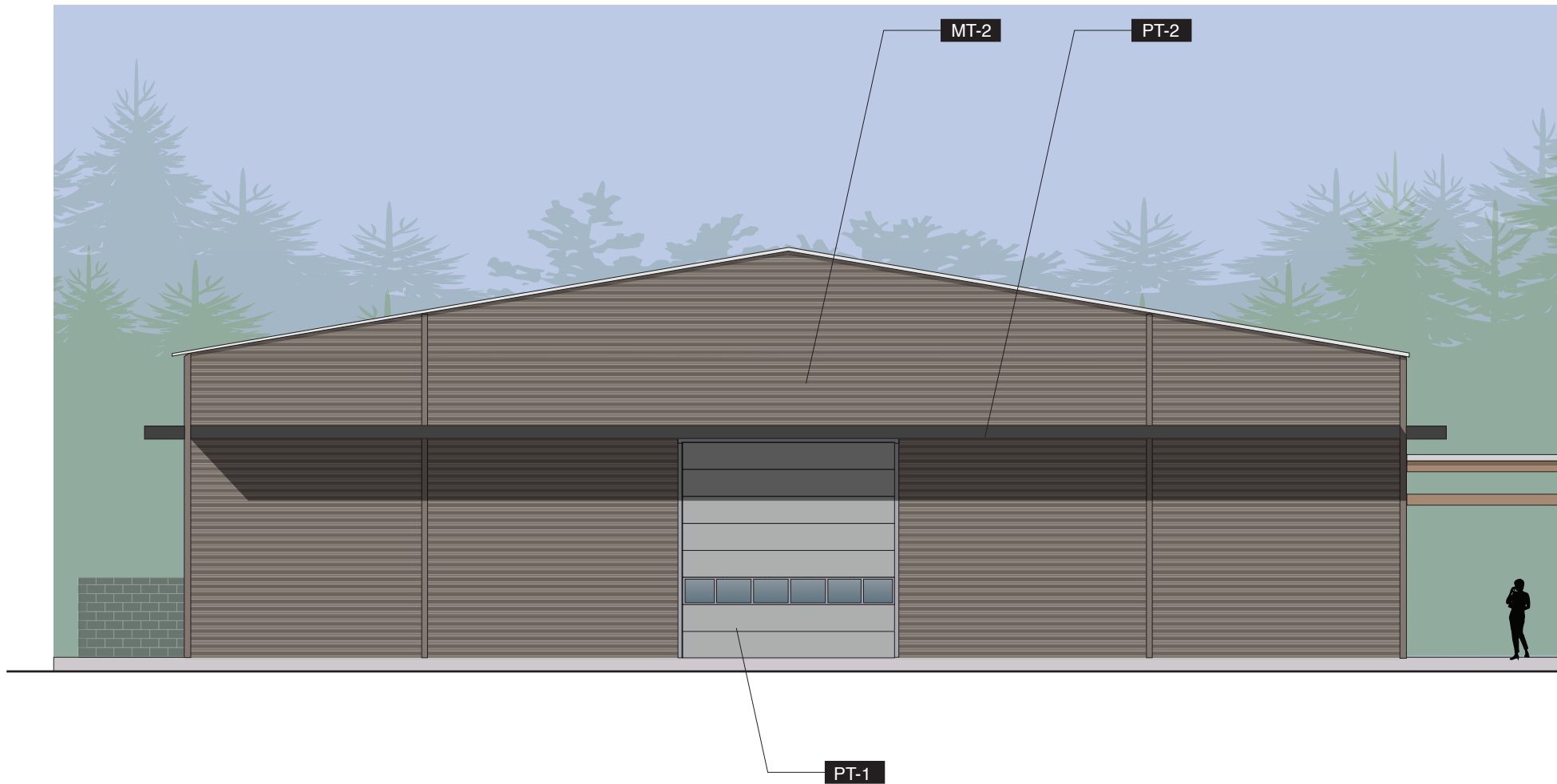
EAST ELEVATION

[HOME](#)
[ABOUT](#)
[SERVICES](#)
[CONTACT](#)

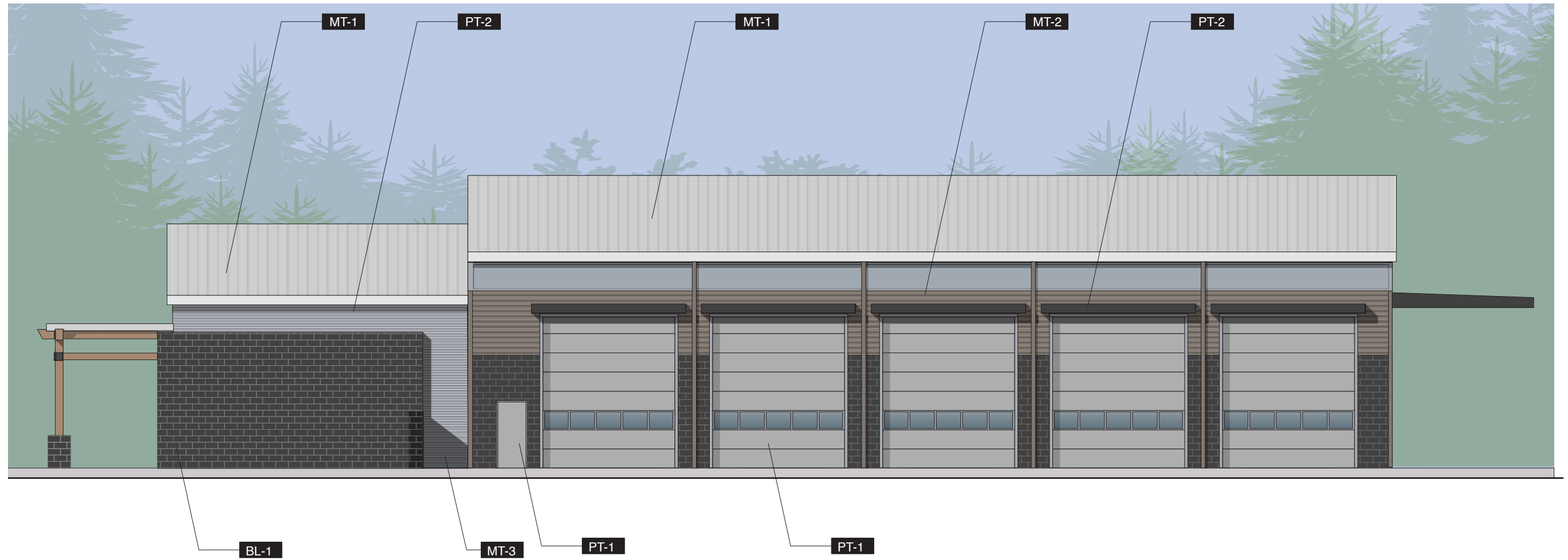


SOUTH ELEVATION

NEW WALL
 EXIST WALL
 ROOF
 FLOOR
 FINISH



WEST ELEVATION



NORTH ELEVATION



MT-1
METAL ROOF: All Roof Structures: Natural Galvalume Finish



MT-3
METAL PANEL: Building Siding galvalume standard finish, Horizontal pattern



MT-4
ALUMINUM CHANEL: Building Storefront Windows natural milled finish



PT-1
Garage and Door Panel and Frame



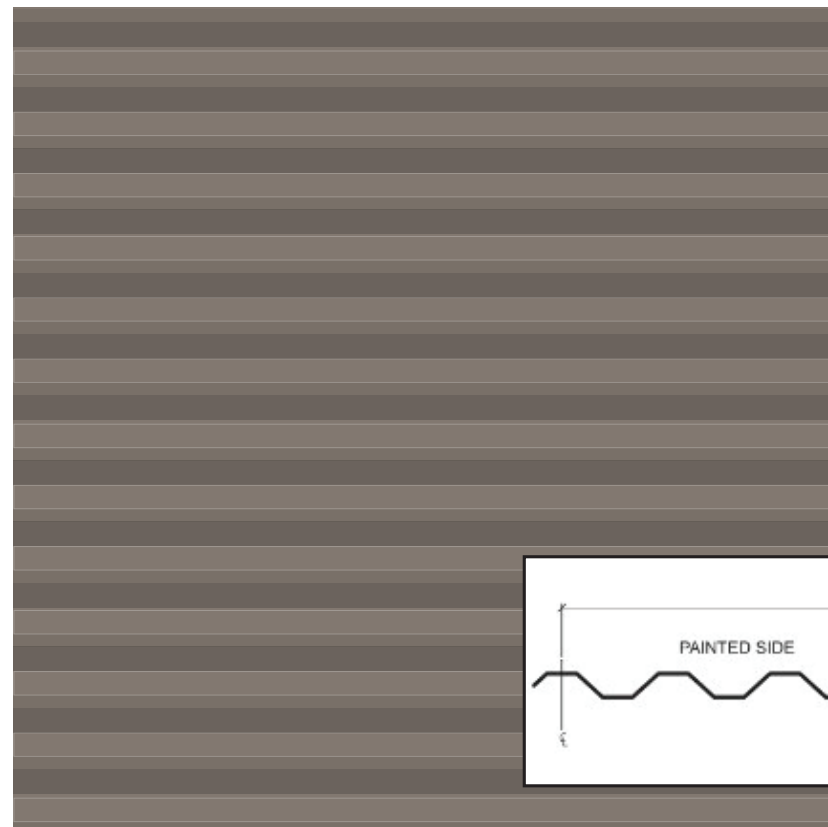
PT-2
Canopy



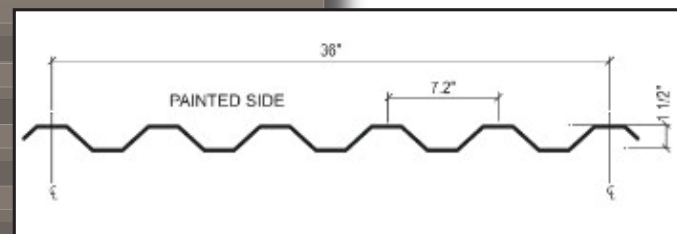
PT-3
Painted Trim Color to match Slate Gray Fabral Wall Panel



PT-4
CMU match



MT-2
ARCHITECTURAL PANEL: Fabral Wall Panel Hefti-Rib / Color: Slate Gray



WD-1
WOOD TIMBER: Applied Canopy Structure natural finish, sealed



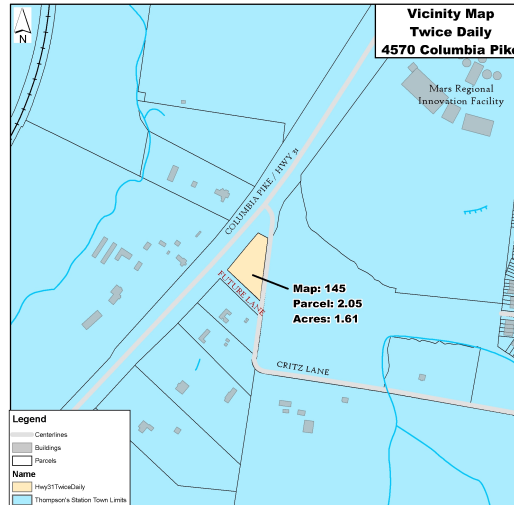
BL-1
SPLIT FACE BLOCK: Building Wainscoting COLOR TO MATCH PT-4

Thompson's Station Design Review Commission
Staff Report (SP 2018-003; DR 2018-003)
June 13, 2018

Request for design approval of a gas station/convenience center with a drive through coffee shop (Twice Daily & White Bison Coffee) located at 4570 Columbia Pike.

REQUEST

The applicant, Gresham Smith and Partners on behalf of Twice Daily is requesting approval of a site plan/design review to construct a gas station/convenience center with a drive through coffee shop at 4570 Columbia Pike within the Community Commercial (CC) zoning district.



BACKGROUND

On May 22, 2018, the Planning Commission approved the site plan for a 4,800-square foot gas station/convenience store with a drive through coffee shop with the following contingencies:

1. Prior to the approval of a grading or building permit, approval for wastewater shall be obtained from the Board of Mayor and Aldermen.
2. The canopy fascia shall be redesigned to match the colors and materials of the primary building.
3. Prior to the issuance of a building permit, the applicant shall obtain approval from the Design Review Commission.
4. Prior to the issuance of grading or building permits, TDOT approval shall be obtained for access on Columbia Pike (SR6) and a copy of the written approval from TDOT shall be submitted to the Town.
5. Prior to the issuance of grading or building permits, construction plans shall be submitted and approved. Any upgrades to the utility infrastructure for the project shall be incorporated into the construction plans and shall be completed by the applicant in accordance with approvals.
6. Prior to the installation of any signage, the applicant shall obtain approval from the Design Review Commission. All signage shall comply with the standards set forth within the Land Development Ordinance.
7. Prior to the installation of any landscaping, a pre-installation meeting shall occur with staff to confirm all landscaping is installed per approved plans. Irrigation shall be installed in all landscape areas.

8. Prior to the issuance of a building permit, the landscape shall be revised to incorporate Buffer Type 1 along the interior property line and a surety shall be submitted to the Town in the amount of \$40,382 for landscaping.
9. Any change of use, modification or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.

Analysis

The Design Guidelines seek to promote design excellence in character and compatibility of development to its surroundings. The subject site is 1.61 acres and has high visibility located at the northeast corner of Columbia Pike and Critz Lane. The project, a 4,800-square foot gas station/convenience center with a drive through coffee shop and a gas canopy with 16 gas pumps will have two entrances, one on Columbia Pike and one on Critz Lane. Both entrances will consist of a stamped concrete with a herringbone pattern. A landscape planter is proposed along Columbia Pike (10 feet, six inches in width) and along Critz Lane (10-feet in width) between the roadway and the proposed drive through, which will wrap around the building along both road frontages.

The primary building has an overall height of 17 feet, eight inches with a maximum height of 21½ feet at the entrance and 20 feet, one inch for the rear (Columbia Pike) parapet. The building has a flat roof with roof mounted equipment and access to the roof from the interior of the building. The flat roof has a bronze metal coping along the top edge of the entire roofline. While the building is oriented toward the interior of the site for public access to the store and proximity to the gas pumps, the rear elevation facing Columbia Pike is proposed to have a faux front façade to comply with the intent of the LDO.

The elevation fronting Columbia Pike consists of two brick colors, a center projection with added height to match the opposite (front) elevation, a door and two windows with frosted glass. This elevation also has two vertical elements with frosted doors. The elevation fronting Critz Lane consists of two brick materials, four vertical elements with spandrel glass and a drive through window with a metal awning. The interior or front elevation consists of faux wood metal paneling, a vertical element with added height and the entry sliding doors with a glass storefront. The brick from the side elevations wrap the corners of this entry elevation. The north elevation consists of two bricks with three vertical architectural treatments consistent with the Columbia Pike and Critz Lane elevations except for the proposed glass which is spandrel on the Critz Lane and north elevations and frosted glass on the Columbia Pike elevation. The building also has a glass storefront however, it is not clear if this storefront is the spandrel or frosted glass.

The guidelines recommend no more than two materials should be utilized on any exterior wall. The front elevation is brick and a faux wood aluminum material and the remaining elevations are brick with a bronze metal coping that runs along the top of the building on all four sides. The guidelines also recommend against using faux materials, therefore, for authenticity of the building, Staff recommends the material be changed to a wood siding or use the brick proposed for the other elevations. Staff also has concerns about the appearance of three different glass styles and therefore, recommends utilizing one style on the entire building to eliminate the potential for an inconsistent look on the building.

The canopy structure has a maximum height of 15 feet, however the canopy fascia does not match the primary building materials and colors. The canopy is proposed to have a tan aluminum composite material. The columns are not identified on the plans, however, the previous plan showed brick columns. While the canopy does identify three locations for a “Shell” logo, all signage will be reviewed under separate permit and subject to DRC review prior to any installation. Staff recommends

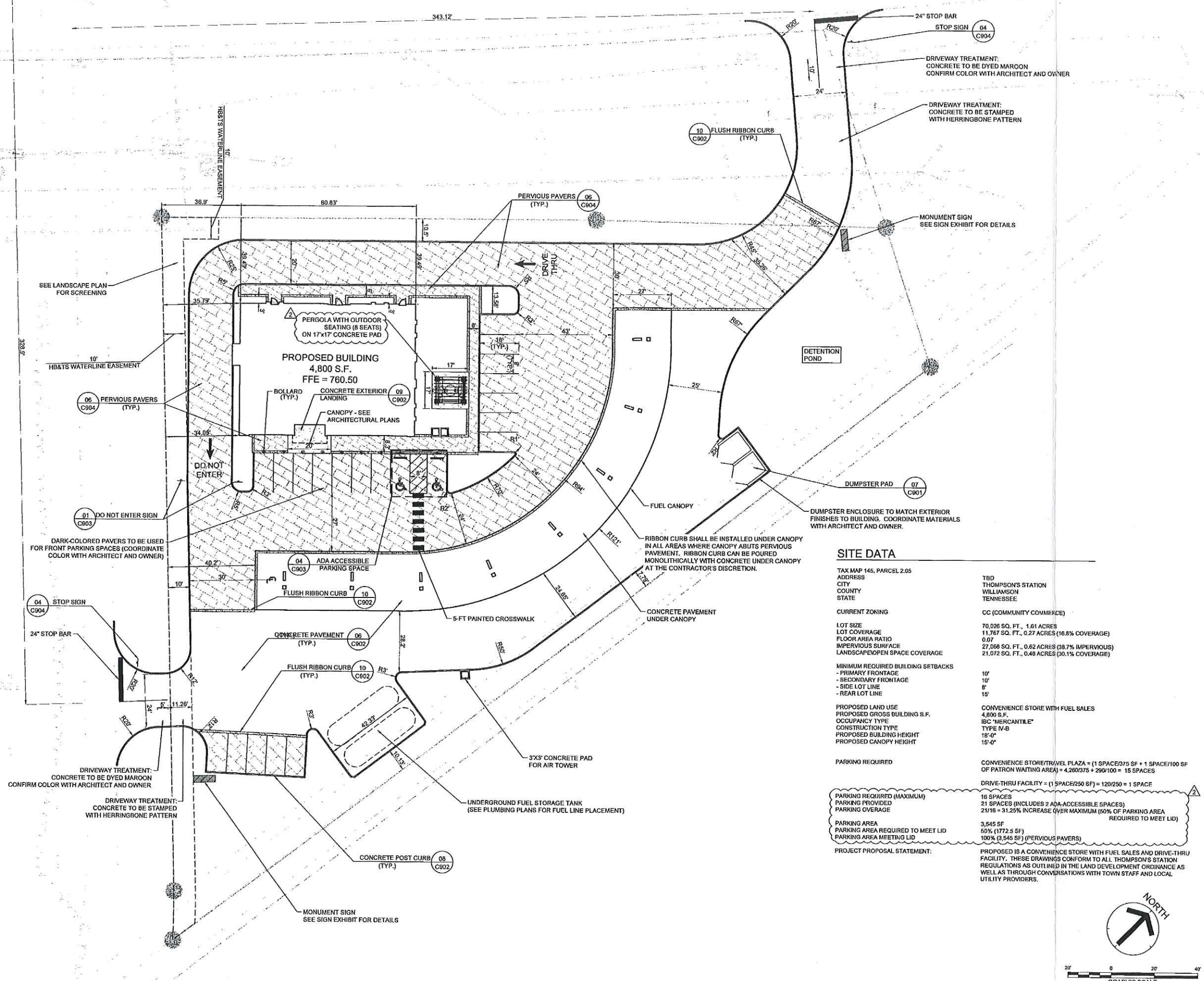
the fascia be modified to include use of the proposed materials and colors of the primary structure as required.

RECOMMENDATION

Staff recommends the Design Review Commission make a determination on the design as submitted.

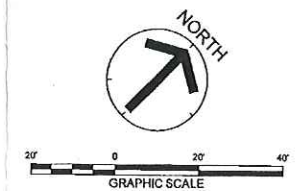
ATTACHMENTS

Design packet



SITE DATA

TAX MAP 145, PARCEL 2.05	TBD
ADDRESS	THOMPSON'S STATION
CITY	WILLIAMSON
COUNTY	TENNESSEE
STATE	
CURRENT ZONING	CC (COMMUNITY COMMERCE)
LOT SIZE	70,026 SQ. FT., 1.61 ACRES
LOT COVERAGE	11,767 SQ. FT., 0.27 ACRES (16.8% COVERAGE)
FLOOR AREA RATIO	0.07
IMPERVIOUS SURFACE	27,058 SQ. FT., 0.62 ACRES (38.7% IMPERVIOUS)
LANDSCAPE/OPEN SPACE COVERAGE	21,072 SQ. FT., 0.48 ACRES (30.1% COVERAGE)
MINIMUM REQUIRED BUILDING SETBACKS	
- PRIMARY FRONTAGE	10'
- SECONDARY FRONTAGE	10'
- SIDE LOT LINE	8'
- REAR LOT LINE	15'
PROPOSED LAND USE	CONVENIENCE STORE WITH FUEL SALES
PROPOSED GROSS BUILDING S.F.	4,800 S.F.
OCCUPANCY TYPE	IBC "MERCANTILE"
CONSTRUCTION TYPE	TYPE IV-B
PROPOSED BUILDING HEIGHT	18'-0"
PROPOSED CANOPY HEIGHT	15'-0"
PARKING REQUIRED	CONVENIENCE STORE/TRAVEL PLAZA = (1 SPACE/375 SF + 1 SPACE/100 SF OF PATRON WAITING AREA) = 4,260/375 + 290/100 = 15 SPACES
	DRIVE-THRU FACILITY = (1 SPACE/250 SF) = 120/250 = 1 SPACE
PARKING REQUIRED (MAXIMUM)	16 SPACES
PARKING PROVIDED	21 SPACES (INCLUDES 2 ADA-ACCESSIBLE SPACES)
PARKING OVERAGE	21/16 = 31.25% INCREASE OVER MAXIMUM (50% OF PARKING AREA REQUIRED TO MEET LID)
PARKING AREA	3,545 SF
PARKING AREA REQUIRED TO MEET LID	50% (1,772.5 SF)
PARKING AREA MEETING LID	100% (3,545 SF) (PERVIOUS PAVERS)
PROJECT PROPOSAL STATEMENT:	PROPOSED IS A CONVENIENCE STORE WITH FUEL SALES AND DRIVE-THRU FACILITY. THESE DRAWINGS CONFORM TO ALL THOMPSON'S STATION REGULATIONS AS OUTLINED IN THE LAND DEVELOPMENT ORDINANCE AS WELL AS THROUGH CONVERSATIONS WITH TOWN STAFF AND LOCAL UTILITY PROVIDERS.



Design Services
For The Built
Environment

- Atlanta GA Knoxville TN
- Birmingham AL Louisville KY
- Cincinnati OH Memphis TN
- Columbus OH Nashville TN
- Dallas TX Richmond VA
- FL Lauderdale FL Tallahassee FL
- Jackson MS Tampa FL
- Jacksonville FL

**GRESHAM
SMITH AND
PARTNERS**

222 2nd Avenue South, Suite 1400
Nashville, TN 37203
615.770.8100

WWW.GSPNET.COM

SITE DEVELOPMENT PLANS FOR
TWICE DAILY CONVENIENCE STORE
CRITZ LANE

twicedaily

TWICE DAILY STORE #6182
COLUMBIA PIKE AND CRITZ LANE
THOMPSON'S STATION, TENNESSEE



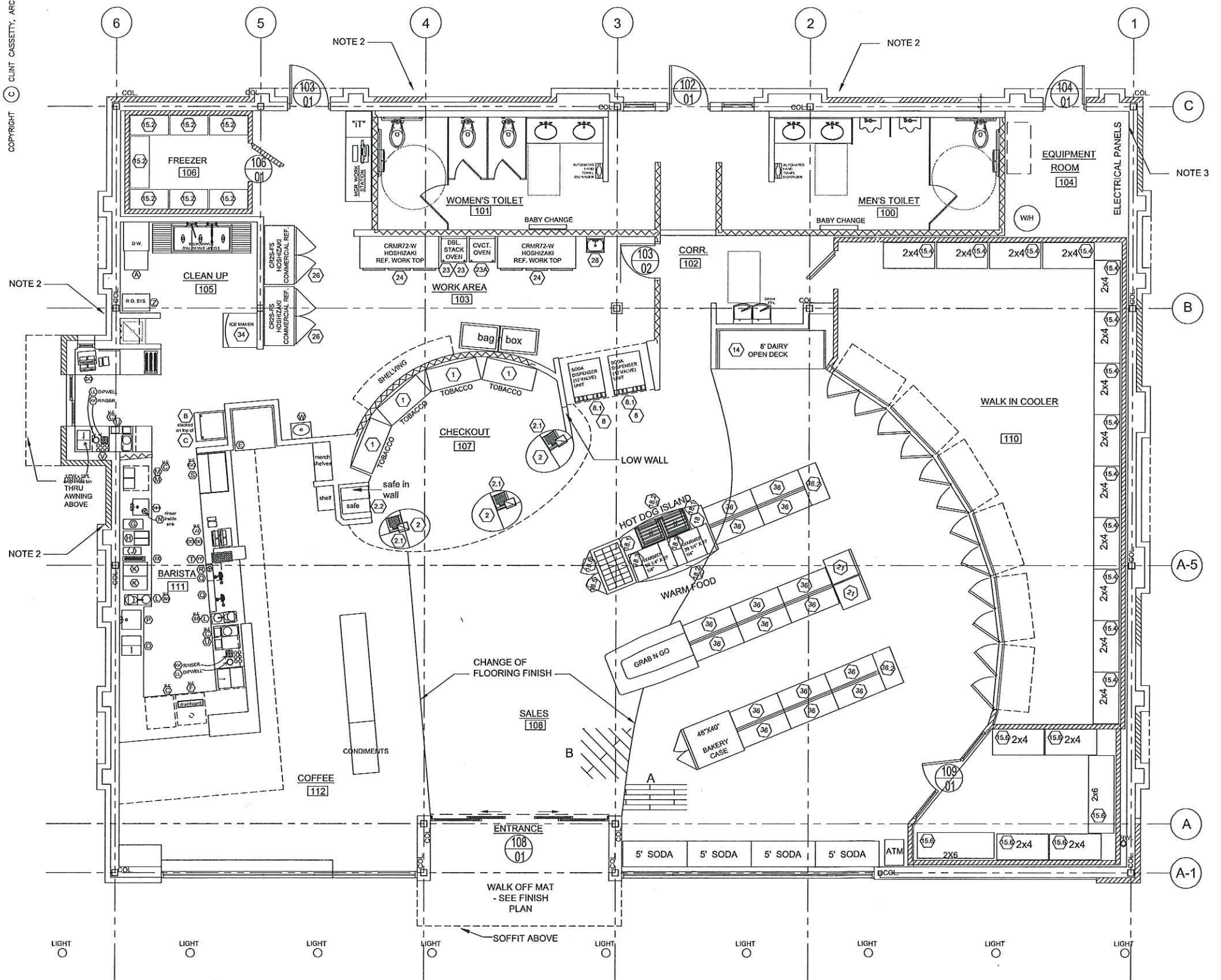
Revision		
No.	Date	Description
1	01.11.18	PC & DRG PACKAGES
2	03.15.18	TOWN COMMENTS

SITE LAYOUT PLAN

C200

PROJECT: 29956.05
DATE: SEPTEMBER 8, 2017

C:\39505\DWG\C200.dwg - Revit - 2017-09-08 10:28:41 AM



WALL LEGEND:

	2-HOUR FIRE PARTITION
	1-HOUR FIRE AND SMOKE PARTITION
	1-HOUR FIRE PARTITION
	SOUND PARTITION
	NEW NON-RATED PARTITION

FIRE RATED WALLS NOT SHOWN FOR CLARITY OF SOUND WALLS. SEE A0.0 FOR FIRE RATED WALLS.

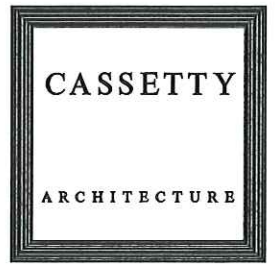
GENERAL NOTES

1. SEE CIVIL SITE DRAWINGS FOR MENU BOARD, BOLLARDS, SCREEN WALL, AND SIDEWALK LOCATIONS AND DETAILS.
2. PRIOR TO EXCAVATION AND FOOTER WORK, COORDINATE PLUMBING WASTE LINES AND FOUNDATION AT ALL PERIMETER SLAB AND COLUMN FOUNDATION.
3. GENERAL CONTRACTOR SHALL COORDINATE ALL TRADES AND VENDORS TO PREVENT UTILITY LINES EXPOSED ON THE EXTERIOR OF THE BUILDING. ROUTE GAS LINES, ETC. INSIDE THE BUILDING.

1 NOTED FLOOR PLAN

A NEW FACILITY FOR THE
TWICE DAILY # 6182

 CRITZ LANE & COLUMBIA PIKE
 THOMPSON'S STATION
 TN 37179



CASSETTY ARCHITECTURE

901 West Main Street
 Hendersonville, TN 37075
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 www.cassettyarchitecture.com

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 Fax (615) 313-3612 1-800-779-7921

twicedaily™

ORIG. ISSUE DATE:
DRC Submittal
 06/13/18
 PROJECT NUMBER
 4416

NOTED FLOOR PLAN
A1.0



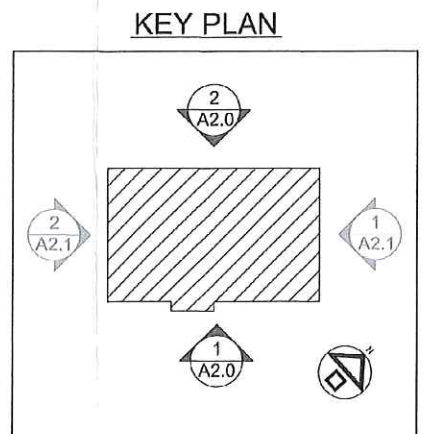
(FACING COLUMBIA PIKE)
2
 ELEVATION - REAR
 1/4" = 1'



(FACING OLD CRITZ LANE)
1
 ELEVATION - FRONT
 1/4" = 1'

See sheet A2.1
 for material legend

GENERAL SIGN NOTES
 1. COORDINATE WITH OWNER AND SIGN VENDOR FOR ALL FINAL SIZES FOR BUILDING MOUNTED SIGNS. VERIFY RECESS HEIGHT, WIDTH, AND DEPTH WITH SIGN MANUFACTURER.



A NEW FACILITY FOR THE
TWICE DAILY # 6182

 CRITZ LANE & COLUMBIA PIKE
 THOMPSON'S STATION
 TN 37179

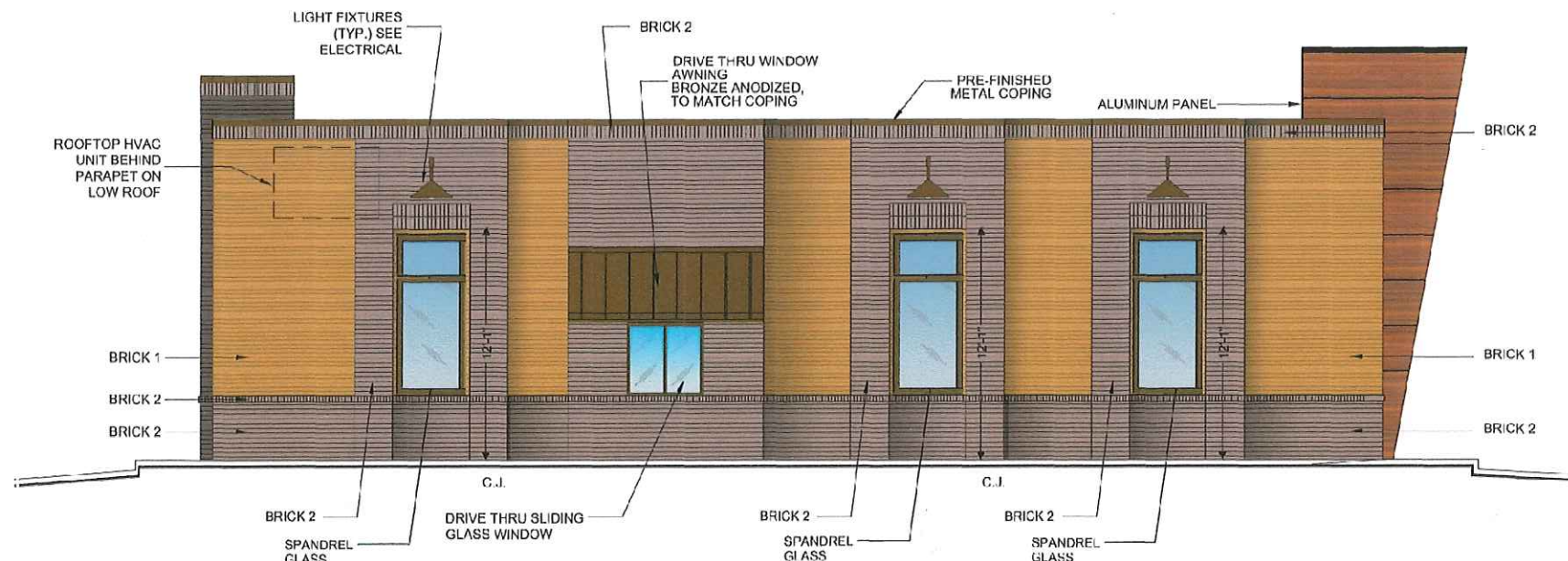
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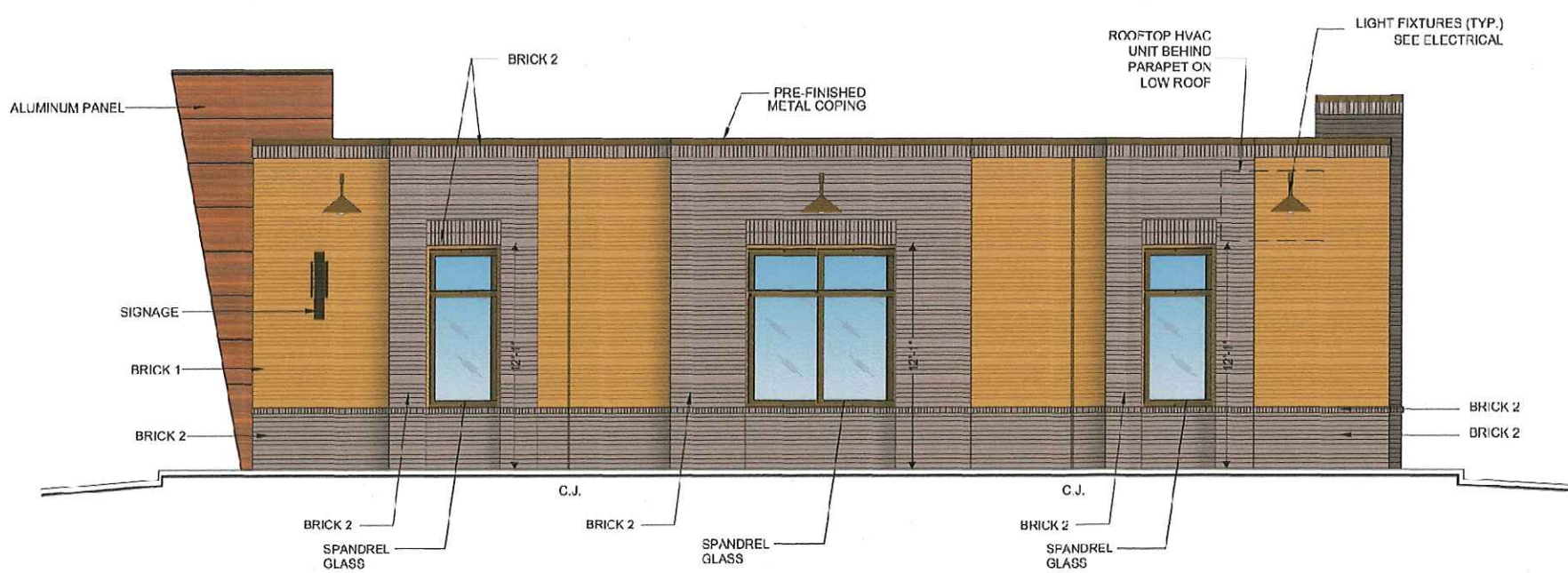
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EXTERIOR
 ELEVATIONS
A2.0



(FACING CRITZ LANE)
ELEVATION - SIDE
 2
 1/8" = 1'
 0 1 2 4 FEET



(FACING HIGHWAY 840)
ELEVATION - SIDE
 1
 1/8" = 1'
 0 1 2 4 FEET

EXTERIOR MATERIALS LEGEND

BRICK 1 VENEER = CAROLINA CERAMICS modular - "VALENCIA" (brown range)
 BRICK 1 MORTAR = HALF BUFF (match LaFarge Beige)

BRICK 2 VENEER = FORTERRA "CHOCOLATE WIRE CUT"- 4212 modular - COLUMBIA 4 PLANT
 BRICK 2 MORTAR = GEMEX "COCOA" or EQUAL

COPING = BRONZE ANODIZED
 GLASS = 1" INSULATED CLEAR LOW-E
 ALUMINUM FRAME = WINDOW, DK BRONZE ANODIZED
 PANEL = FAUX WOOD - REYNOLBOND ALUMINUM PANELS Standard Color - "Mahogany Brown" series 200-2 r.o.t. and return
 Caulk-Black standard color - 795 Dow Corning

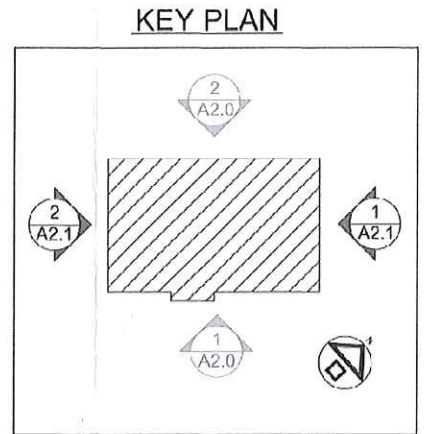
EXTERIOR MATERIALS PERCENTAGES

BRICK 1 = 27.40%
 BRICK 2 = 43.10%

GLASS = 43.10%
 METAL = 11.60%

GENERAL NOTES

1. BUILDING MOUNTED LIGHT FIXTURE FINISH TO BE BRONZE ANODIZED.



A NEW FACILITY FOR THE
TWICE DAILY # 6182

CRITZ LANE & COLUMBIA PIKE
 THOMPSON'S STATION
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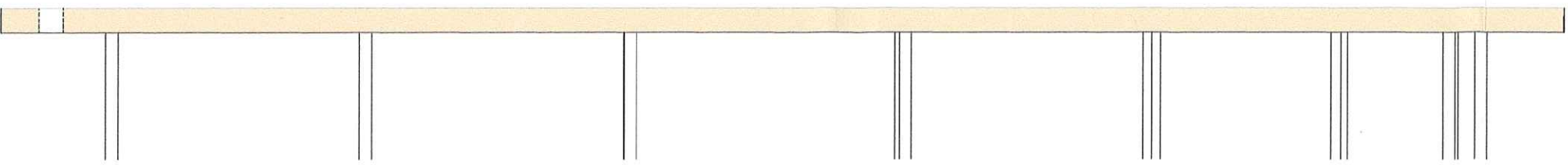
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EXTERIOR ELEVATIONS
A2.1

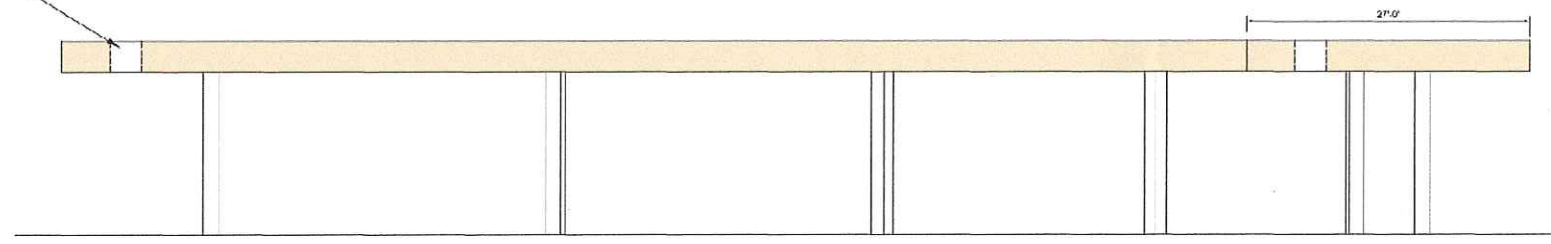
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T.O. FUEL CANOPY 18'-6"
 B.O. FUEL CANOPY 15'-6"



3 CANOPY - ELEVATION
 1/8" = 1'
 0 2 4 FEET

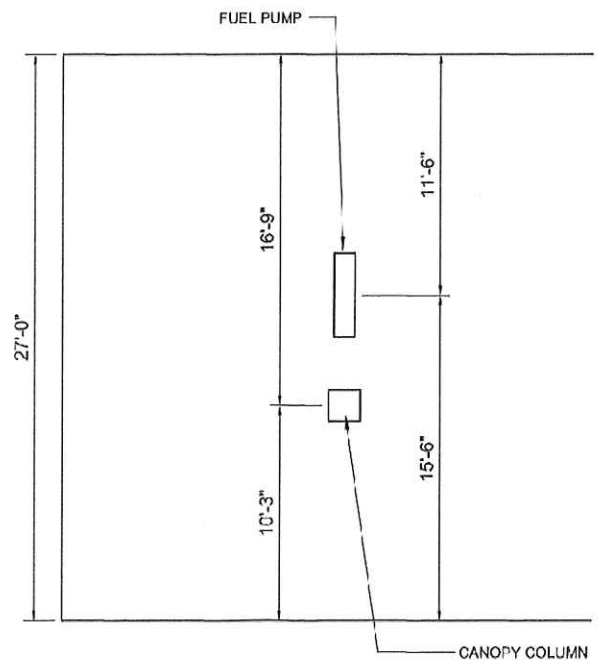
LOCATION OF SHELL FUEL CANOPY SIGNAGE INDICATED BY DOTTED LINE, TO BE IN ACCORDANCE WITH TOWN OF THOMPSON STATION DESIGN GUIDELINES



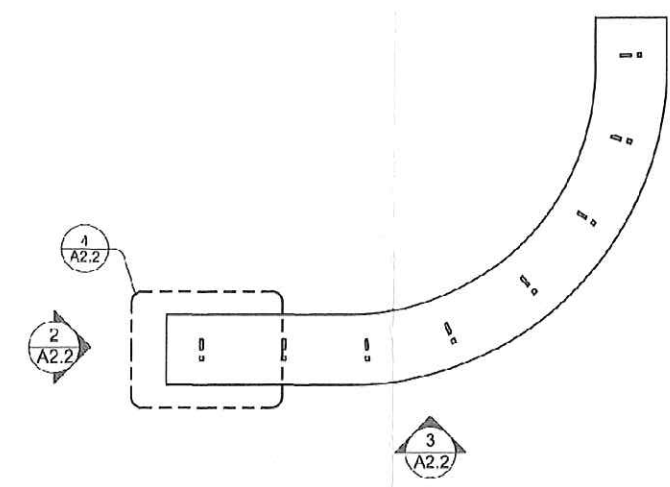
2 CANOPY - ELEVATION
 1/8" = 1'
 0 2 4 FEET



5 FUEL CANOPY PRECEDENT IMAGE



4 CANOPY - ENLARGED PLAN
 1/4" = 1'
 0 1 2 4 FEET



1 CANOPY - PLAN
 1/32" = 1'
 0 8 16 32 FEET

A NEW FACILITY FOR THE
TWICE DAILY #6182

 CRITZ LANE & COLUMBIA PIKE
 THOMPSON'S STATION
 TN 37179

CASSETTY
 ARCHITECTURE



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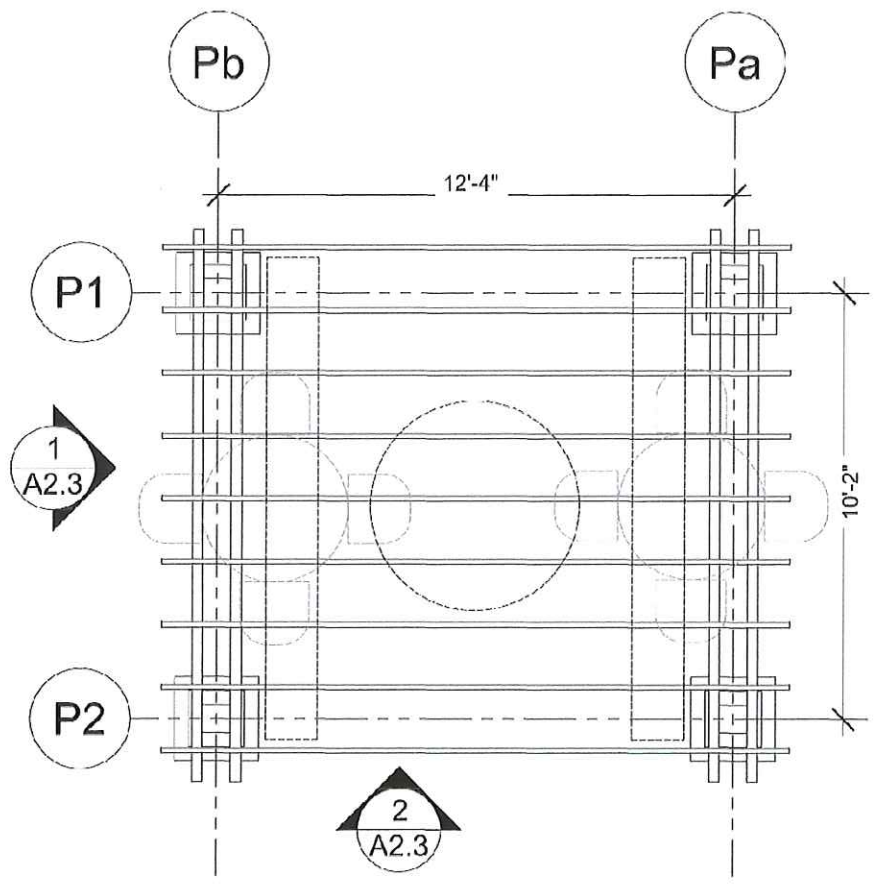
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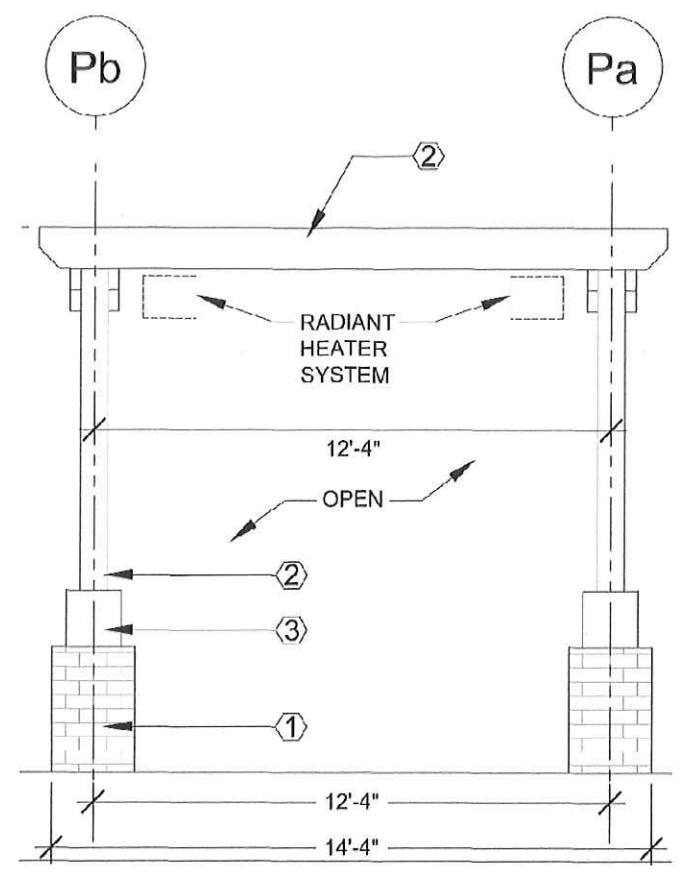
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FUEL
 CANOPY
A2.2

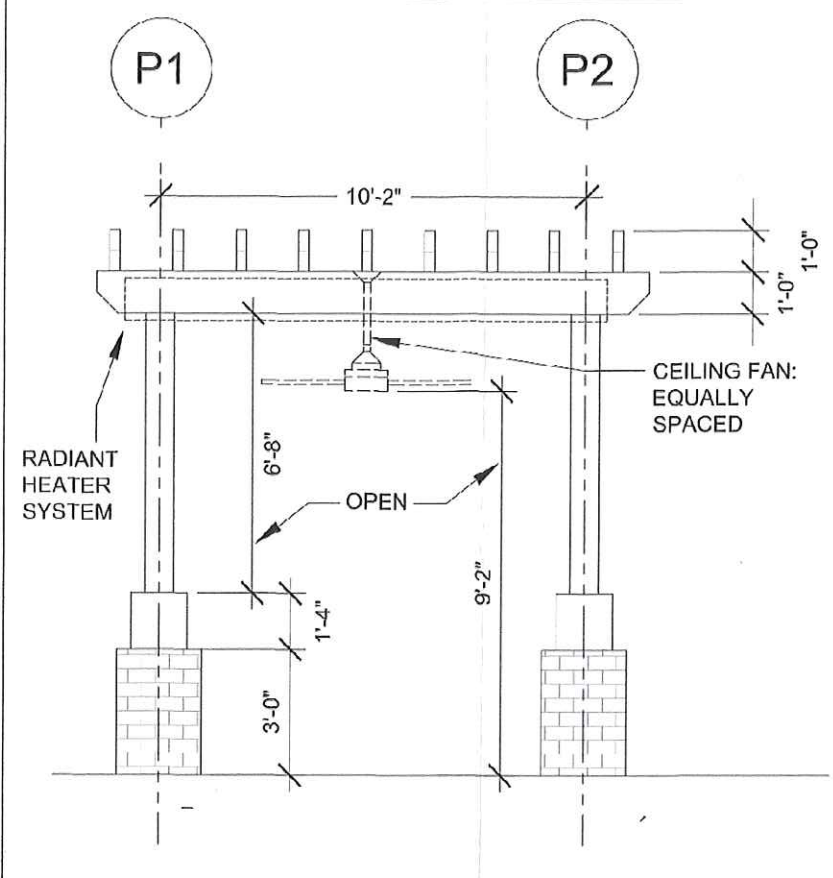
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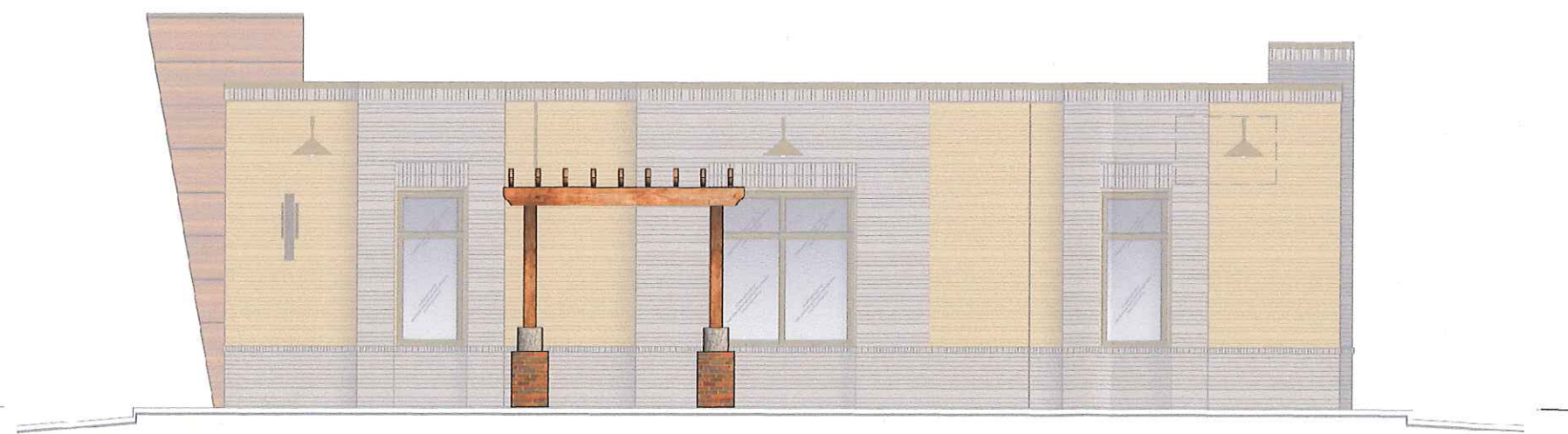
3 PERGOLA PLAN
1/2" = 1'-0"
0 1 2 FEET



2 PERGOLA - ELEVATION
1/2" = 1'-0"
0 1 2 FEET



1 PERGOLA - ELEVATION
1/2" = 1'-0"
0 1 2 FEET

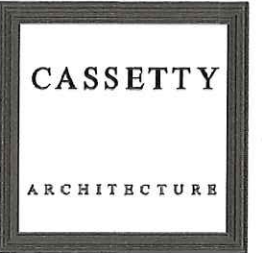


4 EAST ELEVATION WITH PERGOLA
1/2" = 1'-0"
0 2 4 FEET

MATERIALS LEGEND

①	BRICK 1 VENEER = CAROLINA CERAMICS modular - "VALENCIA" (brown range) BRICK 1 MORTAR = HALF BUFF (match LaFarge Beige)
②	STAIN - 'CABOT GOLD' Exterior Wood Stain 'Moonlight Mahogany'
③	BORAL - 'French Gray Cast Fit' 8" x 16" Flat

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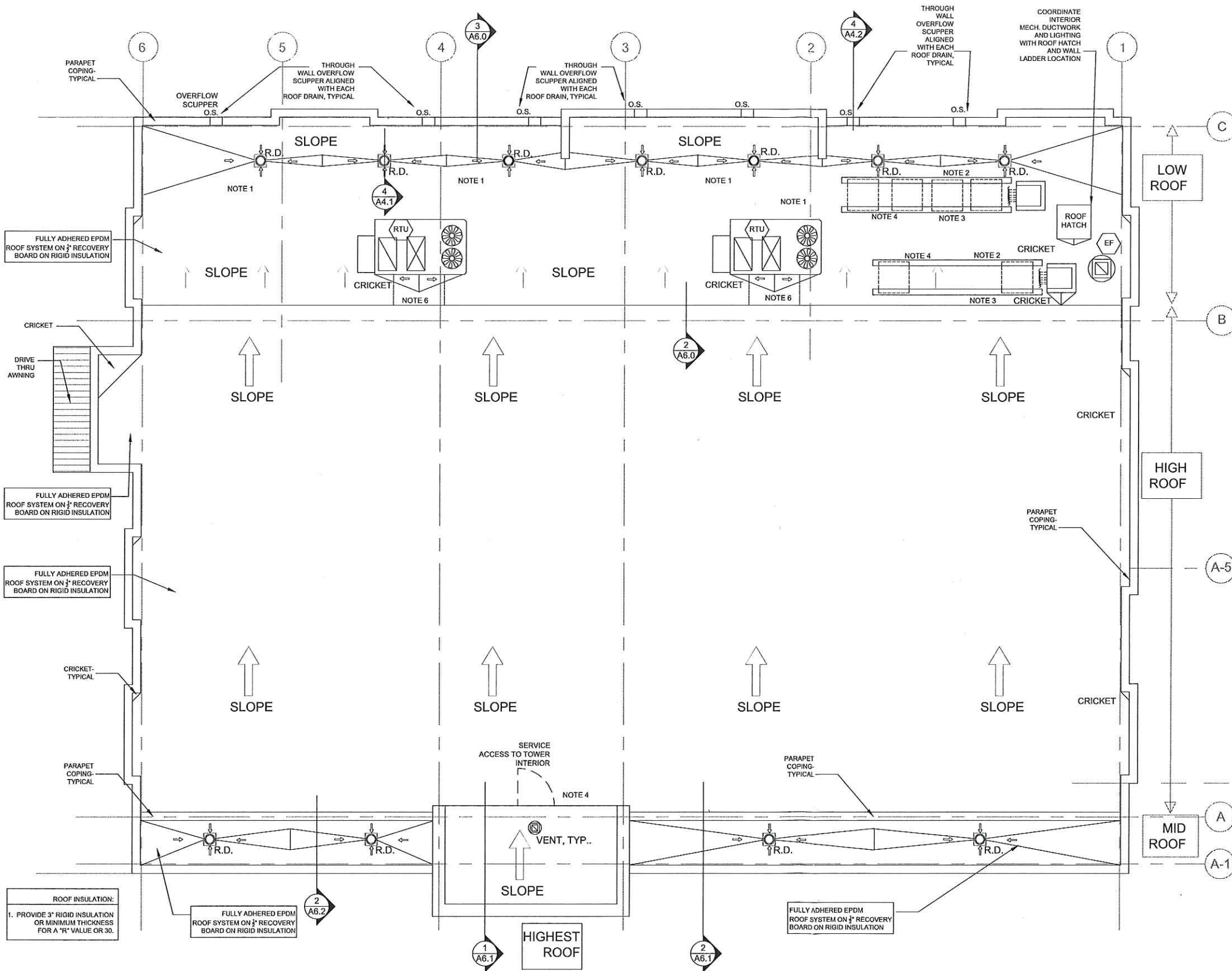
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PERGOLA ELEVATIONS
A2.3



ROOF INSULATION:
1. PROVIDE 3" RIGID INSULATION OR MINIMUM THICKNESS FOR A 'R' VALUE OR 30.

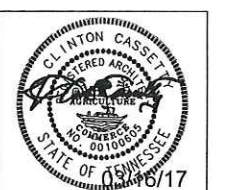
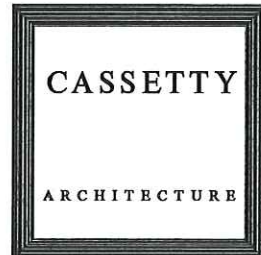
FULLY ADHERED EPDM ROOF SYSTEM ON 3/4" RECOVERY BOARD ON RIGID INSULATION

FULLY ADHERED EPDM ROOF SYSTEM ON 3/4" RECOVERY BOARD ON RIGID INSULATION

1 ROOF PLAN
0 1 2 4 FEET

- NOTES:
1. CRICKET AT UNIT CURB (TYP.)
 2. BOOT AT ROUND POST SUPPORTS
 3. BRIDGE FRAME FOR CONDENSERS
 4. SEE INSULATION DETAIL 3 ON SHEET A4.1
 5. SEE MECHANICAL DWGS.
 6. DUCTWORK AT SIDE WALL SEE MECHANICAL DWGS.
 7. SEE REAR ELEVATIONS AND COORDINATE SCUPPER LOCATIONS PER OPENINGS INDICATED ON THE ELEVATION.
 8. COMBINE VENTS BELOW ROOF DECK WHEN POSSIBLE TO MINIMIZE ROOF PENETRATIONS. PAINT VENTS TO MATCH ROOF
 9. SEE DETAIL 2/A4.1.
 10. ROOF HATCH ACCESSIBLE VIA RETRACTABLE LADDER - PRECISION LADDER 'RL SERIES' OR EQUAL.
 11. O.S. = OVERFLOW SCUPPER
 12. MEMBRANE ROOF SYSTEM TO BE FULLY ADHERED EPDM ROOF SYSTEM ON 3/4" RECOVERY BOARD ON RIGID INSULATION

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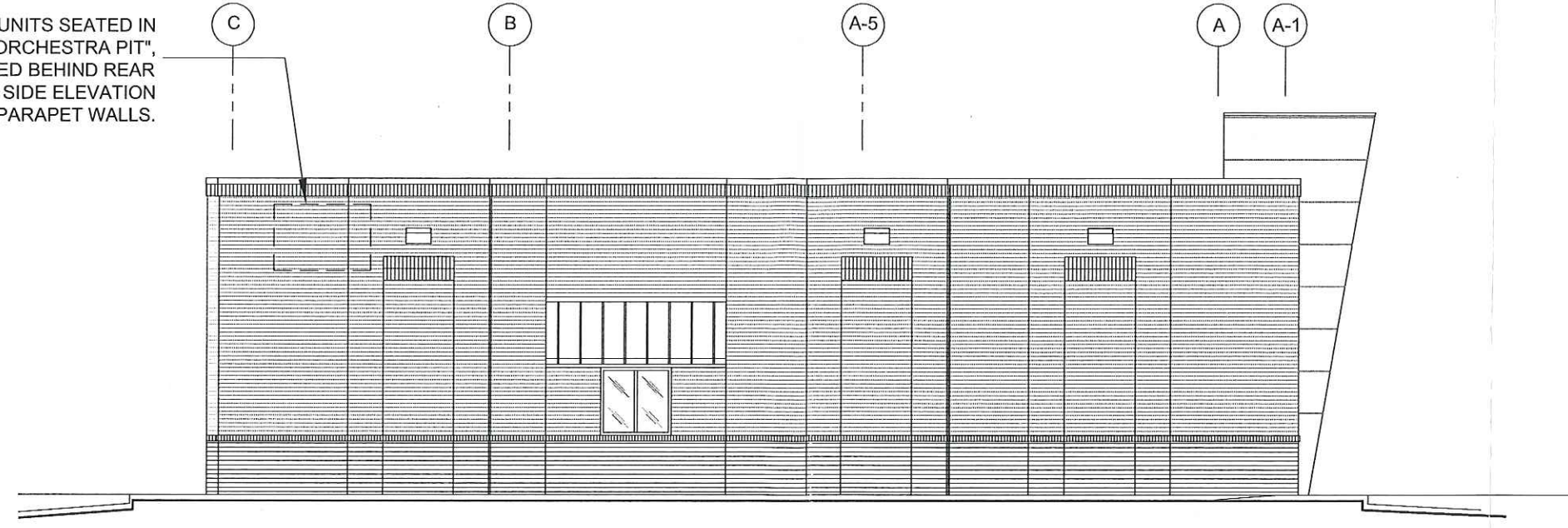
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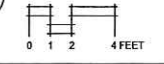
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ROOF PLAN
A4.0

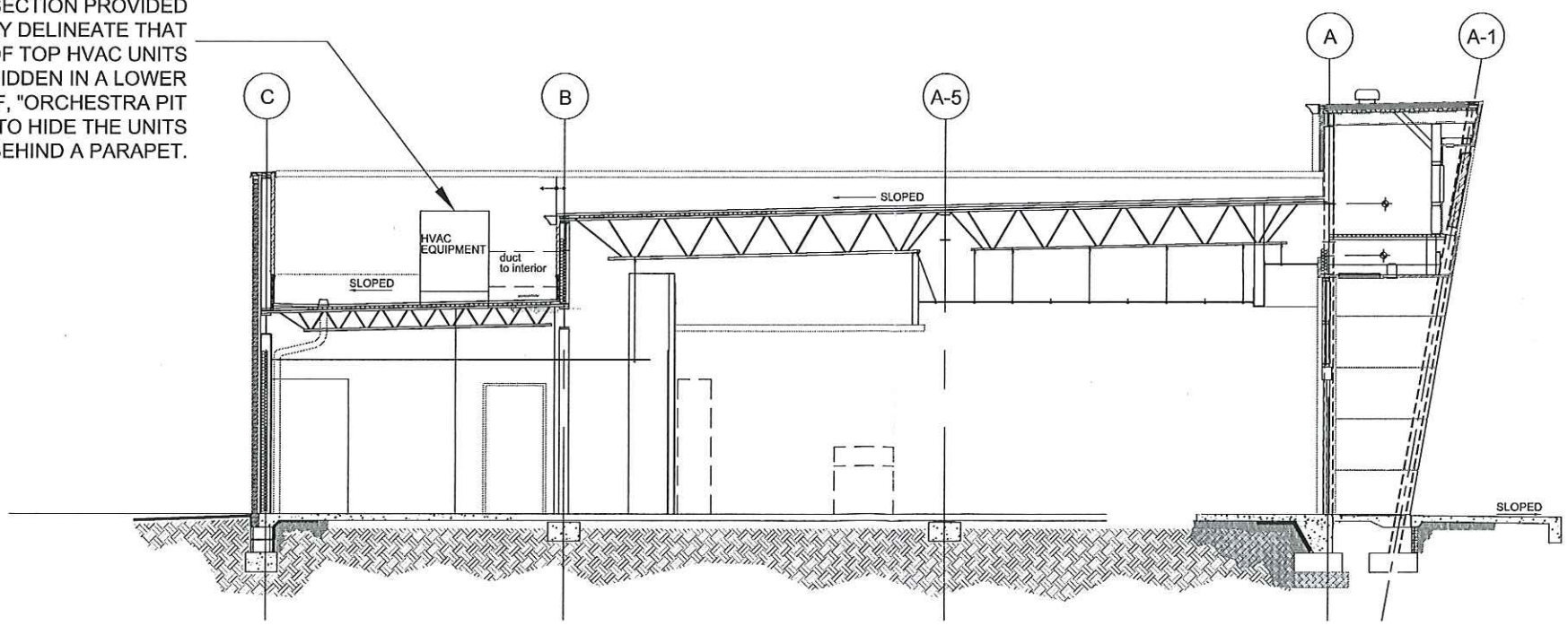
HVAC UNITS SEATED IN "ORCHESTRA PIT", CONCEALED BEHIND REAR AND SIDE ELEVATION PARAPET WALLS.



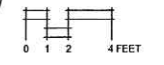
2 CORRESPONDING BUILDING ELEVATION



BUILDING SECTION PROVIDED TO CLEARLY DELINEATE THAT THE ROOF TOP HVAC UNITS ARE HIDDEN IN A LOWER ROOF, "ORCHESTRA PIT STYLE", TO HIDE THE UNITS BEHIND A PARAPET.



1 BUILDING SECTION - HVAC "ORCHESTRA PIT"



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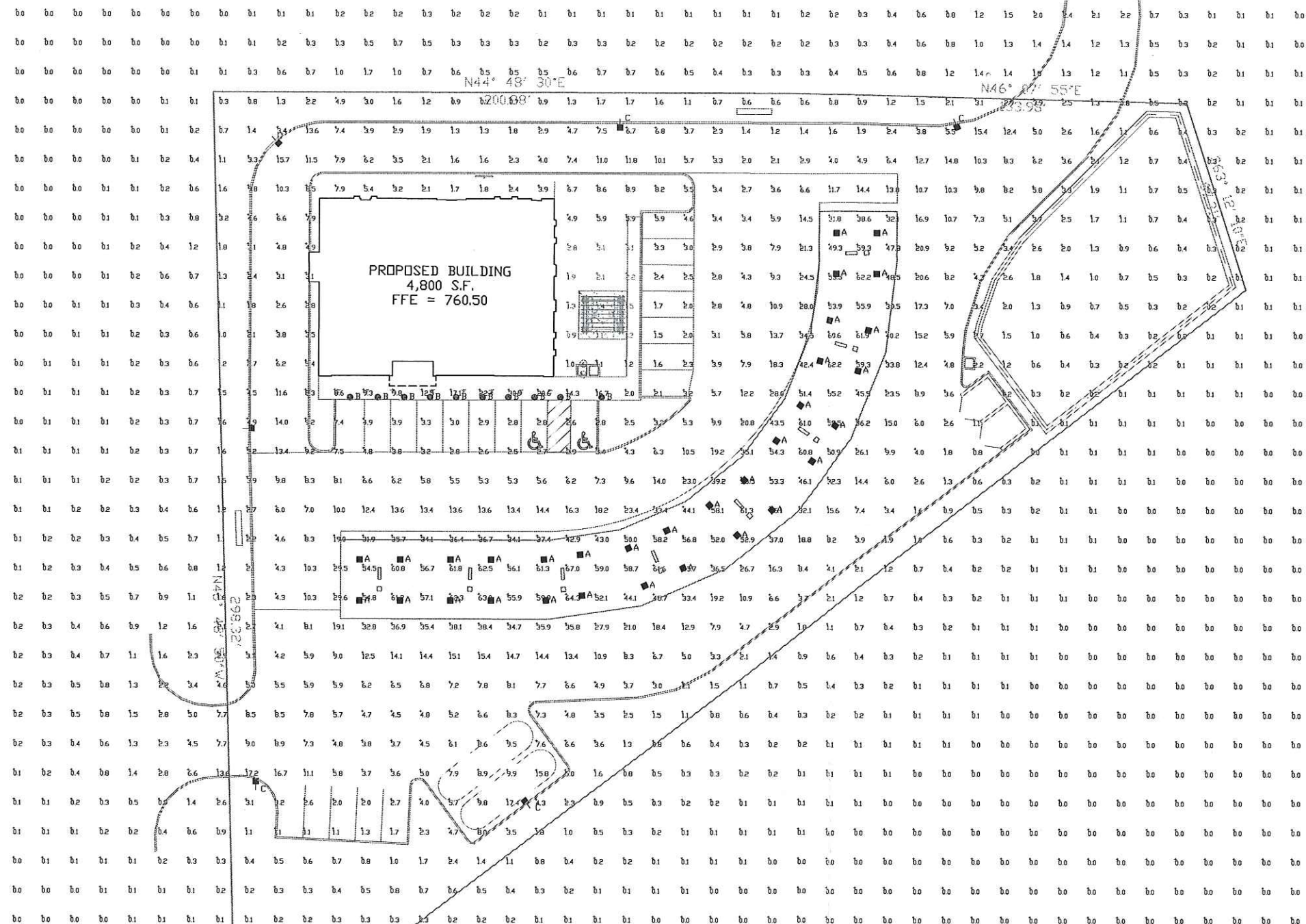
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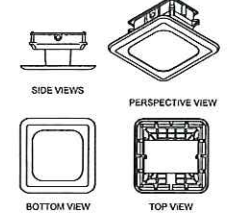
BUILDING SECTION
A5.0

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts	
	32	A	SINGLE	CRUS-SC-LED-HO-50 MTD @ 15'	1.000	N.A.	18633	132.4	
	10	B	SINGLE	XBVR-ID-LED-24-400-CW-UE	1.000	N.A.	1338	38	
	7	C	SINGLE	XGBM-FT-LED-HO-CW-SINGLE-22*POLE+2*BASE	1.000	N.A.	29070	300.8	

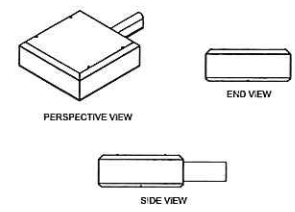
Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	Illuminance	Fc	5.40	67.0	0.0	N.A.	N.A.
CANOPY	Illuminance	Fc	53.14	67.0	31.8	1.67	2.11
INSIDE CURB	Illuminance	Fc	9.66	42.9	0.8	12.08	53.63



**CRUS-SC-LED
LED CANOPY LIGHT - LEGACY**



**XGBM
LED Area Light**



Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions.

This lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping, or any other architectural elements unless noted. Fixture nomenclature noted does not include mounting hardware or poles. This drawing is for photometric evaluation purposes only and should not be used as a construction document or as a final document for ordering product.

Total Project Watts
Total Watts = 6722.597

		LIGHTING PROPOSAL LO-139679	
TWICE DAILY CRITZ LANE			
DATE: 09-08-17	REV: 0	SHEET 1 OF 1	
SCALE: 1"=20'		20	