

Town of Thompson's Station
Design Review Commission
Meeting Agenda
August 31, 2021

Meeting Called To Order

Minutes-

Consideration Of The Minutes Of The July 8, 2020, Meeting.

Documents:

[07082020 MINUTES.PDF](#)

New Business:

1. Design Review For A 17,000 Square Foot Commercial Building With A Retail Use Located At 1109 Elliston Way In Tollgate Village.

Documents:

[ITEM 1- 1109 ELLISTON WAY DRC REPORT 8-31-21.PDF](#)
[ITEM 1- 1109 ELLISTON WAY DRC PACKET.PDF](#)

2. Design Review For A 7,500 Square Foot Building With A Therapy Use And A 3,650 Square Foot Building With A Medical Clinic Use Both On The Same Lot Located At 991 Elliston Way In Tollgate Village.

Documents:

[ITEM 2- 991 ELLISTON WAY DRC REPORT 8-31-21.PDF](#)
[ITEM 2- 991 ELLISTON WAY DRC SUBMITTAL.PDF](#)

Adjourn

This meeting will be held at 4:00 p.m. at the Thompson's Station Community Center

1555 Thompson's Station Road West.

Town of Thompson's Station
Design Review Commission
Minutes of the Meeting
July 9, 2020

Call to Order.

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:05 p.m. on Wednesday, July 8, 2020 via electronic means under the authority of the Governor's Executive Order related to public meetings during the COVID-19 emergency with the required quorum.

The following statement was read by DRC Vice Chairman Steve Bennett:

Pursuant to the Guidance from the Office of the Comptroller for the State of Tennessee and in accordance with Governor Lee's Executive Order No. 16:

This Town of Thompson's Station Design Review Commission meeting, with notice, is being held virtually and being recorded to protect the public health, safety, and welfare of the Citizens of Thompson's Station in light of the coronavirus and to continue to allow the Town to function and operate.

Further, it is the desire of the Design Review Commission to include this determination in the minutes for this meeting.

We understand that we, the Thompson's Design Review Commission, serves the Town of Thompson's Station, which is why we are currently recording this virtual meeting, broadcasting it live for public viewing, and uploading and preserving it for future viewing.

A recording of this meeting will be available for viewing or copying in Town Hall for any citizen who so desires.

We appreciate everyone's concern and patience during this time as we, the Thompson's Station Design Review Commission, continue to do the work of and for the Town of Thompson's Station.

Members and staff in virtual attendance were Commissioners Steve Bennett, Graham Russell, Carole Schneider; Interim Town Planner Micah Wood, Planning Technician Jennifer Jones and IT Coordinator Tyler Rainey. Commissioners Huntly Gordon and Rick Guard were unable to attend.

Public Comment:

Huntly Gordon - 1940 Lewisburg Pike - I am in favor of the proposal - would like the red on the exterior sign at the road replaced by the color black

- 1. Design Review for a signage plan that includes a wall sign and a monument sign for Thompson Machinery located at 4545 Columbia Pike. (DR-2020-001)**

Based on the project’s substantial compliance with the Land Development Ordinance and Design Guidelines, Staff recommends that the Design Review Commission approve the signage plan as proposed.

After discussion, Commissioner Russell made a motion to approve Item 1, a signage plan that includes a wall sign and a monument sign for Thompson Machinery located at 4545 Columbia Pike. The motion was seconded and approved by all present

Roll Call Vote:

	<u>VOTE</u>
Vice Chairman Bennett	Yea
Commissioner Russell	Yea
Commissioner Schneider	Yea

Yea 3 Nay 0 Abstain 0

There being no further business, the meeting was adjourned at 4:14 p.m.

Huntly Gordon, Chairman

Steve Bennett, Vice Chairman

**Thompson's Station Design Review Commission
Staff Report
August 31, 2021**

Design Review for a 17,000 square foot commercial building located at 1109 Elliston Way within the Tollgate Village neighborhood.

REQUEST

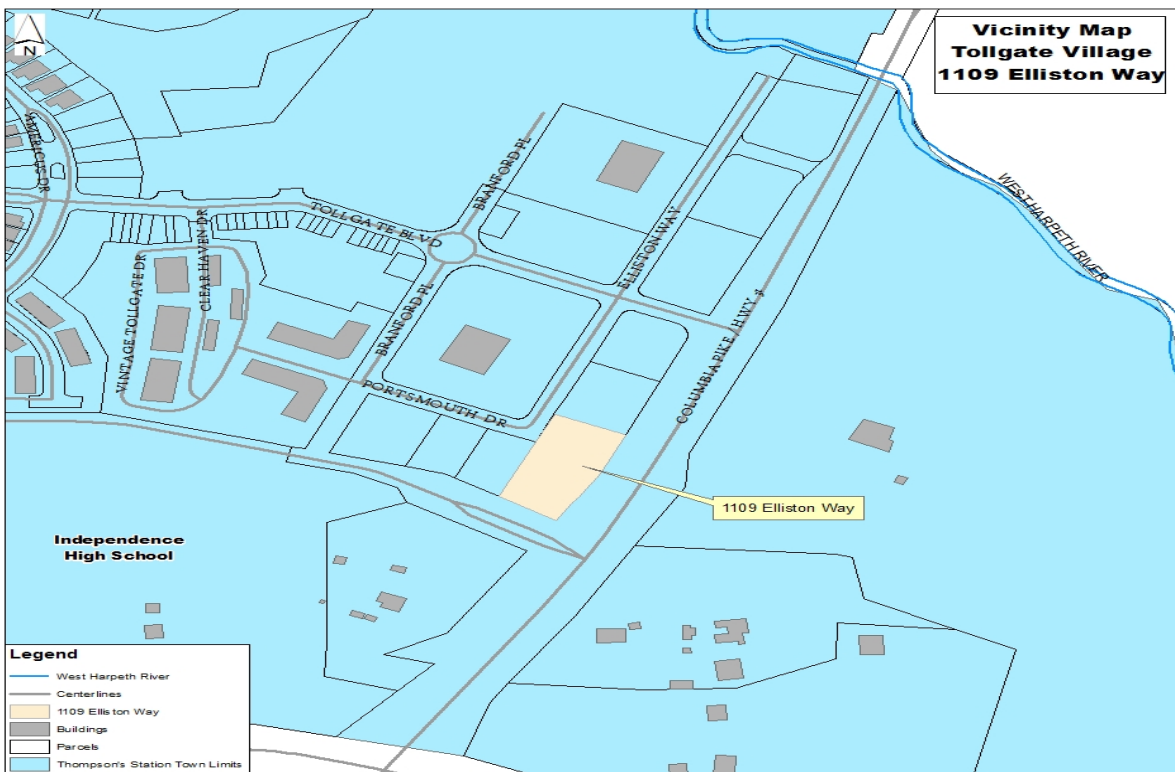
The applicant, request design approval for the development two commercial buildings within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.

ANALYSIS

Project Description

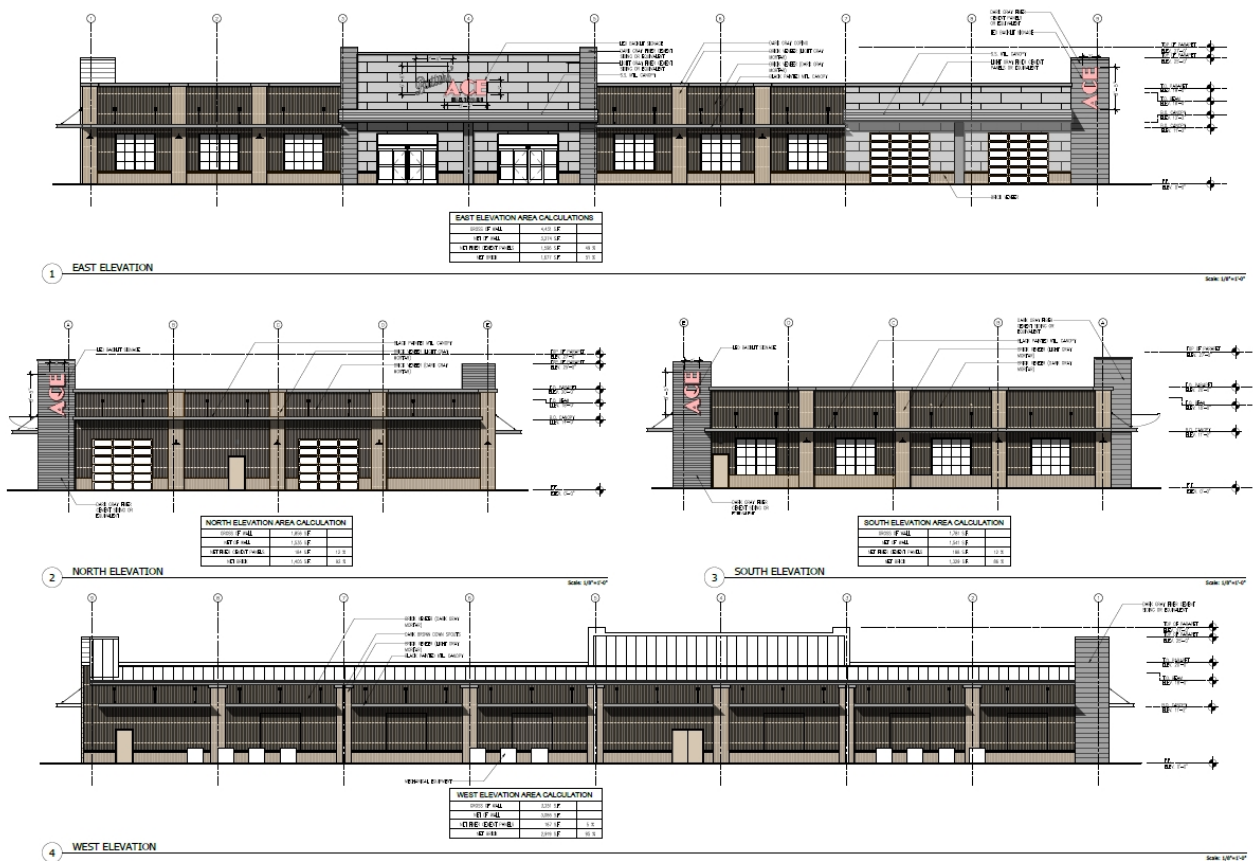
The project site, which consists of one parcel on 1.6 acres, is located along Elliston Way at Portsmouth Road with additional frontage on both Columbia Pike. The project site is within the undeveloped commercial portion of Tollgate Village, which has been previously graded. As noted, this parcel is bordered by two roadways, creating design challenges for the site with, in effect, double front yards. The site will be accessed from Elliston Way.

The site plan for this development has been submitted for the September 28, 2021, Thompson's Station Planning Commission (TSPC). The results of the DRC review will be incorporated into the final approval of this site from the TSPC. The site is required to meet the minimum requirements of the Land Development Ordinance (LDO) and show general conformity with the Design Guidelines.



Location Map

The proposal consists of a one-story commercial building with a proposed use of an Ace Hardware store consisting of a 17,000 square foot building. The color elevations are shown, below.



17,000 square feet commercial use (Ace Hardware)

The building is predominantly brick, with a fiber cement panel accent. Overall, the presented design achieves the Town-wide Design Principles of Character, Compatibility, and Views. Additionally, the design for this retail store generally satisfies with Design Guidelines goals for Commercial, Mixed Use, and Multi-family of Livability, Context, Harmony, and Durability. The buildings contain two main materials, which satisfies the Design Guidelines 5.3 for multiple materials.

Staff has noted two areas of correction needed to ensure the buildings meet all requirements of the LDO and the recommendations of the Design Guidelines. First, the applicant needs to provide the amount of glazing provided for each building. The LDO requires a minimum of 50% glazing on the ground floor. If the glazing presented does not achieve the minimum glazing required, the building elevations shall be revised in order to meet that standard. Second, per Design Guideline 5.3, lighter materials should be located above the heavier. In the Staff review, the Dark Gray Mortar should be used on the base of the building, not the middle; while the Light Gray Mortar should be used on the middle of the building not the base.

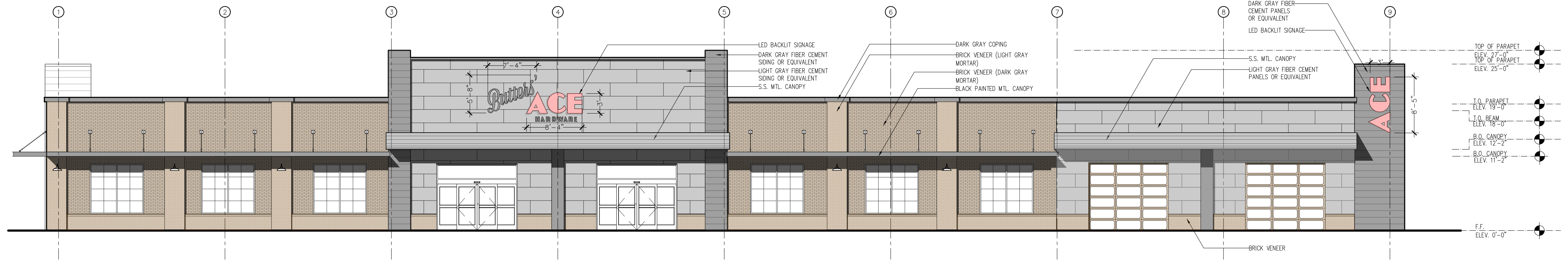
RECOMMENDATION

Based on the project's consistency with the Town's Design Guidelines, Staff recommends the Design Review Commission approve the design with the following contingencies:

1. The applicant shall provide the glazing requirements per each the elevations and revise the elevations such that the minimum glazing requirements shall be met per the LDO for the NC district.
2. The applicant shall revise the elevations to provide for the Dark Gray Mortar to be used on the base, while the Light Gray Mortar shall be used on the middle of each building elevation to satisfy Design Guideline 5.3.

ATTACHMENTS

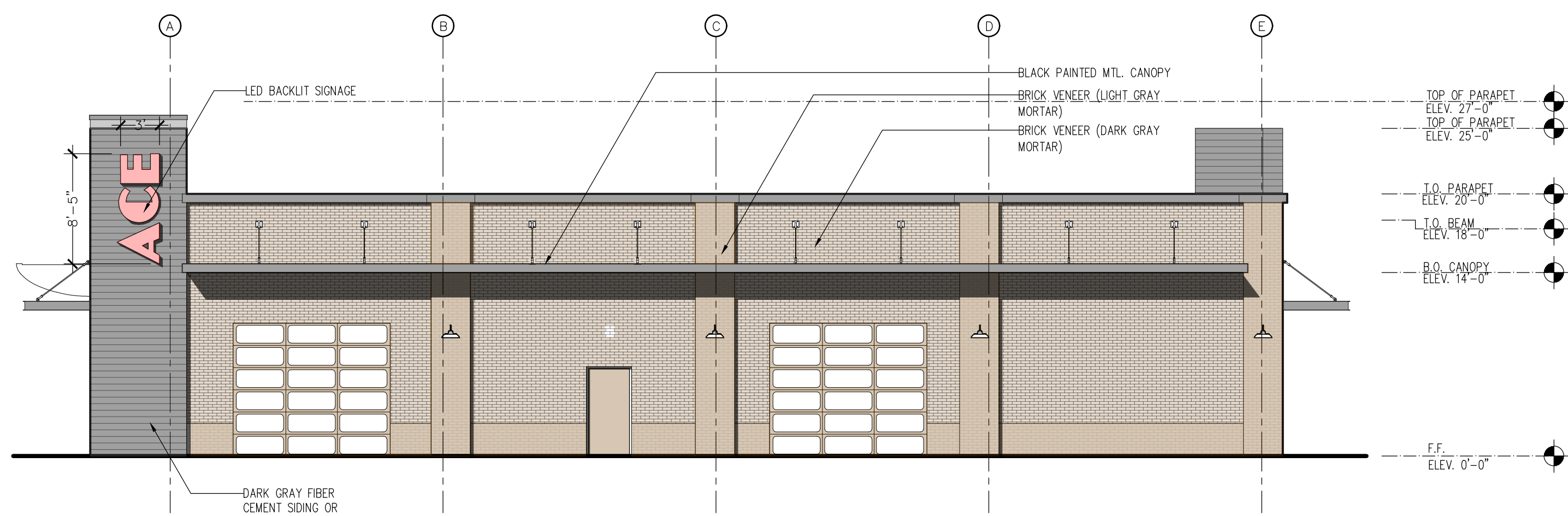
Architectural Submittal



GROSS OF WALL	4,431 S.F.	
NET OF WALL	3,274 S.F.	
NET FIBER CEMENT PANELS	1,596 S.F.	49 %
NET BRICK	1,677 S.F.	51 %

1 EAST ELEVATION

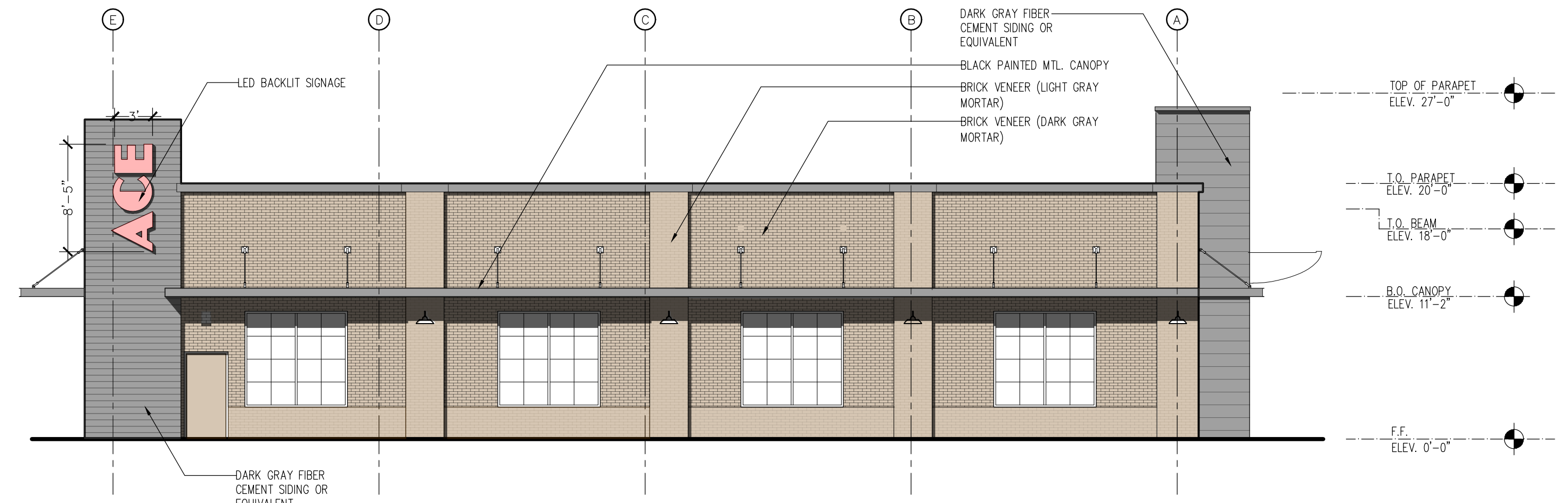
Scale: 1/8"=1'-0"



GROSS OF WALL	1,856 S.F.	
NET OF WALL	1,535 S.F.	
NET FIBER CEMENT PANELS	184 S.F.	12 %
NET BRICK	1,405 S.F.	92 %

2 NORTH ELEVATION

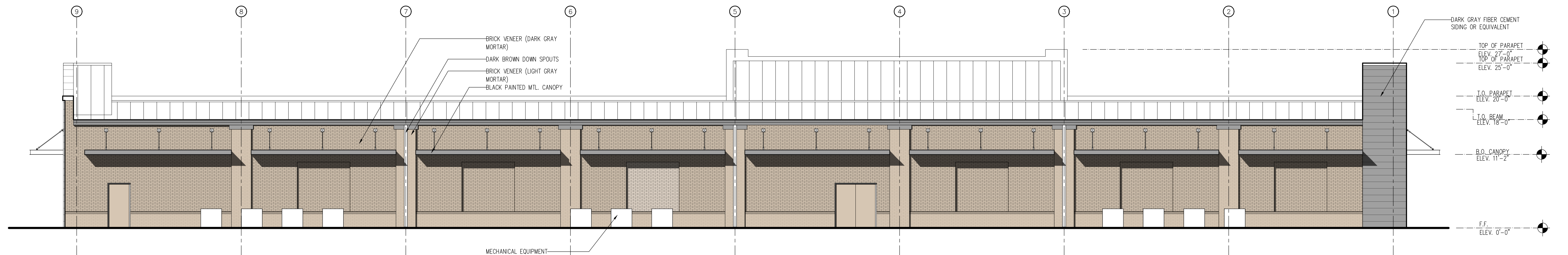
Scale: 1/8"=1'-0"



GROSS OF WALL	1,781 S.F.	
NET OF WALL	1,541 S.F.	
NET FIBER CEMENT PANELS	188 S.F.	12 %
NET BRICK	1,329 S.F.	86 %

3 SOUTH ELEVATION

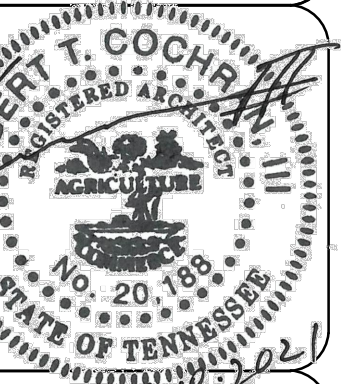
Scale: 1/8"=1'-0"



GROSS OF WALL	3,251 S.F.	
NET OF WALL	3,066 S.F.	
NET FIBER CEMENT PANELS	167 S.F.	5 %
NET BRICK	2,919 S.F.	95 %

4 WEST ELEVATION

Scale: 1/8"=1'-0"



ISSUED	DATE
ISSUE FOR BID	08/09/21
IRC SUBMITTAL	08/16/21
PLANNING COMMISSION	08/20/21

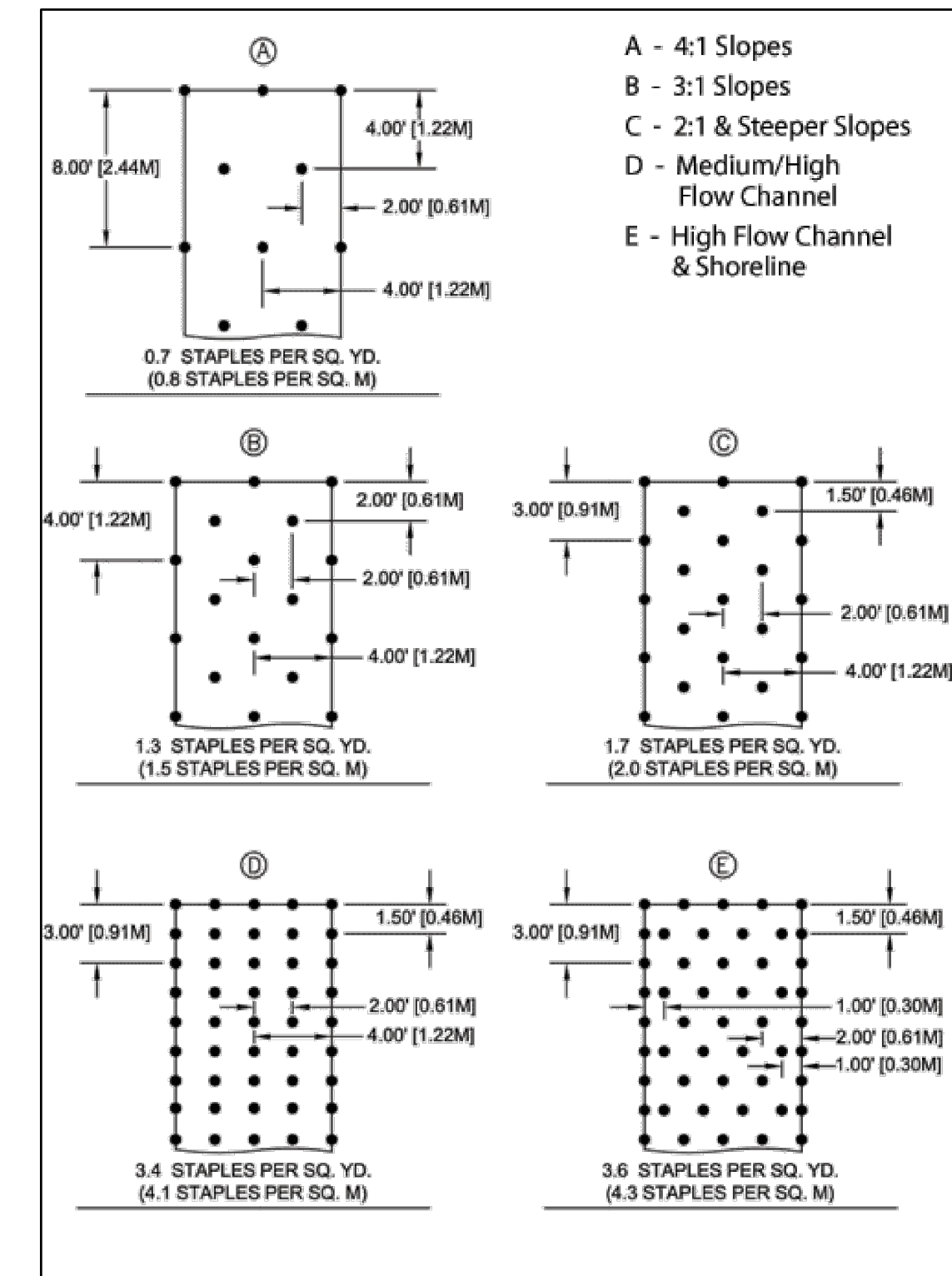


NOTES

1. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

GENERAL LANDSCAPE NOTES

1. ALL TREES AND SHRUBS TO BE FULL SHAPE.
2. SINGLE LEADER.
3. ALL LANDSCAPE BEDS AND TREE RINGS TO BE 3" SHREDDED HARDWOOD MULCH.
4. DISTURBED AREAS NOT RECEIVING MULCH TO BE FESCUE SOD. SEE L101.
5. CONTRACTOR TO PROVIDE FESCUE SOD.
6. CONTRACTOR TO PROVIDE SHREDDED HARDWOOD MULCH.
7. CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL JOB ACCEPTED BY LANDSCAPE ARCHITECT.
8. IT IS RECOMMENDED BY LANDSCAPE ARCHITECT TO ESTABLISH PERMANENT IRRIGATION FOR PLANT MATERIAL.
9. SEE SHEET L101 FOR LANDSCAPE NOTES AND DETAILS.
10. SOD ON SLOPES 3:1 OR GREATER TO BE STAPLED IN PLACE. (SEE DETAIL, THIS SHEET)
11. ALL DISTURBED AREAS NOT RECEIVING SOD OR OTHER GROUND COVER TO BE SEEDED WITH FESCUE SEED MIX AND STRAWED.



ACE HARDWARE
 17,525 SF
 (15,007 SF RETAIL &
 2,518 SF OFFICE/STOCKING)
 FFE: 755.00

PLANT SCHEDULE

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
AR	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL.	B&B	6	L101	FULL SHAPE, SINGLE LEADER
TO	TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' HT.	B&B	31	L101	FULL SHAPE
ZS	ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE SAWLEAF ZELKOVA	3" CAL.	B&B	6	L101	FULL SHAPE, SINGLE LEADER
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
CXA	CXA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2.5' HT.	CONT.	16	L101	FULL SHAPE
PL	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	3' - 4' HT.	CONT.	34	L101	FULL SHAPE

NO.	DATE	DESCRIPTION

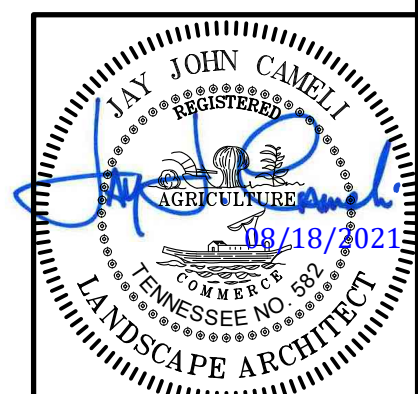
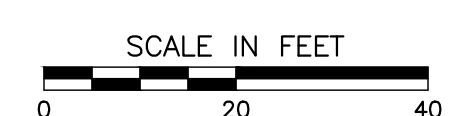
Civil & Environmental Consultants, Inc.
 117 Seaboard Lane - Suite E-100 - Franklin, TN 37067
 615-333-7797 - 800-763-2326
 www.cecinc.com

ACE HARDWARE
 1109 ELLISTON WAY
 THOMPSON'S STATION
 WILLIAMSON COUNTY, TENNESSEE

DATE:	DWG. SCALE:	PROJECT NO.:	APPROVED BY:
AUGUST 2021	AS SHOWN	313-132	JMK
DRAWN BY:		CHECKED BY:	
AUGUST 2021		AS SHOWN	

LANDSCAPE PLAN
 SHEET **L100** OF

PRELIMINARY
 NOT FOR CONSTRUCTION



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NOTE TO CONTRACTOR
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE DESIGNER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

**Thompson's Station Design Review Commission
Staff Report
August 31, 2021**

Design Review for a 7,500 square foot commercial building and a 3,650 square foot commercial building located at 991 Elliston Way within the Tollgate Village neighborhood.

REQUEST

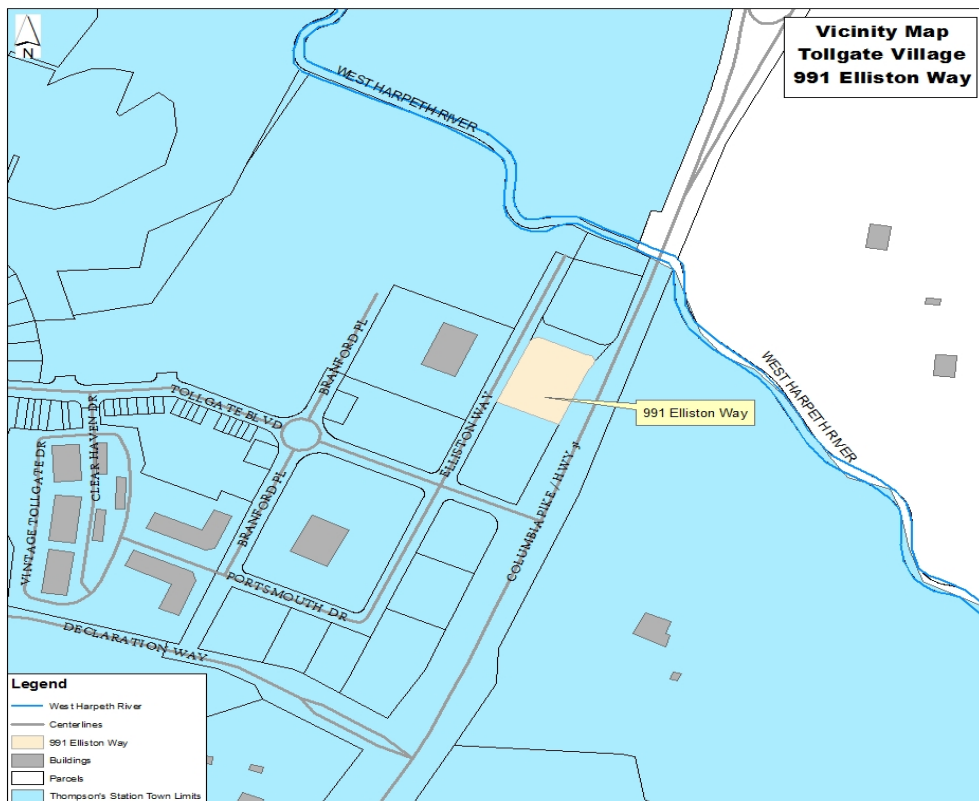
The applicant, request design approval for the development two commercial buildings within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.

ANALYSIS

Project Description

The project site consists of one parcel on 1.21 acres and is located along east side of Elliston Way with additional frontage on both Columbia Pike and unnamed Road. The project site is within the undeveloped commercial portion of Tollgate Village, which has been previously graded. As noted, this parcel is bordered by three roadways, creating design challenges for the site with, in effect, three front yards. The site will be accessed from Elliston Way.

The site plan for this development has been submitted for the September 28, 2021, Thompson's Station Planning Commission (TSPC). The results for the DRC review will be incorporated into the final approval of this site from the TSPC. The site is required to meet the minimum requirements of the Land Development Ordinance (LDO) and show general conformity with the Design Guidelines.



Location Map

The proposal consists of two buildings: Building 1 consists of a one-story commercial building with a proposed use of autism therapy center consisting of a 7,500 square foot building with a small exterior play area. The color elevations are shown, below.



Building 1- 7,500 square feet commercial use (Therapy Center)

Building 2 consists of a one story 3,650 square foot commercial building with a proposed urgent care clinic use. The color elevations are shown, below.



Building 2- 3,650 square feet commercial use (Urgent Care)

Both buildings are predominantly brick, with a fiber cement panel accent. Overall, the presented design achieves the Town-wide Design Principles of Character, Compatibility, and Views. Additionally, the design for these two buildings generally satisfies with Design Guidelines goals for Commercial, Mixed Use, and Multi-family of Livability, Context, Harmony, and Durability. The buildings contain two main materials, which satisfies the Design Guidelines 5.3 for multiple materials.

Staff has noted one area of correction and one are of further discussion needed to ensure the buildings meet all requirements of the LDO and the recommendations of the Design Guidelines. The one area of correction relates to the LDO standard for glazing. The applicant needs to provide the amount of glazing provided for each building. The LDO requires a minimum of 50% glazing on the ground floor. If the glazing presented does not achieve the minimum glazing required, the building elevations shall be revised in order to meet that standard. The area of further discussion relates to Design Guideline 4.2, which notes that front walls should have a defined base, middle, and cap. While the use of a solder course does establish a base, the use of the same material and color do not lend, in Staff's review, a defined base. As noted, this site essentially has three front yards, so a defined base, middle and cap for this building will be an important design to achieve at this very visible corner. The DRC should review the building elevations and determine if the base, as presented, is sufficient per Design Guideline 4.2.

RECOMMENDATION

Based on the project's consistency with the Town's Design Guidelines, Staff recommends the Design Review Commission approve the design with the following contingencies:

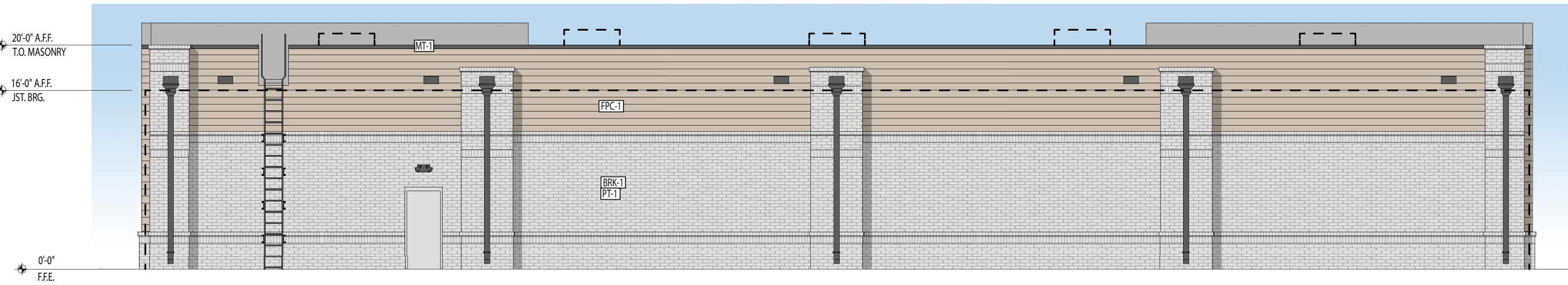
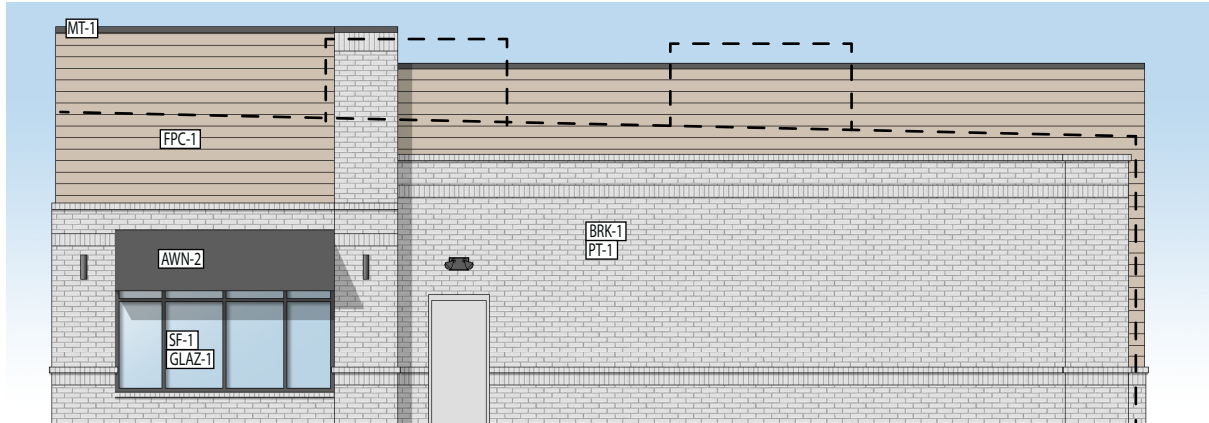
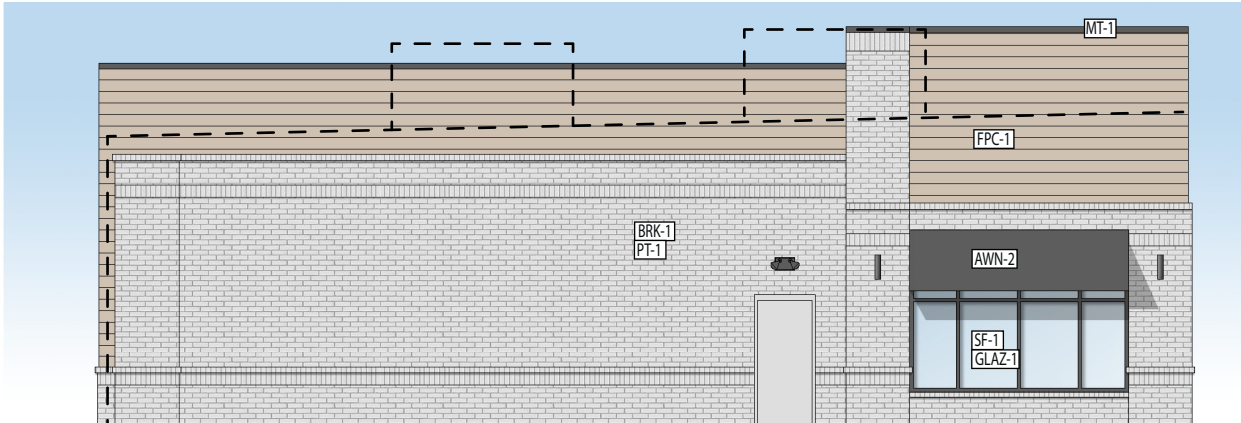
1. The applicant shall provide the glazing requirements per each the elevations and revise the elevations such that the minimum glazing requirements shall be met per the LDO for the NC district.
2. DRC should provide guidance on the base for the building per Design Guideline 4.2.

ATTACHMENTS

Architectural Submittal



EXTERIOR MATERIAL LEGEND	
BRK-1	GENERAL SHALE MODULAR BRICK, COLOR: GRAVE STONE VALOUR (OR EQUAL)
FPC-1	FIBER CEMENT PANEL, TEXTURE: VINTAGEWOOD, SPRUCE
GLAZ-1	TRANSPARENT GLAZING, 1" INSULATED GLAZING UNIT
MT-1	PAC CLAD (OR SIM) PRE-FINISHED METAL COPING, COLOR: DARK BRONZE
AWN-1	METAL CANOPY, COLOR: DARK BRONZE
AWN-2	FABRIC CANOPY, COLOR: BLACK
SF-1	DARK BRONZE STOREFRONT
PT-1	SW - #6000, COLOR: SNOW FALL

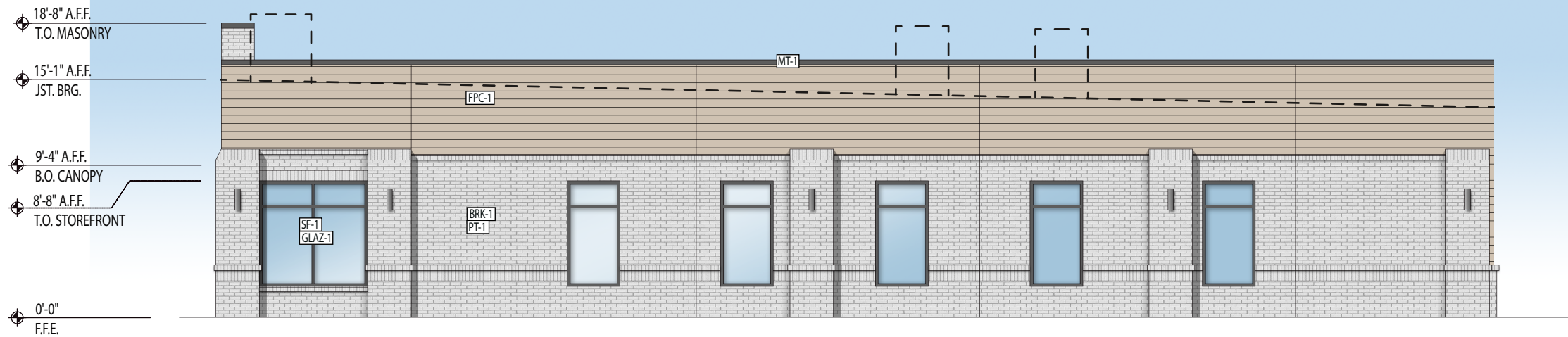
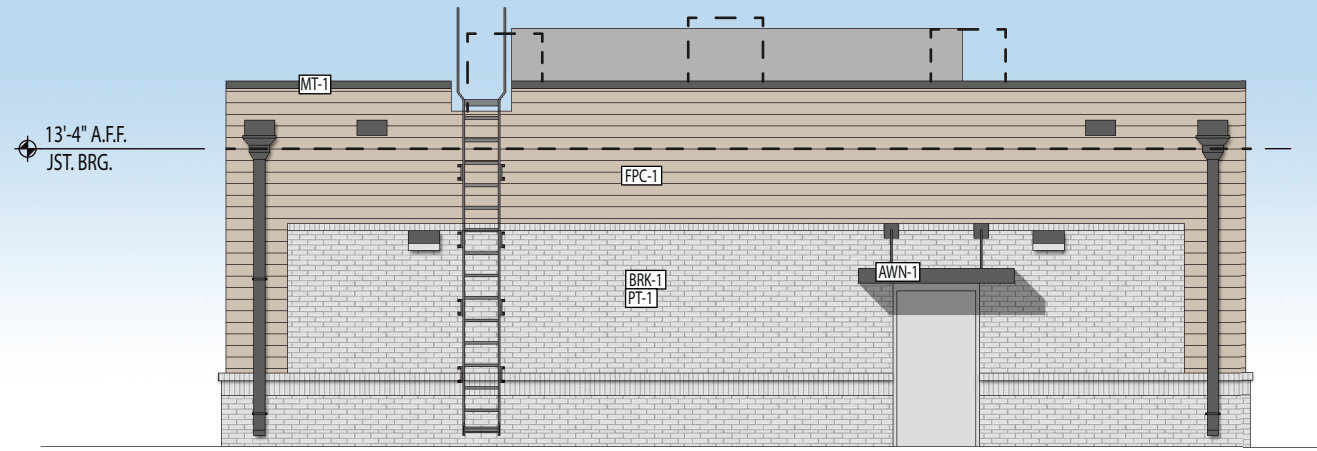


#21215
08-16-21

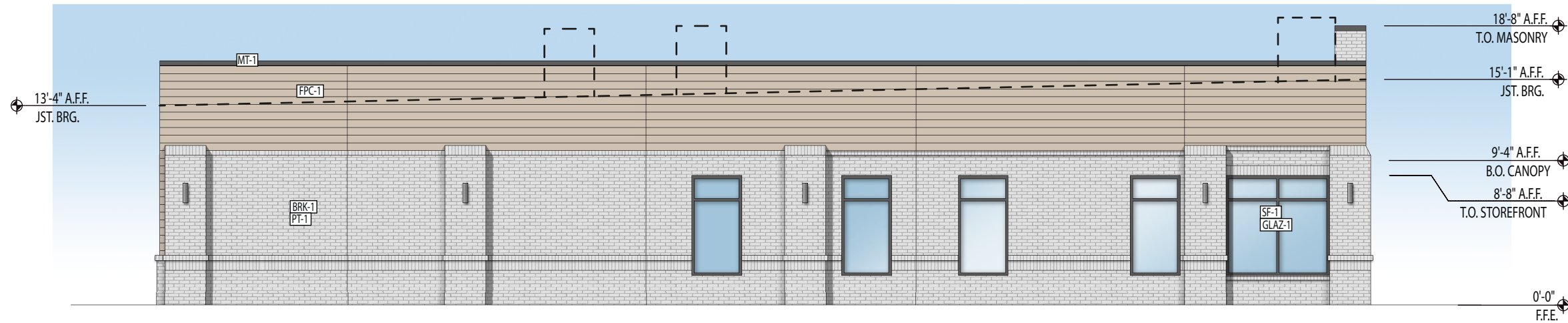
Tollgate Village

THOMPSON'S STATION, TN





EXTERIOR MATERIAL LEGEND	
BRK-1	GENERAL SHALE MODULAR BRICK, COLOR; GRAVE STONE VALOUR (OR EQUAL)
FPC-1	FIBER CEMENT PANEL, TEXTURE; VINTAGEWOOD, SPRUCE
GLAZ-1	TRANSPARENT GLAZING, 1" INSULATED GLAZING UNIT
MT-1	PAC CLAD (OR SIM) PRE-FINISHED METAL COPING, COLOR; DARK BRONZE
AWN-1	METAL CANOPY, COLOR: DARK BRONZE
AWN-2	FABRIC CANOPY, COLOR: BLACK
SF-1	DARK BRONZE STOREFRONT
PT-1	SW - #6000, COLOR: SNOW FALL

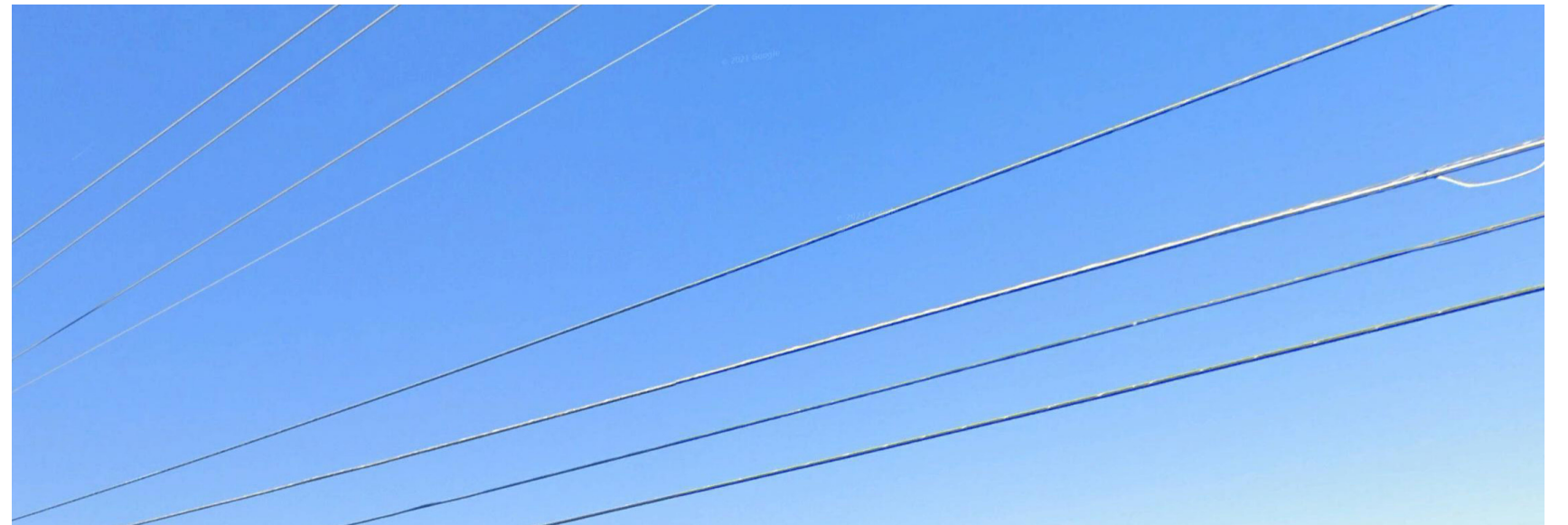
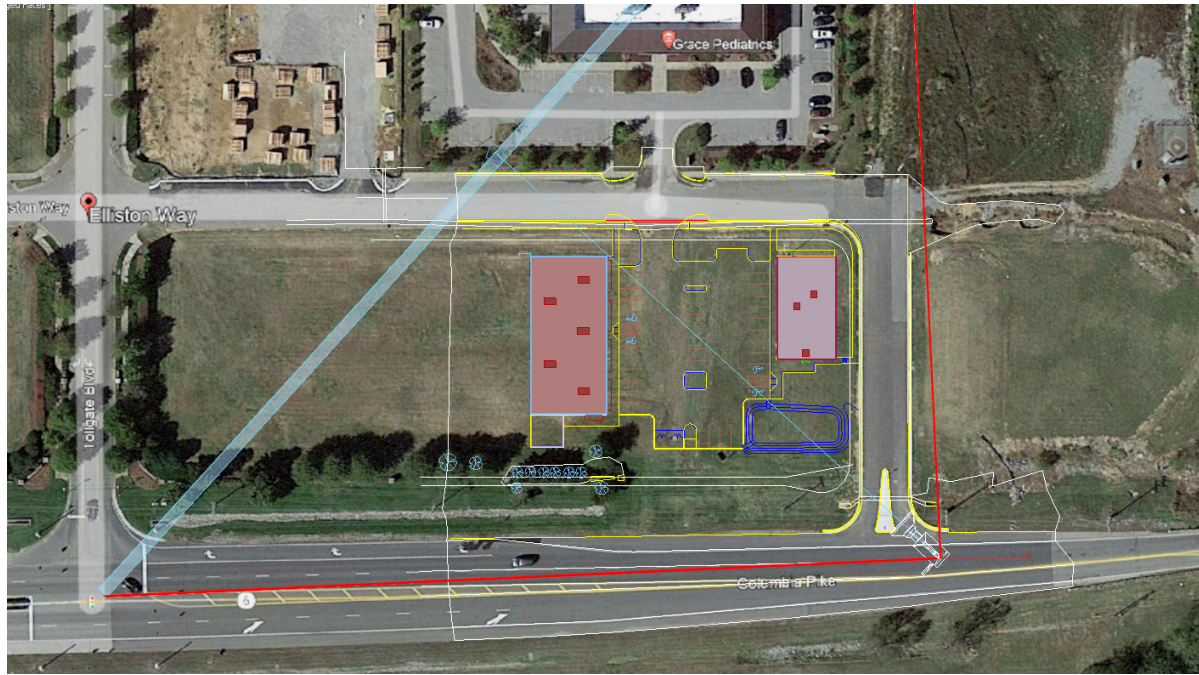


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08-16-21

Tollgate Village

THOMPSON'S STATION, TN



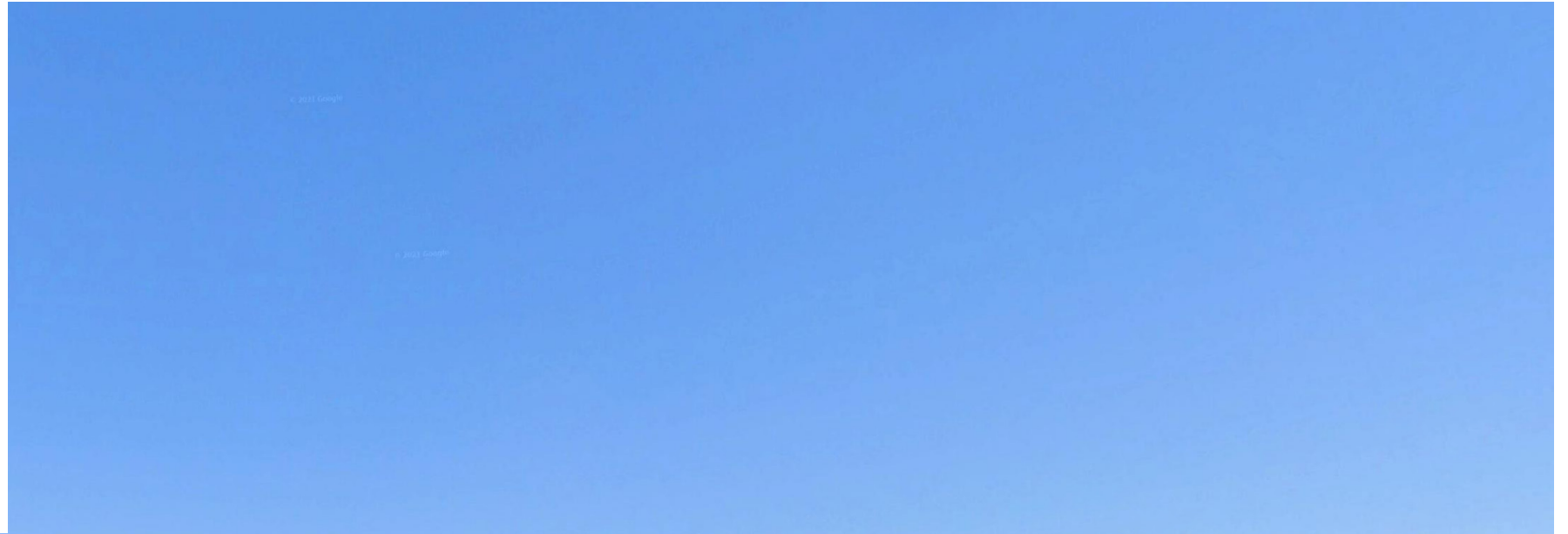
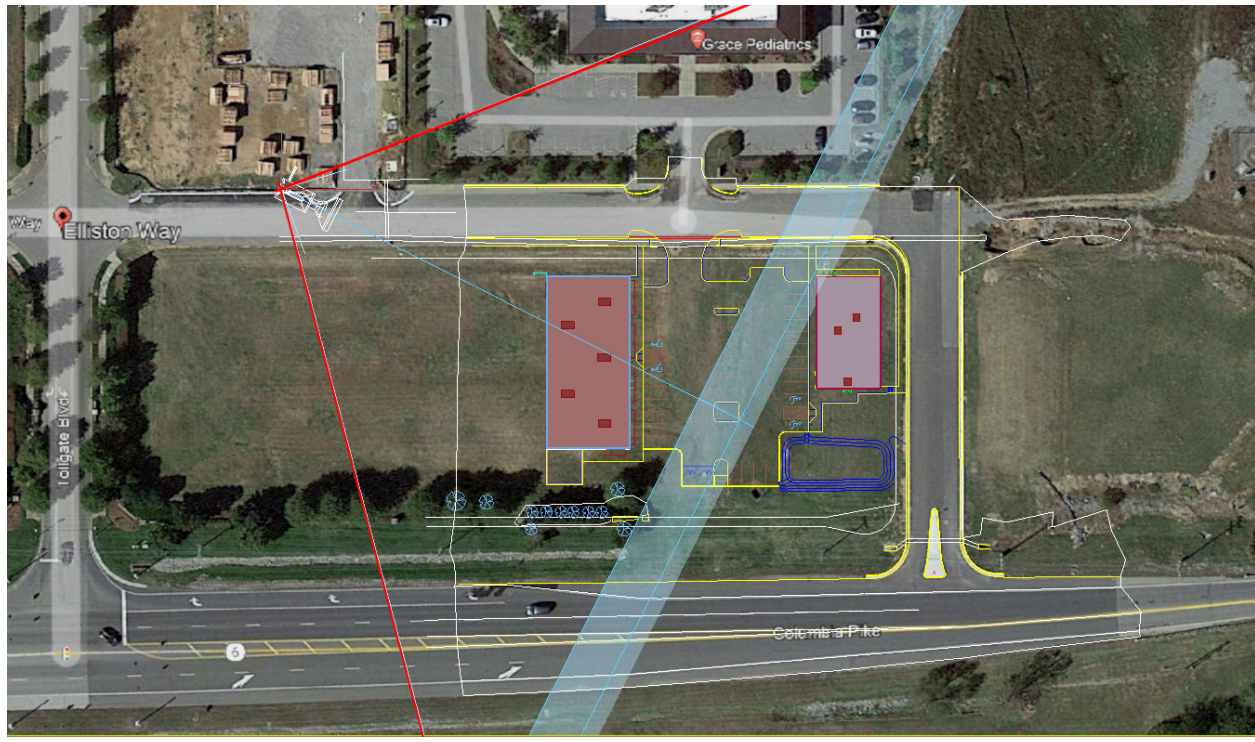


#21215
08-18-21

Tollgate Village

THOMPSON'S STATION, TN





#21215
08-18-21

Tollgate Village

THOMPSON'S STATION, TN





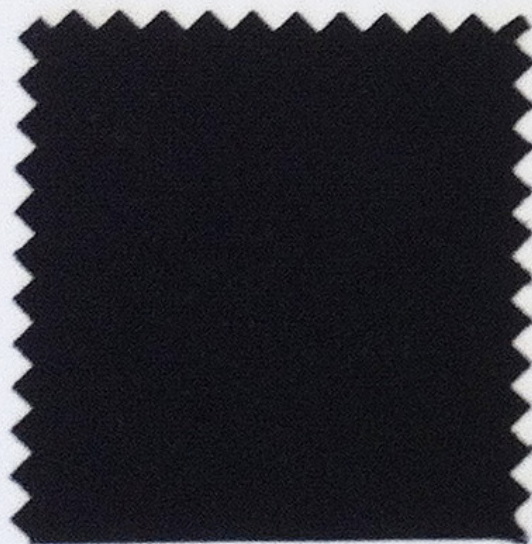
PT-1
SHERWIN WILLIAMS
#6000 SNOWFALL



FCP-1
NICHIIHA FIBER CEMENT PANEL
VINTAGEWOOD SPRUCE



SF-1, AWN-1, MT-1
STOREFRONT, METAL CONOPY, COPING
DARK BRONZE



AWN-2
FABRIC CANOPY
SUNBRELLA BLACK



BRK-1
GENERAL SHALE MODULAR BRICK
GRAVE STONE VALOUR

#21215
08-16-21

Tollgate Village

THOMPSON'S STATION, TN



BUILDING FRONTAGE CALCULATIONS

Primary Frontage (Elliston Way)

Frontage = 263.22'

Minimum Bldg Frontage (60%) = 157.93'

Bldg Frontage Provided = 106' < 158'

LOT COVERAGE CALCULATIONS

PARCEL 52,577 sf (1.21 Ac)

PERVIOUS (grass/landscape) 21,215 sf (40.0%)

IMPERVIOUS 15,056 sf (Asphalt)
4,040 sf (Concrete)
11,150 sf (Building)
30,246 sf (57.5%)

LOT COVERAGE (BUILDINGS) 11,150 sf (21.2% < 50%)

4.9.5 (b) Lot coverage. Lot coverage for non-residential is 50% maximum and for residential is 90% maximum. Residential lots exceeding 50% coverage shall provide an additional area, equal to or greater than the balance of 50%, in the form of open space or civic space. The additional civic space shall be within a walking distance or 1/4 mile of the subject units.

PARKING CALCULATIONS

Bldg #1 - Other Service Business 7,500 sf

Parking 3 per 1,000 - Required Parking 22.5 spaces

Bldg #2 - Medical Clinic 3,650 sf

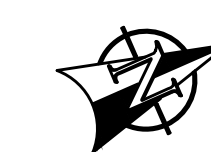
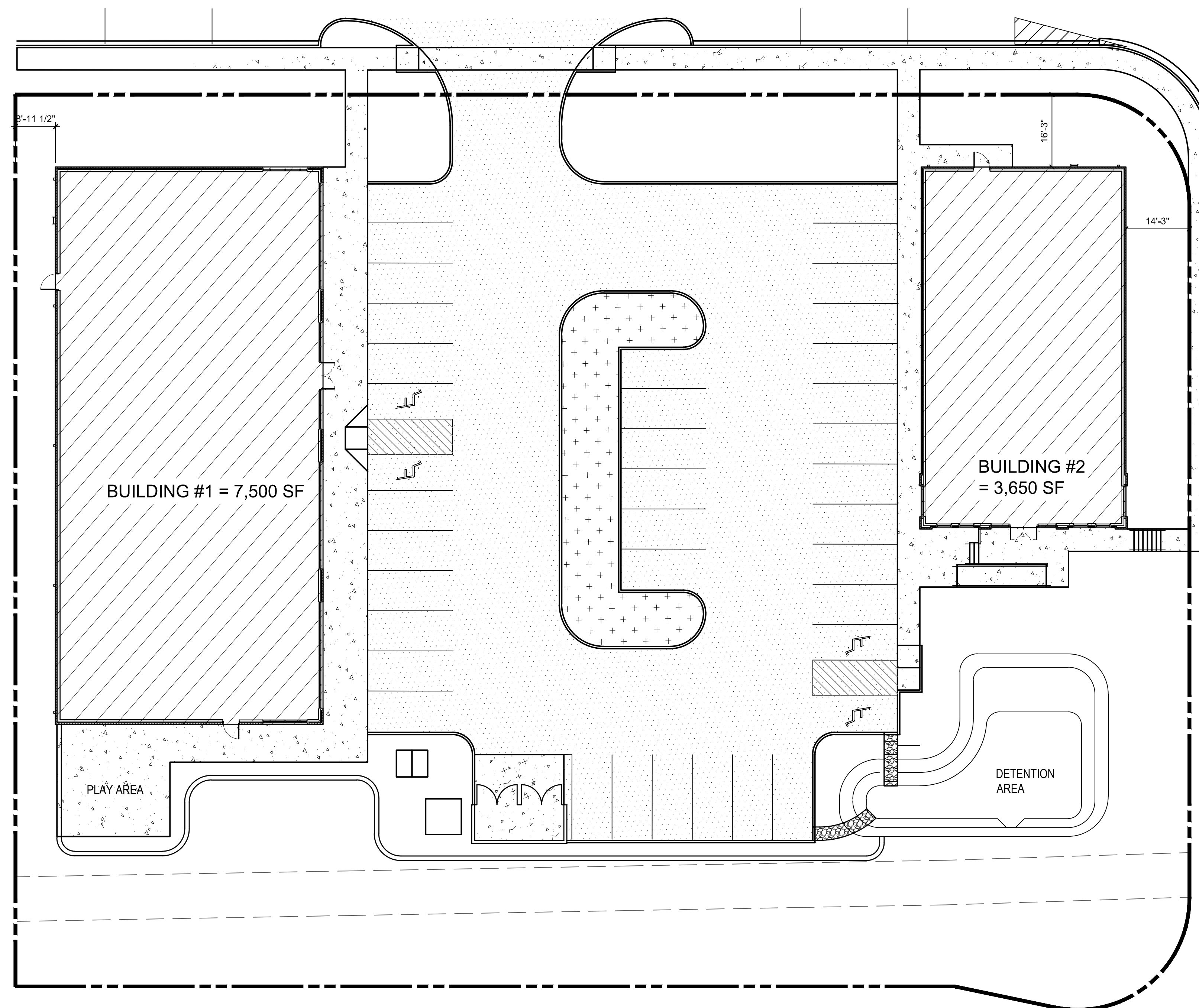
Parking 1 per 200 + 1 per physician - Required Parking 20.25 spaces

Total Parking Required - 42.75 spaces (43 spaces)

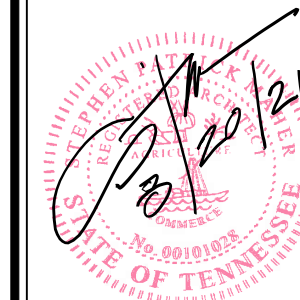
Parking Provided: On Site provided 38 spaces
On Street provided 5 spaces
43 spaces (100% of required)

4.12.4 Maximum Provided Automobile Parking

- a. Parking areas that exceed the allowable parking shall incorporate low impact design (LID). For up to a 5% increase in parking, 25% of the parking area shall be low impact design (LID). An increase between 5 - 10% shall require 35% of the parking area be LID. Any increase in parking over 10% shall require 50% of the parking area LID.



1 ARCHITECTURAL SITE PLAN
SCALE: 1/16"=1'-0"



MJM ARCHITECTS, LLC
2948 SIDCO DR.
NASHVILLE, TN 37204
P. 615.244.8170
www.mjmarch.com



TOLLGATE VILLAGE
THOMPSON STATION, TN

PLANNING
COMMISSION
SUBMITTAL
2021-08-20

REV	DATE

This drawing and the design shown is the property of the architect. The reproduction, copying or use of this drawing without the written consent is prohibited and any infringement will be subject to legal action.

ARCHITECTURAL
SITE PLAN

AS1.1
MJM JOB# 21215

S H E E T R E V I S I O N S D A T E T E N A N T L O C A T I O N O W N E R A R C H I T E C T S E A L C O N S U L T A N T