

**Town of Thompson's Station
Municipal Planning Commission
Meeting Agenda
September 22, 2015**

Meeting Called To Order

Pledge Of Allegiance

Minutes-

1. Consideration Of Minutes Of The August 25, 2015 Meeting

Documents: [082515 PC MTG MINUTES.PDF](#)

Public Comments-

Old Business:

1. Preliminary Plat

For the creation of 32 lots within Phase 11 of The Fields of Canterbury (File: PP 2015 - 005).

Documents: [092215 PC - ITEM 1 - PRELIMINARY PLAT.PDF](#), [092215 PC - ITEM 1 - STAFF REPORT FOR CANTERBURY PHASE 11 DEFERRAL.PDF](#)

New Business:

1. Site Plan

For the development townhomes within Section 1B of The Fields of Canterbury (SP 2015- 006).

Documents: [092215 PC - ITEM 2 - STAFF REPORT FOR CANTERBURY TOWNHOMES.PDF](#), [092215 PC - ITEM 2 - SITE PLAN PACKET.PDF](#)

2. Update To The Town's General Plan.

Documents: [092215 PC - ITEM 3 - DRAFT GENERAL PLAN.PDF](#), [092215 PC - ITEM 3 STAFF REPORT FOR GENERAL PLAN.PDF](#)

Adjourn

*This meeting will be held at 7:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Rd West*

Minutes of the Meeting
of the Municipal Planning Commission
of the Town of Thompson's Station, Tennessee
August 25, 2015

Call to Order:

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 7:00 p.m. on the 25th day of August, 2015, at the Thompson's Station Community Center with the required quorum. Members and staff in attendance were: Chairman Jack Elder; Secretary Don Blair; Vice-Chair Mike Roberts; Commissioner Ben Dilks; Commissioner Sarah Benson; Commissioner Debra Bender; Commissioner Darren Burrus; Town Administrator Joe Cosentini; Town Planner Wendy Deats; Town Attorney Todd Moore and Town Clerk Chandra Boughton.

Pledge of Allegiance.

Minutes:

The minutes of the July 28, 2015 Meeting were previously submitted.

Commissioner Bender moved for approval of the July 28, 2015 meeting minutes. The motion was seconded and carried unanimously.

Public Comment:

Brett Smith of Ragan Smith Associates, Inc – RE: Draft Zoning Ordinance and Subdivision Regulations – voiced concerns about the change to the front of Tollgate to Neighborhood Commercial, asked that the Planning Commission revert back to the previous iterations of Table 4.2 of the Draft Zoning Ordinance.

Old Business:

1. Letter of Credit review for Bridgemore Village Section 1A - \$30,000 for roads, drainage and erosion control, landscaping and sewer.

Commissioner Burrus requested Items 1, 2 and 3 be considered and voted upon together. Mrs. Deats reviewed the findings of Town Engineer Steve Clifton and his estimates for adequate bond amounts as requested by the Planning Commission. Mr. Clifton answered questions and explained his findings to the Commission. Mr. Clifton finds that the Letter of Credit for Bridgemore Section 1A is deficient by \$41,000.

After discussion, Commissioner Burrus moved to approve Agenda Item 1: the extension of the Letter of Credit for Bridgemore Village Section 1A - \$30,000 for roads, drainage and erosion control, landscaping and sewer along with a request to the developer for an additional \$41,000 Letter of Credit; Agenda Item 2: the extension of the Letter of Credit for Bridgemore Village Section 1B - \$175,000 for roads, drainage and erosion control, landscaping and sewer; and Agenda Item 3: the extension of the Letter of Credit for Bridgemore Village Section 2A - \$60,000 for roads, drainage and erosion control. The motion was seconded and carried unanimously.

2. Letter of Credit review for Bridgemore Village Section 1B - \$175,000 for roads, drainage and erosion control, landscaping and sewer.

The motion for this item is combined with the motion for Agenda Item 1

3. Letter of Credit review for Bridgemore Village Section 2A - \$60,000 for roads, drainage and erosion control.

The motion for this item is combined with the motion for Agenda Item 1

New Business:

4. Letter of Credit review for The Fields of Canterbury Section 9A - \$109,000 for roads, drainage and erosion control and \$40,000 for sewer (File: 1-D-14-012).

Mrs. Deats reviewed her staff report and recommended extension of the Letter of Credit for another year with the option for automatic renewal.

Commissioner Roberts moved to approve the extension of the Letter of Credit for The Fields of Canterbury Section 9A - \$109,000 for roads, drainage and erosion control and \$40,000 for sewer. The motion was seconded and carried unanimously.

5. Letter of Credit review for Bridgemore Village Section 3B - \$56,000 for roads, drainage and erosion control (File: 1-D-14-007).

Mrs. Deats reviewed her staff report and recommended extension of the Letter of Credit for another year with the option for automatic renewal.

Commissioner Blair moved to approve the extension of the Letter of Credit for Bridgemore Village Section 3B - \$56,000 for roads, drainage and erosion control. The motion was seconded and carried unanimously.

6. Letter of Credit review for Tollgate Village Section 14A - \$165,000 for roads, drainage and erosion control and \$74,000 for sewer. (File: 1-D-14-009).

Mrs. Deats reviewed her staff report and recommended extension of the Letter of Credit for another year with the option for automatic renewal.

Commissioner Bender moved to approve the extension of the Letter of Credit for Tollgate Village Section 14A - \$165,000 for roads, drainage and erosion control and \$74,000 for sewer. The motion was seconded and carried unanimously.

7. Letter of Credit review for The Fields of Canterbury Section 4B - \$46,000 for roads, drainage and erosion control and \$16,000 for sewer. (File: 1-D-13-018).

Mrs. Deats reviewed her staff report and recommended extension of the Letter of Credit for another year with the option for automatic renewal.

After discussion, Commissioner Dilks moved to approve the extension of the Letter of Credit for The Fields of Canterbury Section 4B - \$46,000 for roads, drainage and erosion control and \$16,000 for sewer. The motion was seconded and carried unanimously.

8. Letter of Credit review for The Fields of Canterbury Section 5 - \$98,000 for roads, drainage and erosion control and \$78,000 for sewer. (File: 1-D-14-013).

Mrs. Deats reviewed her staff report and recommended extension of the Letter of Credit for another year with the option for automatic renewal.

Commissioner Dilks moved to approve the extension of the Letter of Credit for The Fields of Canterbury Section 5 - \$98,000 for roads, drainage and erosion control and \$78,000 for sewer. The motion was seconded and carried unanimously.

9. Letter of Credit review for The Fields of Canterbury Section 7A - \$92,000 for roads, drainage and erosion control and \$96,000 for sewer. (File: 1-D-13-009).

Mrs. Deats reviewed her staff report and recommended extension of the Letter of Credit for another year with the option for automatic renewal.

After discussion, Commissioner Dilks moved to approve the extension of the Letter of Credit for The Fields of Canterbury Section 7A - \$92,000 for roads, drainage and erosion control and \$96,000 for sewer. The motion was seconded and carried unanimously.

10. Preliminary Plat - For the creation of 32 lots within Phase 11 of The Fields of Canterbury (File: PP 2015 – 005).

Mrs. Deats reviewed her staff report and, based on the project's consistency with the site development plan and the Town's Subdivision Regulations and Zoning Ordinance, recommended that the Planning Commission approve the preliminary plat with the following contingencies:

1. Prior to the submittal of the final plat, the applicant shall enter into a development agreement for the project.
2. Prior to the approval of construction plans, all applicable codes and regulations shall be addressed to the satisfaction of the Town Engineer.
3. Prior to the approval of construction plans, a drainage study shall be submitted to verify that drainage is managed adequately on site.
4. Prior to the approval of construction plans, a geotechnical report shall be submitted identifying the location of any sinkholes.
5. Prior to the approval of construction plans, a mass grading plan shall be submitted for review and approval.
6. Prior to the approval of construction plans, a tree replacement plan shall be reviewed and approved. The tree replacement plan shall be incorporated into the Development Agreement.
7. Prior to the approval of construction plans, the cross section for the roadways shall incorporate a five foot sidewalk.

Commissioner Dilks requested information pertaining to a Fields of Canterbury traffic study. Mr. Brett Smith, representative for the applicant, fielded questions from the commission.

After discussion, Commissioner Dilks moved to defer the Preliminary Plat for the creation of 32 lots within Phase 11 of The Fields of Canterbury to the September 22nd Planning Commission meeting in order to give time for review of the traffic study. The motion was seconded and carried unanimously.

11. Site Plan – For the development townhomes within Section 1B of The Fields of Canterbury (SP 2015-001).

Mrs. Deats reviewed her staff report and, based on the project's consistency with Town's Zoning Ordinance, recommended that the Planning Commission approve the project subject to the following contingency: Prior to the issuance of building permits, the applicant shall obtain approval from the Design Review Commission. Mr. Chad Gore, architect for the applicant, fielded questions from the commission.

After discussion, Commissioner Roberts moved to approve the Site Plan for the development townhomes within Section 1B of The Fields of Canterbury. The motion was seconded and carried unanimously.

12. Adoption of the Subdivision Regulations and consideration of the Draft Land Development Ordinance (Zone Amend 2015-005).

Mrs. Deats reviewed her staff report and gave the following recommendations:

1. Based on the need to protect the health, safety and welfare of the community as a whole, staff is requesting the Planning Commission conduct a public hearing and adopt the updated Subdivision Regulations contingent on the adoption of the Land Development Ordinance by the Board of Mayor and Aldermen.
2. Based on the need to protect the health, safety and welfare of the community as a whole, staff is requesting the Planning Commission recommend to the Board of Mayor and Aldermen to repeal the current Zoning Ordinance and adopt the Land Development Ordinance.

Discussion related to the following proposed changes took place:

- a) Subdivision Regulations: Add language regarding the measurement of curb widths
- b) Land Development Ordinance: Remove Table 4.1 (page 72)
- c) Land Development Ordinance: Add resource inventory language to Article 5 – Required Plans (page 142).

After discussion, Commissioner Bender recommended to forward the Land Development Ordinance to the Board of Mayor and Aldermen to approve as presented and make changes at a later time. The motion was seconded and carried unanimously.

After discussion, Chairman Elder recommended that based on the need to protect the health, safety and welfare of the community as a whole, adopt the updated Subdivision Regulations contingent on the adoption of the Land Development Ordinance by the Board of Mayor and Aldermen. The motion was seconded and carried unanimously.

Additional Discussion:

Mrs. Deats informed the Commission of Staff approval to the Preliminary Plat for Bridgmore Village to adjust all lot widths to 90 feet.

Commissioner Blair requested information regarding repairs to Newark Lane in Tollgate Village. Mrs. Deats is scheduled to meet with the builder, Phillips Builders, in the morning to discuss repairs.

There being no further business, Chairman Elder made a motion to adjourn. The motion was seconded and the meeting was adjourned at 8:30 p.m.

Jack Elder, Chairman

Attest: _____
Don Blair, Secretary

GENERAL NOTES

1. THE PURPOSE OF THIS PLAT IS TO CREATE 29 SINGLE FAMILY LOTS AND 3 OPEN SPACE TRACTS.
2. BEARINGS SHOWN HEREON ARE BASED ON SURVEYS BY CRAWFORD LAND SURVEYORS, P.C. DATED AUGUST 10, 2004 AND MARCH 25, 2005.
3. THE PROPERTY IS ZONED HIGH INTENSITY --
MINIMUM BUILDING SETBACKS:
FRONT - 25'
SIDE - 7.5'
REAR - 20'
4. WITHIN ALL NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS AND THE MTEM FEEDER LINE RUNNING NORTH/SOUTH ALONG THE DISTANCE OF THE TVA TRANSMISSION LINE EASEMENT), GAS, SEWER, TELEPHONE, AND WATERLINES SHALL BE PLACED UNDERGROUND. SEE VARIANCE GRANTED BY THE TOWN OF THOMPSON'S STATION M.P.C. APRIL 16, 2007 FOR THE FIELDS OF CANTERBURY REGARDING M.T.E.M.C. OVERHEAD POWERLINES.
5. BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS NO. 47187C0335F AND 47187C0355F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NOS. 0335 AND 0355, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
6. THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
7. DOMESTIC WATER SUPPLY INFORMATION TO BE DESIGNED BY OTHERS AND WILL BE INCLUDED ON THE PRELIMINARY PLAT WHEN AVAILABLE.
8. STREETS, SIDEWALKS, PUBLIC UTILITY ACCESS AND DRAINAGE EASEMENTS, DRAINAGE STRUCTURES AND CULVERTS SHALL BE MAINTAINED BY THE TOWN OF THOMPSON'S STATION.
9. OPEN SPACE AREAS INCLUDING DETENTION PONDS SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
10. TOPOGRAPHIC INFORMATION SHOWN HEREON WAS TAKEN FROM AN AERIAL SURVEY FURNISHED BY L.L. SMITH & ASSOCIATES, INC., DATED APRIL 6, 2005. CONTOURS SHOWN ARE AT 2 FOOT INTERVALS.
11. LOTS SHOWN THUS (*) ARE DESIGNATED AS CRITICAL LOTS AND HAVE NATURAL SLOPES IN EXCESS OF 15%. PER SECTION 3-102.104 OF THE SUBDIVISION REGULATIONS, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SITE GRADING PLAN FOR DEVELOPMENT OF THE LOT SHALL BE SUBMITTED ADDRESSING SITE SPECIFIC NATURAL RESOURCE ISSUES TO THE TOWN OF THOMPSON'S STATION FOR REVIEW AND APPROVAL. NO BUILDING PERMIT WILL BE ISSUED ON SAID LOTS UNTIL AND UNLESS THE TOWN ENGINEER HAS RECEIVED AND APPROVED THE SITE PLAN.

PROPERTY MAP REFERENCE

BEING A PORTION OF PARCEL NUMBER 40.01 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP NUMBER 132.

DEED REFERENCE

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO HOOD DEVELOPMENT, LLC (HOOD SINGLE DEVELOPMENT, LLC HAVING SINCE MERGED INTO HOOD DEVELOPMENT, LLC BY MERGER OF RECORD IN BOOK 5481, PAGE 558) BY DEED OF RECORD IN BOOK 4239, PAGE 639, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

LEGEND

- R.O.W.C.T. REGISTER'S OFFICE, WILLIAMSON COUNTY, TENNESSEE
- * CRITICAL LOT (SEE NOTE 11)
- OS OPEN SPACE

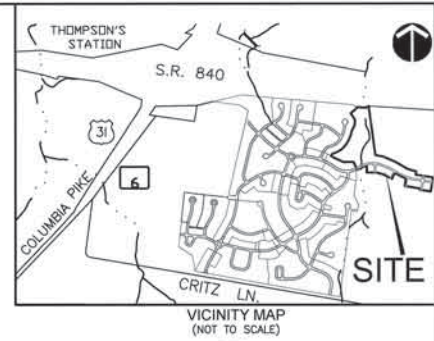
LOT	SQ. FT.±	ACRES±
1101	8,226	0.19
1102	8,182	0.19
1103	8,320	0.19
1104	8,482	0.19
1105	7,951	0.18
1106	7,922	0.18
1107	7,945	0.18
1108	8,123	0.19
1109	8,180	0.19
1110	7,946	0.18
1111	8,499	0.20

LOT	SQ. FT.±	ACRES±
1112	8,001	0.18
1113	7,950	0.18
1114	8,073	0.19
1115	7,950	0.18
1116	7,893	0.18
1117	7,991	0.18
1118	10,480	0.24
1119	7,900	0.17
1120	7,991	0.18
1121	7,951	0.17
1122	7,557	0.17

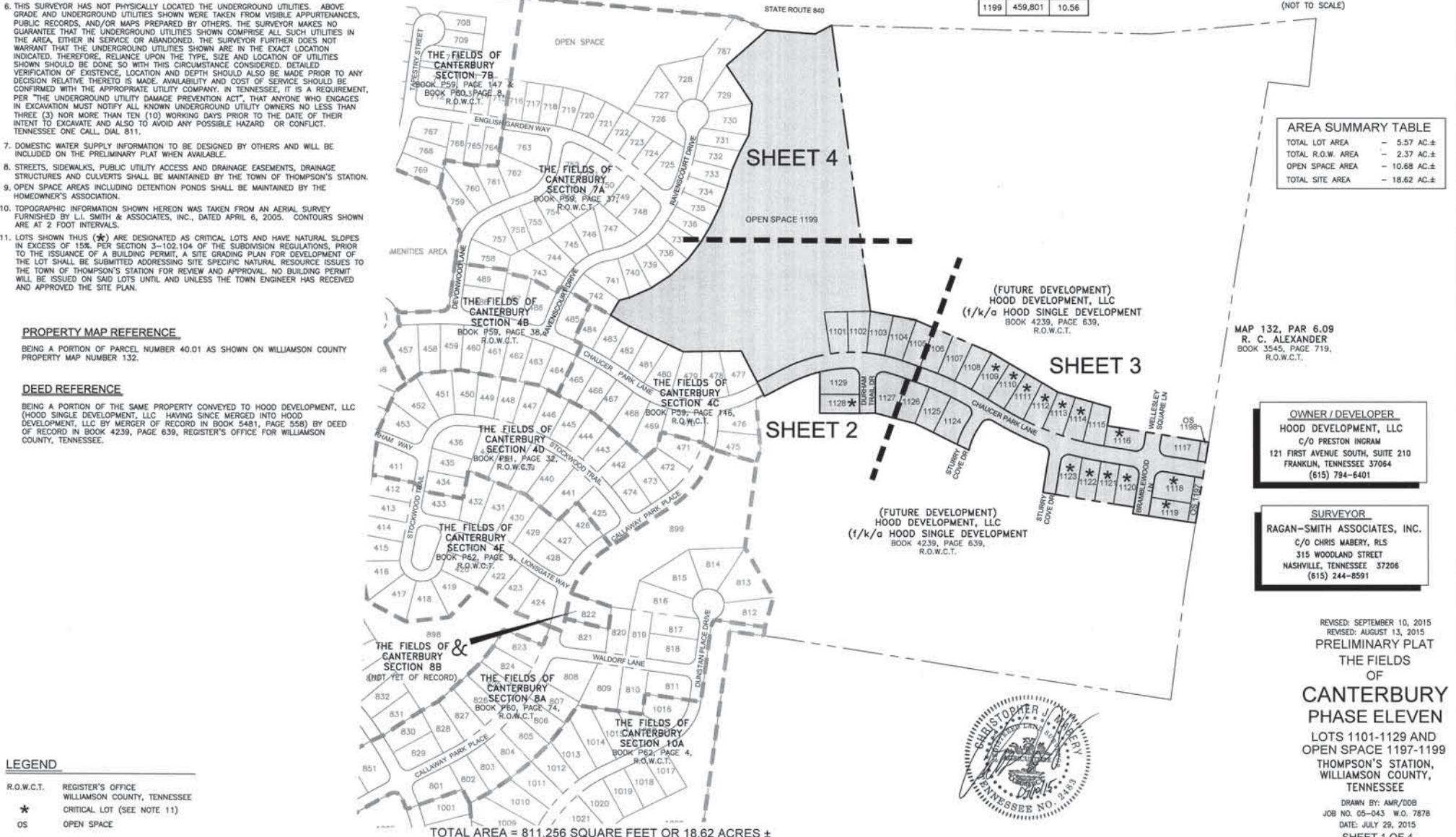
LOT	SQ. FT.±	ACRES±
1123	8,313	0.19
1124	10,118	0.23
1125	8,099	0.20
1126	8,950	0.21
1127	10,817	0.25
1128	7,500	0.17
1129	9,818	0.23



TRACT	SQ. FT.±	ACRES±
1197	3,609	0.08
1198	1,625	0.04
1199	458,801	10.56



AREA SUMMARY TABLE	
TOTAL LOT AREA	- 5.57 AC.±
TOTAL R.O.W. AREA	- 2.37 AC.±
OPEN SPACE AREA	- 10.68 AC.±
TOTAL SITE AREA	- 18.62 AC.±



MAP 132, PAR 6.09
R. C. ALEXANDER
BOOK 3545, PAGE 719,
R.O.W.C.T.

OWNER / DEVELOPER
HOOD DEVELOPMENT, LLC
C/O PRESTON INGRAM
121 FIRST AVENUE SOUTH, SUITE 210
FRANKLIN, TENNESSEE 37064
(615) 794-6401

SURVEYOR
RAGAN-SMITH ASSOCIATES, INC.
C/O CHRIS MABERY, RLS
315 WOODLAND STREET
NASHVILLE, TENNESSEE 37206
(615) 244-8591



REVISED: SEPTEMBER 10, 2015
REVISED: AUGUST 13, 2015
PRELIMINARY PLAT
OF
CANTERBURY
PHASE ELEVEN
LOTS 1101-1129 AND
OPEN SPACE 1197-1199
THOMPSON'S STATION,
WILLIAMSON COUNTY,
TENNESSEE
DRAWN BY: AMR/DOB
JOB NO. 05-043 W.O. 7878
DATE: JULY 29, 2015
SHEET 1 OF 4

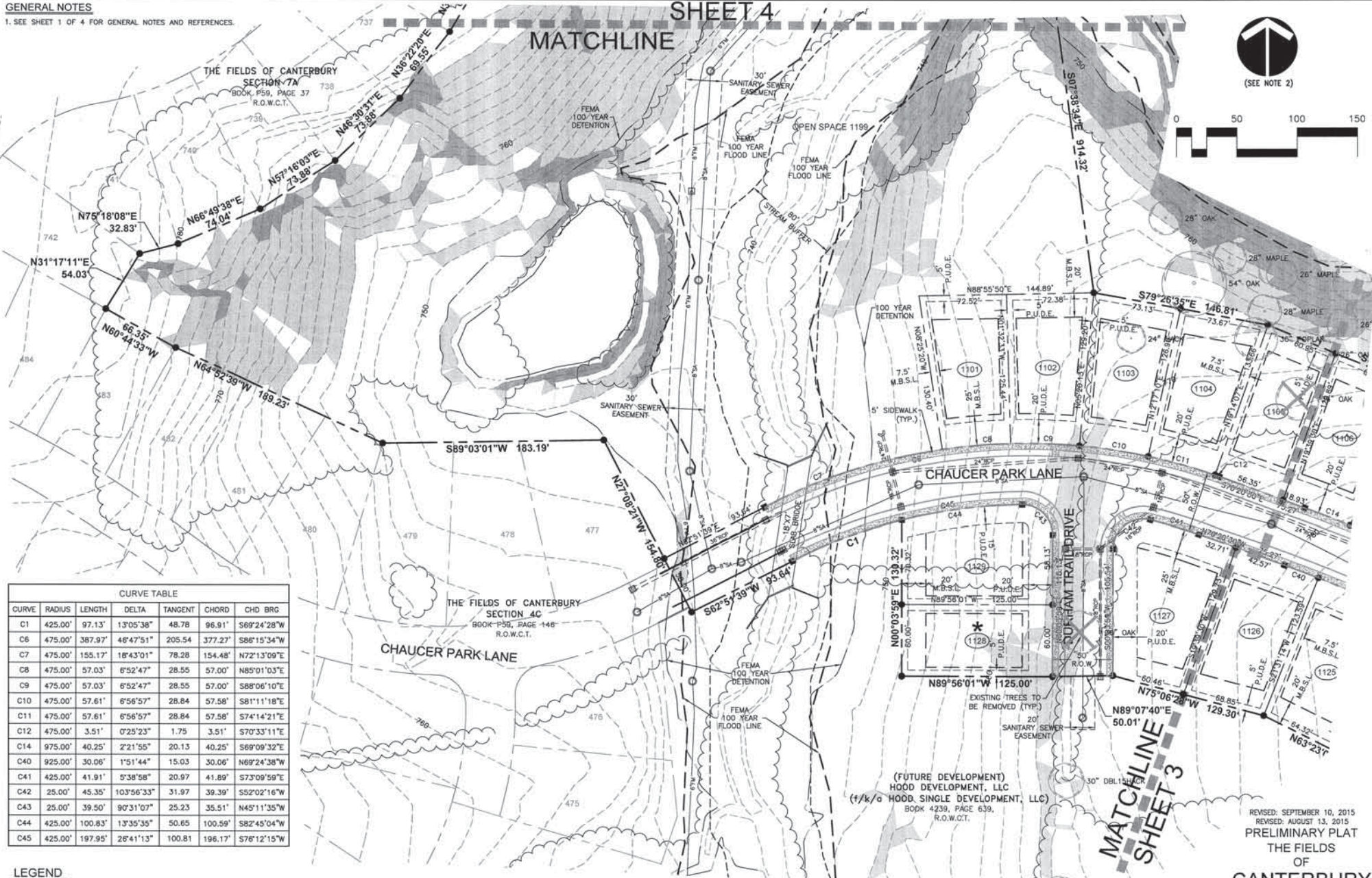
TOTAL AREA = 811,256 SQUARE FEET OR 18.62 ACRES ±

GENERAL NOTES

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES AND REFERENCES.

SHEET 4

MATCHLINE



CURVE TABLE					
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHD BRG
C1	425.00'	97.13'	13°05'38"	48.78	S69°24'28"W
C6	475.00'	387.97'	46°47'51"	205.54	S86°15'34"W
C7	475.00'	155.17'	18°43'01"	78.28	N72°13'09"E
C8	475.00'	57.03'	6°52'47"	28.55	N85°01'03"E
C9	475.00'	57.03'	6°52'47"	28.55	S88°06'10"E
C10	475.00'	57.61'	6°56'57"	28.84	S81°11'18"E
C11	475.00'	57.61'	6°56'57"	28.84	S74°14'21"E
C12	475.00'	3.51'	0°25'23"	1.75	S70°33'11"E
C14	975.00'	40.25'	2°21'55"	20.13	S69°09'32"E
C40	925.00'	30.06'	1°51'44"	15.03	N69°24'38"W
C41	425.00'	41.91'	5°38'58"	20.97	S73°09'59"E
C42	25.00'	45.35'	103°56'33"	31.97	S52°02'16"W
C43	25.00'	39.50'	90°31'07"	25.23	N45°11'35"W
C44	425.00'	100.83'	13°35'35"	50.65	S82°45'04"W
C45	425.00'	197.95'	28°41'13"	100.81	S78°12'15"W

LEGEND	
● IRON ROD (NEW) (5/8" X 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")	-SA- PROPOSED SANITARY SEWER LINE
■ 4" DIAMETER ALUMINUM DISC W/ 5/8" IRON ROD MARKED RAGAN-SMITH ASSOCIATES	ST PROPOSED STORM LINE
R.O.W.C.T. REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE	■ CATCH BASIN
P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT	R.O.W. RIGHT-OF-WAY
-FM- EXISTING FORCE MAIN	★ CRITICAL LOT (SEE NOTE 11)
○ SANITARY SEWER MANHOLE	▒ SLOPES 15%-25%
	▒ SLOPES IN EXCESS OF 25%



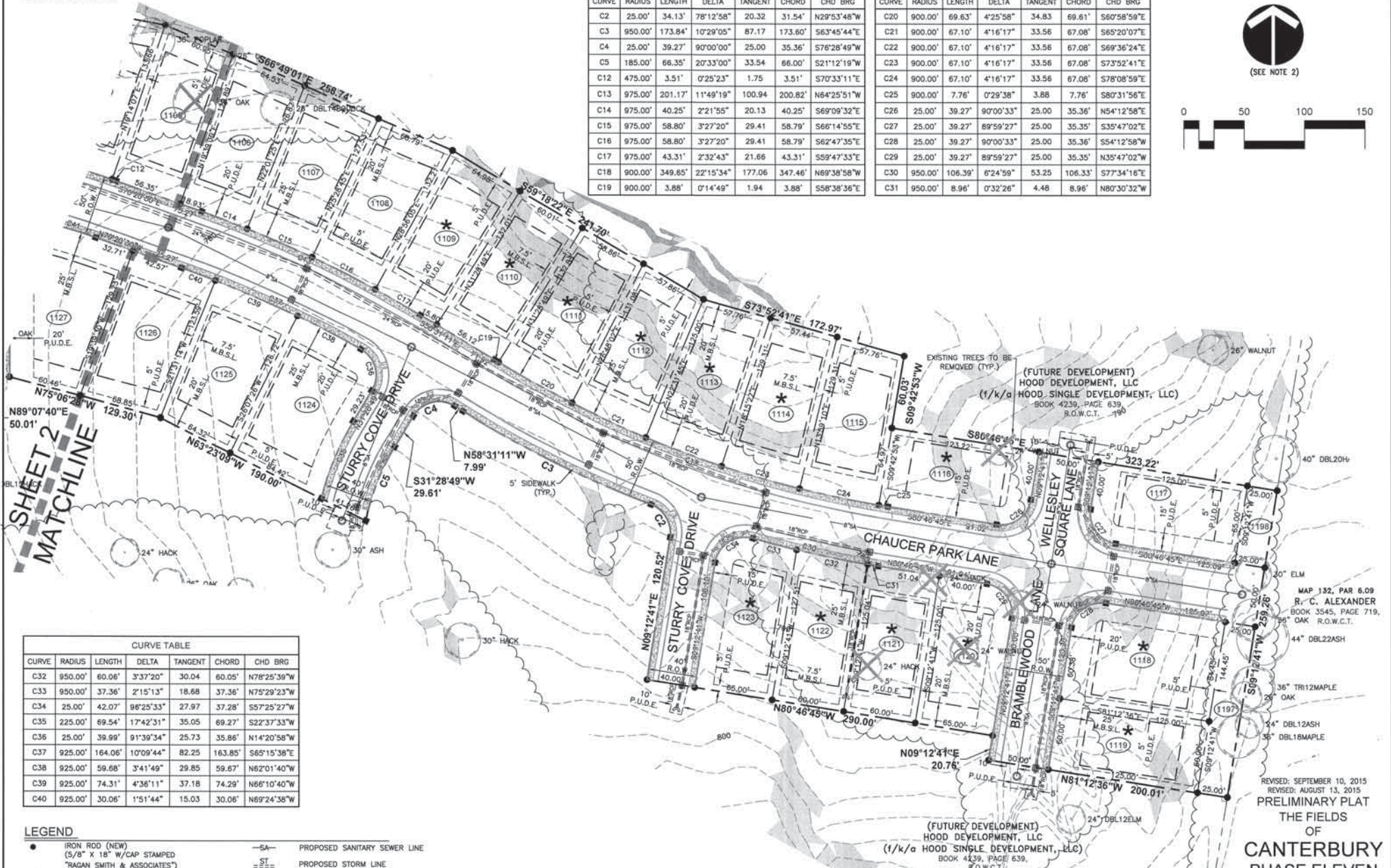
REVISED: SEPTEMBER 10, 2015
 REVISED: AUGUST 13, 2015
PRELIMINARY PLAT
THE FIELDS OF
CANTERBURY
PHASE ELEVEN
 LOTS 1101-1129 AND
 OPEN SPACE 1197-1199
 THOMPSON'S STATION,
 WILLIAMSON COUNTY,
 TENNESSEE
 DRAWN BY: AMR/DOB
 JOB NO. 05-043 W.O. 7878
 DATE: JULY 29, 2015
 SHEET 2 OF 4

GENERAL NOTES

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES AND REFERENCES.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C2	25.00'	34.13'	78°12'58"	20.32	31.54'	N29°53'48"W
C3	950.00'	173.84'	10°29'05"	87.17	173.60'	S63°45'44"E
C4	25.00'	39.27'	90°00'00"	25.00	35.36'	S78°28'49"W
C5	185.00'	66.35'	20°33'00"	33.54	66.00'	S21°12'19"W
C12	475.00'	3.51'	0°25'23"	1.75	3.51'	S70°33'11"E
C13	975.00'	201.17'	11°49'19"	100.94	200.82'	N64°25'51"W
C14	975.00'	40.25'	2°21'55"	20.13	40.25'	S69°09'32"E
C15	975.00'	58.80'	3°27'20"	29.41	58.79'	S66°14'55"E
C16	975.00'	58.80'	3°27'20"	29.41	58.79'	S62°47'35"E
C17	975.00'	43.31'	2°32'43"	21.66	43.31'	S59°47'33"E
C18	900.00'	349.65'	22°15'34"	177.06	347.46'	N89°38'58"W
C19	900.00'	3.88'	0°14'49"	1.94	3.88'	S58°38'36"E

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C20	900.00'	69.63'	4°25'58"	34.83	69.61'	S60°58'59"E
C21	900.00'	67.10'	4°16'17"	33.56	67.08'	S65°20'07"E
C22	900.00'	67.10'	4°16'17"	33.56	67.08'	S69°36'24"E
C23	900.00'	67.10'	4°16'17"	33.56	67.08'	S73°52'41"E
C24	900.00'	67.10'	4°16'17"	33.56	67.08'	S78°08'59"E
C25	900.00'	7.76'	0°29'38"	3.88	7.76'	S80°31'56"E
C26	25.00'	39.27'	90°00'33"	25.00	35.36'	N54°12'58"E
C27	25.00'	39.27'	89°59'27"	25.00	35.35'	S35°47'02"E
C28	25.00'	39.27'	90°00'33"	25.00	35.36'	S54°12'58"W
C29	25.00'	39.27'	89°59'27"	25.00	35.35'	N35°47'02"W
C30	950.00'	106.39'	6°24'59"	53.25	106.33'	S77°34'16"E
C31	950.00'	8.96'	0°32'26"	4.48	8.96'	N80°30'32"W



SHEET 2
MATCHLINE

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C32	950.00'	60.06'	3°37'20"	30.04	60.05'	N78°25'39"W
C33	950.00'	37.36'	2°15'13"	18.68	37.36'	N75°29'23"W
C34	25.00'	42.07'	96°25'33"	27.97	37.28'	S57°25'27"W
C35	225.00'	69.54'	17°42'31"	35.05	69.27'	S22°37'33"W
C36	25.00'	39.99'	91°39'34"	25.73	35.86'	N14°20'58"W
C37	925.00'	164.06'	10°09'44"	82.25	163.85'	S65°15'38"E
C38	925.00'	59.68'	3°41'49"	29.85	59.67'	N62°01'40"W
C39	925.00'	74.31'	4°36'11"	37.18	74.29'	N66°10'40"W
C40	925.00'	30.06'	1°51'44"	15.03	30.06'	N69°24'38"W

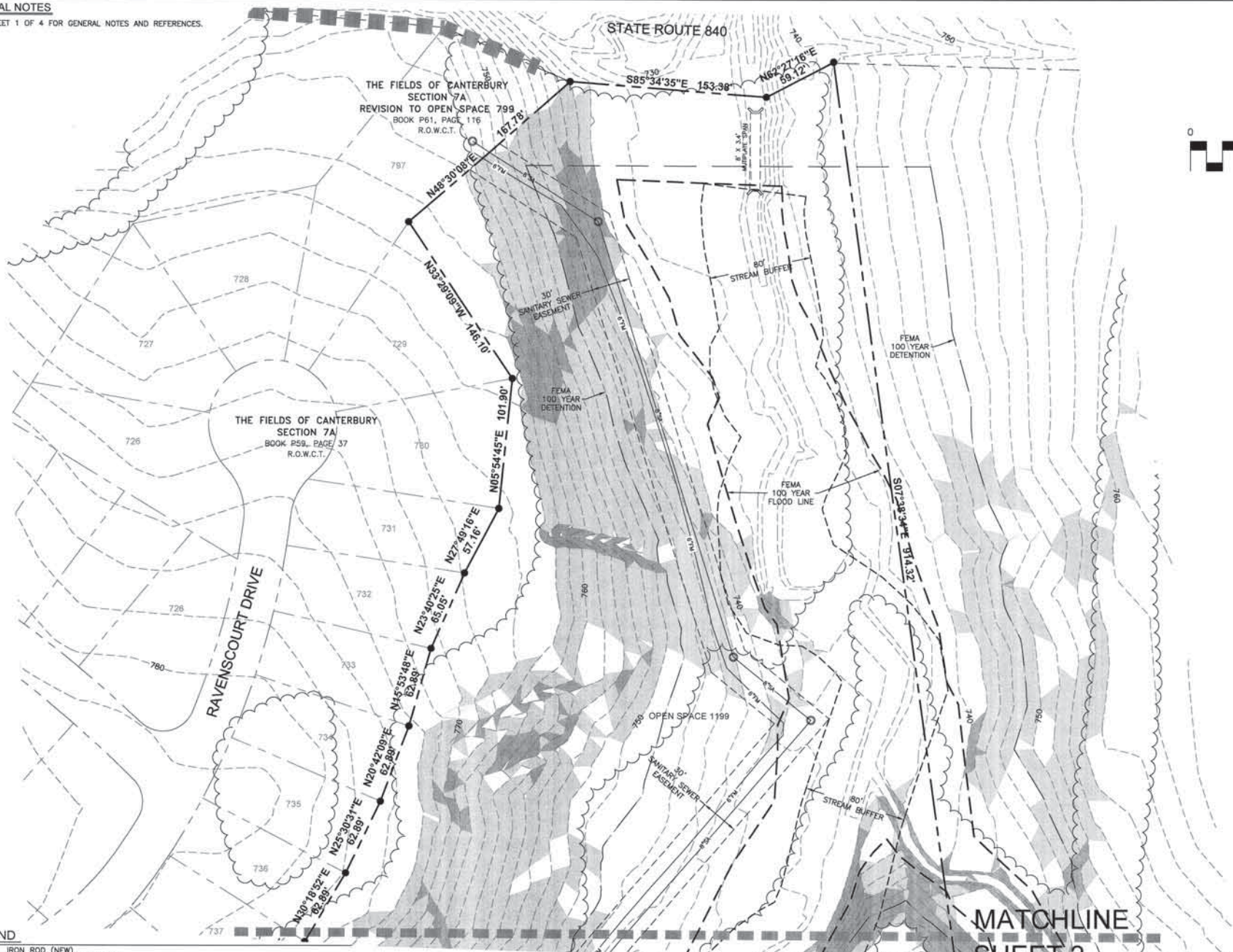
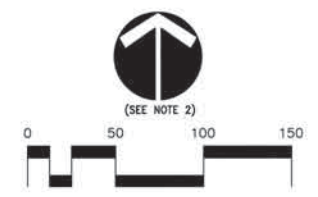
LEGEND	
●	IRON ROD (NEW) (5/8" X 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")
■	4" DIAMETER ALUMINUM DISC W/ 5/8" IRON ROD MARKED "RAGAN-SMITH ASSOCIATES"
R.O.W.C.T.	REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE
P.U.D.E.	PUBLIC UTILITY AND DRAINAGE EASEMENT
—FM—	EXISTING FORCE MAIN
○	SANITARY SEWER MANHOLE
—SA—	PROPOSED SANITARY SEWER LINE
—ST—	PROPOSED STORM LINE
■	CATCH BASIN
R.O.W.	RIGHT-OF-WAY
★	CRITICAL LOT (SEE NOTE 11)
▨	SLOPES 15%–25%
▩	SLOPES IN EXCESS OF 25%



REVISED: SEPTEMBER 10, 2015
REVISED: AUGUST 13, 2015
PRELIMINARY PLAT
THE FIELDS
OF
CANTERBURY
PHASE ELEVEN
LOTS 1101-1129 AND
OPEN SPACE 1197-1199
THOMPSON'S STATION,
WILLIAMSON COUNTY,
TENNESSEE
DRAWN BY: AMR/DOB
JOB NO. 05-043 W.O. 7878
DATE: JULY 29, 2015
SHEET 3 OF 4

GENERAL NOTES

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES AND REFERENCES.



- LEGEND**
- IRON ROD (NEW)
(5/8" X 18" W/CAP STAMPED
"RAGAN SMITH & ASSOCIATES")
 - 4" DIAMETER ALUMINUM DISC
W/ 5/8" IRON ROD MARKED
RAGAN-SMITH ASSOCIATES
 - R.O.W.C.T. REGISTER'S OFFICE
WILLIAMSON COUNTY, TENNESSEE
 - P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
 - FM- EXISTING FORCE MAIN
 - SLOPES IN EXCESS OF 25%

- SANITARY SEWER MANHOLE
- SA- PROPOSED SANITARY SEWER LINE
- ST- PROPOSED STORM LINE
- CATCH BASIN
- R.O.W. RIGHT-OF-WAY
- * CRITICAL LOT (SEE NOTE 11)
- SLOPES 15%-25%

**MATCHLINE
SHEET 2**



REVISED: SEPTEMBER 10, 2015
 REVISED: AUGUST 13, 2015
PRELIMINARY PLAT
 THE FIELDS
 OF
CANTERBURY
 PHASE ELEVEN
 LOTS 1101-1129 AND
 OPEN SPACE 1197-1199
 THOMPSON'S STATION,
 WILLIAMSON COUNTY,
 TENNESSEE
 DRAWN BY: AMR/DOB
 JOB NO. 05-043 W.O. 7878
 DATE: JULY 29, 2015
 SHEET 4 OF 4

Thompson's Station Planning Commission
Staff Report – Item 10 (PP 2015-005)
September 22, 2015

Preliminary Plat, Phase 11 for the creation of 32 lots located within The Fields of Canterbury.

PROJECT DESCRIPTION

Ragan Smith & Associates, on behalf of Hood Development submitted a request for a preliminary plat to create 29 single family lots and three (3) open space lots within the Fields of Canterbury community.

BACKGROUND

On August 25, 2015, the Planning Commission deferred this preliminary plat in order to request information regarding a traffic study.

ANALYSIS

Traffic Study

A traffic study was prepared for the Hood and Ferrari property (Fields of Canterbury) November 2004. The traffic study was prepared to address a project consisting of approximately 900 residential units, which included a mix of townhomes and single-family dwellings.

Conclusions and Recommendations (as provided in the traffic study)

1. *“Columbia Pike at North Site Access”*

The land accessing Columbia Pike was sold and is currently developed with Mars PetCare therefore; this recommendation is not applicable as no access to the Fields of Canterbury exists from Columbia Pike.

2. *“Columbia Pike at Middle Site Access”*

The land accessing Columbia Pike was sold and is currently developed with Mars PetCare therefore; this recommendation is not applicable as no access to the Fields of Canterbury exists from Columbia Pike.

3. *“Columbia Pike at Critz Lane Intersection”*

a. *“Based on background traffic, the westbound approach should be designed with separate right and left turn lanes to insure a single left turning vehicle does not cause excessive delay to right turning vehicles. The westbound left turn lane should have a minimum of 75 feet of storage and 75 feet of taper. Timing and funding source undetermined at this time.”*

b. *“Thompson’s Station should work with the MPO to move Columbia Pike widening to the earliest time feasible. The roadway project should be designed to include a left turn lane for westbound vehicles on Critz Lane. Also, improvements to the westbound approach radii nearest Columbia Pike should be based on a minimum 20 mph design speed.”*

c. *“The Ferrari commercial development should look to see if it is feasible and beneficial to the project to realign the Critz Lane 90 degree curve through the development.”*

TDOT, as part of a State Industrial Access (SIA) project will be beginning roadway improvements from State Route 840 to a realigned Critz Lane intersection in Fall 2016. As part of this SIA project, the Town is working on the realignment of Critz Lane.

4. *“Critz Lane at South Site Access”*

a. *“The southbound approach should be designed with one northbound and one southbound lane.”*

b. *“The location of the site access along Critz Lane shall be verified to insure that the necessary sight distance triangles are attainable.”*

5. *“Columbia Pike at State Route 840 Westbound Ramps”*
 - a. *“TDOT shall monitor traffic volumes to identify when westbound left turns reach the necessary volume for a signal warrant.”*

TDOT has installed a signal at the Columbia Pike/SR 840 westbound ramp.

6. *“Columbia Pike at State Route 840 Eastbound Ramps”*
 - a. *“TDOT shall monitor traffic volumes to identify when signal warrant is met.”*

TDOT has installed a signal at the Columbia Pike/SR 840 eastbound ramp.

7. *“Critz Lane Roadway Section and Geometry”*
 - a. *“The Hood property development will dedicate right-of-way and discuss with Thompson’s Station improvements or impact fees associated with Critz Lane.”*
 - b. *“The placement of development driveway and accesses should be reviewed to insure appropriate sight distances can be achieved.”*

Right-of-way was dedicated as part of the Section 1A and 1B plats. Additional right-of-way will be dedicated as future plats with frontage along Critz Lane are proposed. In addition, the development has paid all applicable impact fees with the issuance of building permits.

The primary access for the Fields of Canterbury neighborhood is Westerham Way. Westerham Way was reviewed and approved as part of Phase 1 of the development. The location of the secondary access which has previously served as a construction route was reviewed and approved as part of Phase 10.

RECOMMENDATION

Based on the project’s consistency with the site development plan and the Town’s Subdivision Regulations and Zoning Ordinance, Staff recommends that the Planning Commission approve the preliminary plat with the following contingencies:

1. Prior to the submittal of the final plat, the applicant shall enter into a development agreement for the project.
2. Prior to the approval of construction plans, all applicable codes and regulations shall be addressed to the satisfaction of the Town Engineer.
3. Prior to the approval of construction plans, a drainage study shall be submitted to verify that drainage is managed adequately on site.
4. Prior to the approval of construction plans, a geotechnical report shall be submitted identifying the location of any sinkholes.
5. Prior to the approval of construction plans, a mass grading plan shall be submitted for review and approval.
6. Prior to the approval of construction plans, a tree replacement plan shall be reviewed and approved. The tree replacement plan shall be incorporated into the Development Agreement.
7. Prior to the approval of construction plans, the cross section for the roadways shall incorporate a five foot sidewalk.

ATTACHMENT

Preliminary Plat Map

Staff Report dated August 25, 2015

Traffic Impact Study dated November 15, 2004 (sent via email on September 10, 2015)

Thompson's Station Planning Commission
Staff Report – Item 2 (File: SP 2015-006 & DR 2015-006)
September 22, 2015

Site Plan for the development of a five unit townhome building within Section 1B of the Fields of Canterbury.

PROJECT DESCRIPTION

Ford Homes submitted a request for approval of a site plan for the development of a five-unit townhome building on Danby Trace Drive within the Fields of Canterbury community.

ANALYSIS

Site plan

The applicant is proposing the development of one five-unit townhome building with detached garages to be located on Lots 132 – 136 with frontage along Danby Trace Drive. These units are surrounded by residential development to the north, east and west and open space to the south. The townhomes will have access from an alley that will extend between Channing Drive and Hampshire Place.

Land Use/Density

The development is located within the High Intensity zoning district which permits three units an acre and permits housing options that include single-family and townhomes. The overall project site is 270.5 acres and consists of 204 townhomes and 612 single-family dwellings for a total of 816 residential units for a total density of three units per acre. This section of townhomes was approved as part of Phase 1B within the master planned area and is consistent with the previously approved layout of the development. Therefore, the project conforms to the Zoning Ordinance for land use and density.

Setbacks/Height

The proposed townhomes have a 15 foot front yard setback which conforms to the required setbacks. Each unit will have a detached one car garage in the rear portion of the site with access from the alley. All driveways are a minimum of 20 feet in length and provide an additional parking space. The maximum allowable height is 35 feet. The townhomes maximum height is no greater than 35 feet. Therefore, the project meets setback and height requirements within the Zoning Ordinance.

Architecture

The architecture consists of a mixture of brick veneer, turned brick accents, fiber cement, planter boxes under windows and shutters. The Design Guidelines state to “keep the design consistent with the positive character of the surrounding area in terms of both existing character and desired future character.” The proposed design is substantially consistent with the Fields of Canterbury community which consists of a mixture of brick and fiber cement or hardiplank siding. The DRC is scheduled to review the architecture on October 7, 2015.

Landscaping

Most units will have one front yard tree consisting of a Gold Maple, Dogwood, Holly, Crape Mrytle or Arborvitae. The remaining landscaping consists of shrubs and grasses with groundcover. The landscaping is consistent with the existing landscaping for the other townhomes within the neighborhood.

RECOMMENDATION

Based on the project’s consistency with Town’s Zoning Ordinance, Staff recommends that the Planning Commission approve the project subject to the following contingency:

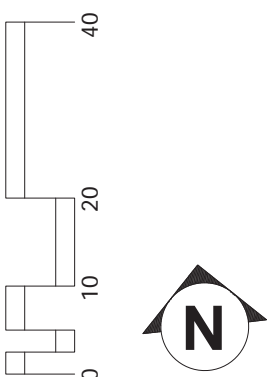
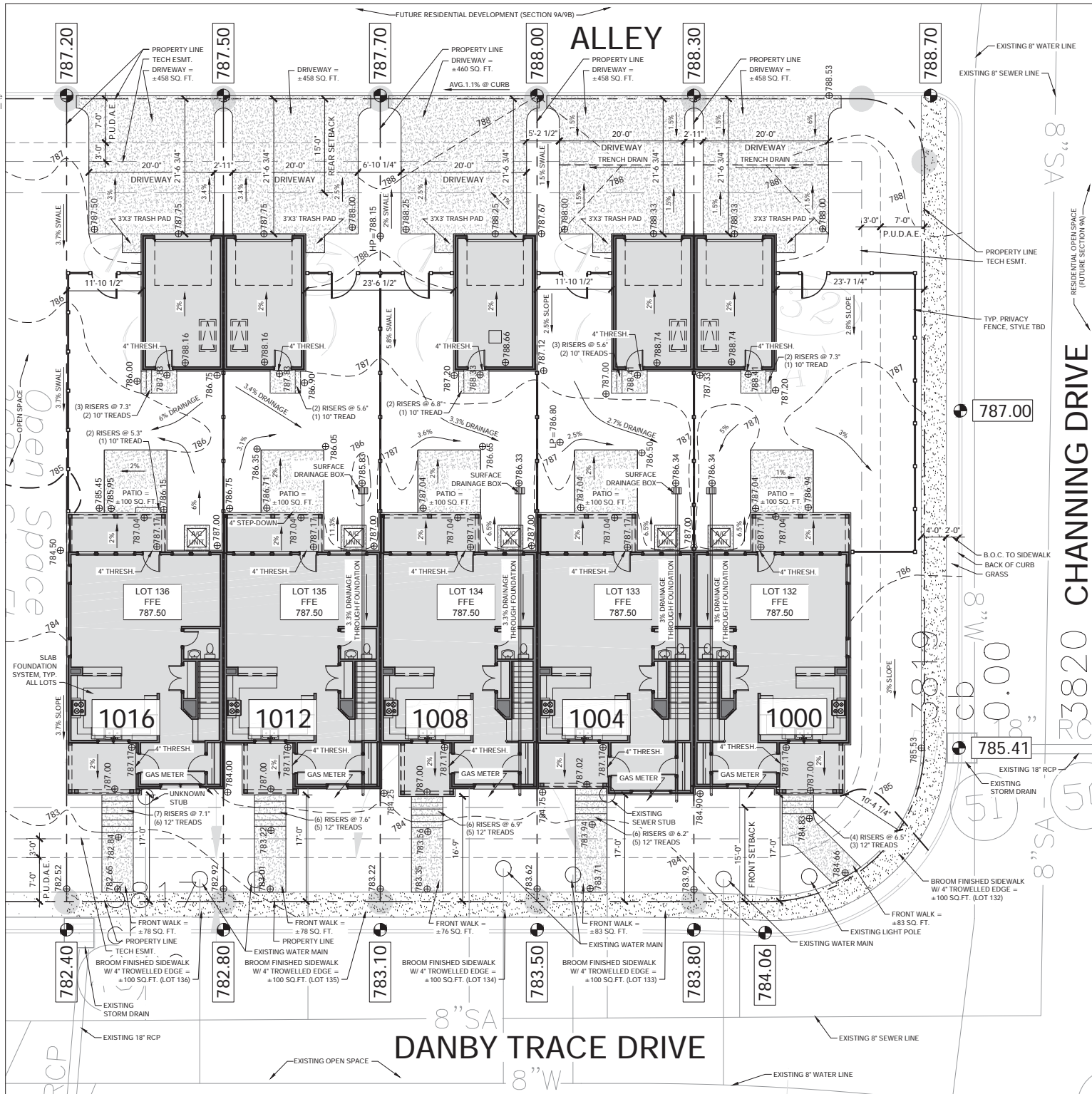
1. Prior to the issuance of building permits, the applicant shall obtain approval from the Design Review Commission.

ATTACHMENTS

Site Plan packet

NOTES:

- * Builder is responsible for confirmation of architecture, property lines, easements and building setbacks prior to construction. **DO NOT SCALE FROM THIS PLAN.**
- * Builder must confirm all spot elevations prior to construction
- * Builder is responsible for compliance with all applicable codes and ordinances.
- * Builder is responsible for proper grading and adequate drainage (2% minimum slopes away from residence & garage.) No cut or fill may be performed which will result in damage to any adjoining property.
- * Final staking of house must be performed by a licensed land surveyor
- * Any discrepancy found in these plans must be reported to the architect. Should discrepancies be found, continuation of work without review by the architect will be at builder's risk.
- * This plan HAS NOT been prepared in accordance with handicapped guidelines or any other ADA considerations
- * Builder is responsible for the review and approval of plans with prospective purchaser(s)
- * No runoff calculations have been developed or used to size swales and/or inlets and pipes.



NOTE: COORDINATE FLOOR ELEVATIONS IN FIELD AND VERIFY SUITABILITY



390 MALLORY STATION RD. SUITE 100
FRANKLIN, TN 37067
P. 615.503.9727 F. 615.503.9798

CANTERBURY LOTS 132-136

SITE PLAN

LAST CHECKED:
08/26/2015
KJK

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ISSUE DATE: 26 AUG 2015
REVISIONS:

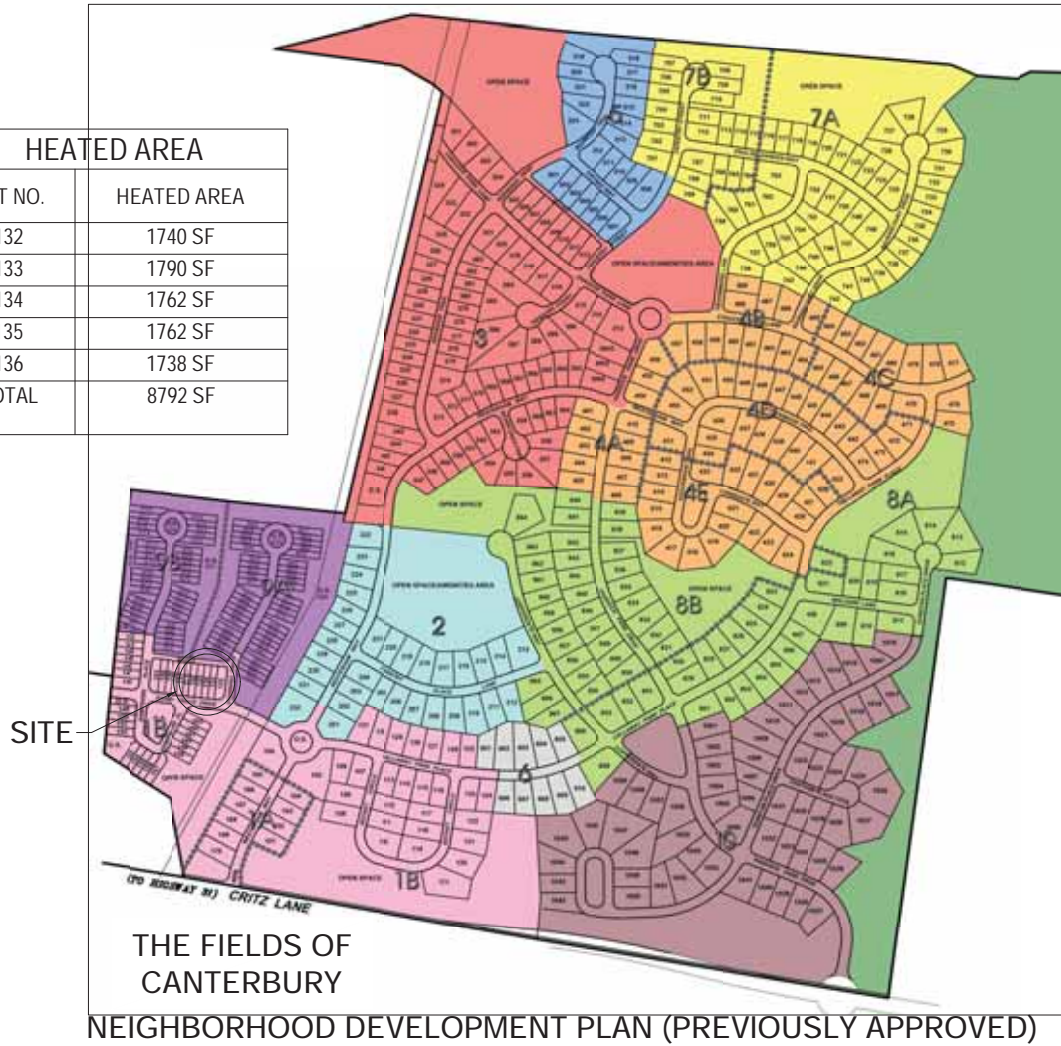
C2.1

SITE PLAN

ZONING: HIGH INTENSITY

AREA / COVERAGE TABLE			
LOT NO.	LOT AREA	BLDG. FOOTPRINT	LOT COVERAGE
132	4546 SF / 0.104 AC.	1338 SF	29%
133	3200 SF / 0.073 AC.	1348 SF	42%
134	3200 SF / 0.073 AC.	1332 SF	42%
135	3200 SF / 0.073 AC.	1324 SF	41%
136	3200 SF / 0.073 AC.	1347 SF	42%
TOTAL	17346 SF / 0.396 AC.	6697 SF	39%

HEATED AREA	
LOT NO.	HEATED AREA
132	1740 SF
133	1790 SF
134	1762 SF
135	1762 SF
136	1738 SF
TOTAL	8792 SF



THE FIELDS OF CANTERBURY
NEIGHBORHOOD DEVELOPMENT PLAN (PREVIOUSLY APPROVED)



NOTES:

- * Builder is responsible for confirmation of architecture, property lines, easements and building setbacks prior to construction.
- DO NOT SCALE FROM THIS PLAN.**
- * Builder must confirm all spot elevations prior to construction
- * Builder is responsible for compliance with all applicable codes and ordinances.
- * Builder is responsible for proper grading and adequate drainage (2% minimum slopes away from residence & garage.) No cut or fill may be performed which will result in damage to any adjoining property.
- * Final staking of house must be performed by a licensed land surveyor
- * Any discrepancy found in these plans must be reported to the architect. Should discrepancies be found, continuation of work without review by the architect will be at builder's risk.
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- * Builder is responsible for the review and approval of plans with prospective purchaser(s)
- * No runoff calculations have been developed or used to size swales and/or inlets and pipes.



AREA MAP



CANTERBURY LOTS 132-136
SITE PLAN
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LAST CHECKED: 08/26/2015 KJK

ISSUE DATE: 26 AUG 2015
REVISIONS:

C2.2

SITE PLAN



LANDSCAPE PLAN

- LANDSCAPE NOTES:**
1. LANDSCAPE CONTRACTOR TO VERIFY QUANTITIES OF PLANT MATERIAL PRIOR TO INSTALLATION.
 2. LANDSCAPE CONTRACTOR TO VERIFY ALL ABOVE AND BELOW GRADE UTILITY LOCATIONS PRIOR TO BEGINNING INSTALLATION.
 3. SEE LANDSCAPE PLANT LIST AND NOTES ON SHEET L1.02.

SCALE: 1"=10'
 N
 The Addison Group, LLC 2014

LANDSCAPE PLAN
CANTERBURY
 TOWNHOMES 132-136
 THOMPSON'S STATION, TENNESSEE

Prepared For:
 FORD CUSTOM
 CLASSIC HOMES
 615-503-9727



DATE: 08-25-18
REVISIONS:

Plant Materials

Plant material shall be delivered to the site after the beds are prepared and are ready for planting. Shipments of plant materials shall be thoroughly protected from the sun and from drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected. Plant materials remain the property of the Contractor until initial acceptance.

Shrubs And Groundcovers

Plants shall be nursery grown, healthy, vigorous, compact, bushy to the ground, well branched, of normal habit of growth for the species, and shall be free from defects, decay, girding roots, sun-scald injuries, abrasions of the bark or limbs, disease, insect eggs, and larvae. They shall have ball sizes that meet the standard set forth by the American Association of Nurserymen, Inc. The specified sizes shall be before pruning, and the plants shall be measured from their nominal top branches in normal position to the top of the ball or soil level. Plants shall not be pruned prior to delivery, except upon special approval.

All plants shall be of specimen quality. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

All plants shall be hardy under climatic conditions similar to those in the locality of the project.

Shade Trees

Shade trees shall be healthy, vigorous, full-branched on all sides, well-shaped, specimen quality, symmetrical, and shall meet the trunk diameter, height and spread requirements as specified. Single trunk trees shall have a straight trunk. Trees which have a damaged or crooked leader or trunk or are one-sided or do not have a full, symmetrical branch structure and crown, will be rejected. Ball shall be firm, neat, slightly tapered, and well burlapped. Any tree loose in the ball or with broken ball at the time of planting will be rejected. Trees with abrasions on the bark, disfiguring knots, or wounds over two (2) inches which have not calloused will be rejected. All trees shall have trunk three exposed, excess soil shall be removed from root ball necessary

. Tree ball sizes shall be as outlined in ANSI Z6.0.1 - 1980.

Multi-trunk Trees: No division of the trunk which branches more than six (6) inches from the ground level, as determined by the root crown of the plant, shall be considered a stem.

Ornamental Trees

Ornamental trees shall be healthy, vigorous; full branched, well shaped, and shall meet the height and spread, caliper and branching character as specified. Trees not having a full, symmetrical branch structure and crown will be rejected.

Single trunk ornamental trees shall have straight trunks with branching beginning a minimum of forty-two (42) inches above the top of the ball or container.

Multi-trunk ornamental trees shall be pruned so all "sucker" type branching is removed from around trunk canes as well as extraneous branching on trunk canes below crown of trees. Pruning shall be such that as least one-half of the plant is trunk branching and approximately one-half is crown foliage. All multi-trunk trees will conform to the number of trunk canes and/or caliper specified.

Materials

Compost: 100% organic, aerobically composted humus, fully composted under proper C/H ratios with sustained temperatures to 170 degrees F., possessing excellent air porosity, water holding capacity and drainage, optimum cation exchange capacity, free of weeds, weed seeds, insect pests and with a pH averaging 6.5 to 7.0. As supplied by Living Earth Technology, Dallas, Texas, or approved equal.

Fertilizer: Complete slow release fertilizer with an organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original unopened containers, each bearing manufacturer's guaranteed statement of analysis. Fertilizer shall contain 20% nitrogen, 10% phosphoric acid, 10% potash, unless otherwise specified or approved. "Agriform" by Sierra Chemical Company, or approved equal.

Peat Moss: Clean hynnum peat, free of noxious weeds and rubble, dark brown in color.

Fine Pines: Fine texture, ¼ to ½ inch size, free of noxious weeds and rubble.

Topsoil: Fertile natural surface soil, uniform in composition, similar to site topsoil if approved, free of stones, lumps, weeds, and roots. Minimum 20 percent organic matter, 50 to 70 percent sand, 15 to 20 percent clay. If topsoil at the site does not meet specifications, Contractor is responsible for importing topsoil to the site for the purpose of backfilling plant pits.

Tree Pits And Planting

If planting occurs without approval of plant locations by the Landscape Architect, the Landscape Architect reserves the right to relocate plant material as deemed necessary.

Ornamental Trees: Plant ornamental trees in pits twelve (12) inches larger than the tree ball. After setting the tree, the pit shall be backfilled with parts of topsoil to one (1) part of compost and carefully settled by watering to prevent air pockets. Form a three (3) inch high watering ring for each ornamental tree. All cord or wire to secure burlap on tree ball shall be cut from top of ball and around trunk. Place a (2) inch layer of compost inside the watering ring.

Shade Trees: Plant shade trees in a tree pit two (2) feet greater in diameter than the tree ball. The crown of the tree ball should be approximately one (1) inch higher than the existing grade. After setting the tree, the pit shall be backfilled with four (4) parts of acceptable existing soil or topsoil to one (1) part compost and carefully settled by watering to prevent air pockets. Form a four (4) inch high watering ring around the tree. All cord or wire used to secure burlap on tree ball shall be cut from top one-third of ball and from around trunk after setting. Place two (2) inch layer of compost or bark mulch inside the watering ring.

Percolation Test Pits: The Contractor shall excavate at least four (4) test pits on the site and fill with water to test for percolation. Size of pits shall be comparable to largest tree pit to be excavated. Location can be in conjunction with proposed shade tree location. Monitor pit for forty-eight (48) hours. If, at the end of that time, water has not significantly percolated, a Stand Pipe underdrain system should be installed for trees in that area.

Stand Pipe Installation: Should it be determined that tree pits will not percolate, or do so very slowly, shade trees shall have sump pipes installed in specially excavated tree pits.

Bed Preparation

Groundcover Beds: Loosen all groundcover beds to a depth of six (6) inches. Two (2) inches of peat moss or compost shall be applied and worked into the upper six (6) inches of bed. Beds shall be thoroughly tilled and pulverized to a depth of six (6) inches and raked smooth. Work fertilizer into soil at the rate of twelve (12) pounds per 1000 square feet. Delivery receipts of soil amendments may be requested.

Rototill all seasonal color beds to a depth of six (6) inches. Four (4) inches of peat moss or compost shall be applied and worked into the upper six (6) inches of the bed. Beds shall be thoroughly tilled and pulverized to a depth of six (6) inches and raked smooth. Beds shall be left two (2) to three (3) inches higher than surrounding grade for proper drainage.

Shrub Bed Planting: Rototill all shrub beds to a depth of six (6) inches. Four (4) inches of peat moss or compost shall be applied and worked into the upper six (6) inches of the bed. Beds shall be thoroughly tilled and pulverized to a depth of six (6) inches and raked smooth. Beds shall be left two (2) to three (3) inches higher than surrounding grade for proper drainage. Broadcast fertilizer and work lightly into the soil around the shrubs at the rate of (12) twelve pounds per 1000 square feet. Bed shall be left high to prevent poor drainage or ponding of water within the bed.

Care shall be taken to prevent planting beds from blocking drainage against building or impeding site drainage in any way.

Tree Guying And Staking

Submit unit cost in bid for staking all trees four (4) inch caliper and under, with three (3) steel stakes and three (3) Adj-A-Tye straps, Model 5100. Stakes should be located equal distant around the tree, and outside of tree pit. Stakes to be embedded a minimum of two (2) feet into stable soil.

Staked and guys shall be removed following the one (1) year warranty period.

Bed Alignment And Plant Placement

Shrubs and groundcover shall be planted in string line straight rows using alternative spaces between rows. The specified quantity of shrubs or groundcover shall be placed in the bed prior to planting to assure even coverage. The specified quantity of seasonal color shall be placed in the bed prior to planting to assure even coverage.

After the planting is completed, all cultivated areas shall be leveled, loosened, and raked, and the edges carefully trimmed so that the tree pits and beds shall present a neat appearance. Care shall be used that these bed edges conform as closely as possible with the lines shown on the Planting Plan. Steel edging stakes shall be on the inside of the beds.

Top Dressing

After the work of planting has been completed and approved by the Landscape Architect, mulch all beds and tree rings with two (3) inches of shredded hardwood bark mulch, lightly cultivated into area. Do not disturb watering saucer or do not cover root flair.

Grass And Weed Removal

Existing grass and weeds in areas of proposed beds shall be removed either chemically or by excavation, including root systems. Existing weeds shall be removed either chemically or by excavation, including root system, from all proposed lawn areas prior to installation of grass. Contractor shall re-fill excavated areas with topsoil to finish grade before bed preparation or grass installation.

Soil Erosion Protection

Install jute mesh or approved equal in planting bed with slopes greater than three to one prior to planting. Mesh shall have a minimum overlap of twelve (12) inches where sections join. Materials shall be installed in lengthwise sections running parallel with the slope, providing the length of slope is in excess of ten (10) linear feet from top to bottom. Jute mesh on slopes with lengths less than ten (10) linear feet shall be installed across the lope and double pinned at the twelve (12) inch overlap. Pins shall be installed so that no gaps or sags are visible in mesh.

Lawns

Loosen and rake smooth all areas to be grassed. Remove all weeds, debris and any clumps, stones, clods, etc. larger than three quarter (3/4) inch diameter. Ensure lawn areas and alleys are graded for proper drainage. Areas next to sidewalks and curbs shall be graded down to one (1) inch below finished grade to allow for thickness of grass build-up.

Sod: Areas will be planted with sod as indicated on the plan. All sod shall be dark, rich green, free of weeds and nut grass and placed so joints are flush between pieces. Sod is to have root development that will support its own weight without tearing, when suspended vertically by holding the upper two corners. Sodded areas shall be rolled with a 200 pound roller immediately after laying, watered thoroughly and rerolled. All sodded grass areas shall be fertilized at the rate of twenty-five (25) pounds per 1000 square feet, prior to laying sod. Dead patches of sod shall be removed and replaced immediately.

Lawn Establishment

It is the responsibility of the Contractor to establish a dense lawn of permanent grasses, free from weeds, lumps and depressions. Any part of the area that fails to show a uniform germination shall be reseeded or resodded, and such reseeded or resodding shall continue until a dense lawn is established, regardless of amount of rain.

Water, mow and edge the lawn until initial acceptance. Mow each time after the law has reached a height of three and a half (3 ½) inches. Mow to a height of two and a half (2 ½) inches, returning the clippings to the lawn. Damage to seeded areas resulting from erosion shall be repaired by the Contractor. Scattered bare spots will not be allowed over one (1) foot square in the lawn area. Never mow off more than one-third of the grass leaves.

Clean-Up

During the work, the premises are to be kept neat and orderly at all times. Storage areas for plant and other materials shall be so organized that they, too, are neat and orderly. All trash, including debris resulting from removing weeds or rocks from planting area, preparing beds, or planting plants, shall be removed from the site daily as the work progresses. All walks and drives shall be kept clean by sweeping and hosing. Excavated soil may be distributed on the site or hauled off site as directed by Owner.

Maintenance

The Contractor shall maintain all trees, shrubs, and groundcover under this Contract until initial acceptance, by adequate watering, cultivating the top two (2) inches, weeding every two (2) weeks, spraying, and replacing as necessary to keep plants in a healthy, vigorous condition. Bed areas shall be raked as may be required to keep them neat.

The Contractor shall maintain all grass areas under this Contract until initial acceptance by watering, mowing, spraying, fertilizing, etc.

One Year Maintenance

The Contractor shall submit a separate price for maintenance of the landscape and irrigation installation for a period of one (1) year after initial acceptance. Maintenance shall be based on the Maintenance Specifications listed above.

CANTERBURY TH 132-136 PLANT LIST						
QTY	SYM	Common Name	Scientific Name	Size	Spacing	
Trees						
2	ACER	Armstrong Gold Maple	Ace' rubrum 'JFS-KW78'	2" Caliper	as shown	
2	COKO	Cherokee Chief Dogwood	Cornus florida 'Cherokee Chief'	1.5" Caliper	as shown	
3	ILCO	Liberty Holly	Ilex x 'Conty'	5' Ht.	as shown	
2	LAIN	Natchez Crapemyrtle	Lagerstroemia indica 'Natchez'	8' Ht, 3 Trunks	as shown	
2	THOE	Emerald Green Arborvitae	Thuja occidentalis 'Smaragd'	5' Ht.	as shown	
Shrubs/Grasses						
11	ABEL	Little Richard Abelia	Abelia x grandiflora 'Little Richard'	3 Gallon	as shown	
18	BUGV	Green Velvet Boxwood	Buxus 'Green Velvet'	18"-24" Ht.	as shown	
10	BUGM	Green Mountain Boxwood	Buxus x 'Green Mountain'	30"-36" Ht, Conical	as shown	
13	BUXS	Winter Gem Boxwood	Buxus microphylla japonica 'Winter Gem'	24"-30" Ht.	as shown	
5	CARY	Blue Mist Bluebeard	Caryopteris x clandonensis 'Blue Mist'	3 Gallon	as shown	
6	HYDR	Little Lime Hardy Hydrangea	Hydrangea paniculata 'Jane'	3 Gallon	as shown	
19	ICDB	Dwarf Burford Holly	Ilex cornuta 'Burfordii'	24" Ht - 30" Ht.	as shown	
8	ILEX	Soft Touch Holly	Ilex crenata 'Soft Touch'	3 Gallon	as shown	
6	MUCA	Pink Muhly	Muhlenbergia capillaris	3 Gallon	as shown	
1	PAVN	Northwind Switchgrass	Panicum virgatum 'Northwind'	3 Gallon	as shown	
13	PILO	Otto Luyken Laurel	Prunus laurocerasus 'Otto Luyken'	18"-24" Ht.	as shown	
Groundcover/Perennials						
21 SF	ANNU	Annuals	By Homeowner			
14	DIAN	Firewitch Cheddar Pink	Dianthus gratianopolitanus 'Firewitch'	1 Gallon	18" o.c.	
11	IBSP	Purity Candytuft	Iberis sempervirens 'Purity'	1 Gallon	18" o.c.	
7	SEAJ	Autumn Joy Sedum	Sedum x 'Autumn Joy'	1 Gallon	24" o.c.	

LANDSCAPE NOTES



LANDSCAPE PLAN
CANTERBURY
TOWNHOMES 132-136
THOMPSON'S STATION, TENNESSEE

Prepared For:
FORD CUSTOM
CLASSIC HOMES
615-503-9727



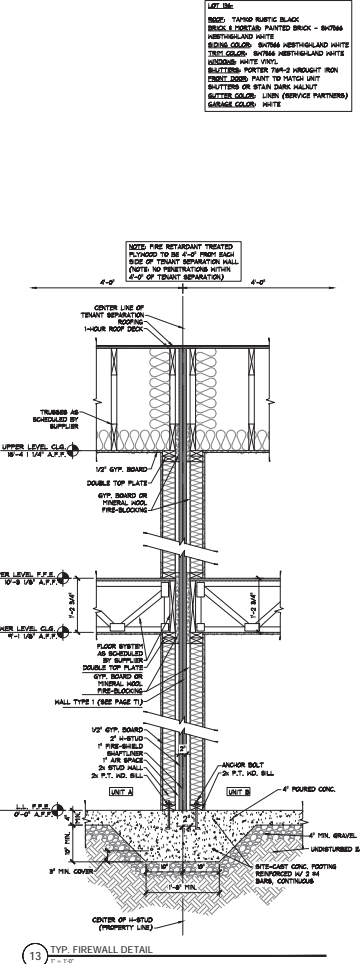
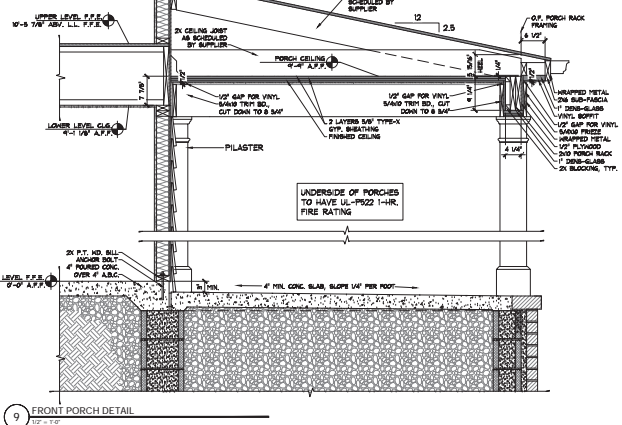
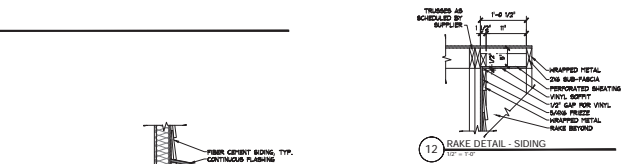
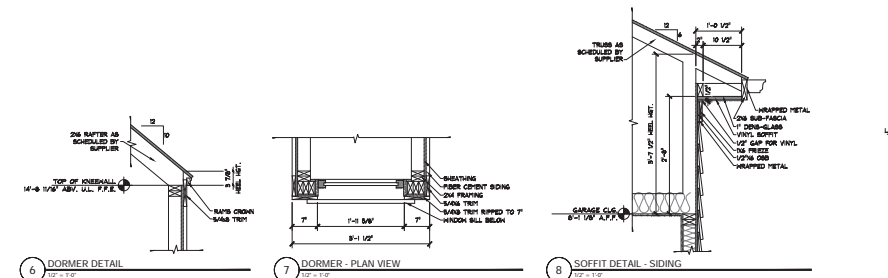
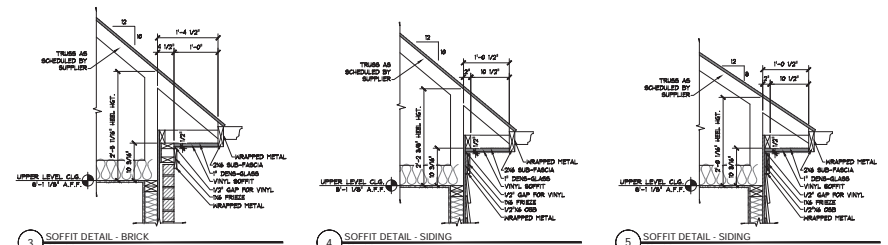
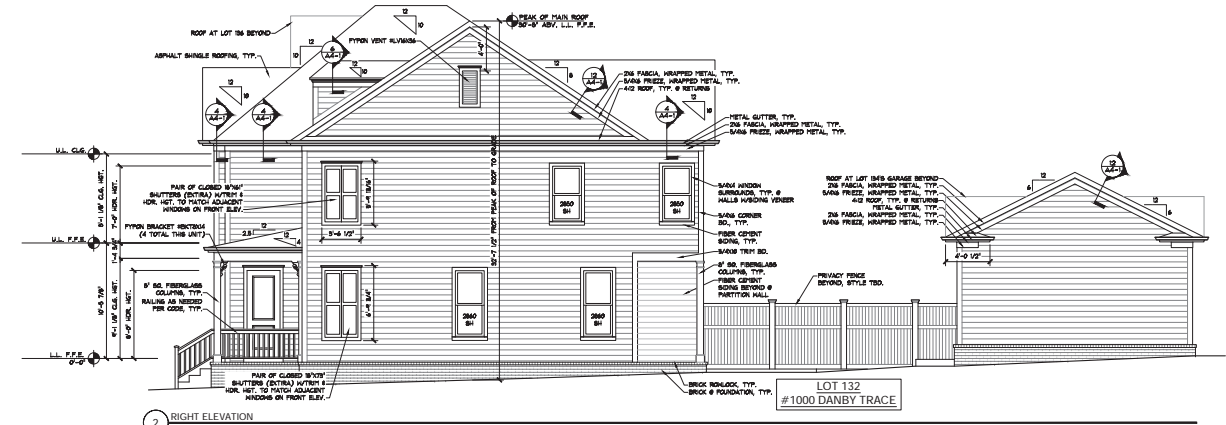
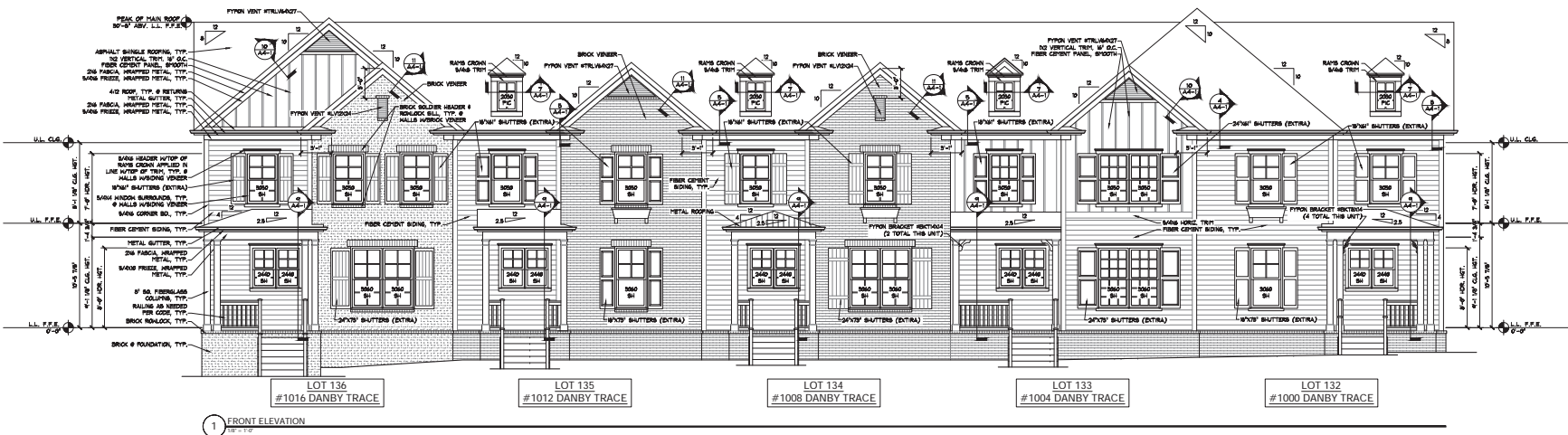
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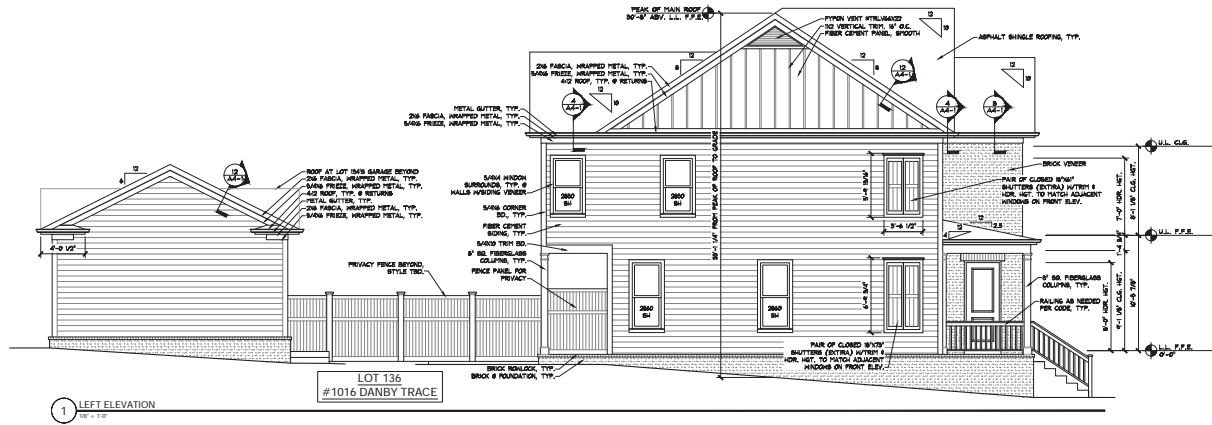
REVISIONS:

SHEET NO.
L1.02

EXTERIOR COLOR SELECTIONS

- LOT 136:**
 ROOF: TAYLOR RUSTIC BLACK
 BRICK & CORNER: PINE HALL BRICK SPANISH
 HORN HAZELBROWN IVORY PORTER
 SIDING COLOR: BOWEN COLONIALE GRAY
 TRUSS COLOR: BOWEN WESTHIGHLAND WHITE
 HOODS: WHITE VINYL
 BUTTERS: PPG SP-1 GRAY
 BRICK DOOR: PAINT TO MATCH UNIT
 BUTTERS OR STAIN DARK HAZEL
 GUTTER COLOR: LINN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE
- LOT 135:**
 ROOF: TAYLOR RUSTIC BLACK
 BRICK & CORNER: PINE HALL BRICK SPANISH
 HORN HAZELBROWN IVORY PORTER
 SIDING COLOR: PPG 3054 GRAY
 TRUSS COLOR: BOWEN WESTHIGHLAND WHITE
 HOODS: WHITE VINYL
 BUTTERS: PPG SP-1 GRAY
 BRICK DOOR: PAINT TO MATCH UNIT
 BUTTERS OR STAIN DARK HAZEL
 GUTTER COLOR: LINN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE
- LOT 134:**
 ROOF: TAYLOR RUSTIC BLACK
 BRICK & CORNER: PINE HALL BRICK SPANISH
 HORN HAZELBROWN IVORY PORTER
 SIDING COLOR: PPG 3054 GRAY
 TRUSS COLOR: BOWEN WESTHIGHLAND WHITE
 HOODS: WHITE VINYL
 BUTTERS: PPG SP-1 GRAY
 BRICK DOOR: PAINT TO MATCH UNIT
 BUTTERS OR STAIN DARK HAZEL
 GUTTER COLOR: LINN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE
- LOT 133:**
 ROOF: TAYLOR RUSTIC BLACK
 BRICK & CORNER: PINE HALL BRICK SPANISH
 HORN HAZELBROWN IVORY PORTER
 SIDING COLOR: BOWEN COLONIALE GRAY
 TRUSS COLOR: BOWEN WESTHIGHLAND WHITE
 HOODS: WHITE VINYL
 BUTTERS: PPG SP-1 GRAY
 BRICK DOOR: PAINT TO MATCH UNIT
 BUTTERS OR STAIN DARK HAZEL
 GUTTER COLOR: LINN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE
- LOT 132:**
 ROOF: TAYLOR RUSTIC BLACK
 BRICK & CORNER: PINE HALL BRICK SPANISH
 HORN HAZELBROWN IVORY PORTER
 SIDING COLOR: BOWEN COLONIALE GRAY
 TRUSS COLOR: BOWEN WESTHIGHLAND WHITE
 HOODS: WHITE VINYL
 BUTTERS: PPG SP-1 GRAY
 BRICK DOOR: PAINT TO MATCH UNIT
 BUTTERS OR STAIN DARK HAZEL
 GUTTER COLOR: LINN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE





CANTERBURY LOTS 132-136
TOWNHOMES

ELEVATIONS

ISSUE DATE: 08 SEPT 2015
REVISIONS:

A4-2
ELEVATIONS



COMPREHENSIVE GENERAL PLAN FOR THOMPSON'S STATION



Picture courtesy of Thompson's Station Battlefield Association

Contributions

Board of Mayor and Aldermen

**Corey Napier, Mayor
Sarah Benson, Vice Mayor
Ron Barrett, Alderperson
Nina Cooper, Alderperson
Brinton Davis, Alderperson**

Planning Commission

**Corey Napier, Commissioner (Mayor)
Sarah Benson Commissioner (Vice Mayor)
Millie Halvorson, Chairperson
George Ross, Vice-Chair
Tom Evans, Secretary
Carl Hubert, Commissioner
Brad Wilson, Commissioner**

Town Administrator

Greg Langeliers

Town Planner

Wendy Deats

Building Official

Richard King

Town Recorder

Doug Goetsch

Town Clerk

Lisa Stewart

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Introduction/Purpose

This Comprehensive Plan is a policy document that will provide guidance for the vision and future development of the Town of Thompson's Station as indicated in Tennessee Code Annotated 13-4-201. It is a long range plan that is utilized as a tool for planning efforts into the next 10 – 15 years. The plan will develop a framework that coordinates existing and future land uses to ensure that development is completed in an orderly and sustainable manner. The goals and policies set forth in this plan also provide a framework for land use decisions. These goals will range from the built environment to the natural environment, protecting and preserving while allowing for necessary growth that will benefit the community. Planning for infrastructure and public facilities will also be included to ensure adequate services are provided to all Town residents.

Physical Setting

The Town of Thompson's Station is located approximately 25 miles southwest of Nashville, in southern Williamson County between Franklin and Spring Hill, has a population of 2,194 people (2010 Census) and is within the Harpeth River Watershed. The landscape consists of varied topography, which lends to the natural beauty of the area. The west side of Thompson's Station is rural in nature with residences on large parcels of land, while the central and eastern portion of the Town tends to have slightly higher densities. Heritage Elementary School, Heritage Middle School and Independence High School are the three schools within Thompson's Station that serve most of the families in the Town. These schools are some of the best in the State and are within the Williamson County School District.

Thompson's Station has been recognized for its rural atmosphere characterized by low density housing, agricultural areas and acres of open land and natural resources, including the West Harpeth River and its tributaries. However, Thompson's Station is located in proximity to Cool Springs, a large commercial hub providing numerous economic resources thereby making this area a desirable place for families to reside who want a rural atmosphere while keeping in proximity to goods and services. Therefore, in recent years, higher density housing has started to occur in locations suitable to providing easy access to commercial activities. These developments, including Tollgate Village, Bridgemore Village and Fields of Canterbury offer a variety of housing in proximity to major thoroughfares. Interstate 65, State Route 840, Lewisburg Pike and Columbia Pike provide easy access north of Thompson's Station into the Franklin/Cool Springs area. These major roadways also provide valuable opportunities for locating commercial land uses that will have a positive economic impact while maintaining the integrity and rural atmosphere of the community as a whole.

The Town has ~~two~~ **three** parks. The Town's main park, the Thompson's Station Park is situated on 23 acres and is within the Town Center. Thompson's Station Park has a one (1) mile trail loop, two pavilions, a playground and open space. Terrapin Park, a passive park is located behind the Town's wastewater facility and a trail system from Tollgate, a master planned community to the north connects to this park area. A stage was

constructed for events at this park and it is proposed that this trail will ultimately connect throughout the Town as part of the master plan for the trail system. And, the Town owns approximately 210 acres of parkland for preservation/conservation and passive recreation.

Thompson’s Station is also recognized for its history. The Battle of Thompson’s Station is a well known battle that was fought along what is today, Columbia Pike (Highway 31). Homestead Manor, which is situated along Columbia Pike became a hospital for the wounded. Homestead Manor was registered with the National Register of Historical places in 1977 and has been placed within a Conservation Easement for protection and preservation. Furthermore, Thompson’s Station was a shipping center in southern Williamson County. Other historic buildings not listed in the National Register include an old bank building built in 1913 and the Thompson’s Station United Methodist Church which was built in 1876.

Demographics

	2000 Census	2008 Special Census	2010 Census	2013 Special Census
Thompson’s Station	1,283	1,723	2,194	2,688
Williamson County	126,638	n/a	183,182	183,182

Community Input

Several community input meetings were held to obtain input from the Town residents and to identify concerns within the Town. In addition, a survey was available for approximately a month and was posted online. In order to allow for all residents to comment, post cards were mailed to every house in Thompson’s Station and the questionnaire was available at Town Hall. Issues that were identified to be of importance to the community as a whole are: growth management, including coordination of development with infrastructure, preservation of natural resources, and the quality of parks. As expected traffic was a big concern to many of the participants of the survey. Improving roadways such as Critz Lane, which was recently resurfaced, and Columbia Pike were listed among the most important infrastructure needs. Other issues that were identified as important were preservation of the Town as a rural atmosphere. These are the same issues that were brought up at other community meetings and so this Comprehensive Plan will make strides to address those ideas, issues and concerns with responsible and appropriate goals and policies.

Land Use Element

The function of the Land Use Element is to coordinate through appropriate goals, policies and objectives a functional and balanced environment that can be enjoyed by those within the community as well as those visiting the community. Establishing a framework will guide the Town through development as it arises and give the ability to make consistent and well planned decisions regarding existing and future land uses.

Goal 1 – Preserve the rural characteristics of the community while accommodating for future growth in an orderly and sustainable manner.

- Policy 1.1 – Designate appropriate ~~residential land uses~~ intensity of development integrated with open space and common areas.
- Policy 1.2 – Encourage low density, rural land uses allowing for similar residential, equestrian or agricultural uses to expand in areas where land uses and zoning permits.
- Policy 1.3 – Identify areas for greenbelts to enhance and preserve the rural atmosphere.
- Policy 1.4 – Encourage ~~large open space lots to preserve substantial amounts of rural areas~~ clustered mixed-use development that will incentivize landowners to maintain open space.
- Policy 1.5 – Allow for and encourage appropriate home occupations and residential businesses.

Goal 2 – Achieve a balanced mix of ~~residential~~ uses within the Town.

- Policy 2.1 – Provide opportunities for a mix of housing and commercial throughout the Town to accommodate a range of needs.
- Policy 2.2 – Evaluate appropriate areas for higher housing densities in proximity to non-residential uses to promote areas of walkability.
- Policy 2.2 – Encourage nodes of residential development that are clustered together to preserve large tracts of open space.

Goal 3 – Achieve a balanced mix of non-residential uses within the Town.

- Policy 3.1 – Designate a variety of land uses that are compatible with surrounding land uses, locating higher intensity uses near the major thoroughfares and freeways.
- Policy 3.2 – Encourage nodes of non-residential development that are clustered together avoiding linear development patterns.
- Policy 3.3 – Promote the development of appropriate uses which provide a housing/jobs balance.
- Policy 3.4 – Encourage mixed-use projects within ~~planned districts and~~ intended and targeted growth sectors.
- Policy 3.5 – Promote live-work units within the ~~Town Center District~~ T4, T4O and T5 areas.
- Policy 3.6 – Designate a variety of land uses that are compatible with surrounding land uses, locating higher intensity uses near the Town Center, major thoroughfares and freeways.

- Policy 3.7 – Locate higher intensity commercial land uses in proximity to State Route 840 and major arterials.
- Policy 3.8 – Encourage the establishment senior-related land uses.

Goal 4 – Encourage design flexibility for future developments, in consideration of site grading, increased impermeable surfaces.

- Policy 4.1 – Promote the consideration of alternative design options for grading to work with the topography.
- Policy 4.2 – Ensure erosion control and sedimentation by the retention of the existing vegetation and the incorporation of slope planting when grading is necessary.
- Policy 4.3 – Avoid grading slopes in excess of 3:1.

Goal 5 – Encourage cluster development for preservation of natural and cultural resources where feasible and consistent with surrounding land uses.

- Policy 5.1 – Preserve floodplains, streams, drainage ways, wetlands, hilltops, ridgelines, etc. encouraging remediation where necessary and feasible.
- Policy 5.2 – Preserve agricultural resources including pastures and woodlands in order to protect view sheds.
- Policy 5.3 – Preserve significant areas of open land to enhance sense of place and provide natural habitat for native flora and fauna
- Policy 5.4 - Create greenways, walkways, bikeways for alternative transportation and recreational uses.

Goal 6 – Evaluate the jobs/housing balance and update plans as necessary to ensure that job opportunities are available through the possible development of land as economically feasible.

Goal 7 – Develop a predictable strategy for the location and intensity of future development.

- Policy 7.1 – Prioritize investment in infrastructure and incentivize development within the Town Center and Targeted Growth Sector
- Policy 7.2 – Encourage development in the form of complete, walkable neighborhoods within the Intended Growth Sector of the Sector Plan.
- Maintain the rural character of the Town while permitting hamlets and villages to development within the Controlled Growth Sector.
- Preserve the rural character west of the railroad tracks due to the lack of sewer, while permitting hamlets to develop.

Transportation/Circulation Element

The function of the transportation and circulation element is to provide goals, objectives and policies to move people, goods and services effectively and safely throughout the area. The transportation system should be well connected, provide easy access to destinations, and have appropriate design to balance between multiple transportation modes. This can be done with providing adequate roadways and balancing the need for vehicles with pedestrian activities. The major roadways within the Town that provide movement in and out the of the Town are Highway 31/Columbia Pike, State Route 431/Lewisburg Pike, State Route 840 and Interstate 65. These corridors provide direct access to surrounding communities. Highway 31/Columbia Pike running north-south leading traffic through roughly the center of Thompson's Station. Highway 431/Lewisburg Pike running north-south directing traffic through the east side of the Town. State Route 840 which will ultimately connect traffic from east of I – 65 to I- 40. These roadways when improved and completed will potentially lead to growth within the Town boundaries and within the urban growth boundaries and surrounding communities. Citizen input suggests that growth is favored along these corridors in order to permit economic activity, while maintaining the rural integrity of the community on the west side of Town.

Goal 1 – Provide a balanced transportation and circulation system that can move people and goods safely and efficiently while meeting the needs of the community.

- Policy 1.1 – Develop a Major Thoroughfare Plan that will establish guidelines for future roadway improvements and development.
- Policy 1.2 – Develop design standards for roadways, including but not limited to paved width, shoulder, curb and gutter, sidewalks or trails and parkways.
- Policy 1.3 – ~~Establish acceptable levels of service for roadways~~ Encourage planning practices and thoroughfare standards that reduce vehicle miles traveled and promote active transportation.
- Policy 1.4 – Establish roadway alignments and require right-of-way dedications from proposed developments when necessary.
- Policy 1.5 – Preserve the quality of residential neighborhoods by discouraging significant volumes of truck traffic.
- Policy 1.6 – Consider requiring a traffic study for large-scale developments.
- Policy 1.7 – Encourage developments to provide for appropriate access to all internal components of the development and in compliance with fire requirements.
- Policy 1.8 – Encourage consistent, easily identified street names.
- Policy 1.9 – Coordinate with Williamson County for maintenance of County roads to include repair in a timely manner.
- Policy 1.10 – Work with county, regional and state agencies to integrate the circulation system.
- Policy 1.11 – Develop a capital improvement plan (CIP) which will coordinate the need for improvements to the transportation system.

Goal 2 – Provide for alternative forms of transportation within the community as well as connecting to county transportation alternatives as they develop.

- Policy 2.1 – Pursue alternative forms of transportation.
- Policy 2.2 – Establish requirements for a system of sidewalks and pathways for residents through neighborhoods and into commercial areas.
- Policy 2.3 – Encourage bike paths through developments and along roadways.
- Policy 2.4 – Develop, where feasible, a system of multi-purpose trails along the West Harpeth River and its tributaries with connections with parks, schools, and other recreational uses.
- Policy 2.5 – Promote carpooling or ride sharing opportunities through the development of park and ride facilities.
- Policy 2.6 – Encourage urban development in central areas along major thoroughfares to control higher traffic volumes and emphasize walking, biking and other alternate forms of transportation.
- Policy 2.7 – Coordinate with Williamson County and other agencies for transportation facilities.

Goal 3 – Provide an appropriate supply of off-street parking facilities for a variety of uses.

- Policy 3.1 – Encourage an appropriate amount of parking for commercial and industrial uses.
- Policy 3.2 – Promote the development of parking areas to incorporate landscaping throughout to ensure high quality developments.
- Policy 3.3 – Consider the development of shared parking facilities.
- Policy 3.4 – Encourage the use of subterranean parking and parking structures.
- Policy 3.5 – Promote the development of two car garages for single-family residential, including condominiums and townhomes and two covered parking spaces per unit for multi-family residential into the project design.

Existing Roadways List/Classifications/Miles (please note, as development occurs, this table may change)

Roadway	Classification	Total Miles
Americus Drive	Local	.51
Ashmore Drive	Local	.19
Baugh Road	Local	.54
Blairpark Circle	Local	.15
Bloomfield Drive	Local	.18
Brenda Street	Local	.24
Cabin Run Bridge Road	Local	.16
Cayce Springs Road	Collector	.71
Clayton Arnold Road	Collector	1.27
Colebrook	Local	.42
Columbia Pike (31)	Arterial	2.9
Country Haven Drive	Local	.58

Cowboy Lane	Private	.30
Covered Bridge Road	Local	.18
Critz Lane	Collector	2.6
Declaration Way	Local	.41
Dean Road	Local	.50
Dudley Drive	Local	.10
Dustin Drive	Local	.10
Evergreen Road	Collector	2.5
Fry Road	Private	.50
Hanover Drive	Local	.22
Hummingbird Way	Local	.12
Learcrest	Local	.11
Les Watkins Road	Local	.50
Lewisburg Pike (431)	Arterial	3.7
Lime Valley Bridge Road	Local	.25
Natoma Circle	Local	.24
Old Thompsons Station Road	Local	.40
Pantall Road	Collector	1.3
Paper Mill Bridge Road	Local	.12
Pioneer Lane	Private	.20
Pratt Lane	Local	.73
Regal Court	Private	.30
Rochelle Avenue	Local	.31
Roddy Bridge Road	Local	.20
Robbins Nest Court	Local	.22
Savannah Springs Drive	Private	.20
School Street	Local	.20
Sedberry Road	Collector	1.8
Sherrie Street	Local	.50
Silk Bridge Road	Local	.10
Somers Lane	Local	.24
Sporting Hill Bridge Road	Local	.52
State Route 840	Freeway	2.12
Stacey Street	Local	.30
Standing Oak Drive	Local	.30
Station South Drive	Local	.30
Thompsons Station Road East	Collector	1.5
Thompsons Station Road West	Collector	4.5
Tollgate Boulevard	Collector	.40
Tollie Lane	Local	.20
Tom Anderson Road	Local	.20
Thompsons Ridge Road	Local	.39

Traders Way	Local	.39
U.S. Interstate 65	Freeway	1.8
Union Village Road	Local	.18
Village Drive	Local	.40
Wareham Drive	Local	.27
Watkins Road	Local	.30

Housing Element

The purpose of the Housing Element is to address the housing needs of the community taking into consideration the existing housing stock and the creation of new housing to meet a variety of needs throughout the community.

Goal 1 – Provide opportunities for a range of housing units that meet a wide variety of income levels.

- Policy 1.1 – Encourage mixed use development within the Town Center area that provides a variety of housing types.
- Policy 1.2 – Promote the concept of cluster developments in order to obtain creative housing options with flexible zoning and design standards.

Goal 2 – Maintain existing rural/low density housing types where the existing land uses are predominantly agricultural/rural in nature and where services are limited.

Open Space/Conservation Element

The purpose of the Open Space and Conservation Element is to establish a framework for the development and maintenance of open space corridors and greenbelts along with establishment of recreational opportunities in the Town. The Town of Thompson's Station desires to conserve open space and utilize it in a manner that benefits the community. Scenic areas that allow for some type of recreation will enhance the quality of life of the citizens within the community and provide for an environmentally friendly community. Furthermore, the Town of Thompson's Station has a variety of natural resources that are an important part of the community and valuable for conservation.

Historical Resources

Thompson's Station has varied historical and cultural significance. Homestead Manor, the Thompson's Station Methodist Church, and the Roderick site are among those that have offer cultural and historical evidence. In addition, Native American artifacts have been found in this region. These resources are a valuable part that has made the community what it is today and should be preserved to ensure the historical benefit.

Goal 1 – Conserve and protect open land, including those areas containing unique, and sensitive natural features such as woodlands, steep slopes, floodplains and wetlands.

- Policy 1.1. – Minimize the disruption of natural resources through development.
- Policy 1.2 – Ensure developments provide open space adjacent to existing open space whenever possible and feasible for contiguous open space areas.
- Policy 1.3 – Utilize significant landforms as open space areas to minimize disruption of these features.
- Policy 1.4 - Promote recreational uses within open space areas.
- Policy 1.5 – Promote the development of bike, walking, and equestrian trails within the open space areas where feasible.
- Policy 1.6 – Protect hillsides and promote provisions to reduce impacts to existing slopes.
- Policy 1.7 – Preserve wooded vistas to protect the viewshed.
- Policy 1.8 – Discourage modifications to ridgelines and hilltops to protect the viewshed.
- Policy 1.9 – Seek opportunities to acquire land for conservation areas and trails.

Goal 2 – Designate the West Harpeth River and its tributaries as protected resources.

- Policy 2.1 – Minimize adverse impacts of development on the Harpeth River and its tributaries, including flood plain area.
- Policy 2.2 – Promote the development of passive recreation along the Harpeth River and its tributaries.

Goal 3 – Pursue acquisition of land for open space, parks and recreational facilities.

- Policy 3.1 – Seek opportunities to acquire land for conservation areas and trails.
- Policy 3.2 – Seek opportunities to require the dedication of land along areas where future trail connections are appropriate as part of development review.
- Policy 3.3 – Encourage cluster developments to protect and preserve natural woodlands, river corridors, tributaries, and other biological resources.
- Policy 3.4 – Encourage land dedication for density bonus or other incentive programs.

Goal 4 – Preserve and enhance riparian corridors, wildlife habitat, and other biological resources.

- Policy 4.1 – Restrict active development within riparian corridors and designate passive recreation areas and to provide a buffer between land uses.
- Policy 4.2 – Coordinate the development of a trail system throughout the community for enjoyment of protected areas.
- Policy 4.3 – Promote the development of greenbelt areas throughout the Town.

Goal 4 – Encourage sustainable features such as low flow fixtures, rain gardens, and drought resistant landscaping for new developments.

Goal 5 – Require all developments to comply with applicable National Pollution Discharge Elimination System (NPDES) standards to reduce the impact of urban pollutants runoff.

- Policy 5.1 – Require the preparation of drainage studies to ensure development does not increase post construction runoff.
- Policy 5.2 – Encourage low impact design for new developments.

Utilities Element

Public Facilities and Infrastructure

The purpose of this section is to ensure that public facilities and infrastructure is maintained adequately as the Town's population increases. Many of these public facilities are currently provided and maintained by the Town and in order to keep up with growth this element will address opportunities to include the development of future facilities with future developments.

Water Resources

The West Harpeth River, one of the five major tributaries to the Harpeth River, runs east-west through the northern portion of Thompson's Station. The Town is in the Harpeth River watershed and domestic water is predominantly supplied by Hillsboro, Burwood and Thompson's Station (HB&TS) Utilities District, however, some residents are on private wells. Protection of water resources is crucial to ensure that the water supply is safe and reliable for the community.

Many natural drainage ways flow throughout the area and these areas in a natural state will help to maximize ground water recharge. This can have an impact of flood control through the area. In addition, maintenance of the natural vegetation and the riparian habitat helps to maintain the quality of the river and its tributaries. Modification of river banks typically increases erosion and the quantity of pollutants that can degrade water quality and reduce the biological integrity of water resources. Development should consider these resources during project design to protect the quality and safety of the natural environment. Natural riparian buffers should be maintained along rivers, creeks and other tributaries to ensure water and biological resources are protected to the maximum extent practical.

Goal 1 – Coordinate appropriate infrastructure for utilities as growth occurs to ensure sustainability.

- Policy 1.1 – Promote the installation of underground utilities where feasible

Goal 2 – Pursue the completion of hydrology studies to determine the impact on surrounding water resources and propose mitigation measures that will provide protection to those water resources.

Stormwater Drainage

Average rainfall in the area is approximately 57 inches annually as identified in adjacent communities. Runoff tends to flow into the river systems and tributaries thereby transporting pollutants into bodies of water. Water quality is an important issue and measures are needed to protect further transportation of pollutants into the water from nearby developments.

Goal 3 – Promote sensitive environmental design to ensure stormwater runoff does not degrade water quality.

- Policy 1.1 – Encourage low impact design for commercial projects.

- Policy 1.2 – Promote the development of passive recreation along the Harpeth River and its tributaries.
- Policy 1.3 – Develop stormwater regulations in coordination with the Tennessee Department of Environment and Conservation.

Goal 4 – Promote appropriate stormwater prevention plans for all developments.

- Policy 2.1 – Require a stormwater prevention plan to ensure that runoff is handled in an appropriate manner.

Goal 5 – Promote a growth pattern that is substantially able to ensure public facilities are adequate to support existing and future population.

- Policy 1.1 – Determine service standards and coordinate with necessary agencies as development occurs to ensure adequate provision of services.
- Policy 1.2 - Ensure water quality standards are satisfied for existing and future residents.
- Policy 1.3 – Encourage the elimination of septic systems and connection to a public wastewater system as it becomes available.
- Policy 1.4 – Prepare and update a capital improvements plan to identify and monitor the future needs for the community.

Sewage Collection and Treatment

The Town has constructed two wastewater treatment facilities with a combined permitted capacity of 530,000 gallons a day. Currently, Heritage Commons, the smaller of the two systems is operating at about 60% capacity and the main plant is currently operating at less than 10%.

Most of the Town’s non-residential uses, in addition to three of the Town’s subdivisions: Fields of Canterbury, Tollgate Village and Bridgemore Village are connected to the wastewater system. However, for the majority of residential uses not within one of these three subdivisions, septic tanks are currently the most common form of sewage collection. In order to move toward providing sewer for residents, the Town has recently prepared a sewer study and is beginning to implement in phases the wastewater collection system. Phase 1 was implemented in 2009 and consisted of approximately 1800 feet and provided service to several properties/businesses along Thompson’s Station Road West and Columbia Pike. Phase 2 will include an extension of the sewer lines through the Town Center area. Ultimately sewer will be provided for every development that is constructed within the planning area.

Goal 6 – Plan and develop timely and efficient layout of public facilities and infrastructure that have the capability of serving existing and future populations.

- Policy 1.1 – Coordinate with the Tennessee Department of Environment and Conservation to ensure future sewage systems are consistent with current standards.
- Policy 1.2 – Plan and provide public facilities and services that are consistent with the levels suitable for rural uses in rural areas and levels

suitable for urban uses along major thoroughfares where urban activities are centered.

- Policy 1.3 – Coordinate with developers to ensure sewage systems are designed to accommodate growth beyond any single subdivision.
- Policy 1.4 – Require the posting of performance bonds to cover expenses that may result from maintenance issues on newly installed wastewater systems or for non-traditional systems.
- Policy 1.5 – Coordinate location of dripfields for best utilization to preserve open space and use for recreation areas.

Goal 7 – Encourage the reuse of treated effluent water.

- Policy 2.1 – Promote the use of ponds and lakes as amenities for storage of treated effluent water.
- Policy 2.2 – Encourage the use of treated water for irrigation for open space and common areas.

Solid Waste Collection

Solid waste collection is not provided by the Town. Williamson County has convenience centers located throughout the County for County residents to bring garbage. A convenience center is located in the Town Center and is accessible every day for Thompson's Station and other County residents. The convenience center will take most types of garbage and recycles, excluding tires, paint, batteries or any kind of pesticides. However, the County holds occasional collections events for these types of items.

Goal 8 – Coordinate with Williamson County for solid waste collection as growth occurs to ensure adequate facilities.

Community Services Element

Schools

Thompson's Station is served by the Williamson County School District. The Town has one elementary school, one middle school and one high school within the town's boundaries. These schools are maintained by the Williamson County School District. These schools operate on the traditional school year and currently near capacity.

Goal 1 – Coordinate with the school district to ensure appropriate means to facilitate the development of schools as necessary to meet future needs.

- Policy 1.1 – Coordinate with the school district for the development of a master plan for school development within the Town considering the potential for growth in the future.
- Policy 1.2 – Coordinate with the school district to determine appropriate locations for new school facilities.
- Policy 1.3 – Encourage large scale developments to dedicate land for school facilities within neighborhoods to improve pedestrian access for students to walk/bike to school.

Library Services

Williamson County provides all library services for Thompson's Station. Currently, Bethesda, College Grove, Fairview, Leiper's Fork, Nolensville all offer small library facilities, in addition to the main library in Franklin. The following table identifies the collection size at each location. Many of these locations are out of space and therefore the need for library space will become necessary as the population in the south portion of the County continues to grow.

Location	Collection Size
Bethesda	14,135
College Grove	4,586
Fairview	23,304
Leiper's Fork	13,358
Nolensville	18,519
Main Branch – Franklin	149,979

Goal 2 – Coordinate with Williamson County for locations of new library facilities to meet the needs of the community.

- Policy 2.1 – Identify areas for the placement of library facilities.

Law Enforcement and Fire Protection

The Town of Thompson's Station is currently served by the Williamson County Sheriff Department and the Williamson County Rescue Squad. The sheriff's office does not have a local office; however the Rescue Squad does have a local volunteer station located in Town Center that serves the surrounding vicinity.

Goal 3 – Coordinate with Williamson County for law enforcement and fire protection facilities to meet the needs of the community.

Parks and Recreation

The Town of Thompson's Station has two parks. The main park, Thompson's Station Park, which is 23 acres, has a playground, two pavilions, restroom facilities, a trail loop and open fields. Thompson's Station Park is a regional facility that serves the Town's residents in addition to other County residents. The other park site is a passive park site that is accessed by a trail from the Tollgate Village. This park is also in proximity to the Town garden that was started a couple of years ago.

Goal 4 – Provide a variety of quality recreational facilities that are dispersed throughout the Town with easy access to residents.

- Policy 4.1 – Develop a Parks and Recreation Master Plan that will establish guidelines for future parks to meet the needs of the community.
- Policy 4.2 – Encourage amenities, such as pocket parks or pool facilities within new subdivisions for recreational opportunities for residents.
- Policy 4.3 – Encourage large scale residential developments to dedicate land for park facilities.
- Policy 4.4 – Promote connectivity of trails throughout the Town that will connect parks to residential and commercial areas.
- Policy 4.5 – Maintain existing park facilities to high level of standards for safety and usability.
- Policy 4.6 – Consider opportunities to designate public land as a community garden for use by the general public for individual vegetable production.
- Policy 4.7 – Pursue the development of community functions and events.

Economic Development Element

Goal 1 – Develop a strategy plan to identify and establish guidelines and policies for future economic growth.

- Policy 1.1 – Identify a vision and target sectors for business growth.
- Policy 1.2 – Identify practices to encourage business recruitment.
- Policy 1.3 - Develop a site inventory map for identification of feasible project sites.

Goal 2 – Create an atmosphere for a strong and diverse economy which ultimately provides a range of employment and economic choices for residents.

- Policy 2.1 – Provide zoning opportunities for a variety of agricultural/equestrian, commercial/service and industrial uses.
- Policy 2.2 – Evaluate the need for commercial and industrial growth in long range planning efforts.
- Policy 2.3 – Pursue opportunities to develop an identity (brand) for the Town based on the history and strengths of the community.

Goal 3 – Encourage and support business development activities.

- Policy 3.1 – Coordinate with the State and County economic agencies for opportunities to provide incentives for business.
- Policy 3.2 – Promote home based and residential businesses.

Implementation

Implementation is important to the success of the Comprehensive Plan. The goals and policies establish the framework in which the Town will permit development and protect natural resources. Many of the implementation tools for the Elements are the Zoning Ordinance, Subdivision Regulations, and Design Review Guidelines. However, further action must sometimes be taken and other programs and tools can be utilized in order to accomplish the goals outlined. The following actions will be considered, pursued and evaluated in order to accomplish the goals and policies of the Comprehensive Plan:

Land Use

Action 1 – Continue to evaluate zoning and land uses throughout the Town to ensure that the Zoning Ordinance is relevant and appropriate to current needs of the community and is consistent with the overall character and generally contributes in a positive manner to the image of the Town.

Action 2 – Pursue updates to the Zoning Ordinance and Subdivision Regulations as necessary and appropriate to meet the needs of the community.

Action 3 – Pursue updates to the Design Guidelines as necessary and appropriate to meet the needs of the community.

Action 4 – Provide adequate information and education to property owners, developers, builders, etc. regarding land uses and encourage the location of a variety of uses in appropriate areas as determined to be consistent with the Comprehensive Plan.

Transportation/Circulation

Action 1 – Develop a capital improvement program (CIP) and update annually depending on the needs and fiscal ability of the Town.

Action 2 – Update Major Thoroughfare Plan to identify existing conditions and evaluate future needs for infrastructure throughout the Town.

Action 3 – Continue coordination with the County and surrounding municipalities to ensure that the roadways are properly maintained and synchronized.

Action 4 – Pursue grants for roadway improvements and alternative forms of transportation.

Housing

Action 1 – Continue to evaluate zoning and land uses to ensure that the housing inventory is adequate.

Action 2 – Promote housing opportunities for all people regardless of race, religion, gender, marital status, ancestry, national origin, age, physical handicap, etc.

Open Space/Conservation

Action 1 – Pursue grants for land acquisition, parks improvements and other resources for expanding the Town’s open space, trails, and greenways.

Action 2 – Create an inventory of existing open space land and establish criteria for open space land dedication.

Action 3 – Encourage the use of transfer of development rights and/or cluster development where appropriate as a means for the preservation of land.

Utilities

Action 1 – Utilize the Town’s Capital Improvement Program to plan for future utilities.

Action 2 – Coordinate with the utility service providers to ensure that services are expanded as growth occurs.

Community Services

Action 1 – Develop a site inventory of land suitable for community services, such as parks, trails, trailheads, libraries, schools, etc.

Action 2 – Pursue land acquisition where feasible for community facilities such as parks, trails, libraries, schools, fire stations, etc.

Economic Development

Action 1 – Consider the creation of an Economic Development Commission in order to create a body that will focus on a variety of issues to promote economic viability.

Action 2 – Develop a 3 – 5 year economic vision to determine what goals the Town has for economic growth.

Action 3 – Continue discussions and involvement with Williamson County Economic Development in order to facilitate a cohesive process for locating new business within the Town.

Action 4 – Continue to provide updated information on opportunities, activities, and other resources on the Town’s website.

Action 5 – Participate in the Williamson County Chamber of Commerce to further coordination between the County and the Town.

Definitions

~~Alternative Transportation: A form of travel that does not consist of a single occupancy vehicle and includes carpooling, walking, biking and other public transit.~~

~~Amenity: Characteristics of a development that increase the desirability of the community to the general public.~~

~~Bike lane: Areas of travel that are designated by means of striping, bike arrows and other forms of identification for the semi-exclusive use of bicycles.~~

~~Capital Improvements: Improvements identified for the maintenance and repair of public infrastructure.~~

~~Cluster Development: A design technique that concentrates buildings in specific areas on site to protect remaining land and use is for open space.~~

~~Constraint: Something that restricts, or limits.~~

~~Economic Development: Development that provides a service, produces a good, retails a commodity, or emerges in any other use or activity for the purpose of financial gain.~~

~~Economic Development Commission (EDC): A group of individuals charged with seeking economic development projects and economic expansion of higher employment densities.~~

~~Floodplain: Land that is identified as an area susceptible to rapid water inundation as a result of rainfall.~~

~~Goal: The achievement or desired end result in which an effort is directed.~~

~~Ground water recharge: The natural infiltration and percolation of rainwater from land areas or rivers/streams through permeable soils that provide underground storage.~~

~~Highway: A major thoroughfare connection throughout the planning area.~~

~~Level of Service: the functional road design capacity in relation to the volume or flow of traffic.~~

~~Metropolitan Planning Organization (MPO): A government agency responsible for transportation planning through the planning area. Tennessee has 11 MPOs, which are mandated by the federal government.~~

~~Mixed Use Development: A combination of residential, service and commercial uses within the same project site.~~

~~Open Space: any area of land permanently designated as essentially unimproved land for the purposes of public benefit.~~

~~Park: An area for the development of either active or passive recreational activities.~~

~~Plaza: A public square or area.~~

~~Policy: The principle or guiding action which establishes a commitment and intention to pursue and implement a goal.~~

~~Right of way: A strip of land which is acquired for purpose of a street, sidewalk, trail, parkway or any other utility line.~~

~~Ridgeline: A line connecting the highest points along the top of the ridge indicating the peak of the mountains/hills.~~

~~Right of Way: An area of land which is acquired and dedicated for the purpose of a street, sidewalk, trail, parkway or any other utility line.~~

~~Riparian Habitat: A habitat strongly influenced by water and vegetation that is dependent on water resources.~~

~~Rural: A sparsely developed area where the majority of the land is predominantly low density, agricultural, etc. in character with limited utility services.~~

~~Sustainable: The use of existing resources in a manner that protects the needs of the community while considering the needs of the future.~~

~~Transportation System: A network of roads, sidewalks, trails and other paths of travel.~~

~~Wetlands: Areas of land inundated or saturated by groundwater at a frequency that supports riparian habitat.~~

~~Woodlands: A densely wooded area predominantly characterized by a variety of indigenous mature trees.~~

Thompson's Station Planning Commission
Staff Report – Item 3
September 22, 2015
General Plan Update.

PROJECT DESCRIPTION

This is a staff initiated update to the General Plan (formerly referred to as the Comprehensive Plan).

BACKGROUND/ANALYSIS

Staff requested approval in October 2014 to contract with a planning consulting team to re-write the Zoning Ordinance. In January 2015, Placemakers was hired to perform the comprehensive evaluation of the Ordinance and develop a new ordinance, which includes an update to the Subdivision Regulations and the Zoning Ordinance.

On August 25, 2015, the Planning Commission conducted a public hearing and adopted the Subdivision Regulations contingent on the adoption of the LDO by the Board of Mayor and Aldermen.

On September 8, 2015, the Board of Mayor and Aldermen passed the ordinance adopting the LDO on first reading. Second reading and a public hearing was set and noticed for September 29, 2015.

As a result, PlaceMakers also recommended some policy updates for the General Plan. The updated goals and policies reflect the community vision identified from the public input process and applied to the re-write of the codes.

RECOMMENDATION

Based on the need to protect the health, safety and welfare of the community as a whole, staff is requesting the Planning Commission adopt the updated General Plan.

ATTACHMENTS

Draft General Plan Update