

Town of Thompson's Station  
**Municipal Planning Commission**  
**Meeting Agenda**

September 28, 2021

**Meeting Called To Order - Determination Of Quorum**

**Minutes-**

**Consideration Of The Minutes Of The August 24, 2021, Meeting**

Documents:

[AUGUST 24 2021 MINUTES.PDF](#)

**Public Comments-**

**Planner Report & Announcements**

**AGENDA ITEMS**

**1. Fields Of Canterbury Final Plat Section 20- For The Creation Of 49 Residential Lots And 4 Open Space Lots Located Along Longport Lane, Knotts Drive, And Burgate Trail.**

Documents:

[ITEM 1- CANTERBURY FP SECTION 20PC STAFF REPORT 9-28-21.PDF](#)  
[ITEM 1- FIELDS OF CANTERBURY SEC 20 FINAL PLAT.PDF](#)

**2. Site Plan For The Development Of Two Buildings With A Therapy Center And Urgent Care Facility (Tollgate Village At Thompson's Station) Located At 991 Elliston Way In The Tollgate Village Neighborhood.**

Documents:

[ITEM 2- 991 ELLISTON WAY PC REPORT 9-28-21.PDF](#)  
[ITEM 2- 991 ELLISTON WAY SITE PLAN TOLLGATE VILLAGE -PC SUBMITTAL\\_RS.PDF](#)

**3. Site Plan For The Development Of A Retail Store (Butters Ace Hardware) Located At 1109 Elliston Way In The Tollgate Village Neighborhood.**

Documents:

[ITEM 3- 1109 ELLISTON WAY PC REPORT 9-28-21.PDF](#)  
[ITEM 3- TOLLGATE VILLAGE SITE PLAN- ACE HARDWARE\\_RS\\_OP.PDF](#)

**4. Residential Business Permit For A Wedding/Event Venue At 1850 Lewisburg Pike.**

Documents:

[ITEM 4-1850 LEWISBURG PIKE RESIDENTAIL BUSNIESS STAFF REPORT.PDF](#)  
[ITEM 4- 1850 LEWISBURG PIKE RESIDENTIAL BUSINESS- VENUE AT LOOKAWAY FARM PC SUBMITTAL.PDF](#)

**BOND ACTIONS/REPORT**

**5. Bond Actions**

- a. Update on Long Held Bonds

**Adjourn**

*This meeting will be held at 6:00 p.m. at the Thompson's Station Community Center  
1555 Thompson's Station Rd West*

**Minutes of the Meeting**  
**of the Municipal Planning Commission**  
**of the Town of Thompson 's Station, Tennessee**  
**August 24, 2021**

**Call to Order:**

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 6:00 p.m. on August 24, 2021.

Members and staff present were Chairman Trent Harris; Commissioner Tara Rumpler; Commissioner Sheila Shipman; Commissioner Bob Whitmer; Commissioner Kreis White; Planning Director Micah Wood; Planning Technician Jennifer Banaszak and Town Attorney Andrew Mills. Alderman Alexander and Commissioner Parra were unable to attend.

**Minutes:**

The minutes of the July 27, 2021 regular meeting were presented.

**Commissioner Whitmer made a motion to approve the July 27, 2021 meeting minutes. The motion was seconded and carried by all present.**

**Public Comment:**

**Dee Carlson – 2736 Village Dr.** – Voiced concerns regarding sewer, established streets and traffic.

**Melissa Floreth – 2843 Station South Dr.** – Opposition against traffic and a through street connection.

**Rick Atkinson – 2724 Village Dr.** – Concerns regarding a street connection and safety.

**Bill Berry – 4720 Columbia Ave.** – Opposition to through street connection. Asked about widening Hwy. 31.

**Tanner Foust – 2811 Station South Dr.** – Voiced traffic and density concerns; opposition against through street connection.

**BJ Dinnery – 2729 Village Dr.** – Opposed to neighborhood dynamic change. Density concerns. Wants something that fits within the neighborhood.

**Lillian Martin – 2727 Village Dr.** – Concerns regarding traffic and connection. Does the planned neighborhood have power line clearance?

**Linda Rojas – 2728 Village Dr.** – Traffic and nature concerns.

**Anne Murphy – 2720 Village Dr.** – Concerns about traffic counts and extra lanes on Hwy 31.

**Henry Ray – 2827 Station South** – Safety, flooding and water drainage concerns.

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**Steve Carr – 2623 Thompson’s Station Road East** – Questions regarding a traffic study, who is to repair and maintain the farm fencing. Concerns about a turning lane

**Heather Foust – 2811 Station South Dr.** – Traffic, safety and emergency personnel concerns.

**Paul Shauk – 2810 Dudley Dr.** – Questions and concerns regarding a runoff water study, retention ponds, traffic and sewer plans. Believes that this is too much development.

**Betsy Hester – Williamson County Councilwoman** – Voiced concerns for constituent’s traffic.

**The following items were emailed to the Town Planner and were read into public comment by various members of the Planning Commission:**

**Brandon Bell – Thompson’s Station Alderman & Vice Mayor** –

I have a few concerns I wanted to share about the preliminary plat that is on tonight's agenda for Parson's Valley.

- 1) On the townhomes, would it be best to have the separation space between the maximum 6 unit buildings be dedicated open space? It's important to maintain that opening in perpetuity.
- 2) I am concerned about the "back yard" of the townhome facing Columbia Pike. I would rather see a true street on the west side of the townhome units.
- 3) Since the project is being constructed in phases, will the streets for all phases be completely installed before first occupancy occurs? If not, please confirm fire department access (and dead ends), secondary access requirements, etc.
- 4) It would be helpful if the applicant labels each street with the proposed section type.
- 5) I am concerned about the minimal amount of on-street parallel parking provided on Road A where you have townhomes on one side and front-loaded single-family homes on the other. The townhome parallel parking will be heavily used (historical data from Tollgate Village), meaning there will be little to no overflow or guest parking for the single-family homes. If Road A had single family lots on both sides of the street, this wouldn't be as big of an issue.
- 6) Want to confirm that there will be a dedicated left-turn lane (for southbound traffic) and a dedicated right-turn deceleration lane (northbound traffic) on Columbia Pike.

In my opinion, it appears there are items that should be modified or corrected on this preliminary plat before it is approved.

**Shaun Alexander – Thompson’s Station Alderman -**

Commissioners,

Some of you were here when Parsons Valley originally came before Planning and may recall the discussions happening at that time. The proposed development looked very similar, although I believe less dense, as they were relying on other means of sewer vs. the current proposed connection to our sewer plant which allows for a higher density of houses and less room for open land/infrastructure.

The neighboring communities, Village Drive and Station South, are both independent neighborhoods with generally larger lots that might resemble what our current D-1 zoning looks like. If you talk to many of the folks who live in these neighborhoods, they're used to having fields of undeveloped land in their backyard, several who claim that when they built houses here, there would be no development behind them. As we know, that never stands the test of time, but still a reality for the residents here. As I've talked with many of them at their front doors, a primary concern was learning of the D-3 zoning overlay and what their lifestyle is going to look like having a high density development now connecting to their quiet streets.

The last time this came before planning commission, the residents of Village Drive and Station South knew that 'stopping' this development wasn't a reality, but creating a buffer between the developments and not allowing vehicle traffic from this almost 350 home development to start using their quiet streets could be a reality. We had a different planning director back then, and Micah's predecessor said that although it was possible to remove the street connections between the 3 developments, it was not advisable and went against best planning practices. I'm paraphrasing a bit, but I believe Micah has a similar sentiment and I am confident he will share that with the commission tonight. It seemed at that time that the planning commissioners were aligned with requiring only pedestrian connections between the two, and not vehicle connections, given that Parsons Valley will already have 3 main entry points...the same as Canterbury at a fraction of its size. There are likely residents there to speak tonight on this exact issue.

Although I am unfortunately unable to be there tonight due to Covid protocol, I would be unable to support this preliminary plat approval in its current condition until the referenced connections could be addressed with the community. Although this particular development and connections I believe are part of the Major Thoroughfare Plan, given the circumstances and the impacts to these small communities, I believe an exception can be made and is warranted.

In addition to the concerns about traffic connections, I hope the commission will be willing to address the following items as part of the overall discussion:

- What other traffic considerations need to be taken into account related to the 31 signal mentioned in the TIS? This references a study to understand if turn lanes can be added. I would recommend this be made part of any other contingencies.
- I would ask the commission to consider a contingency, if an approval motion is made, that all required TIS improvements be completed prior to issuance of any certificate of occupancy.

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- I don't follow the TIS information as it relates to no additional improvements on TS road East. We are finding that widening/turn lanes help the flow of traffic on Critz, and although I realize these are different traffic loads, TS Road East is about to be a connector to June Lake and potentially an extension point of New Port Royal road into Spring Hill. I hope this can be a discussion point before any votes are cast. I have given my comments and concerns to the town counsel on this matter.
- Consider if the developer would be willing to do an improved buffer between the other 2 developments in addition to the Level 3 required by the LDO.

**Raymond & Liesa LaCroix – 2713 Village Dr. -**

Good afternoon.

As longtime residents of Village Drive in Thompsons Station (25 years and counting), we have seen our town grow and change. We recognize that development is inevitable and that property owners have the right to develop their land as they wish, in accordance with town ordinances.

However, the rights of residents in existing Thompsons Station neighborhoods must be given equal consideration. The proposed Parsons Valley plan calls for connecting Station Drive and the south end of Village Drive with the new development. This will result in excessive traffic on Village Drive - it will be used as a "cut through" for motorists. Village Drive was not designed for through traffic; we are a dead-end road with 19 homes - a quiet, residential street where we enjoy our solitude and where children ride their bikes.

We DO NOT want our streets to be connected to the new development. Please consider the wishes of current residents before you approve the plans for Parsons Valley.

**Corey Napier – Thompson's Station Mayor –**

I will do my best to get over there tonight but in case I don't here are some of my concerns. Much like Pleasant Creek concerns they revolve around approving subdivision plats and respective layouts that are accretive to the overall quality of life in the future not only for residents to come but those already adjacent. Like many such proposals I have seen over the years, imagination appears to be lacking with a concentration it seems on maximizing houses and not much in the way of amenities and safety and health and wellness. New subdivisions should endeavor to address TS values and aspirations and this one does not as outlined.

For example, identified and set- aside riparian zones along waterways or a neighborhood park (not median in the road) would be a nice feature and smart planning. What are they "giving up or adding to" that improves our brand and town?

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Buffering for consistent viewsapes and ROW needs to come with both 31 and TS Rd East. I think the houses are too close to major roads and need further setback with plenty of buffering (trees, landscaping, nice fencing etc.). Btw, is the tree plan provided? Does it honor preservation of legacy trees and such?

Complementary green space/fencing/walking paths and setbacks. A park or several large green spaces for neighborhood gatherings and social events. Set asides for areas like a community pool or two for other physical activities? They should not look to the town to provide all of that.

Connectivity to the greater whole....where are the trailheads set aside for future walking and bike trails? I am happy going on the record as opposing most cul de sacs and encouraging connections for safety and health reasons. I don't believe Station south etc. was planned for those to be permanent in light of things like this. Also, any traffic improvements, subdivision entrances and trailways need to be addressed and marked on any plat prior to being accepted. It should be on their land and not expected to be placed in ours or State's ROW. Most likely, TS Rd will have to be widened.....are they giving us that ROW now? Should they?

Road tie ins to TS Rd....the traffic study is old, the population is only going way higher, June Lake and more SH connectivity to the east will drive more traffic to the already F intersection at TS Rd and 31. Are we supposed to anticipate a roundabout on TS Rd or some traffic signal that close to the other intersection? Southbound, left hand turns into Parsons off of 31? Exactly how is that supposed to work without another light close to TS Rd intersection....not enough set back. Will be a total cluster if we end up trying to cram two more lights that close to TS Rd at 31. Does the town need to do its own traffic study? I would argue it does.

A second, parallel road to the east of 31 is envisioned as another major outlet to that road and to address fire safety and traffic accident management not to mention subdivisions like Parsons and others north like Roderick to have a "back entrance" alternative. PC needs to be thinking in terms of that context. Are the roads within Parsons wide enough for fire engines etc? We had a concern with high density houses on Roderick plan years ago where turn radius(es) were too tight.

Bottom line, I think this plan is inadequate and needs quite a bit more work. Further, why is there such a rush? Any possible sewer connectivity is several years away. I suggest PC and staff take more time and hash through things that could bring more joy and peace and anticipates where we are going here in the next few months with thoroughfare planning and additional codes updates. The code is only the minimum not the maximum of what could be done....

**Town Planner Report:**

Mr. Wood gave an update on the following:

1. Our next Growth Plan Update will take place 9/21/2021 (could be virtual or in-person).

**AGENDA ITEMS:**

**1. Parsons Valley Preliminary Plat – For the creation of 349 residential lots and 18 open space lots located at 4738 Columbia Pike.**

Mr. Wood reviewed his Staff report and recommends approval with the following conditions and contingencies:

1. The applicant shall pay the 25% deposit of the wastewater treatment tap fees for the project and sign the approved Reservation Agreement within 60 days of the approval of this plat, as required by the Wastewater Capacity Reservation Ordinance (Ordinance 2020-007). Failure to pay the 25% deposit to the Town within 60 days shall render the approval void *ad initio*.
2. The applicant shall revise the Site Data Table to update the correct amounts of Open Space and Proposed Density.
3. The applicant shall revise the townhome parking exhibit to provide for additional guest parking. It is recommended that Guest/Overflow parking stalls be provided in the open space areas behind lots 1-7 and opposite lot 24. 12 stalls are desired. 6 stalls would be the minimum recommendation.
4. The applicant shall set a pre-application meeting with Town Staff prior to the submittal of the constructions plans for this development.
5. Prior to the approval of construction plans, the developer shall enter into a development agreement for the project.
6. Prior to the approval of construction plans, the developer shall obtain any necessary permits through the Tennessee Department of Environment and Conservation.
7. Prior to the approval of construction plans, all applicable codes and regulations shall be addressed to the satisfaction of the Town Engineer.
8. Prior to the submittal of the first final plat for this subdivision, a copy of the CCRs shall be submitted for Town review.
9. Any signage proposed for the subdivision shall comply requirements set forth within the Land Development Ordinance and shall be located within the open space and maintained by the homeowner's association.
10. Streetlights shall be incorporated in accordance with the Land Development Ordinance and shall be documented on the construction drawings.
11. All recommendations within the traffic study shall be completed.
12. All open space amenities shall require TSPC approval prior to permitting for each amenity.



Mr. Khris Pascarella with Pearl Street Partners, Mr. Greg Gamble with Gamble design Collaborative and Michael Ray with ELI came forward to answer any questions regarding the prospective development. Extensive discussion related to the Parsons Valley development ensued.

**The applicant requested a deferral until the October 26, 2021 planning commission meeting.**

**After discussion, Commissioner Whitmer made a motion to defer Item 1, Parson’s Valley Preliminary Plat, at the applicant’s request, to the October 26, 2021 planning commission meeting. A workshop will be held on September 28, 2021 prior to the September planning commission meeting. The motion was seconded and carried by all present.**

- 2. Consideration of Ordinance 2021-012, an amendment to the Land Development Ordinance to clean up and clarify certain sections in Appendix C related to Plat Certificates.**

Mr. Wood reviewed his report and recommends that the Planning Commission provide a favorable recommendation onto the BOMA for these text amendments.

**After discussion, Commissioner White made a motion to accept the Consideration of Ordinance 2021-12, an amendment to the Land Development Ordinance to clean up and clarify certain section in Appendix C. The motion was seconded and carried by all present.**

- 3. Land Development Manual – Public notice for the Community Development Department’s administrative manual.**

Mr. Wood gave a summary of the Land Develop Manual and described its intent for applicants going forward.

### **BOND ACTIONS/REPORT**

- 1. Bond Actions**

- a. Littlebury- Request to reduce and extend the bonds for Section 1 until April 23, 2022**

**After discussion, Commissioner Whitmer made a motion to approve the Littlebury request to reduce and extend the bonds for Section 1 until April 23, 2022. The motion was seconded an approved by all present.**

- b. Update on Long Held Bonds**

Municipal Planning Commission – Minutes of the Meeting  
August 24, 2021

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There being no further business, the meeting was adjourned at 8:06 p.m.

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Trent Harris, Chair

Attest:

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Micah Wood, Secretary

**Thompson's Station Planning Commission  
Staff Report – Item 1  
September 28, 2021**

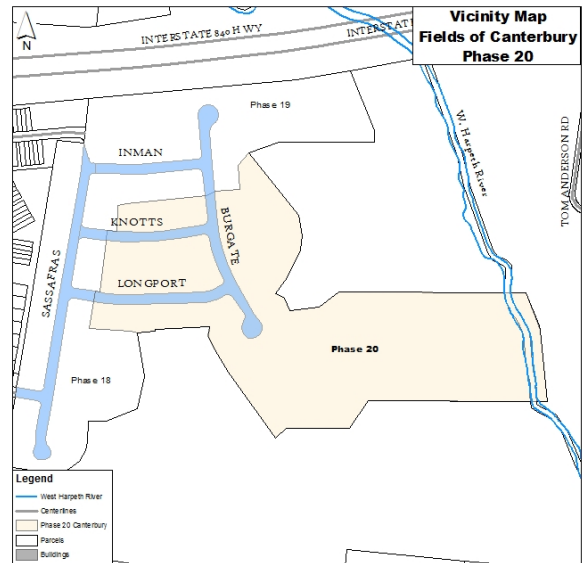
**The Fields of Canterbury Final Plat – Section 20 for the creation of 49 single family lots and 4 open space lots located along Longport Lane, Knotts Drive, and Burgate Trail**

**PROJECT DESCRIPTION**

Ragan Smith & Associates, on behalf of Encompass Land Group submitted a request for a final plat to establish 49 single family lots and 4 open space lots located along Longport Lane, Knotts Drive, and Burgate Trail.

**ANALYSIS**

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7).



This plat is a phase of the 53.85-acre expansion of The Fields of Canterbury. The original Canterbury development was 270.5 acres and was approved for 204 townhomes and 612 single-family dwellings for a total of 816 residential units. The expansion phases in total will add 72 single family and 85 townhomes for a total of 684 single family and 289 townhomes on 324.35 acres for a density of three units an acre.

Section 20 consists of 49 single family lots, 4 open space lots and associated public infrastructure along Longport Lane, Knotts Drive, and Burgate Trail. The site design, roadways, and public infrastructure depicted on the plat conform to the LDO and the preliminary plat for this development.

*Sureties*

Sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans.

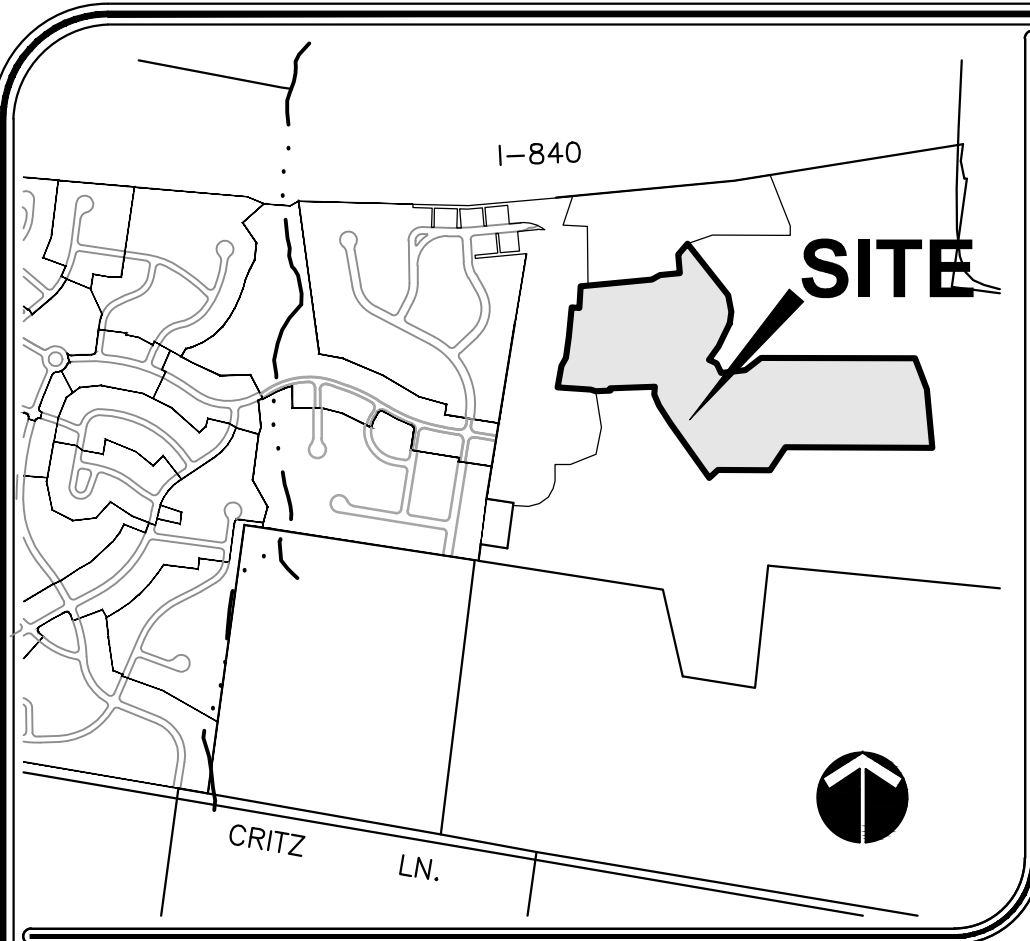
After an evaluation of this section and the progress of the construction, the Town Engineer recommends that the roads, drainage and erosion control surety should be set at \$816,000.

Improvements to the sewer are required. After an evaluation of the progress of the sewer, the Town Engineer recommends that the sewer surety be set at \$84,000.

## **RECOMMENDATION**

Staff recommends that the Planning Commission approve the final plat with the following contingencies:

1. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$816,000 for roadways, drainage and erosion control.
2. Prior to recordation of the final plat, a surety shall be submitted to the Town in the amount of \$84,000 for sewer.
3. All tree replacements shall be installed in accordance with the approved replacement plan for this phase of Canterbury.
4. As built drawings shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.



LOCATION MAP  
(NOT TO SCALE)

**GENERAL NOTES**

- THE PURPOSE OF THIS PLAT IS TO CREATE 49 SINGLE FAMILY LOTS AND 4 OPEN SPACE TRACTS.
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD 1983). GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO CONTROL POINTS ON THE SURVEYED PROPERTY IN ORDER TO ESTABLISH THE BEARING BASE FOR THE SURVEY. TYPE EQUIPMENT USED: TRIMBLE, MODEL R10, DUAL FREQUENCY RECEIVER. THE TYPE OF GPS SURVEY: NETWORK ADJUSTED REAL TIME KINEMATIC. THE RELATIVE POSITIONAL ACCURACY IS 0.05".
- THE PROPERTY IS ZONED D3 (HIGH DENSITY RESIDENTIAL). MINIMUM BUILDING SETBACKS:  
(LOTS 2001-2049):  
FRONT - 20'  
SIDE - 7.5'  
REAR - 20'
- WITHIN ALL NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS AND THE MTEMC FEEDER LINE RUNNING NORTH/SOUTH ALONG THE DISTANCE OF THE TVA TRANSMISSION LINE EASEMENT), GAS, SEWER, TELEPHONE, AND WATERLINES SHALL BE PLACED UNDERGROUND. SEE VARIANCE GRANTED BY THE TOWN OF THOMPSON'S STATION M.P.C. APRIL 16, 2007 FOR THE FIELDS OF CANTERBURY REGARDING M.T.E.M.C. OVERHEAD POWER LINES.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONES "AE", "X" (OTHER FLOOD AREAS) AND "X" (OTHER AREAS), AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS NO. 47187C0355F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NO. 0355, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "AE" UNDER "SPECIAL FLOOD HAZARD AREAS SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD" AS BASE FLOOD ELEVATIONS DETERMINED. SAID MAP DEFINES ZONE "X" (OTHER FLOOD AREAS) UNDER "OTHER FLOOD AREAS" AS AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD. SAID MAP DEFINES ZONE "X" (OTHER AREAS) UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
- WATER LINES SHOWN HEREON TAKEN FROM PLANS FOR HB&TS BY JAMES C. HAILEY AND CO., DATED APRIL 23, 2020.
- ALL SIDEWALKS, PUBLIC STREETS AND DRAINAGE STRUCTURES WITHIN THE PUBLIC RIGHTS-OF-WAY WILL BE MAINTAINED BY THE TOWN OF THOMPSON'S STATION.
- HOMEOwner'S ASSOCIATION WILL BE RESPONSIBLE FOR LONG TERM OPERATION AND MAINTENANCE OF STORMWATER INFRASTRUCTURE LOCATED IN DRAINAGE EASEMENTS AND ALL OPEN SPACE, INCLUDING LANDSCAPE AND DETENTION/RETENTION AREAS.
- I HEREBY STATE THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:21,824.

BY: CHRISTOPHER J. MABERY RLS NO. 2483 DATE: SEPTEMBER 10, 2021

- ALL OPEN SPACE IS A PUBLIC UTILITY, DRAINAGE AND ACCESS EASEMENT.
- STREET LIGHT LOCATIONS SHOWN HEREON ARE APPROXIMATE. FINAL LOCATION TO BE COORDINATED WITH MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION.
- THE RECORDING OF THIS FINAL PLAT VOIDS, VACATES AND SUPERSEDES THE RECORDING OF A PORTION OF LOTS 14 AND 15 AS SHOWN ON THE FINAL PLAT ENTITLED "MINTON PROPERTY" OF RECORD IN PLAT BOOK 18, PAGE 111, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.
- ALL MAILBOX TYPES AND LOCATIONS MEET THE REQUIREMENTS AND STANDARDS OF THE UNITED STATES POSTAL SERVICE.
- LOTS SHOWN THUS (\*) ARE DESIGNATED AS CRITICAL LOTS AND HAVE NATURAL SLOPES IN EXCESS OF 15%. PER SECTION 3-102.104 OF THE SUBDIVISION REGULATIONS, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SITE GRADING PLAN FOR DEVELOPMENT OF THE LOT SHALL BE SUBMITTED ADDRESSING SITE SPECIFIC NATURAL RESOURCE ISSUES TO THE TOWN OF THOMPSON'S STATION FOR REVIEW AND APPROVAL. NO BUILDING PERMIT WILL BE ISSUED ON SAID LOTS UNTIL AND UNLESS THE TOWN ENGINEER HAS RECEIVED AND APPROVED THE SITE PLAN.

**LEGEND**  
R.O.W.C.T. REGISTER'S OFFICE  
WILLIAMSON COUNTY, TENNESSEE  
OS OPEN SPACE  
\* CRITICAL LOT  
(SEE NOTE 15)



**DEED REFERENCE**

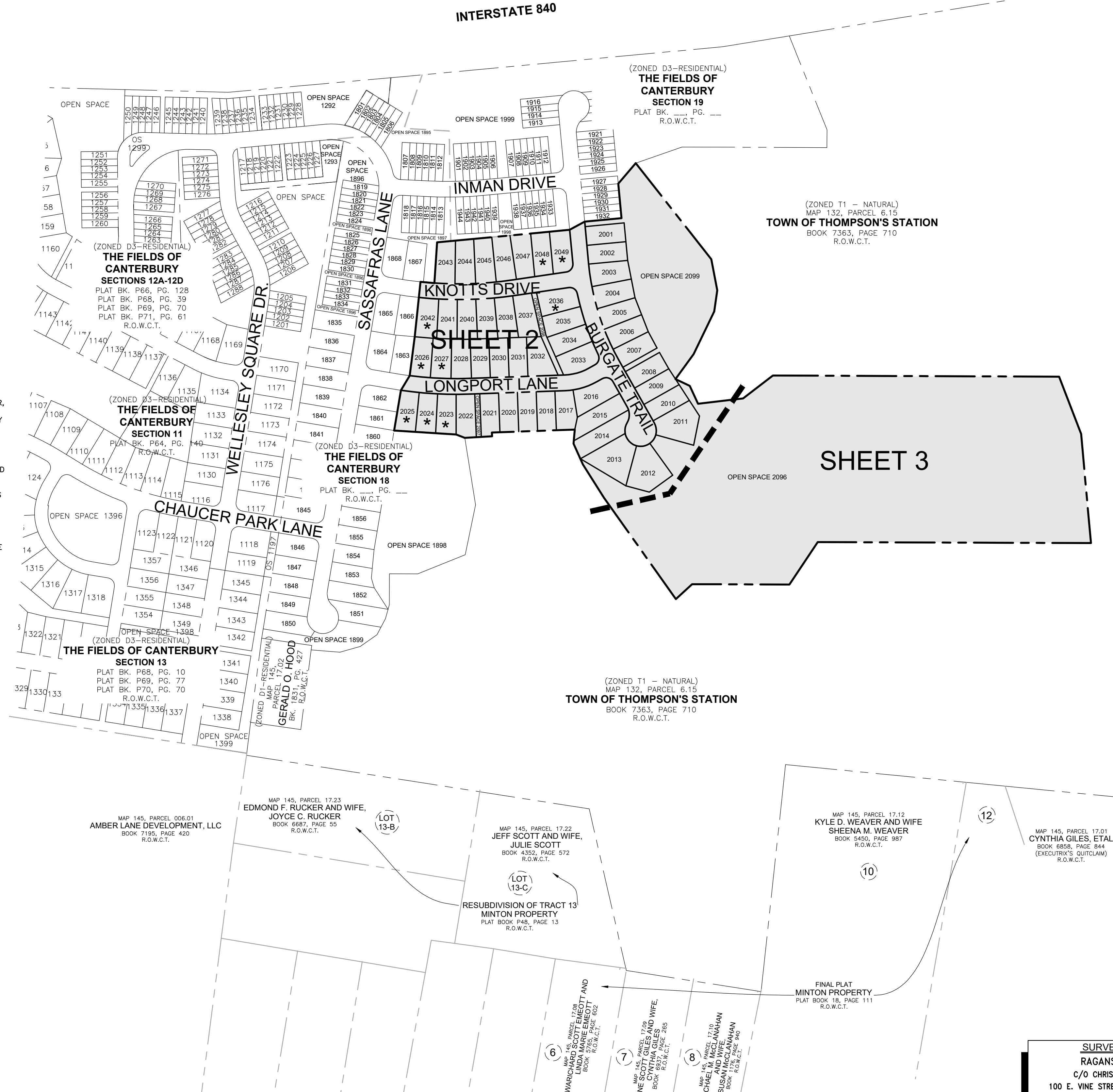
BEING A PORTION OF THE SAME PROPERTY CONVEYED TO ALEXANDER PROPERTY, LLC FROM BARRY ALEXANDER FARMS, LLC BY WARRANTY DEED AND QUITCLAIM DEED OF RECORD IN BOOK 7305, PAGE 918 AND PAGE 923, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

**PROPERTY MAP REFERENCE**

BEING A PORTION OF PARCEL NUMBER 6.09 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP NUMBER 132.

**PLAT REFERENCE**

BEING A PORTION OF LOTS 14 AND 15 AS SHOWN ON THE FINAL PLAT ENTITLED "MINTON PROPERTY" OF RECORD IN PLAT BOOK 18, PAGE 111, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.



OPEN SPACE LOT AREA TABLE			LOT AREA TABLE		
LOT	SQ. FT.±	ACRES±	LOT	SQ. FT.±	ACRES±
2096	769,345	17.66	2001	7,500	0.17
2097	2,205	0.05	2002	7,500	0.17
2098	4,447	0.10	2003	8,452	0.19
2099	123,827	2.84	2004	8,458	0.19
			2005	8,115	0.19
			2006	8,110	0.19
			2007	7,800	0.18
			2008	7,500	0.17
			2009	7,626	0.18
			2010	7,844	0.18
			2011	13,090	0.30
			2012	13,980	0.32
			2013	14,728	0.34
			2014	11,148	0.26
			2015	10,771	0.25
			2016	9,951	0.23
			2017	7,910	0.18
			2018	7,500	0.17
			2019	7,500	0.17
			2020	7,500	0.17
			2021	7,919	0.18
			2022	8,426	0.19
			2023	7,864	0.18
			2024	7,803	0.18
			2025	8,068	0.19
			2026	7,839	0.18
			2027	7,889	0.18
			2028	7,815	0.18
			2029	7,500	0.17
			2030	7,500	0.17
			2031	7,500	0.17
			2032	8,965	0.21
			2033	9,096	0.21
			2034	8,091	0.19
			2035	8,145	0.19
			2036	9,084	0.21
			2037	9,108	0.21
			2038	8,152	0.19
			2039	7,915	0.18
			2040	7,861	0.18
			2041	7,802	0.18
			2042	8,418	0.19
			2043	8,344	0.19
			2044	8,702	0.20
			2045	8,866	0.20
			2046	8,794	0.20
			2047	8,761	0.20
			2048	8,202	0.19
			2049	8,551	0.20

**SITE DATA TABLE (SECTION 20)**

TOTAL LOT AREA	- 9.69 ACRES±
TOTAL OPEN SPACE AREA	- 20.65 ACRES±
TOTAL R.O.W. AREA	- 2.26 ACRES±
TOTAL SITE AREA	- 32.60 ACRES±
TOTAL LINEAR FT OF PUBLIC ROAD-1,890 FEET±	

**SURVEYOR**  
RAGANSMITH  
C/O CHRIS MABERY  
100 E. VINE STREET, SUITE 402  
MURFREESBORO, TN 37130  
cmabery@ragansmith.com  
(615) 546-6050 FAX (615)244-8739

**OWNER / DEVELOPER**  
ENCOMPASS LAND GROUP  
(ALEXANDER PROPERTY, LLC)  
C/O BUCKY INGRAM  
121 FIRST AVENUE SOUTH, SUITE 210  
FRANKLIN, TENNESSEE 37064  
(615) 794-6401

**RECORDER'S INFORMATION**

DATE: SEPTEMBER 10, 2021  
SCALE: 1"=200'  
JOB NO. 05-043 W.O. 1107

**CERTIFICATE OF OWNERSHIP & DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK 7305, PAGE 918 AND PAGE 923, R.O.W.C. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINES, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: 20\_\_ ALEXANDER PROPERTY, LLC  
TITLE:

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE THOMPSON'S STATION MUNICIPAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE SUBDIVISION REGULATIONS, AS APPROVED BY THE TOWN ENGINEER. THIS IS A CATEGORY 1 SURVEY. THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10000 AS SHOWN HEREON.

RAGAN - SMITH - ASSOCIATES, INC.  
DATE: 09/10/21  
CHRISTOPHER J. MABERY RLS NO. 2483

**CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS**

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE PLAN SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO COVER THE COST OF COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 3-106 OF THE THOMPSON'S STATION SUBDIVISION REGULATIONS HAVE BEEN MET.

DATE: HB&TS UTILITY DISTRICT  
GENERAL MANAGER  
DATE: NAME, TITLE, AND AGENCY OF AUTHORIZED APPROVING AGENT

**CERTIFICATION OF THE APPROVAL OF STREETS**

I HEREBY CERTIFY: (1) THAT ALL STREETS DESIGNATED ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THOMPSON'S STATION'S SUBDIVISION REGULATIONS, OR (2) THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: TOWN ENGINEER

**CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION**

I HEREBY CERTIFY THAT THE REQUIREMENTS SET FORTH IN RULES, REGULATIONS, BY-LAWS, POLICY AND OPERATIONAL BULLETINS, PLAT APPROVAL CHECKLIST AND TREE PLANTING GUIDELINES HAVE BEEN MET FOR MTEMC. ANY APPROVAL IS AT ALL TIMES CONTINGENT UPON CONTINUING COMPLIANCE WITH THE FOREMENTIONED REQUIREMENTS.

DATE: MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THOMPSON'S STATION SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: SECRETARY OF PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES**

I DO HEREBY CERTIFY THAT THE SUBDIVISION NAME AND STREET NAMES DENOTED ON THIS FINAL PLAT HAVE BEEN APPROVED BY THE WILLIAMSON COUNTY EMERGENCY COMMUNICATIONS AGENCY.

DATE: WILLIAMSON COUNTY PUBLIC SAFETY

**CERTIFICATE FOR ADDRESSES**

I DO HEREBY CERTIFY THAT THE ADDRESSES DENOTED ON THIS FINAL PLAT ARE THOSE ASSIGNED BY THE DEPARTMENT OF INFORMATION TECHNOLOGY (IT).

DATE: IT DEPT. E-911 ADDRESSING COORDINATOR

**FINAL PLAT**

**THE FIELDS OF CANTERBURY**  
SECTION 20  
LOTS 2001-2049 AND OPEN SPACE 2096-2099

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY, TENNESSEE

REVISED: SEPTEMBER 10, 2021  
DATE: AUGUST 20, 2021  
JOB NO. 05-043 SCALE: 1"=200'  
W.O. 1107

TOTAL SITE AREA = 1,420,105 SQUARE FEET OR 32.60 ACRES ±

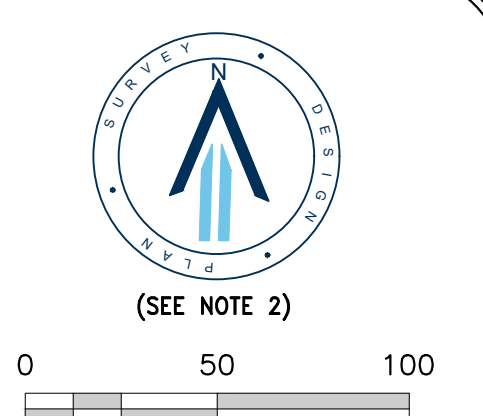
©2021 RAGANSMITH SURVEYING, A PROFESSIONAL SERVICE CORPORATION. ALL RIGHTS RESERVED. THIS IS A FINAL PLAT. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM. WITHOUT PERMISSION IN WRITING FROM RAGANSMITH SURVEYING, A PROFESSIONAL SERVICE CORPORATION. LAST UPDATED BY AREED ON: 9/10/2021 4:05 PM

**GENERAL NOTES**  
 1. SEE SHEET 1 FOR NOTES, AREAS AND REFERENCES.



(ZONED T-1 - NATURAL)  
 MAP 132, PARCEL 6.15  
 TOWN OF THOMPSON'S STATION  
 BOOK 7363, PAGE 710  
 R.O.W.C.T.

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C1	1175.00'	44.33'	2'09'42"	22.17	44.33'	S85°04'33"E
C2	25.00'	37.94'	86°57'46"	23.71	34.41'	N38°05'45"E
C3	1175.00'	295.88'	14°25'40"	148.73	295.10'	N88°47'28"E
C4	1175.00'	53.86'	2'37'34"	26.93	53.85'	S82°53'25"W
C5	1175.00'	65.90'	3'12'48"	32.96	65.89'	S85°48'36"W
C6	1175.00'	65.90'	3'12'48"	32.96	65.89'	S89°01'24"W
C7	1175.00'	65.90'	3'12'48"	32.96	65.89'	N87°45'48"W
C8	1225.00'	308.47'	14°25'40"	155.06	307.66'	N88°47'28"E
C9	1225.00'	63.60'	2°58'30"	31.81	63.60'	S85°28'57"E
C10	1225.00'	59.04'	2°45'41"	29.53	59.04'	S88°21'03"E
C11	1225.00'	59.04'	2°45'41"	29.53	59.04'	N88°53'16"E
C12	1225.00'	59.04'	2°45'41"	29.53	59.04'	N86°07'35"E
C13	1225.00'	59.04'	2°45'41"	29.53	59.04'	N83°21'53"E
C14	1225.00'	8.70'	0°24'25"	4.35	8.70'	N81°46'50"E
C15	25.00'	37.80'	86°37'40"	23.57	34.30'	N55°06'32"W
C16	825.00'	205.40'	14°15'53"	103.23	204.87'	N18°55'39"W
C17	825.00'	42.15'	2°55'39"	21.08	42.15'	S13°15'32"E
C18	825.00'	58.59'	4°04'09"	29.31	58.58'	S16°45'26"E
C19	825.00'	58.59'	4°04'09"	29.31	58.58'	S20°49'35"E
C20	825.00'	46.06'	3°11'56"	23.04	46.06'	S24°27'38"E
C21	25.00'	37.80'	86°37'40"	23.57	34.30'	N17°15'14"E
C22	175.00'	83.58'	27°21'47"	42.60	82.78'	N74°14'57"E
C23	1175.00'	192.53'	9°23'18"	96.48	192.32'	S87°22'30"E
C24	1175.00'	60.66'	2°57'29"	30.34	60.65'	S89°24'35"W
C25	1175.00'	65.96'	3°12'59"	32.99	65.95'	N87°30'11"W
C26	1175.00'	65.91'	3°12'51"	32.97	65.91'	N84°17'17"W
C27	1224.40'	222.69'	10°25'15"	111.65	222.38'	N86°51'42"W
C28	1224.40'	58.63'	2°44'36"	29.32	58.62'	S83°01'23"E
C29	1224.40'	59.04'	2°45'46"	29.53	59.04'	S85°46'35"E
C30	1224.40'	59.04'	2°45'46"	29.53	59.04'	S88°32'21"E
C31	1224.40'	45.98'	2°09'05"	22.99	45.98'	N89°00'13"E
C32	225.00'	107.45'	27°21'47"	54.77	106.44'	S74°14'57"E
C33	225.00'	25.80'	6°34'15"	12.92	25.79'	N84°38'43"E
C34	225.00'	81.65'	20°47'31"	41.28	81.20'	N70°57'50"E
C35	25.00'	39.27'	90°00'00"	25.00	35.36'	N74°25'56"W
C36	50.00'	52.36'	60°00'00"	28.87	50.00'	N00°34'04"E
C37	50.00'	10.15'	11°38'09"	5.09	10.14'	S23°36'52"E
C38	50.00'	42.21'	48°21'51"	22.45	40.96'	S06°23'08"W
C39	50.00'	209.44'	240°00'00"	66.60	86.60'	N89°25'56"W
C40	50.00'	35.53'	40°42'33"	18.55	34.78'	S10°12'47"W
C41	50.00'	56.63'	64°53'21"	31.79	53.65'	S42°35'10"E
C42	50.00'	44.29'	50°45'14"	23.72	42.86'	N79°35'32"E
C43	50.00'	33.85'	38°47'25"	17.60	33.21'	N34°49'13"E
C44	50.00'	39.15'	44°51'27"	20.64	38.15'	N07°00'13"W
C45	775.00'	325.26'	24°02'48"	165.06	322.88'	S17°24'32"E
C46	775.00'	39.68'	2°56'01"	19.85	39.68'	N27°57'56"W
C47	775.00'	69.52'	5°08'23"	34.78	69.50'	N23°55'44"W
C48	775.00'	69.53'	5°08'26"	34.79	69.51'	N18°47'19"W
C49	775.00'	72.44'	5°21'18"	36.24	72.41'	N13°32'27"W
C50	775.00'	72.62'	5°22'08"	36.34	72.59'	N08°10'44"W
C51	775.00'	1.47'	0°06'32"	0.74	1.47'	N05°26'24"W



- LEGEND**
- IRON ROD (NEW) (1/2" X 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")
  - MONUMENT (NEW) (4" DIAMETER ALUMINUM DISC W/ 1/2" IRON ROD MARKED "RAGAN-SMITH ASSOCIATES")
  - IRON ROD (OLD)
  - CATCH BASIN
  - SANITARY SEWER MANHOLE
  - FIRE HYDRANT
  - ⊕ WATER VALVE
  - ⊕ PROPOSED STREET LIGHT
  - UTILITY POLE
  - (2001) LOT NUMBER
  - REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TN
  - P— OVERHEAD ELECTRIC POWER LINE
  - W— WATER LINE
  - G— GAS LINE
  - SA— SANITARY SEWER LINE
  - FM— FORCE MAIN LINE
  - RCP— REINFORCED CONCRETE PIPE
  - X—X— FENCE
  - P.U.D.E.— PUBLIC UTILITY DRAINAGE
  - EASEMENT— EASEMENT
  - R.O.W.— RIGHT-OF-WAY
  - M.B.S.L.— MINIMUM BUILDING SETBACK LINE
  - [1234]— STREET ADDRESS
  - ★ CRITICAL LOT (SEE NOTE 15)

MAP 132, PARCEL 6.15  
 TOWN OF THOMPSON'S STATION  
 BOOK 7363, PAGE 710  
 R.O.W.C.T.

(ZONED T-1 - NATURAL)  
 MAP 132, PARCEL 6.15  
 TOWN OF THOMPSON'S STATION  
 BOOK 7363, PAGE 710  
 R.O.W.C.T.



MATCH LINE  
 SHEET 3

MATCH LINE  
 SHEET 3

**RECORDER'S INFORMATION**

**FINAL PLAT**

**THE FIELDS OF CANTERBURY**

**SECTION 20**  
**LOTS 2001-2049 AND**  
**OPEN SPACE 2096-2099**

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY,  
 TOWN OF THOMPSON'S STATION, TENNESSEE

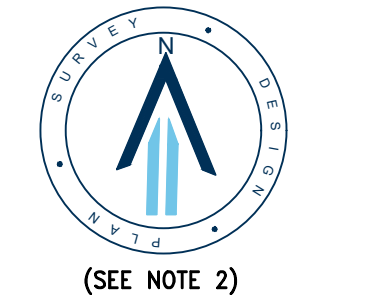
REVISED: SEPTEMBER 10, 2021  
 DATE: AUGUST 20, 2021  
 JOB NO. 05-043

SCALE: 1"=50'  
 W.O. 1107

Nashville - Murfreesboro - Chattanooga  
 ragansmith.com

SHEET 2 OF 3

**GENERAL NOTES**  
 1. SEE SHEET 1 FOR NOTES, AREAS AND REFERENCES.



(ZONED T-1 - NATURAL)  
 TOWN OF THOMPSON'S STATION  
 MAP 132, PARCEL 6.15  
 BOOK 7363, PAGE 710  
 R.O.W.C.T.

(ZONED T-1 - NATURAL)  
 TOWN OF THOMPSON'S STATION  
 MAP 132, PARCEL 6.15  
 BOOK 7363, PAGE 710  
 R.O.W.C.T.

(ZONED T-1 - NATURAL)  
 TOWN OF THOMPSON'S STATION  
 MAP 132, PARCEL 6.15  
 BOOK 7363, PAGE 710  
 R.O.W.C.T.



**LEGEND**

● IRON ROD (NEW) (1/2" x 18" W/ CAP STAMPED "RAGAN SMITH & ASSOCIATES")	—P— OVERHEAD ELECTRIC POWER LINE
■ MONUMENT (NEW) (4" DIAMETER ALUMINUM DISC W/ 1/2" IRON ROD MARKED "RAGAN-SMITH ASSOCIATES")	—W— WATER LINE
○ IRON ROD (OLD)	—G— GAS LINE
● CATCH BASIN	—M— WATER METER
● SANITARY SEWER MANHOLE	—SA— SANITARY SEWER LINE
● FIRE HYDRANT	—FM— FORCE MAIN LINE
● WATER VALVE	—RCP— REINFORCED CONCRETE PIPE
● PROPOSED STREET LIGHT	—X—X— FENCE
● UTILITY POLE	—P.U.D.E.— PUBLIC UTILITY DRAINAGE EASEMENT
● (2001) LOT NUMBER	—R.O.W.— RIGHT-OF-WAY
REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TN	—M.B.S.L.— MINIMUM BUILDING SETBACK LINE
	—[1234]— STREET ADDRESS



**RECORDER'S INFORMATION**

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**FINAL PLAT**

**THE FIELDS  
OF  
CANTERBURY**

**SECTION 20  
LOTS 2001-2049 AND  
OPEN SPACE 2096-2099**

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY,  
TOWN OF THOMPSON'S STATION, TENNESSEE

REVISED: SEPTEMBER 10, 2021  
 DATE: AUGUST 20, 2021  
 JOB NO. 05-043

SCALE: 1"=50'  
 W.O. 1107

RaganSmith  
 Nashville - Murfreesboro - Chattanooga  
 ragan-smith.com

SHEET 3 OF 3

RAGAN SMITH & ASSOCIATES, INC. 1000 WEST MAIN STREET, SUITE 200, NASHVILLE, TN 37203  
 PLAT BY: AMANDA REED OR BRUCE T. RAY (LAST REVISED BY AMANDA REED ON 08/20/21)

**Thompson's Station Planning Commission  
Staff Report  
September 28, 2021**

**Site Plan review for a 7,500 square foot commercial building and a 3,650 square foot commercial building located at 991 Elliston Way within the Tollgate Village neighborhood.**

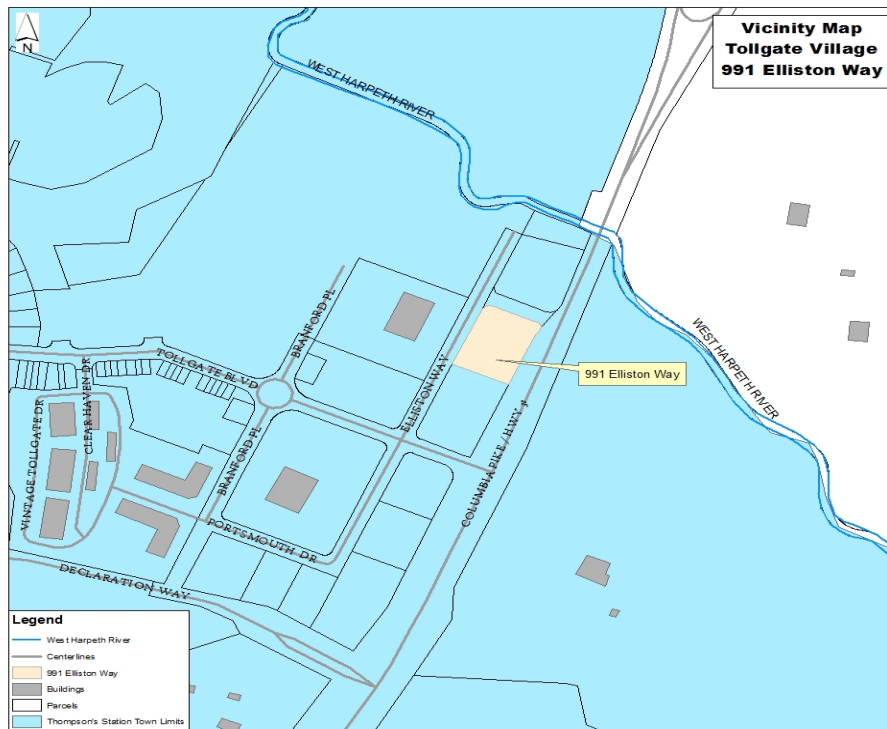
**REQUEST**

The applicant requests site plan approval for the development two commercial buildings within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.

**ANALYSIS**

**Project Description**

The project site consists of one parcel on 1.21 acres and is located along east side of Elliston Way with additional frontage on both Columbia Pike and unnamed Road. The project site is within the undeveloped commercial portion of Tollgate Village, which has been previously graded. As noted, this parcel is bordered by three roadways, creating design challenges for the site with, in effect, three front yards. The site will be accessed from Elliston Way. Sewer taps were previously allocated to this Section of Tollgate upon approval of the final plat.



The site is required to meet the minimum requirements of the Land Development Ordinance (LDO) and show general conformity with the Design Guidelines. The site plan and architectural elevations for this development were reviewed by the Design Review Commission (DRC) at their August 31, 2021, meeting. The DRC approved the architectural elevations with the following contingencies:

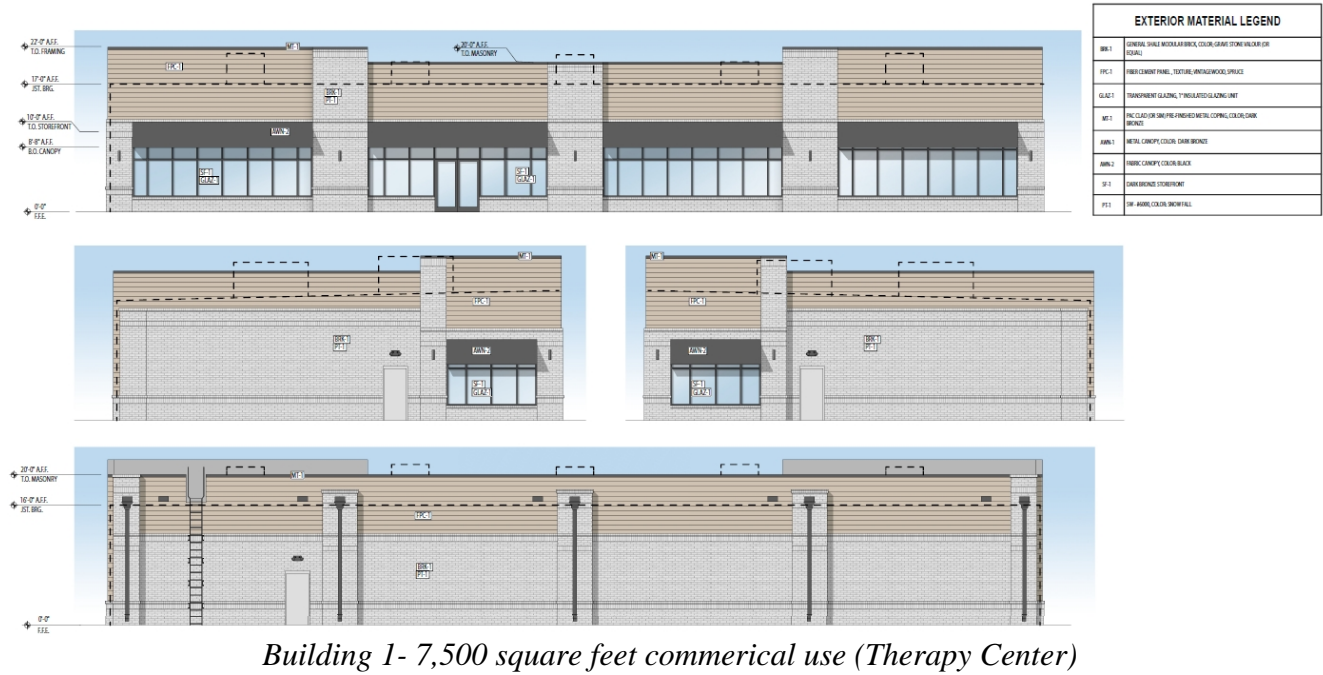
1. The applicant shall provide the glazing requirements per each the elevations and revise the elevations such that the minimum glazing requirements shall be met per the LDO for the NC district.



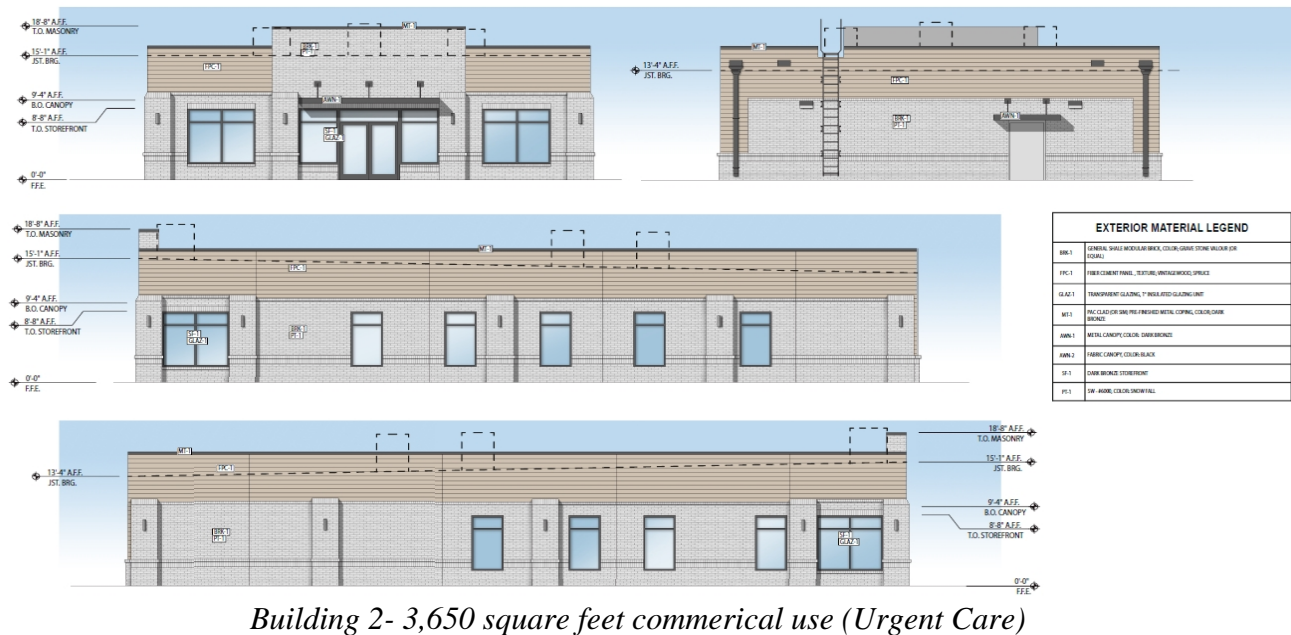
- In addition to the metal canopy over the building as shown, add canopies over the ingress/egress points to the building.

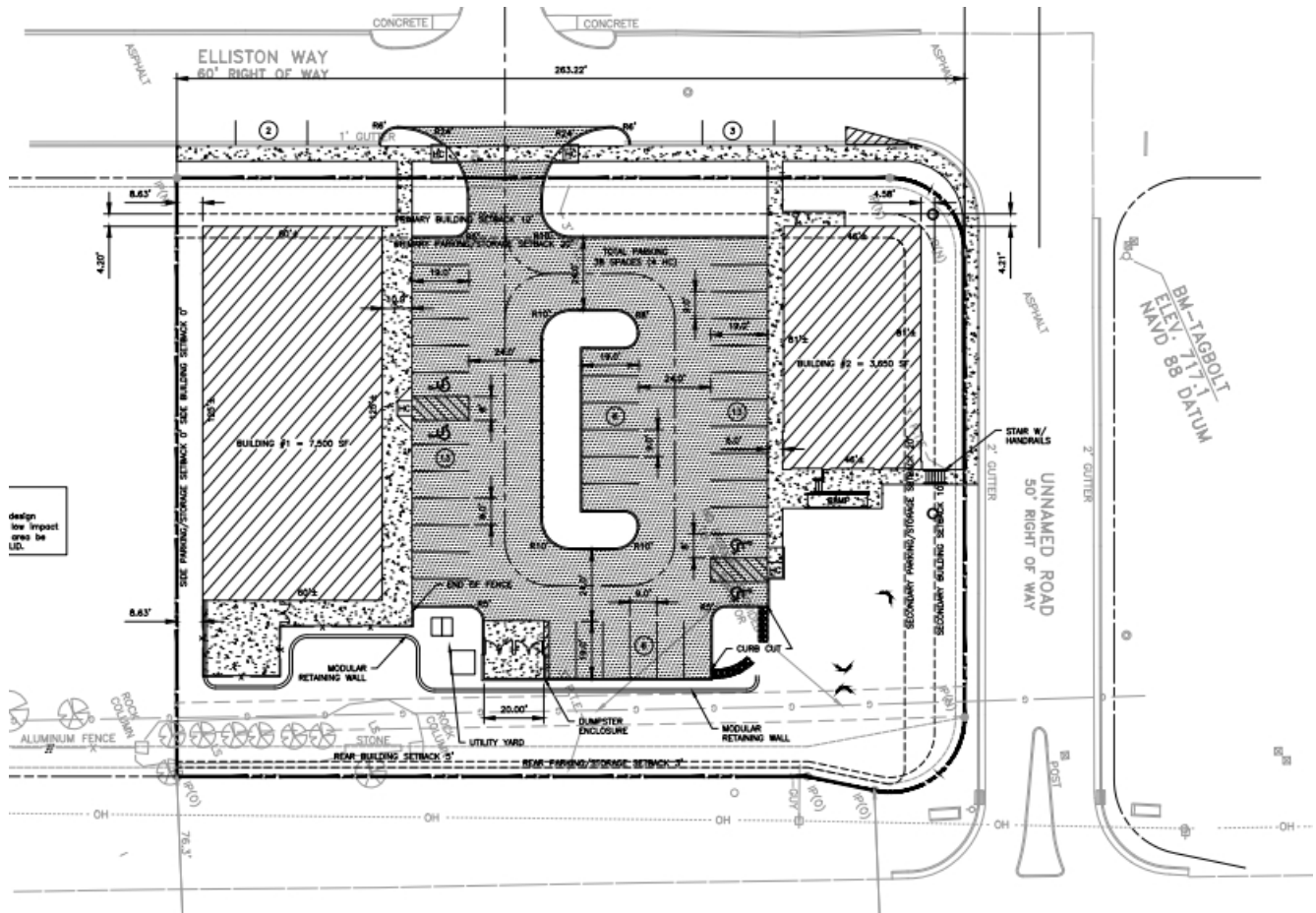
The color elevations and overall site plan are shown, below.

Building 1 consists of a one-story commercial building with a proposed use of autism therapy center consisting of a 7,500 square foot building with a small exterior play area.



Building 2 consists of a one story 3,650 square foot commercial building with a proposed urgent care clinic use. The color elevations are shown, below.





*Overall site plan for 991 Elliston Way*

The site and building elevations, as revised by the DRC approval, meet the minimum requirements of the LDO and show general conformity with the Design Guidelines.

**RECOMMENDATION**

Staff recommends the Planning Commission approve the site plan with the following contingency:

1. The landscape material shall be installed, per the approved Landscape Plan, prior to Certificate of Occupancy and the Town shall be provided a copy of the 1-year warranty provided by the landscape installer.

**ATTACHMENTS**

Site Plan

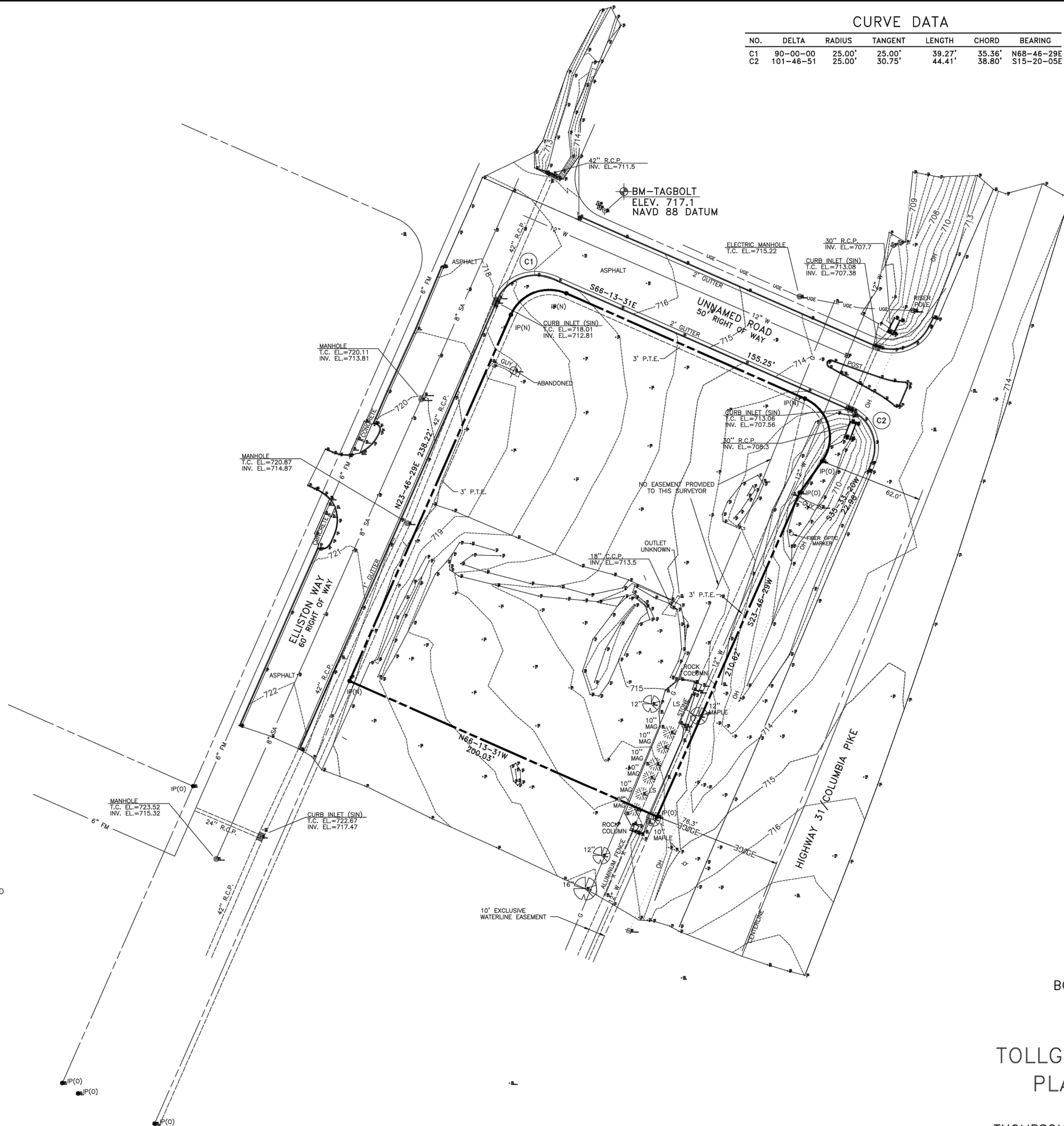


**LEGEND**

SIGN POST	○
IRON PIN/P.K. NAIL (OLD)	● IP(O)/PK(O)
CONCRETE MONUMENT (OLD)	■ CM(O)
CURB INLET	■
MANHOLE	○
FIRE HYDRANT	⊕
WATER METER	⊞
WATER VALVE	⊞
UTILITY POLE	⊞
LIGHT POLE	⊞
TREE	⊞
PROPERTY LINE	---
EASEMENT LINE	---
OVERHEAD UTILITY	OH --- OH
EDGE OF PAVEMENT	---
STRIPES	---
WATER LINE	12" W --- 12" W
SEWER LINE	8" SA --- 8" SA
STORM CULVERT	---
GAS LINE	G --- G
FIBER OPTIC CABLE	FOC --- FOC

**CURVE DATA**

NO.	DELTA	RADIUS	TANGENT	LENGTH	CHORD	BEARING
C1	90-00-00	25.00'	25.00'	39.27'	35.36'	N68-46-29E
C2	101-46-51	25.00'	30.75'	44.41'	38.80'	S15-20-05E

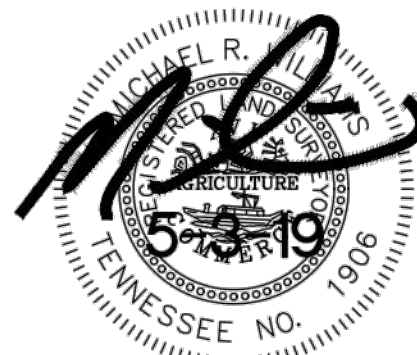


**GPS NOTES:**

1. TYPE OF SURVEY: REAL-TIME KINEMATIC NETWORKS
2. POSITIONAL ACCURACY: H=0.02', V=0.03'
3. DATE OF SURVEY: 04-24-19
4. DATUM AND EPOCH COORDINATES BASED ON: NORTH AMERICAN DATUM OF 1983, NAD 83 (2011), EPOCH 2010.00
5. FIXED CONTROL STATIONS USED: GPS LOCATIONS USED FOR THIS SURVEY WERE ESTABLISHED USING A VRS CONSISTING OF MULTIPLE REFERENCE STATIONS
6. GEOID MODEL USED: 12A
7. COMBINED GRID FACTOR(S): 0.99991388
8. TYPE OF EQUIPMENT USED: TOPCON HIPER V DUAL FREQUENCY RECEIVER AND THE EARL DUDLEY INET REFERENCE STATION NETWORK.

- NOTES:**
- 1) ALL DISTANCES WERE MEASURED WITH E.D.M. EQUIPMENT AND HAVE BEEN ADJUSTED FOR TEMPERATURE.
  - 2) UTILITIES HAVE BEEN PLOTTED FROM SURFACE FEATURES FOUND AT THE TIME OF SURVEY AND AVAILABLE MAPS AND RECORDS. THERE MAY BE OTHER UTILITIES, THE EXISTENCE OF WHICH ARE NOT KNOWN TO THE UNDERSIGNED. SIZE AND LOCATION OF ALL UNDERGROUND UTILITIES MUST BE VERIFIED BY THE APPROPRIATE UTILITY COMPANY PRIOR TO ANY CONSTRUCTION.
  - 3) THE PROPERTY IS LOCATED IN ZONE "X" AREAS NOT AFFECTED BY THE 100 YEAR FLOOD PLAIN BASED ON F.E.M.A. "FLOOD RATE INSURANCE MAP", NO. 47187C0335F, DATED: 9-29-2006.
  - 4) THIS SURVEY PREPARED FROM CURRENT DEED OF RECORD AND DOES NOT REPRESENT A TITLE SEARCH OR A GUARANTEE OF TITLE, AND IS SUBJECT TO ANY STATE OF FACTS A CURRENT AND ACCURATE TITLE SEARCH WILL REVEAL.
  - 5) THIS PROPERTY IS CURRENTLY ZONED "NC". ALL ZONING AND SETBACKS NEED TO BE VERIFIED WITH TOWN OF THOMPSON STATION PLANNING 615-219-0103.
  - 6) REPRODUCTION OR USE OF THIS DRAWING OR ANY PART THEREOF IS NOT ALLOWED WITHOUT WRITTEN APPROVAL FROM THE SURVEYOR WHOSE SEAL APPEARS ON THIS SURVEY COPYRIGHT 2019.
  - 7) SURVEYOR'S LIABILITY FOR THIS DOCUMENT SHALL BE LIMITED TO THE ORIGINAL PURCHASER AND DOES NOT EXTEND TO ANY UNNAMED PERSON OR ENTITIES WITHOUT AN EXPRESSED RE-CERTIFICATION BY THE SURVEYOR WHOSE SIGNATURE APPEARS UPON THIS SURVEY.

THIS SURVEY WAS DONE IN COMPLIANCE WITH CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE. I HEREBY CERTIFY THAT THIS IS A CATEGORY I SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS AT LEAST 1:10,000.



MICHAEL R. WILLIAMS R.L.S., TN, # 1906

PREPARED BY:

**HFR DESIGN**

214 Cantonview Drive Suite 300  
Brentwood, TN 37027  
615.370.8530  
hfrdesign.com

SURVEY DIVISION mwilliams@hfrdesign.com

SITE ADDRESS:  
991 ELLISTON WAY  
THOMPSON'S STATION, TN, 37179

TOTAL AREA: 52,593 SQ. FT. OR (1.207± ACRES)

BOUNDARY AND TOPOGRAPHIC SURVEY  
OF  
**LOT 30.02**  
TOLLGATE VILLAGE, SECTION 30A  
PLAT BOOK P50, PAGE 26

4TH CIVIL DISTRICT  
THOMPSON'S STATION-WILLIAMSON COUNTY-TENNESSEE  
HFR PROJECT NO. 2019083 DATED: 5-3-19

**Rodney L. Wilson Consulting, plc**  
205 Rolling Mill Court  
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No.	Date	Revision Description

**Lot 30.02 - Tollgate Village**  
Thompson Station, TN

Project No.: 2018010.00  
Date: 08/20/2021  
Existing Conditions

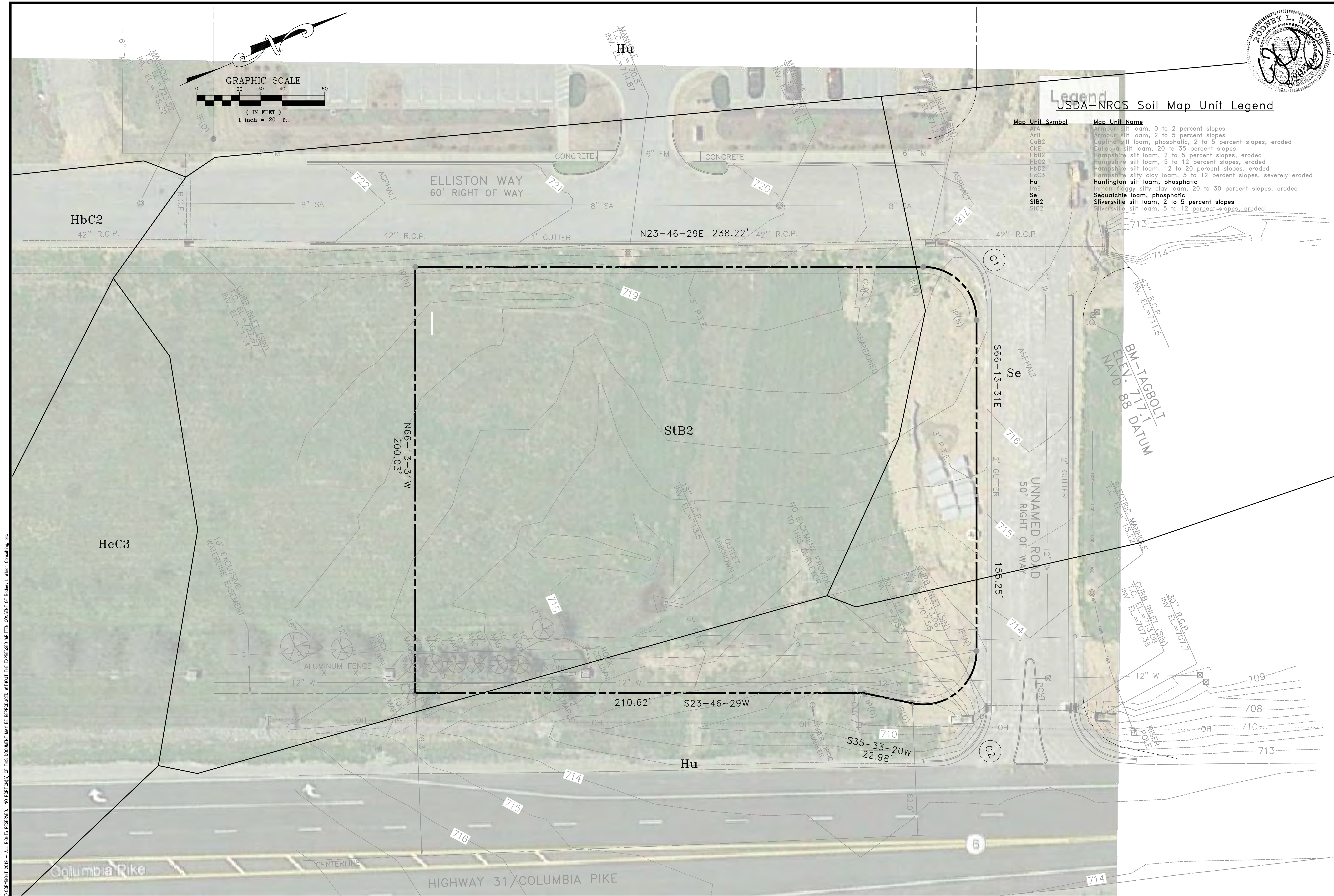
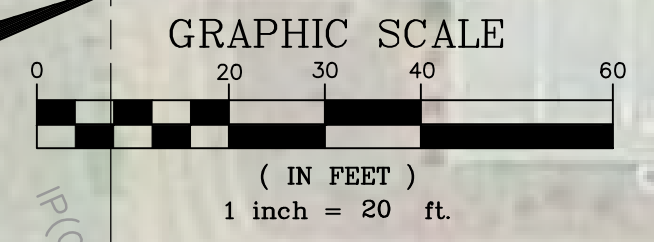
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### USDA-NRCS Soil Map Unit Legend

Map Unit Symbol	Map Unit Name
ArA	Armour silt loam, 0 to 2 percent slopes
ArB	Armour silt loam, 2 to 5 percent slopes
CaB2	Capline silt loam, phosphatic, 2 to 5 percent slopes, eroded
CkE	Culleoka silt loam, 20 to 35 percent slopes
HbB2	Hampshire silt loam, 2 to 5 percent slopes, eroded
HbC2	Hampshire silt loam, 5 to 12 percent slopes, eroded
HbD2	Hampshire silt loam, 12 to 20 percent slopes, eroded
HcC3	Hampshire silty clay loam, 5 to 12 percent slopes, severely eroded
Hu	Huntington silt loam, phosphatic
ImE	Inman flaggy silty clay loam, 20 to 30 percent slopes, eroded
Se	Sequatchie loam, phosphatic
StB2	Stiversville silt loam, 2 to 5 percent slopes
StC2	Stiversville silt loam, 5 to 12 percent slopes, eroded



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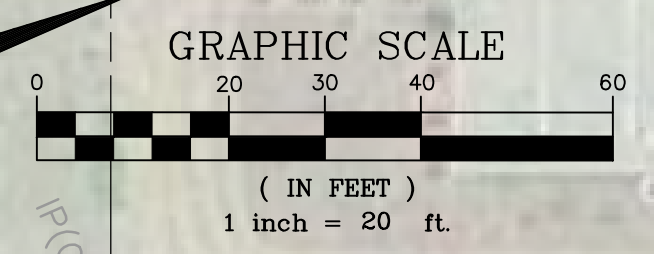
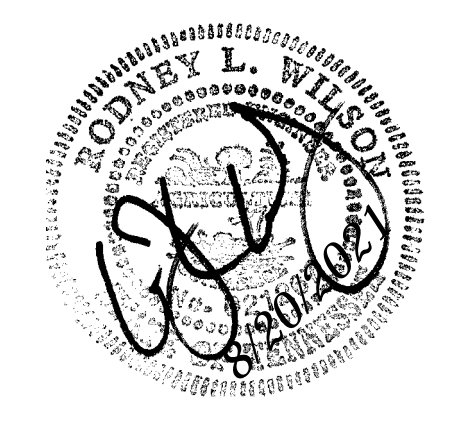
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**Lot 30.02 - Tollgate Village**  
 Thompson Station, TN

Project No.: 2018010.00  
 Date: 08/20/2021  
 Soil Map

**C0.02**

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Legend



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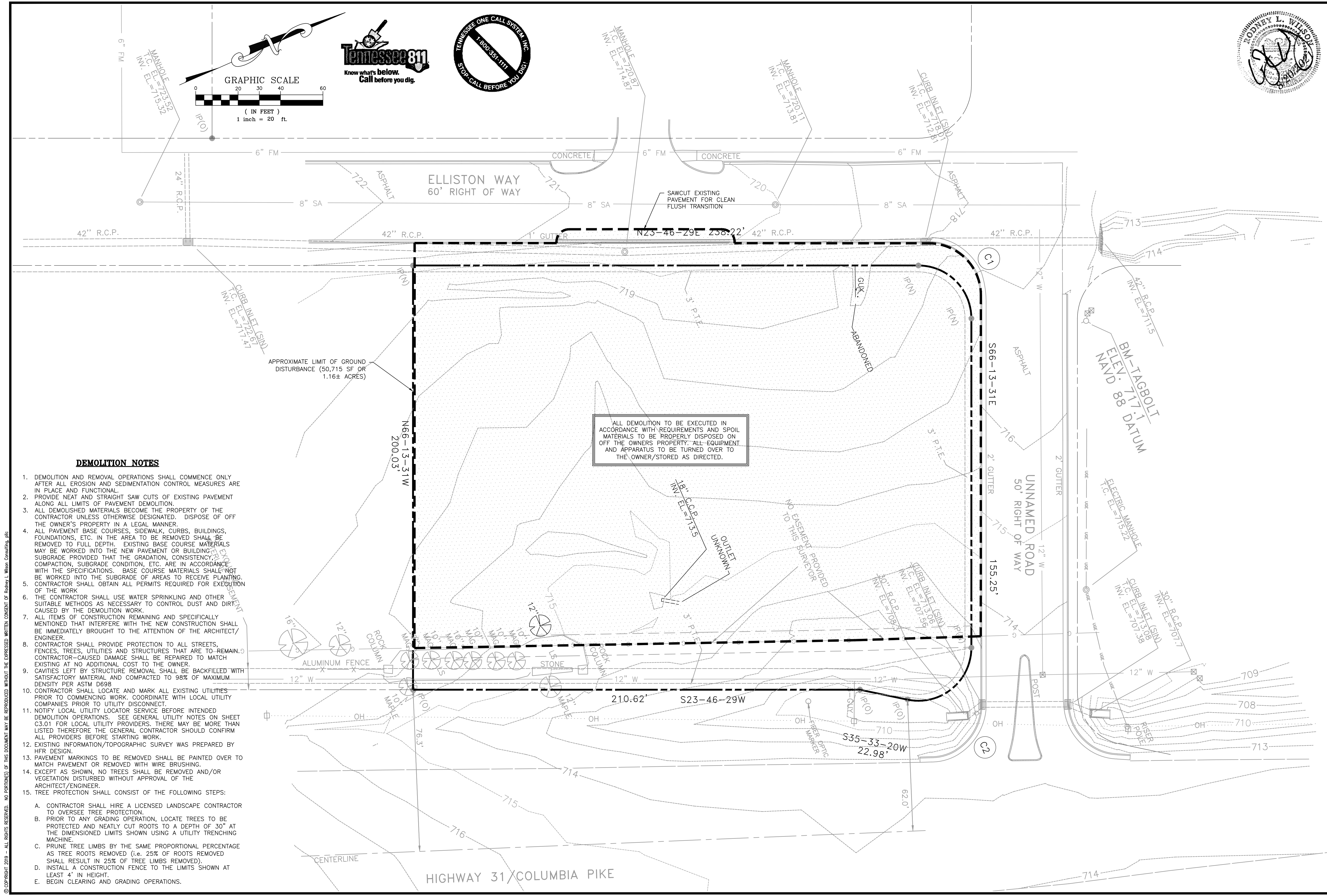
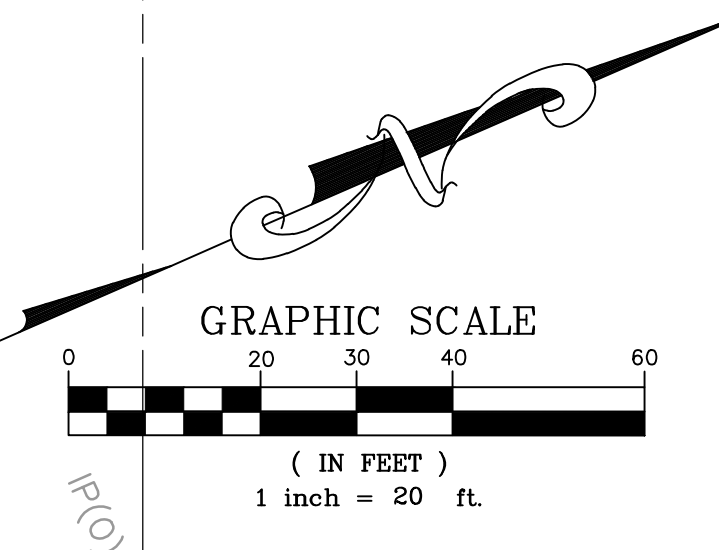
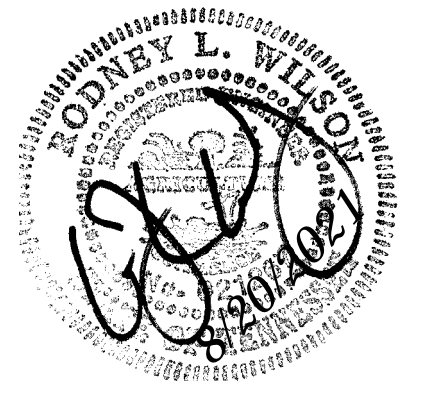
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**Lot 30.02 - Tollgate Village**  
 Thompson Station, TN

Project No.: 2018010.00  
 Date: 08/20/2021  
 Site Resource Map

**C0.03**

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ALL DEMOLITION TO BE EXECUTED IN ACCORDANCE WITH REQUIREMENTS AND SPOIL MATERIALS TO BE PROPERLY DISPOSED ON OFF THE OWNERS PROPERTY. ALL EQUIPMENT AND APPARATUS TO BE TURNED OVER TO THE OWNER/STORED AS DIRECTED.

**DEMOLITION NOTES**

1. DEMOLITION AND REMOVAL OPERATIONS SHALL COMMENCE ONLY AFTER ALL EROSION AND SEDIMENTATION CONTROL MEASURES ARE IN PLACE AND FUNCTIONAL.
2. PROVIDE NEAT AND STRAIGHT SAW CUTS OF EXISTING PAVEMENT ALONG ALL LIMITS OF PAVEMENT DEMOLITION.
3. ALL DEMOLISHED MATERIALS BECOME THE PROPERTY OF THE CONTRACTOR UNLESS OTHERWISE DESIGNATED. DISPOSE OF OFF THE OWNER'S PROPERTY IN A LEGAL MANNER.
4. ALL PAVEMENT BASE COURSES, SIDEWALKS, CURBS, BUILDINGS, FOUNDATIONS, ETC. IN THE AREA TO BE REMOVED SHALL BE REMOVED TO FULL DEPTH. EXISTING BASE COURSE MATERIALS MAY BE WORKED INTO THE NEW PAVEMENT OR BUILDING SUBGRADE PROVIDED THAT THE GRADATION, CONSISTENCY, COMPACTION, SUBGRADE CONDITION, ETC. ARE IN ACCORDANCE WITH THE SPECIFICATIONS. BASE COURSE MATERIALS SHALL NOT BE WORKED INTO THE SUBGRADE OF AREAS TO RECEIVE PLANTING.
5. CONTRACTOR SHALL OBTAIN ALL PERMITS REQUIRED FOR EXECUTION OF THE WORK.
6. THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRTY CAUSED BY THE DEMOLITION WORK.
7. ALL ITEMS OF CONSTRUCTION REMAINING AND SPECIFICALLY MENTIONED THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.
8. CONTRACTOR SHALL PROVIDE PROTECTION TO ALL STREETS, FENCES, TREES, UTILITIES AND STRUCTURES THAT ARE TO REMAIN. CONTRACTOR-CAUSED DAMAGE SHALL BE REPAIRED TO MATCH EXISTING AT NO ADDITIONAL COST TO THE OWNER.
9. CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL AND COMPACTED TO 98% OF MAXIMUM DENSITY PER ASTM D698.
10. CONTRACTOR SHALL LOCATE AND MARK ALL EXISTING UTILITIES PRIOR TO COMMENCING WORK. COORDINATE WITH LOCAL UTILITY COMPANIES PRIOR TO UTILITY DISCONNECT.
11. NOTIFY LOCAL UTILITY LOCATOR SERVICE BEFORE INTENDED DEMOLITION OPERATIONS. SEE GENERAL UTILITY NOTES ON SHEET C3.01 FOR LOCAL UTILITY PROVIDERS. THERE MAY BE MORE THAN LISTED THEREFORE THE GENERAL CONTRACTOR SHOULD CONFIRM ALL PROVIDERS BEFORE STARTING WORK.
12. EXISTING INFORMATION/TOPOGRAPHIC SURVEY WAS PREPARED BY HFR DESIGN.
13. PAVEMENT MARKINGS TO BE REMOVED SHALL BE PAINTED OVER TO MATCH PAVEMENT OR REMOVED WITH WIRE BRUSHING.
14. EXCEPT AS SHOWN, NO TREES SHALL BE REMOVED AND/OR VEGETATION DISTURBED WITHOUT APPROVAL OF THE ARCHITECT/ENGINEER.
15. TREE PROTECTION SHALL CONSIST OF THE FOLLOWING STEPS:
  - A. CONTRACTOR SHALL HIRE A LICENSED LANDSCAPE CONTRACTOR TO OVERSEE TREE PROTECTION.
  - B. PRIOR TO ANY GRADING OPERATION, LOCATE TREES TO BE PROTECTED AND NEATLY CUT ROOTS TO A DEPTH OF 30" AT THE DIMENSIONED LIMITS SHOWN USING A UTILITY TRENCHING MACHINE.
  - C. PRUNE TREE LIMBS BY THE SAME PROPORTIONAL PERCENTAGE AS TREE ROOTS REMOVED (i.e. 25% OF ROOTS REMOVED SHALL RESULT IN 25% OF TREE LIMBS REMOVED).
  - D. INSTALL A CONSTRUCTION FENCE TO THE LIMITS SHOWN AT LEAST 4' IN HEIGHT.
  - E. BEGIN CLEARING AND GRADING OPERATIONS.

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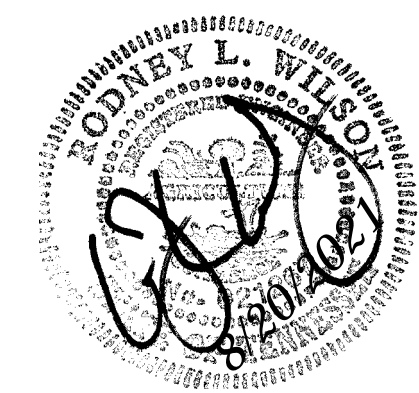
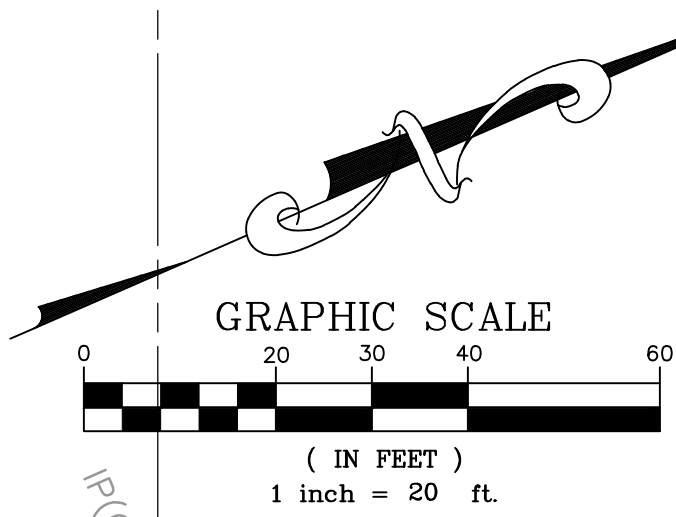
No.	Date	Revision Description

**Lot 30.02 - Tollgate Village**  
 Thompson Station, TN

Project No.: 2018010.00  
 Date: 08/20/2021

Site Demolition Plan

**C1.00**



**BUILDING FRONTAGE CALCULATIONS**

Primary Frontage (Elliston Way)  
 Frontage = 263.22'  
 Minimum Bldg Frontage (60%) = 157.93'  
 Bldg Frontage Provided = 106' < 158'

**LOT COVERAGE CALCULATIONS**

PARCEL 52,577 sf (1.21 Ac)  
 PERVIOUS (grass/landscape) 21,215 sf (40.0%)  
 IMPERVIOUS 15,056 sf (Asphalt)  
 4,040 sf (Concrete)  
 11,150 sf (Building)  
 30,246 sf (57.5%)  
 LOT COVERAGE (BUILDINGS) 11,150 sf (212% < 50%)

4.9.5 (b) Lot coverage. Lot coverage for non-residential is 50% maximum and for residential is 90% maximum. Residential lots exceeding 50% coverage shall provide an additional area, equal to or greater than the balance of 50%, in the form of open space or civic space. The additional civic space shall be within a walking distance or 1/4 mile of the subject units.

**PARKING CALCULATIONS**

Bldg #1 - Other Service Business 7,500 sf  
 Parking 3 per 1,000 - Required Parking 22.5 spaces  
 Bldg #2 - Medical Clinic 3,650 sf  
 Parking 1 per 200 + 1 per physician - Required Parking 20.25 spaces  
 Total Parking Required - 42.75 spaces (43 spaces)  
 Parking Provided: On Site provided 38 spaces  
 On Street provided 5 spaces  
 43 spaces (100% of required)

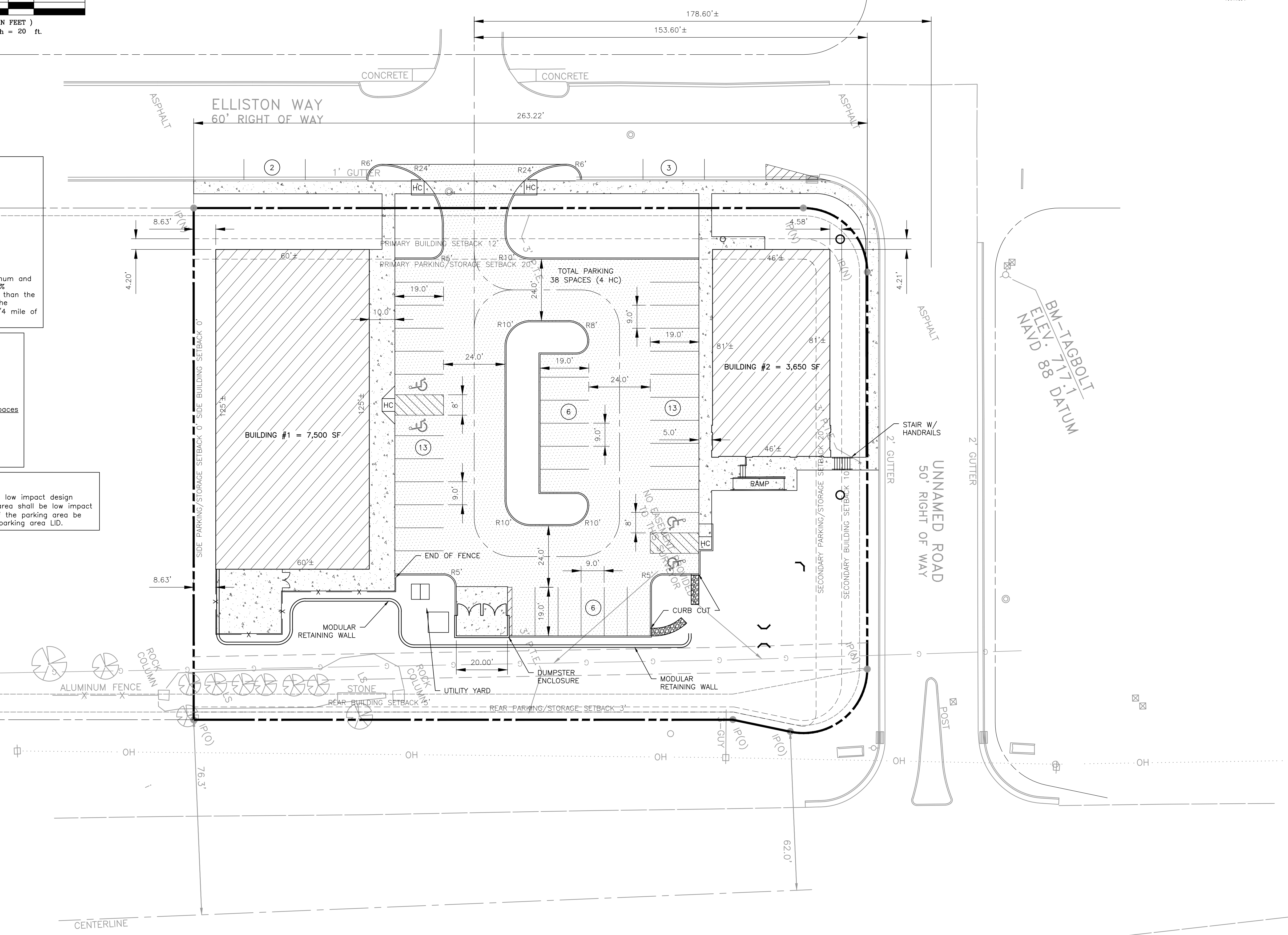
**4.12.4 Maximum Provided Automobile Parking**

a. Parking areas that exceed the allowable parking shall incorporate low impact design (LID). For up to a 5% increase in parking, 25% of the parking area shall be low impact design (LID). An increase between 5 - 10% shall require 35% of the parking area be LID. Any increase in parking over 10% shall require 50% of the parking area LID.

**SITE NOTES**

- EXISTING CONDITIONS AND BOUNDARY TAKEN FROM SURVEY BY: HFR DESIGN, DATED MAY 3, 2019.
- PROPERTY MAP REFERENCE: PLAT BOOK P50, PAGE 26, SECTION 30A, LOT 30.02.
- PROPERTY IS ZONED NC
- THIS PROPERTY IS NOT LOCATED IN A 100 YEAR FLOOD PLAIN BASED ON INFORMATION TAKEN FROM FLOOD INSURANCE RATE MAP PANEL NO. 47187C0335F, DATED 09/29/2006.
- OBTAIN ALL NECESSARY LICENSES AND PERMITS. CONTRACTOR TO PROVIDE ALL ASSOCIATED FEES AND COSTS.
- VERIFY ALL UTILITY ELEVATIONS, LOCATIONS, AND DEPTHS BEFORE BEGINNING CONSTRUCTION. THE OWNER DOES NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT UTILITIES, OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT THE ACTUAL UTILITY LOCATIONS MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE UNDERGROUND UTILITY POSITIONS.
- STAKEOUT PLAN AS SHOWN HEREON. SEE ARCHITECTURAL PLANS FOR DETAILED BUILDING DIMENSIONS, AS NEEDED.
- DIMENSIONS AND RADII SHOWN ARE EDGE OF PAVEMENT OR FACE OF CURB.
- GUARD REFERENCE POINTS STAKED IN THE FIELD. ALL REFERENCE POINTS THAT ARE DESTROYED OR LOST SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE.
- VERIFY THE CLEARING LIMITS AND FIELD CONDITIONS BEFORE BIDDING THIS PROJECT. NO EXTRAS WILL BE ALLOWED DUE TO THE IRREGULAR SURFACE CONDITIONS THAT MAY BE ENCOUNTERED ON THIS SITE.
- BEFORE CLEARING, FLAG TREES TO REMAIN. AVOID DAMAGING THESE TREES AND THEIR ROOT SYSTEMS DURING CONSTRUCTION.
- PREVENT VEHICLE OR EQUIPMENT STORAGE OFF-SITE.
- CORRECT ALL DAMAGE TO EXISTING PAVEMENT, SIDEWALKS, DRAINAGE STRUCTURES, UTILITIES, OR OTHER EXISTING IMPROVEMENTS AT NO EXPENSE TO THE OWNER.
- ALL TRAFFIC CONTROL DEVICES AND PLANS SHALL CONFORM TO THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- DETAILED WATER AND SANITARY SEWER PLANS TO BE APPROVED BY JURISDICTIONAL AGENCIES PRIOR TO CONSTRUCTION.
- ADJUST ALL EXISTING MANHOLES, CATCH BASINS, OR OTHER STRUCTURES TO MATCH PROPOSED GRADES.

10' EXCLUSIVE WATERLINE EASEMENT



BM-TAGBOLT  
 ELEV. 717.1  
 NAVD 88 DATUM

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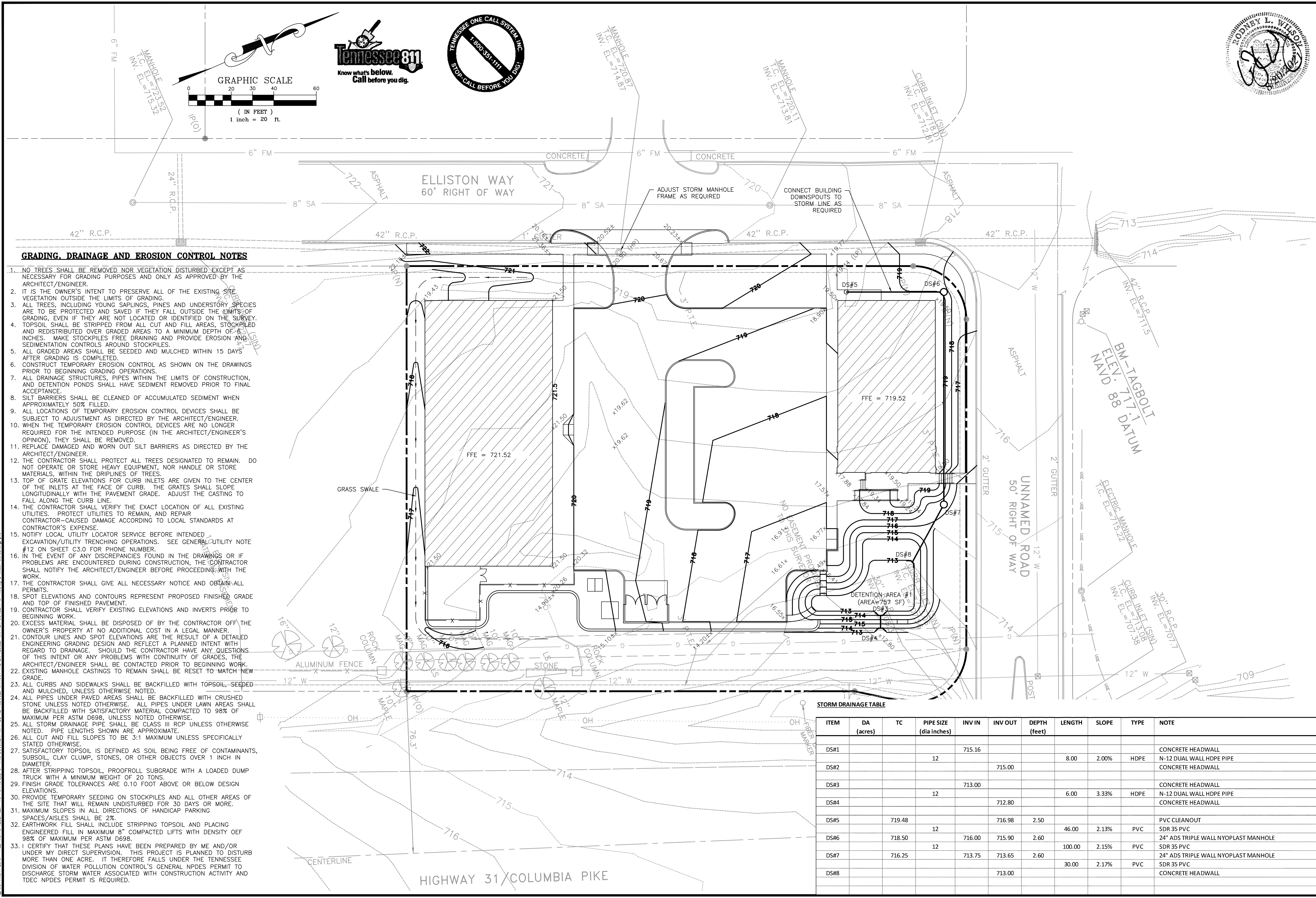
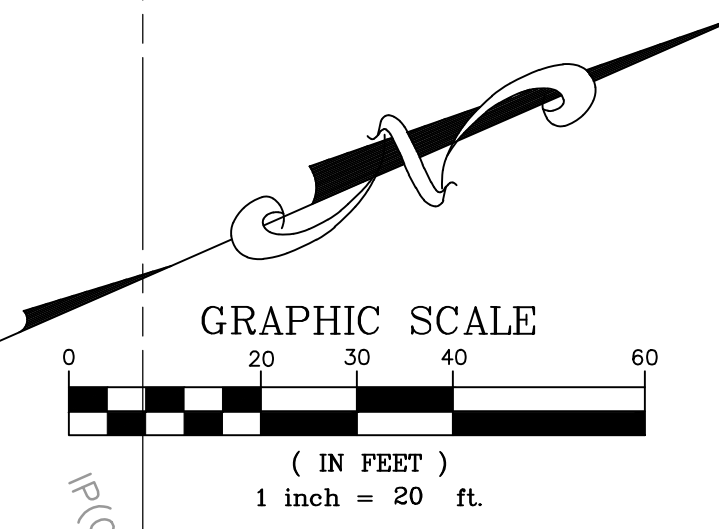
Lot 30.02 - Tollgate Village  
 Thompson Station, TN

Project No.: 2018010.00  
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Site Plan  
**C1.01**

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**GRADING, DRAINAGE AND EROSION CONTROL NOTES**

1. NO TREES SHALL BE REMOVED NOR VEGETATION DISTURBED EXCEPT AS NECESSARY FOR GRADING PURPOSES AND ONLY AS APPROVED BY THE ARCHITECT/ENGINEER.
2. IT IS THE OWNER'S INTENT TO PRESERVE ALL OF THE EXISTING SITE VEGETATION OUTSIDE THE LIMITS OF GRADING.
3. ALL TREES, INCLUDING YOUNG SAPLINGS, PINES AND UNDERSTORY SPECIES ARE TO BE PROTECTED AND SAVED IF THEY FALL OUTSIDE THE LIMITS OF GRADING, EVEN IF THEY ARE NOT LOCATED OR IDENTIFIED ON THE SURVEY.
4. TOPSOIL SHALL BE STRIPPED FROM ALL CUT AND FILL AREAS, STOCKPILED AND REDISTRIBUTED OVER GRADED AREAS TO A MINIMUM DEPTH OF 6 INCHES. MAKE STOCKPILES FREE DRAINING AND PROVIDE EROSION AND SEDIMENTATION CONTROLS AROUND STOCKPILES.
5. ALL GRADED AREAS SHALL BE SEEDED AND MULCHED WITHIN 15 DAYS AFTER GRADING IS COMPLETED.
6. CONSTRUCT TEMPORARY EROSION CONTROL AS SHOWN ON THE DRAWINGS PRIOR TO BEGINNING GRADING OPERATIONS.
7. ALL DRAINAGE STRUCTURES, PIPES WITHIN THE LIMITS OF CONSTRUCTION, AND DETENTION PONDS SHALL HAVE SEDIMENT REMOVED PRIOR TO FINAL ACCEPTANCE.
8. SILT BARRIERS SHALL BE CLEANED OF ACCUMULATED SEDIMENT WHEN APPROXIMATELY 50% FILLED.
9. ALL LOCATIONS OF TEMPORARY EROSION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DIRECTED BY THE ARCHITECT/ENGINEER.
10. WHEN THE TEMPORARY EROSION CONTROL DEVICES ARE NO LONGER REQUIRED FOR THE INTENDED PURPOSE (IN THE ARCHITECT/ENGINEER'S OPINION), THEY SHALL BE REMOVED.
11. REPLACE DAMAGED AND WORN OUT SILT BARRIERS AS DIRECTED BY THE ARCHITECT/ENGINEER.
12. THE CONTRACTOR SHALL PROTECT ALL TREES DESIGNATED TO REMAIN. DO NOT OPERATE OR STORE HEAVY EQUIPMENT, NOR HANDLE OR STORE MATERIALS, WITHIN THE DRIPLINES OF TREES.
13. TOP OF GRATE ELEVATIONS FOR CURB INLETS ARE GIVEN TO THE CENTER OF THE INLETS AT THE FACE OF CURB. THE GRATES SHALL SLOPE LONGITUDINALLY WITH THE PAVEMENT GRADE. ADJUST THE CASTING TO FALL ALONG THE CURB LINE.
14. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES. PROTECT UTILITIES TO REMAIN, AND REPAIR CONTRACTOR-CAUSED DAMAGE ACCORDING TO LOCAL STANDARDS AT CONTRACTOR'S EXPENSE.
15. NOTIFY LOCAL UTILITY LOCATOR SERVICE BEFORE INTENDED EXCAVATION/UTILITY TRENCHING OPERATIONS. SEE GENERAL UTILITY NOTE #12 ON SHEET C3.0 FOR PHONE NUMBER.
16. IN THE EVENT OF ANY DISCREPANCIES FOUND IN THE DRAWINGS OR IF PROBLEMS ARE ENCOUNTERED DURING CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT/ENGINEER BEFORE PROCEEDING WITH THE WORK.
17. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICE AND OBTAIN ALL PERMITS.
18. SPOT ELEVATIONS AND CONTOURS REPRESENT PROPOSED FINISHED GRADE AND TOP OF FINISHED PAVEMENT.
19. CONTRACTOR SHALL VERIFY EXISTING ELEVATIONS AND INVERTS PRIOR TO BEGINNING WORK.
20. EXCESS MATERIAL SHALL BE DISPOSED OF BY THE CONTRACTOR OFF THE OWNER'S PROPERTY AT NO ADDITIONAL COST IN A LEGAL MANNER.
21. CONTOUR LINES AND SPOT ELEVATIONS ARE THE RESULT OF A DETAILED ENGINEERING GRADING DESIGN AND REFLECT A PLANNED INTENT WITH REGARD TO DRAINAGE. SHOULD THE CONTRACTOR HAVE ANY QUESTIONS OF THIS INTENT OR ANY PROBLEMS WITH CONTINUITY OF GRADES, THE ARCHITECT/ENGINEER SHALL BE CONTACTED PRIOR TO BEGINNING WORK.
22. EXISTING MANHOLE CASTINGS TO REMAIN SHALL BE RESET TO MATCH NEW GRADE.
23. ALL CURBS AND SIDEWALKS SHALL BE BACKFILLED WITH TOPSOIL, SEEDED AND MULCHED, UNLESS OTHERWISE NOTED.
24. ALL PIPES UNDER PAVED AREAS SHALL BE BACKFILLED WITH CRUSHED STONE UNLESS NOTED OTHERWISE. ALL PIPES UNDER LAWN AREAS SHALL BE BACKFILLED WITH SATISFACTORY MATERIAL COMPACTED TO 98% OF MAXIMUM PER ASTM D698, UNLESS NOTED OTHERWISE.
25. ALL STORM DRAINAGE PIPE SHALL BE CLASS III RCP UNLESS OTHERWISE NOTED. PIPE LENGTHS SHOWN ARE APPROXIMATE.
26. ALL CUT AND FILL SLOPES TO BE 3:1 MAXIMUM UNLESS SPECIFICALLY STATED OTHERWISE.
27. SATISFACTORY TOPSOIL IS DEFINED AS SOIL BEING FREE OF CONTAMINANTS, SUBSOIL, CLAY CLUMP, STONES, OR OTHER OBJECTS OVER 1 INCH IN DIAMETER.
28. AFTER STRIPPING TOPSOIL, PROOFROLL SUBGRADE WITH A LOADED DUMP TRUCK WITH A MINIMUM WEIGHT OF 20 TONS.
29. FINISH GRADE TOLERANCES ARE 0.10 FOOT ABOVE OR BELOW DESIGN ELEVATIONS.
30. PROVIDE TEMPORARY SEEDING ON STOCKPILES AND ALL OTHER AREAS OF THE SITE THAT WILL REMAIN UNDISTURBED FOR 30 DAYS OR MORE.
31. MAXIMUM SLOPES IN ALL DIRECTIONS OF HANDICAP PARKING SPACES/AISLES SHALL BE 2%.
32. EARTHWORK FILL SHALL INCLUDE STRIPPING TOPSOIL AND PLACING ENGINEERED FILL IN MAXIMUM 8" COMPACTED LIFTS WITH DENSITY OF 98% OF MAXIMUM PER ASTM D698.
33. I CERTIFY THAT THESE PLANS HAVE BEEN PREPARED BY ME AND/OR UNDER MY DIRECT SUPERVISION. THIS PROJECT IS PLANNED TO DISTURB MORE THAN ONE ACRE. IT THEREFORE FALLS UNDER THE TENNESSEE DIVISION OF WATER POLLUTION CONTROL'S GENERAL NPDES PERMIT TO DISCHARGE STORM WATER ASSOCIATED WITH CONSTRUCTION ACTIVITY AND TDEC NPDES PERMIT IS REQUIRED.

**STORM DRAINAGE TABLE**

ITEM	DA (acres)	TC	PIPE SIZE (dia inches)	INV IN	INV OUT	DEPTH (feet)	LENGTH	SLOPE	TYPE	NOTE
DS#1				715.16						CONCRETE HEADWALL
DS#2			12		715.00		8.00	2.00%	HDPE	N-12 DUAL WALL HDPE PIPE
DS#3				713.00						CONCRETE HEADWALL
DS#4			12		712.80		6.00	3.33%	HDPE	N-12 DUAL WALL HDPE PIPE
DS#5	719.48			716.98	2.50				PVC CLEANOUT	SDR 35 PVC
DS#6	718.50		12	716.00	715.90	2.60	46.00	2.13%	PVC	24" ADS TRIPLE WALL NYOPLAST MANHOLE
DS#7	716.25		12	713.75	713.65	2.60	100.00	2.15%	PVC	24" ADS TRIPLE WALL NYOPLAST MANHOLE
DS#8				713.00			30.00	2.17%	PVC	SDR 35 PVC

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Grading and Drainage Plan

**C2.01**

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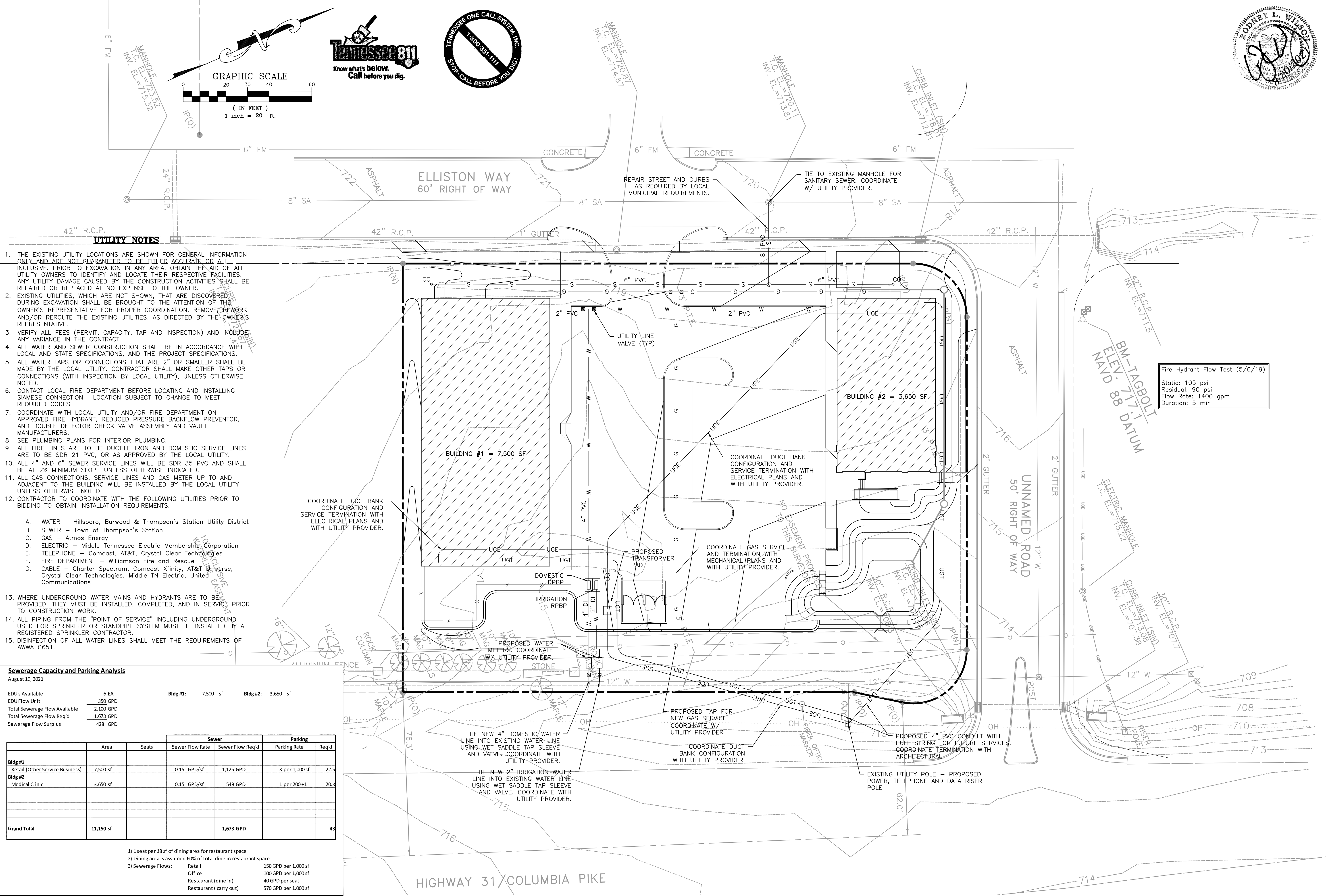
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Site Utility Plan  
**C3.01**



**UTILITY NOTES**

- THE EXISTING UTILITY LOCATIONS ARE SHOWN FOR GENERAL INFORMATION ONLY AND ARE NOT GUARANTEED TO BE EITHER ACCURATE OR ALL INCLUSIVE. PRIOR TO EXCAVATION IN ANY AREA, OBTAIN THE AID OF ALL UTILITY OWNERS TO IDENTIFY AND LOCATE THEIR RESPECTIVE FACILITIES. ANY UTILITY DAMAGE CAUSED BY THE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO EXPENSE TO THE OWNER.
- EXISTING UTILITIES, WHICH ARE NOT SHOWN, THAT ARE DISCOVERED DURING EXCAVATION SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE FOR PROPER COORDINATION. REMOVE, REWORK AND/OR REROUTE THE EXISTING UTILITIES, AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- VERIFY ALL FEES (PERMIT, CAPACITY, TAP AND INSPECTION) AND INCLUDE ANY VARIANCE IN THE CONTRACT.
- ALL WATER AND SEWER CONSTRUCTION SHALL BE IN ACCORDANCE WITH LOCAL AND STATE SPECIFICATIONS, AND THE PROJECT SPECIFICATIONS.
- ALL WATER TAPS OR CONNECTIONS THAT ARE 2" OR SMALLER SHALL BE MADE BY THE LOCAL UTILITY. CONTRACTOR SHALL MAKE OTHER TAPS OR CONNECTIONS (WITH INSPECTION BY LOCAL UTILITY), UNLESS OTHERWISE NOTED.
- CONTACT LOCAL FIRE DEPARTMENT BEFORE LOCATING AND INSTALLING SIAMESE CONNECTION. LOCATION SUBJECT TO CHANGE TO MEET REQUIRED CODES.
- COORDINATE WITH LOCAL UTILITY AND/OR FIRE DEPARTMENT ON APPROVED FIRE HYDRANT, REDUCED PRESSURE BACKFLOW PREVENTOR, AND DOUBLE DETECTOR CHECK VALVE ASSEMBLY AND VAULT MANUFACTURERS.
- SEE PLUMBING PLANS FOR INTERIOR PLUMBING.
- ALL FIRE LINES ARE TO BE DUCTILE IRON AND DOMESTIC SERVICE LINES ARE TO BE SDR 21 PVC, OR AS APPROVED BY THE LOCAL UTILITY.
- ALL 4" AND 6" SEWER SERVICE LINES WILL BE SDR 35 PVC AND SHALL BE AT 2% MINIMUM SLOPE UNLESS OTHERWISE INDICATED.
- ALL GAS CONNECTIONS, SERVICE LINES AND GAS METER UP TO AND ADJACENT TO THE BUILDING WILL BE INSTALLED BY THE LOCAL UTILITY, UNLESS OTHERWISE NOTED.
- CONTRACTOR TO COORDINATE WITH THE FOLLOWING UTILITIES PRIOR TO BIDDING TO OBTAIN INSTALLATION REQUIREMENTS:
  - A. WATER - Hillsboro, Burwood & Thompson's Station Utility District
  - B. SEWER - Town of Thompson's Station
  - C. GAS - Atmos Energy
  - D. ELECTRIC - Middle Tennessee Electric Membership Corporation
  - E. TELEPHONE - Comcast, AT&T, Crystal Clear Technologies
  - F. FIRE DEPARTMENT - Williamson Fire and Rescue
  - G. CABLE - Charter Spectrum, Comcast Xfinity, AT&T U-verse, Crystal Clear Technologies, Middle TN Electric, United Communications
- WHERE UNDERGROUND WATER MAINS AND HYDRANTS ARE TO BE PROVIDED, THEY MUST BE INSTALLED, COMPLETED, AND IN SERVICE PRIOR TO CONSTRUCTION WORK.
- ALL PIPING FROM THE "POINT OF SERVICE" INCLUDING UNDERGROUND USED FOR SPRINKLER OR STANDPIPE SYSTEM MUST BE INSTALLED BY A REGISTERED SPRINKLER CONTRACTOR.
- DISINFECTION OF ALL WATER LINES SHALL MEET THE REQUIREMENTS OF AWWA C651.

**Sewerage Capacity and Parking Analysis**

August 19, 2021

EDU's Available	6 EA	Bldg #1:	7,500 sf	Bldg #2:	3,650 sf
EDU Flow Unit	350 GPD				
Total Sewerage Flow Available	2,100 GPD				
Total Sewerage Flow Req'd	1,673 GPD				
Sewerage Flow Surplus	428 GPD				

Bldg #	Area	Seats	Sewer		Parking	
			Sewer Flow Rate	Sewer Flow Req'd	Parking Rate	Req'd
Bldg #1						
Retail (Other Service Business)	7,500 sf		0.15 GPD/sf	1,125 GPD	3 per 1,000sf	22.5
Bldg #2						
Medical Clinic	3,650 sf		0.15 GPD/sf	548 GPD	1 per 200+1	20.3
<b>Grand Total</b>	<b>11,150 sf</b>			<b>1,673 GPD</b>		<b>43</b>

- 1 seat per 18 sf of dining area for restaurant space
- Dining area is assumed 60% of total dine in restaurant space
- Sewerage Flows:
 

Retail	150 GPD per 1,000sf
Office	100 GPD per 1,000sf
Restaurant (dine in)	40 GPD per seat
Restaurant (carry out)	570 GPD per 1,000sf

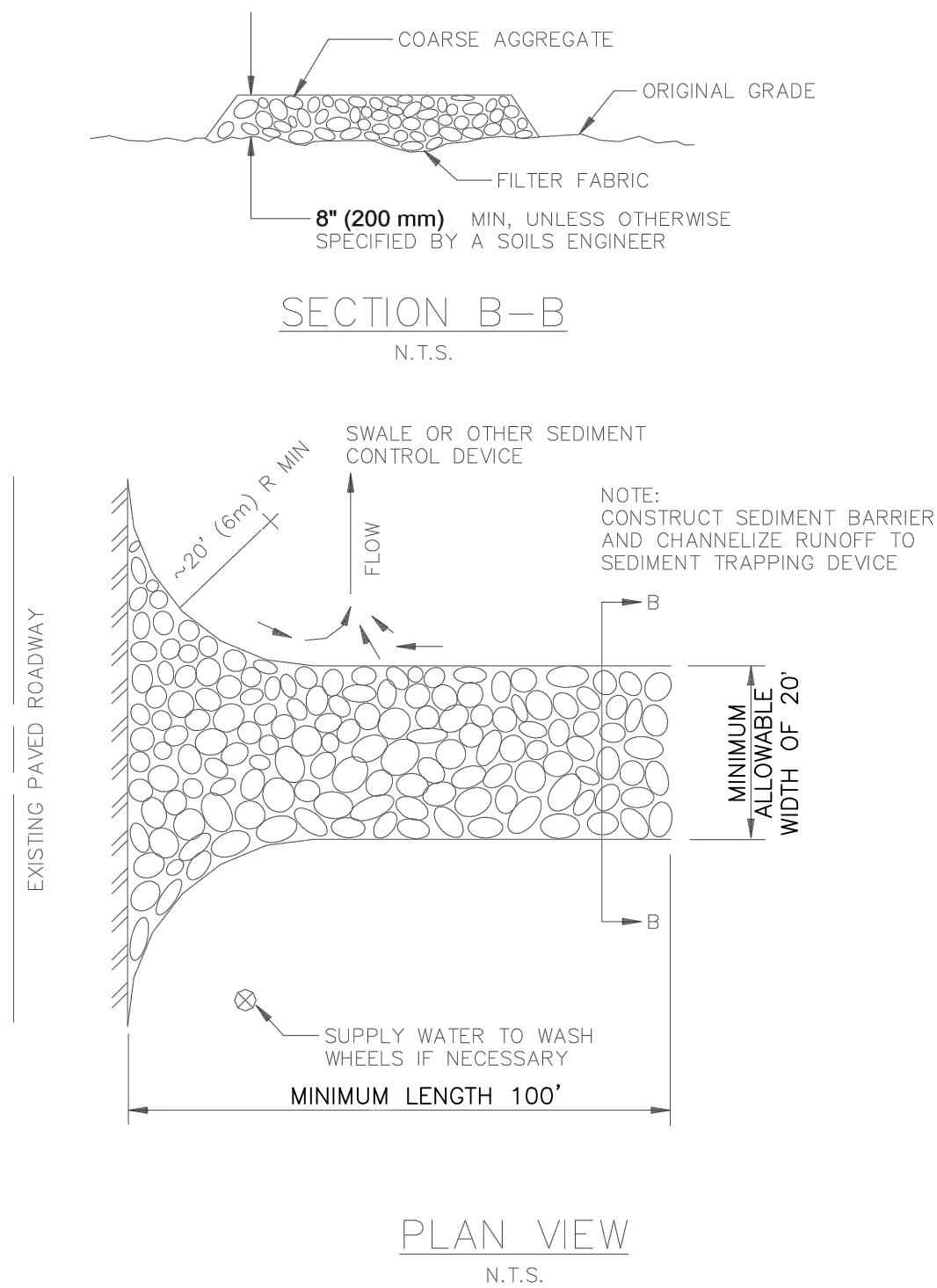


Figure TCP-03-1  
Stabilized Construction Entrance

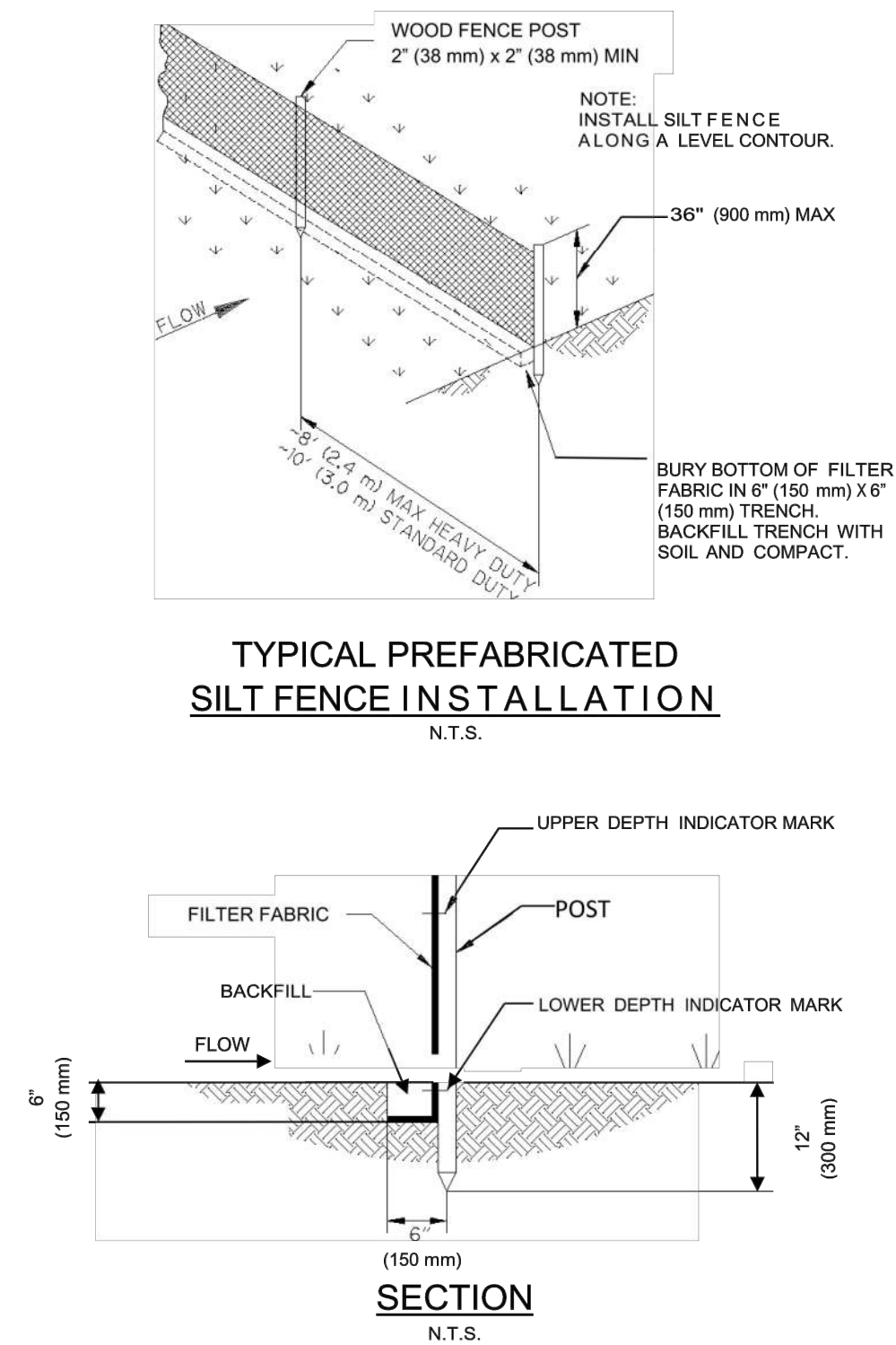


Figure TCP-02-1  
Silt Fence Anchoring

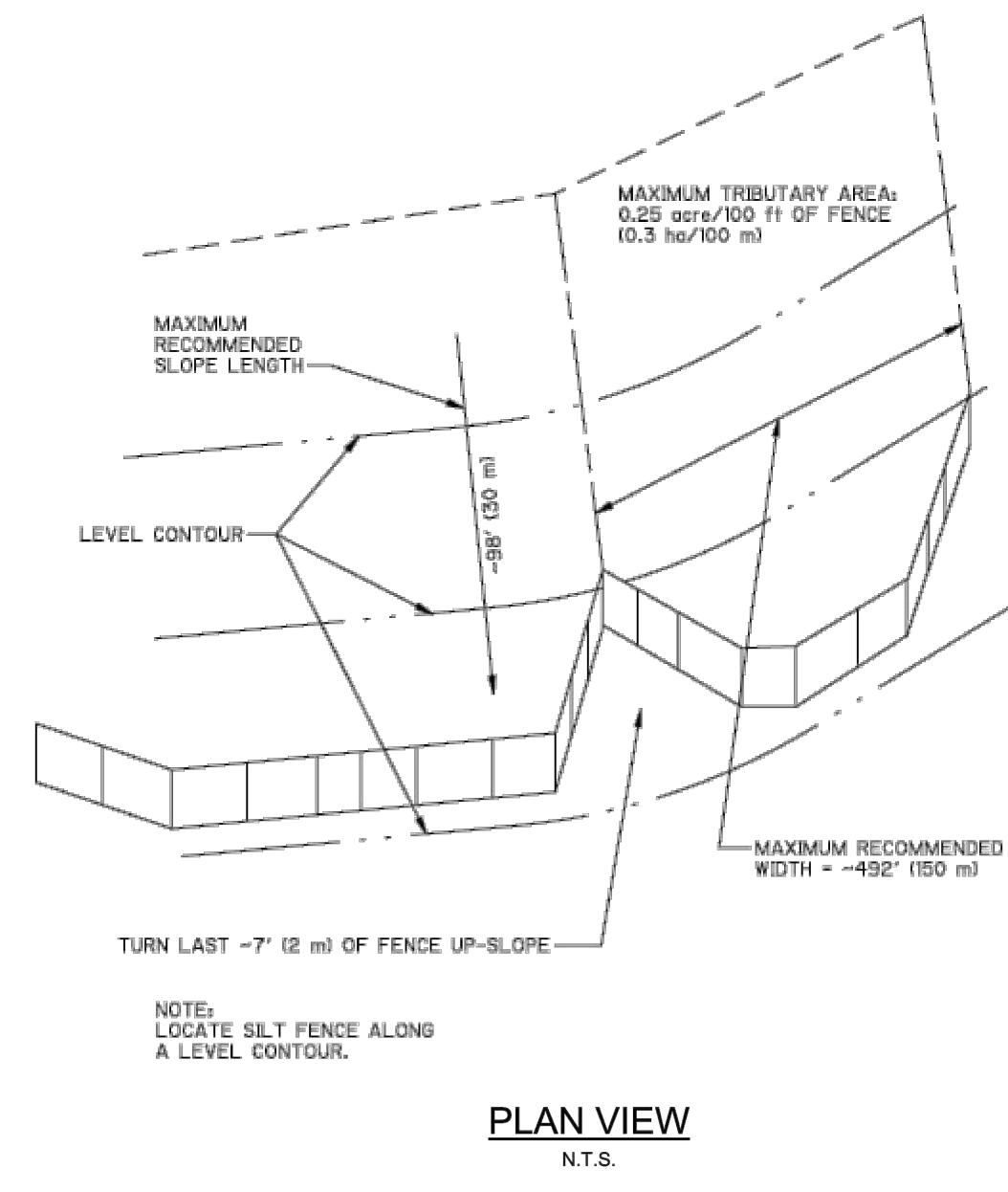


Figure TCP-02-2  
Silt Fence End Layout

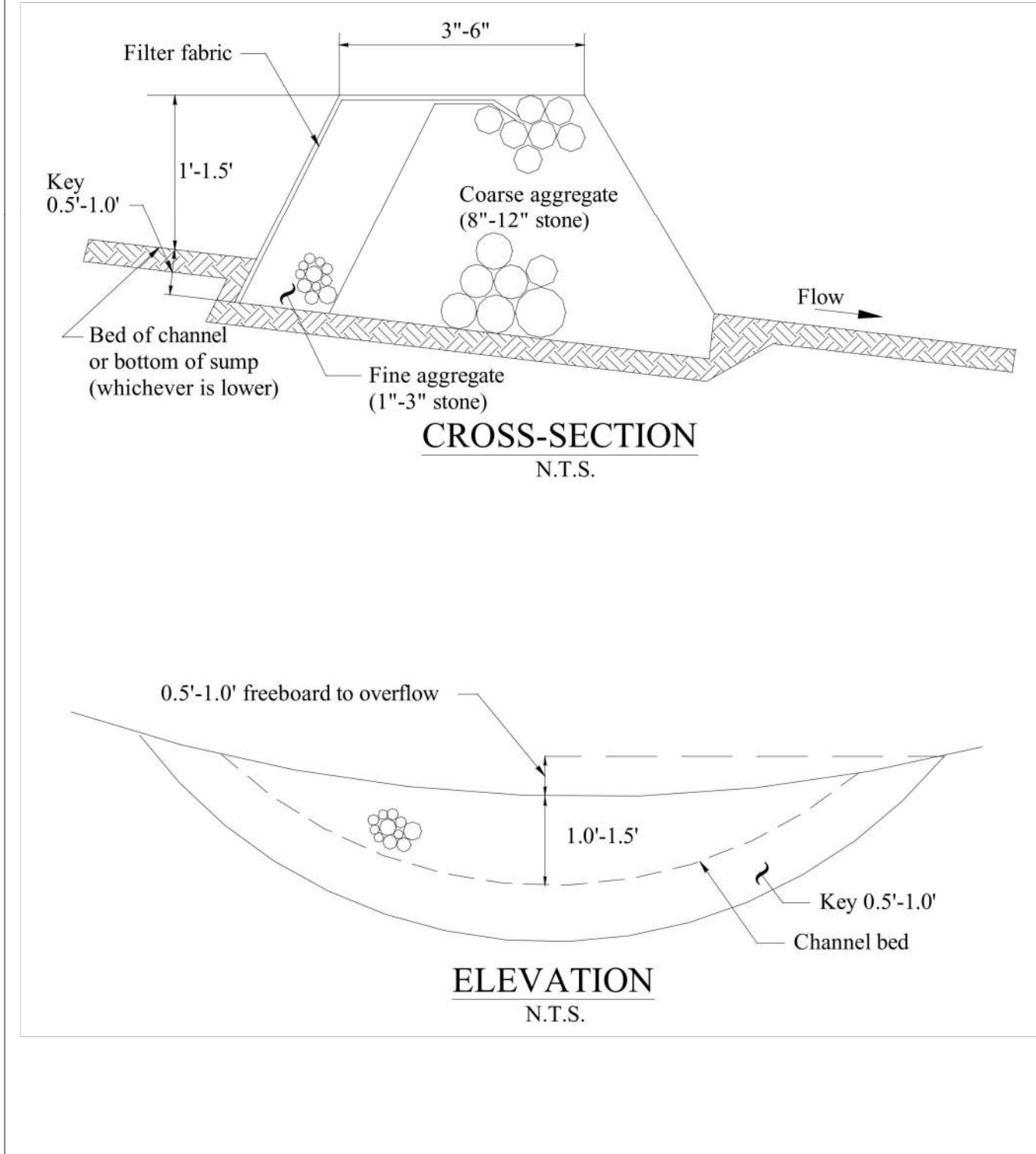


Figure TCP-12-1  
Stone Check Dam Construction

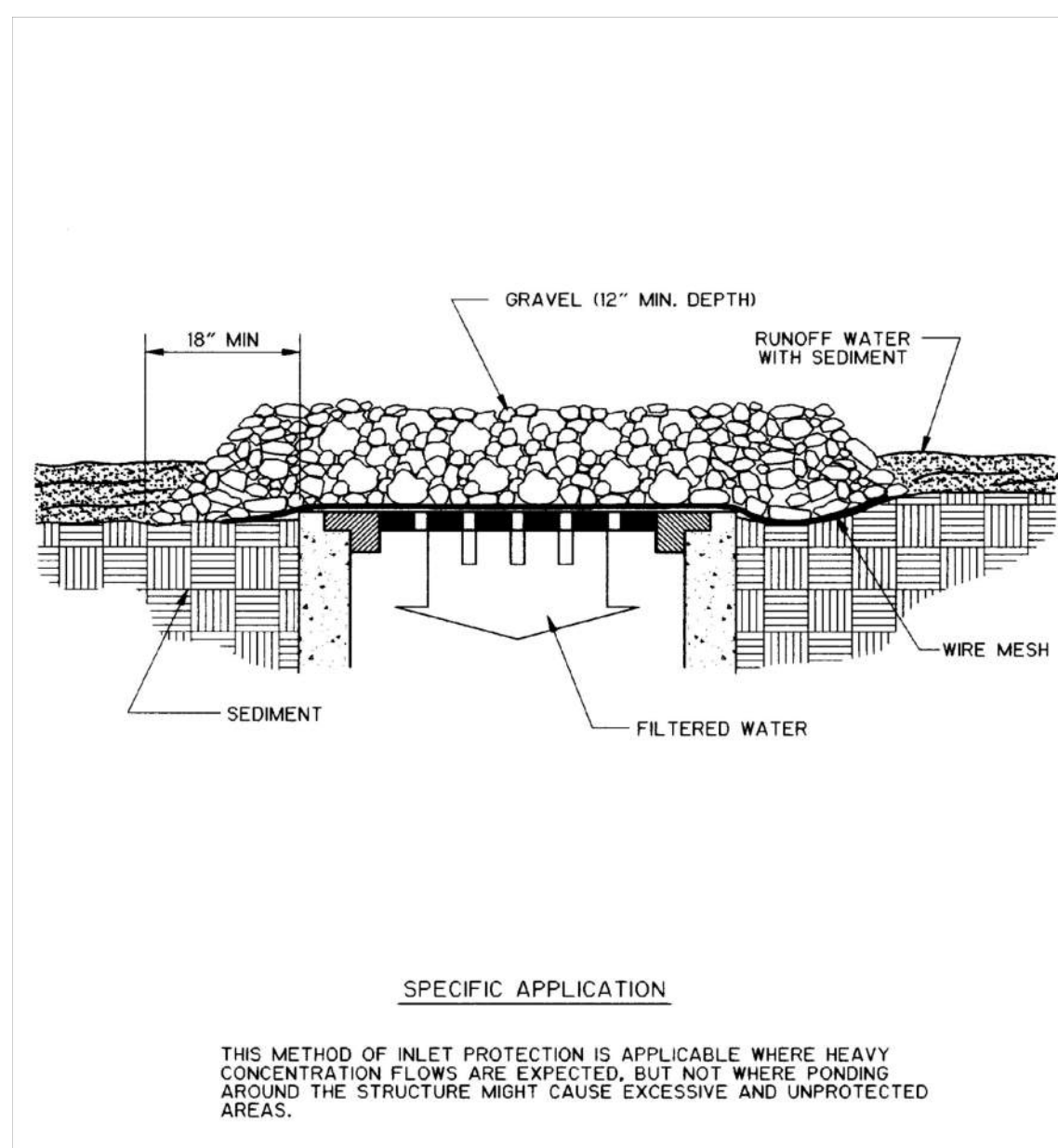


Figure TCP-24-4  
Wire Mesh and Gravel Inlet Filter

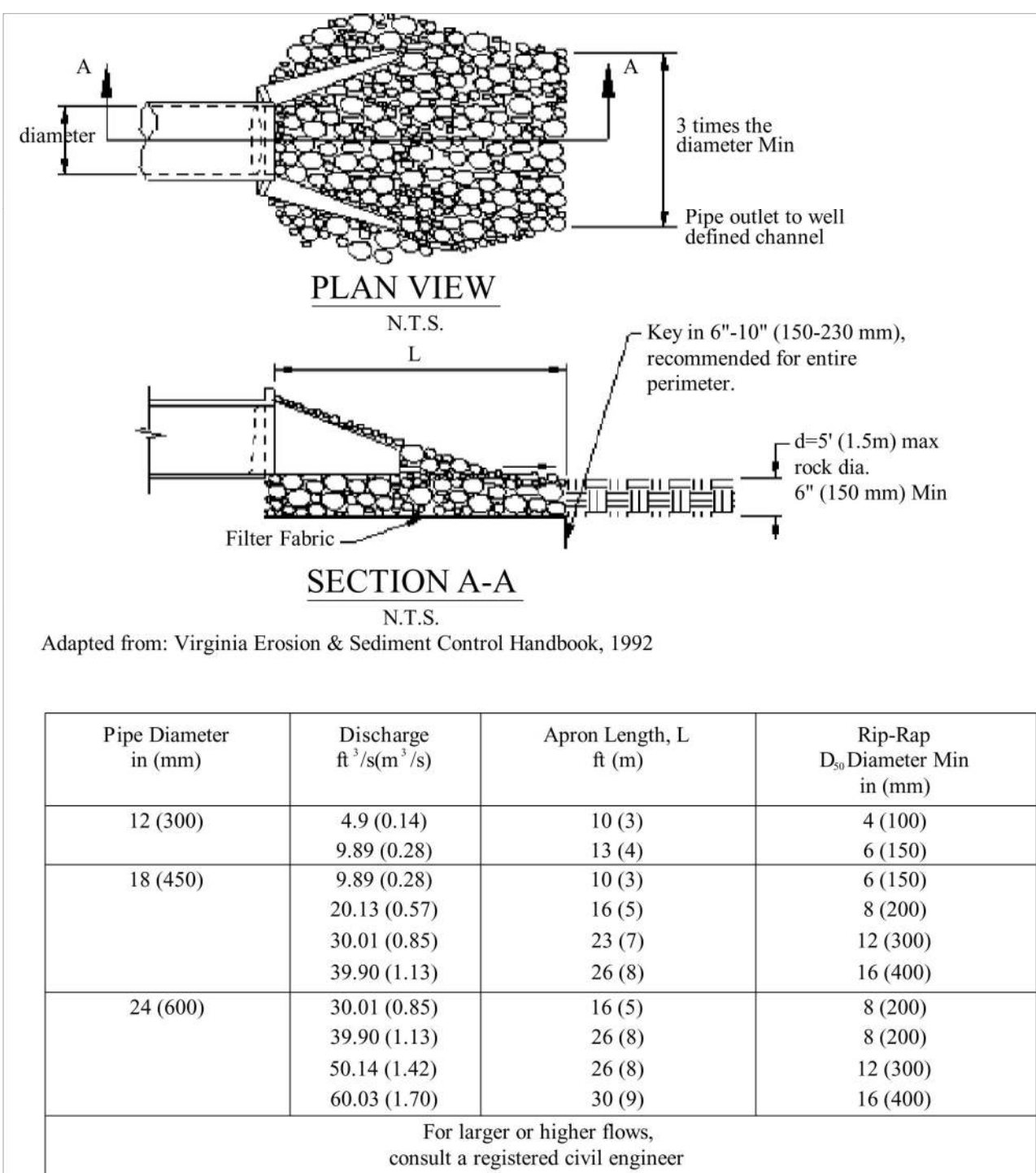


Figure TCP-25-1  
Outlet Protection Sizing

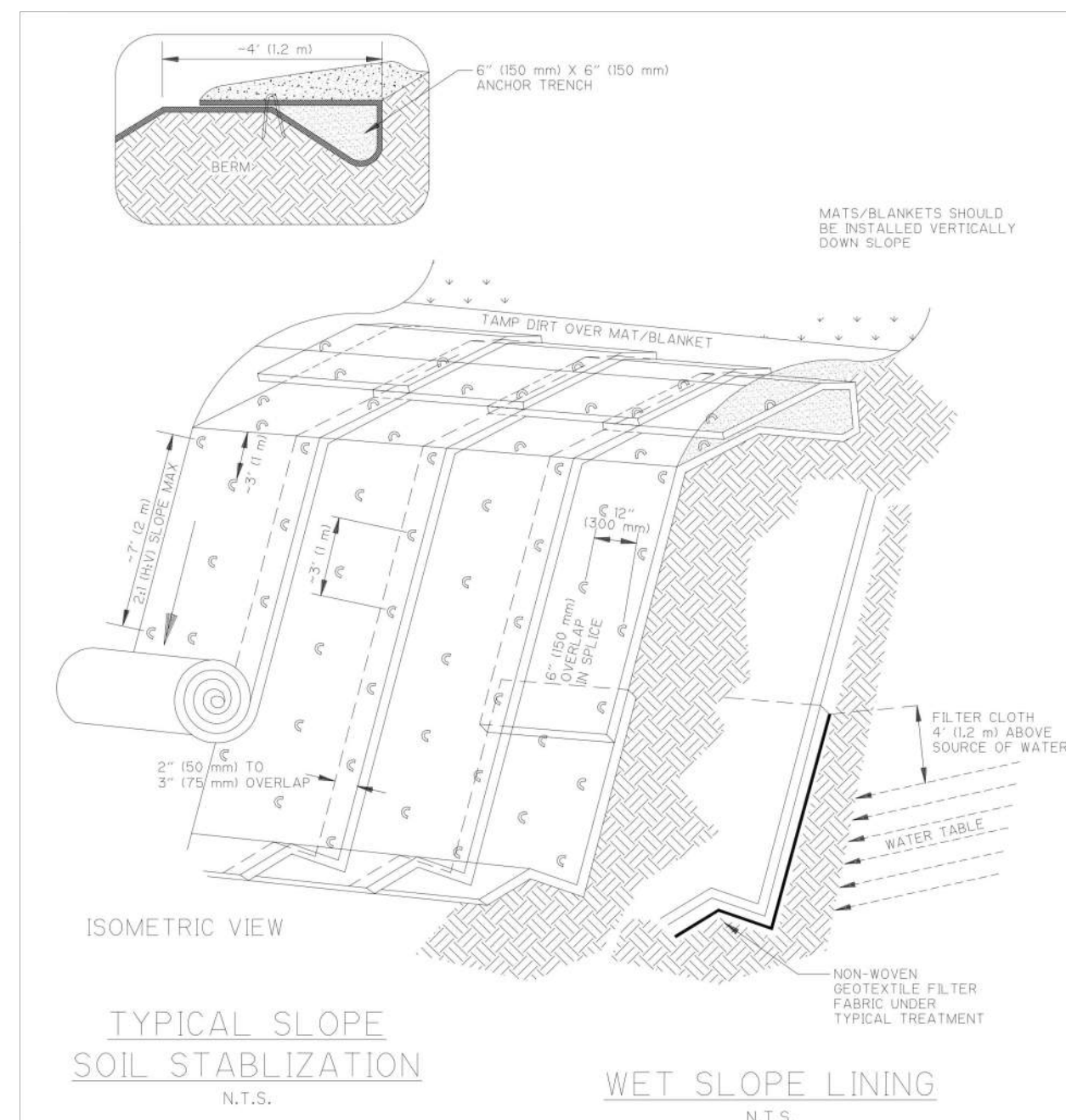


Figure PESC-02-2  
Anchoring Geotextiles on Embankments

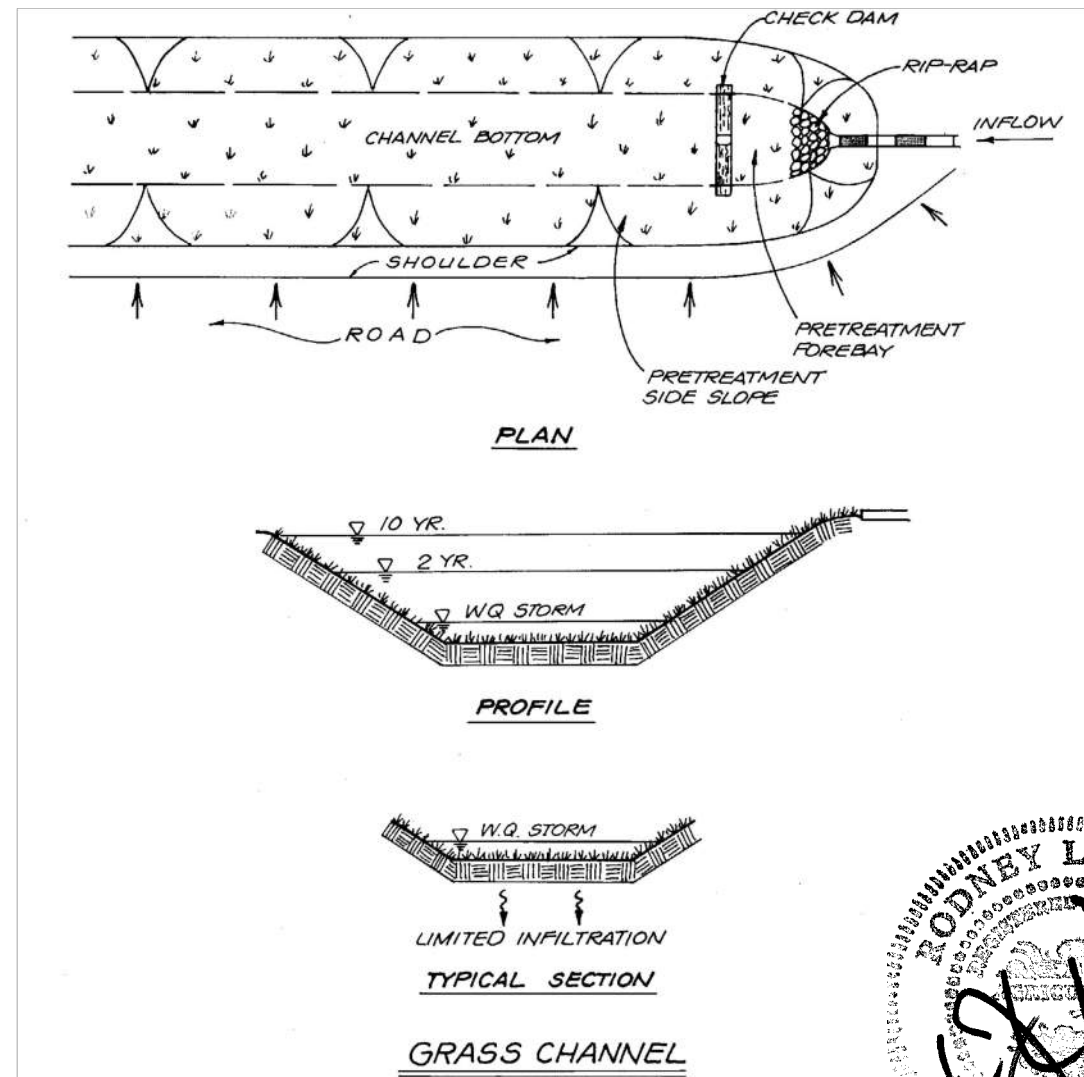
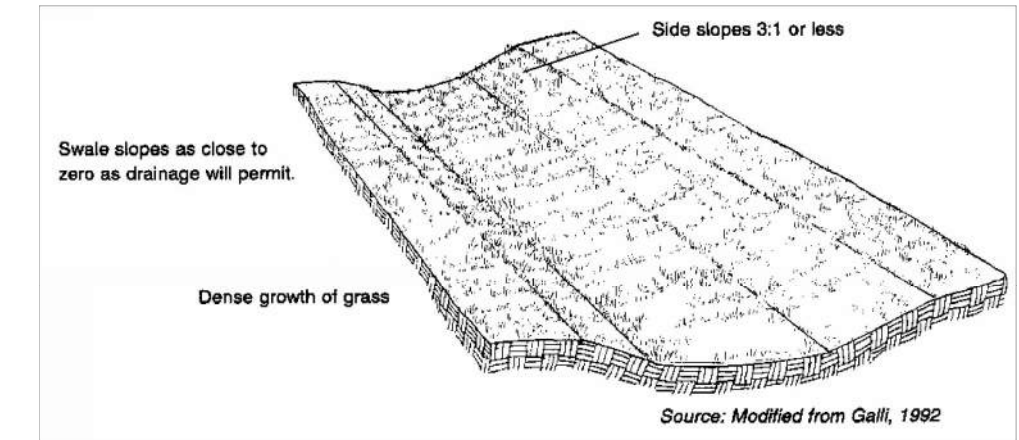


Figure 8.2 Grass Channel Schematic

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Thompson Station, TN

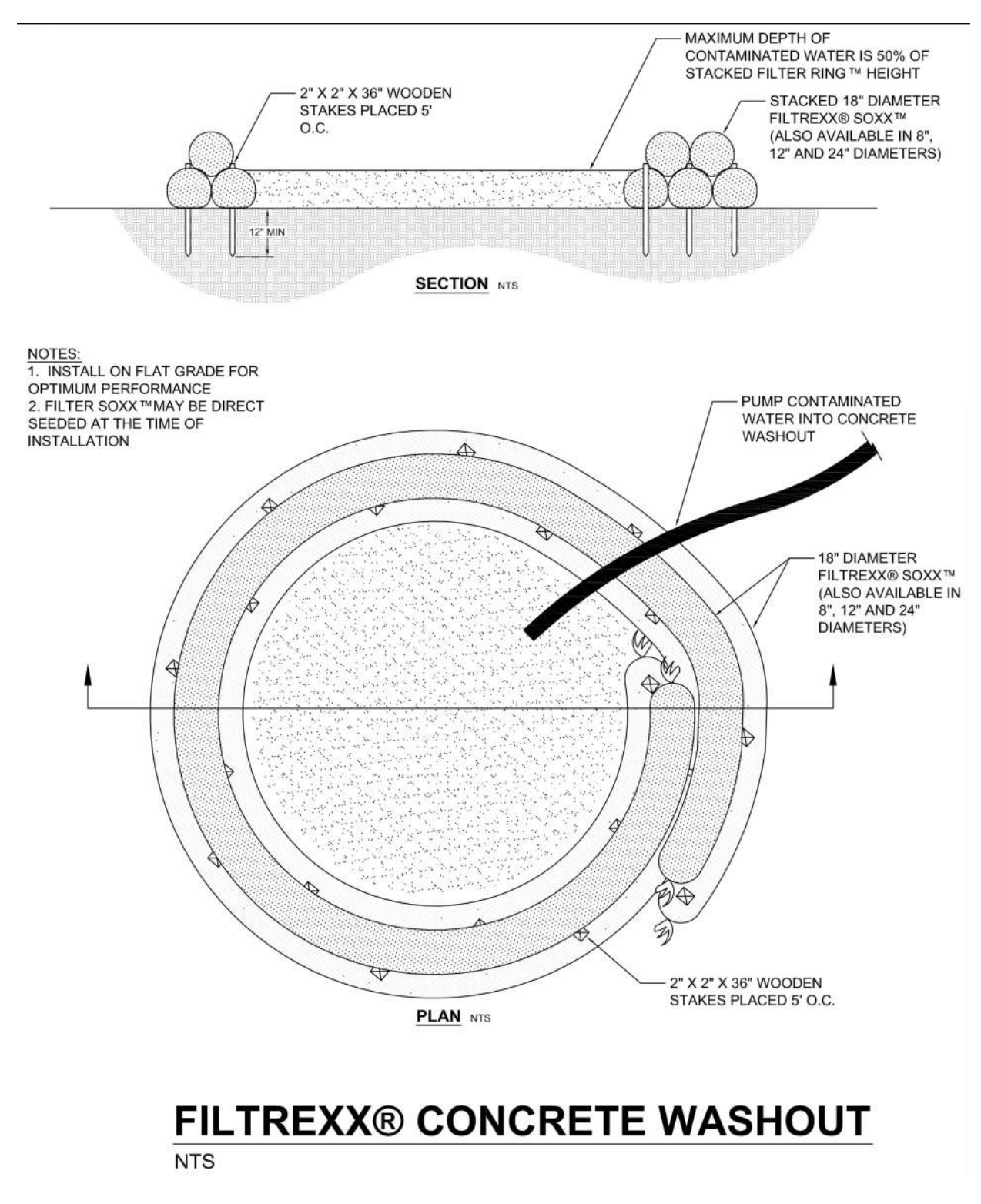
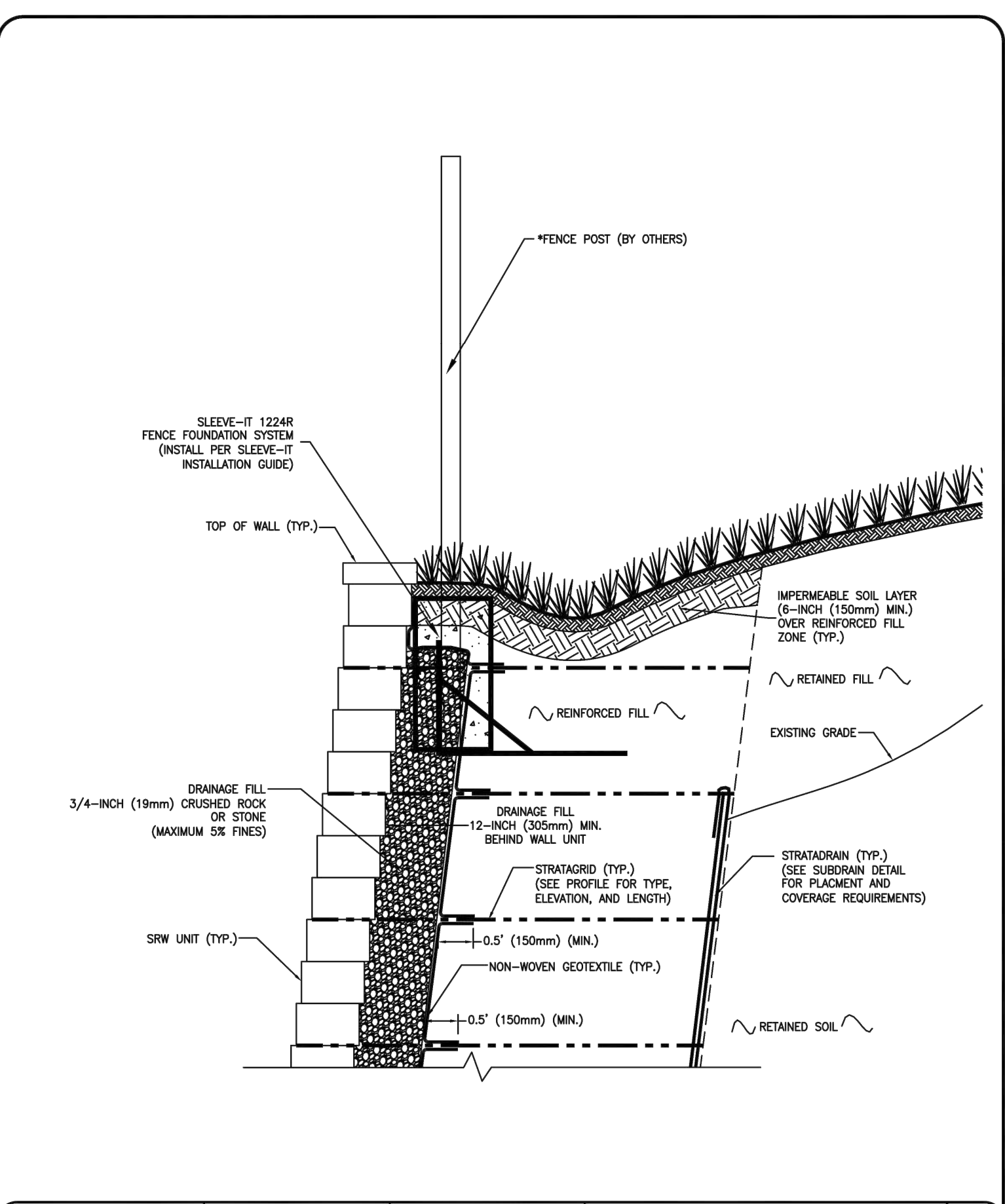
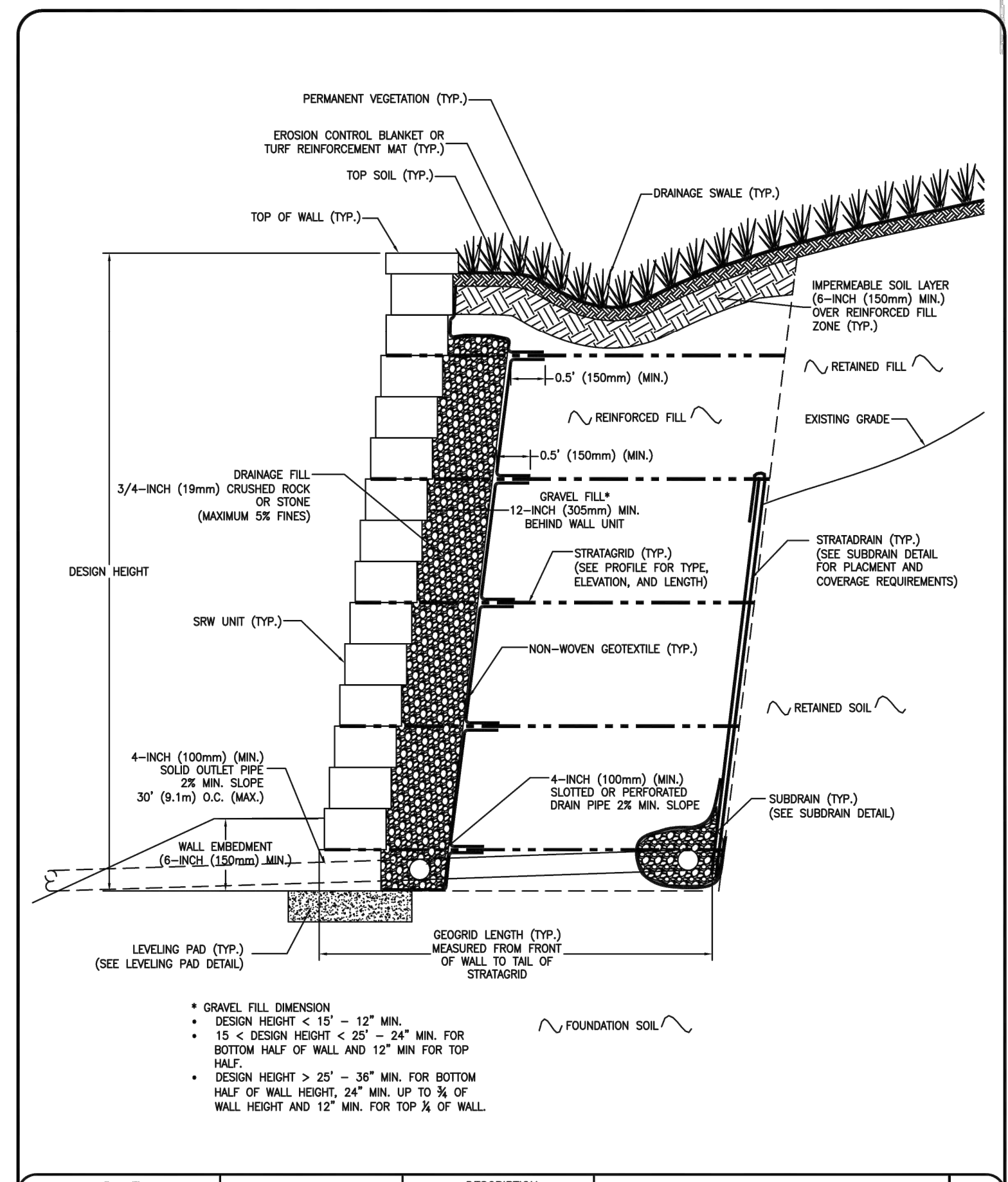
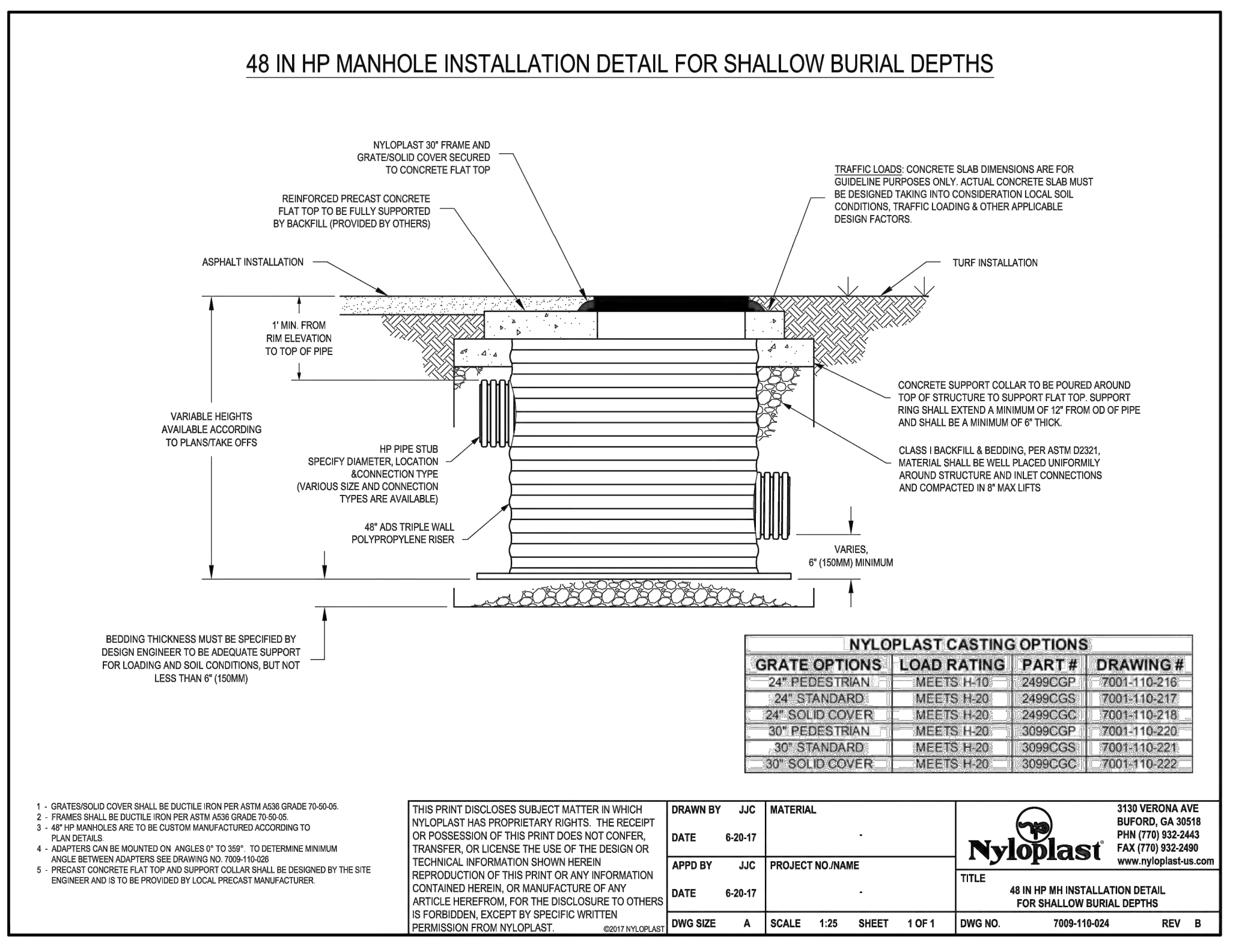
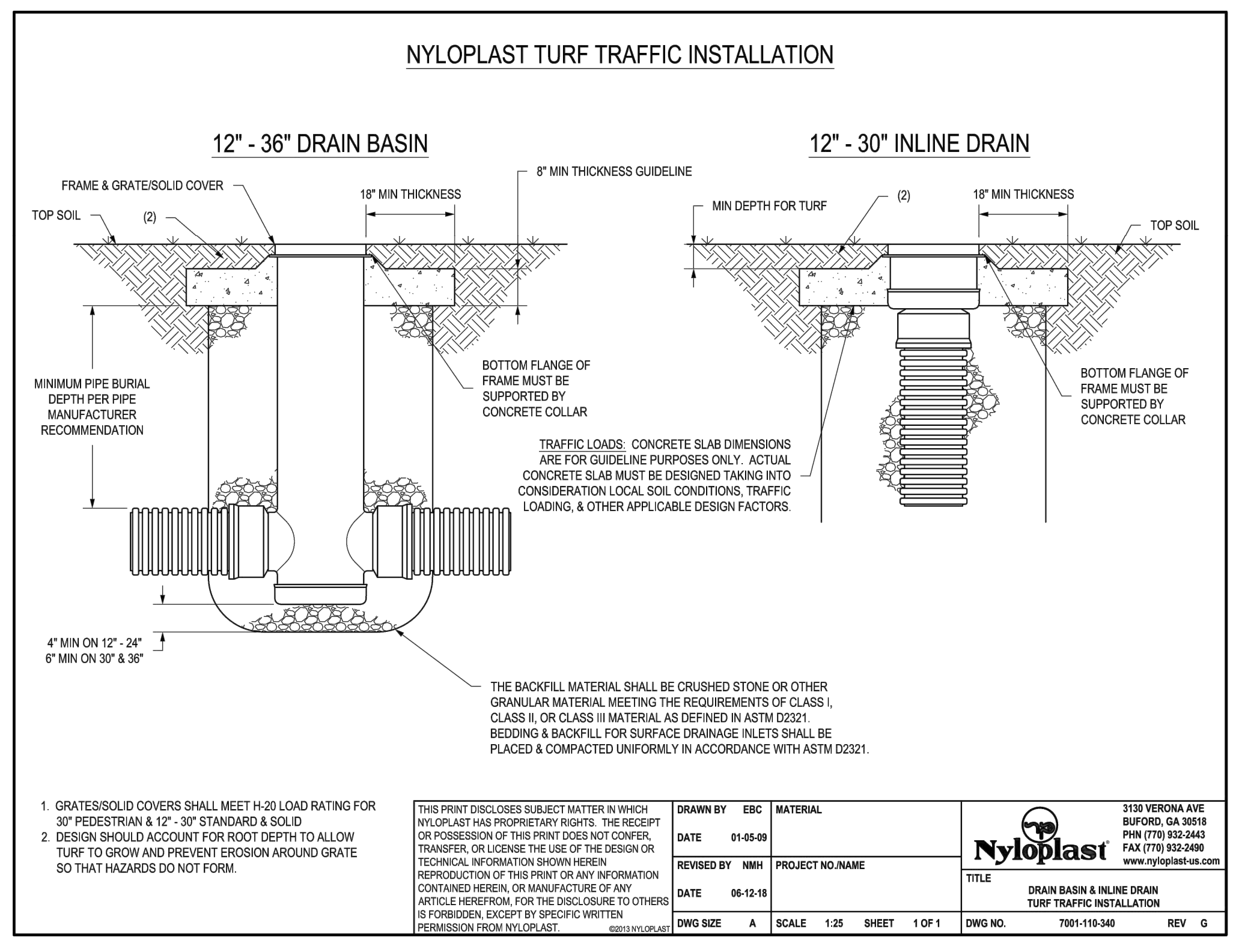
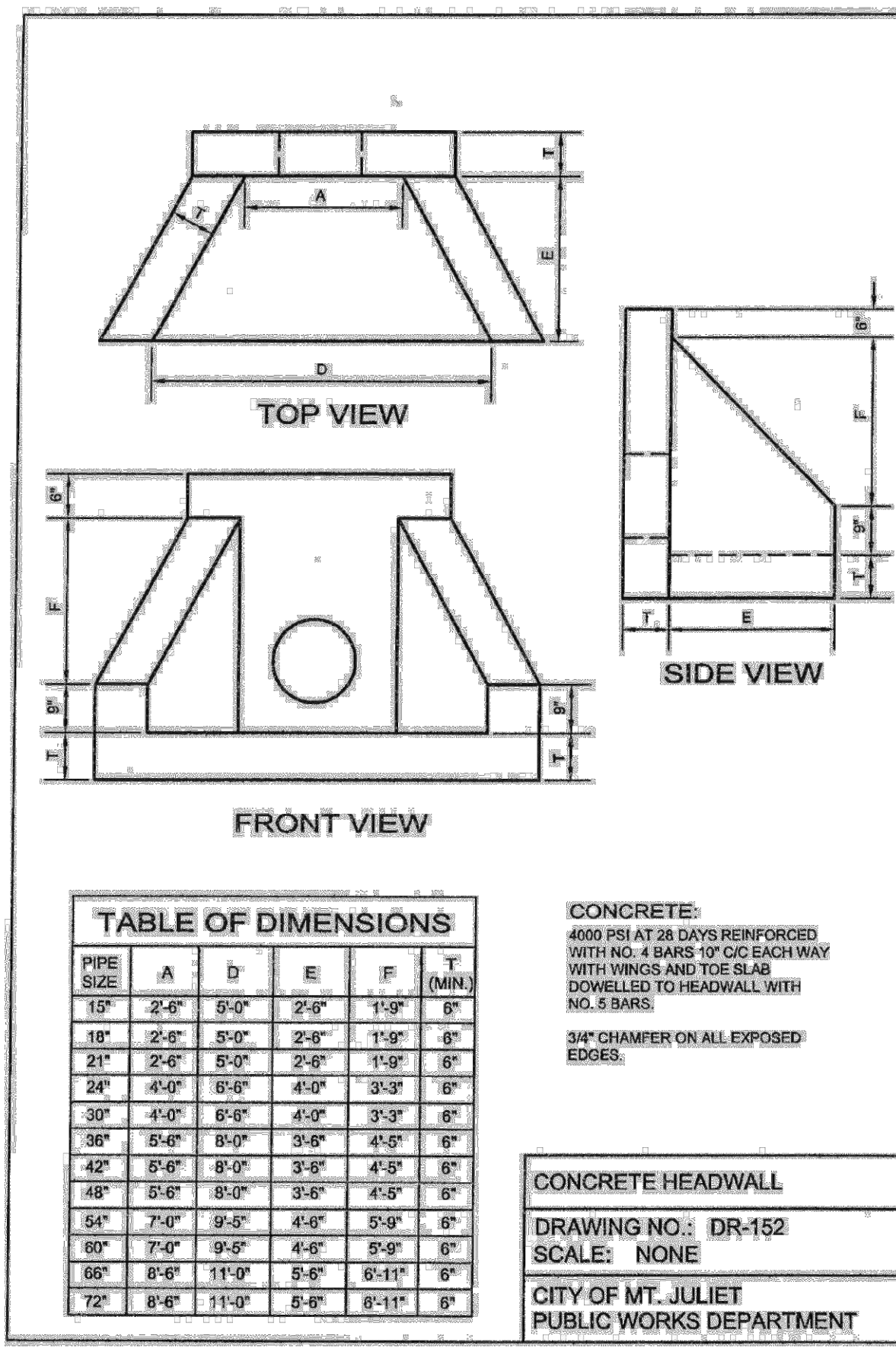
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Strata Systems, Inc.  
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Cumming, Georgia, 30040 USA  
Tel: 770-888-6688  
www.geogrid.com

DESCRIPTION  
Segmental Retaining Wall Cut Section

Application: SRW Design By: SSI  
Date: 02/28/15 Drawn By: SSI  
Rev # 001 Scale: NTS

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Strata Systems, Inc.  
380 Dahlonega Road, Suite 200  
Cumming, Georgia, 30040 USA  
Tel: 770-888-6688  
www.geogrid.com

DESCRIPTION  
Segmental Retaining Wall Fence Installation

Application: SRW Design By: SSI  
Date: 02/28/15 Drawn By: SSI  
Rev # 001 Scale: NTS

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Thompson Station, TN

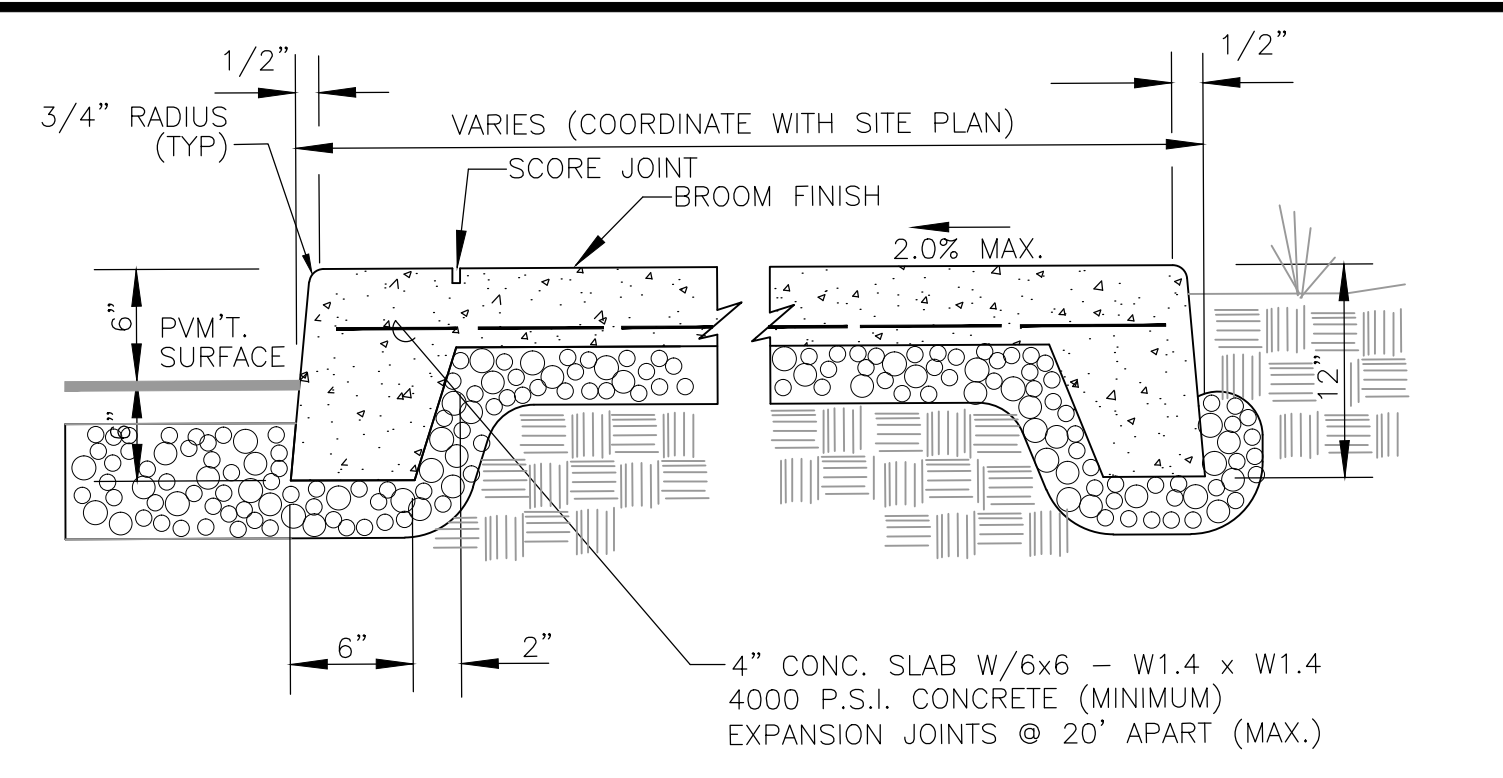
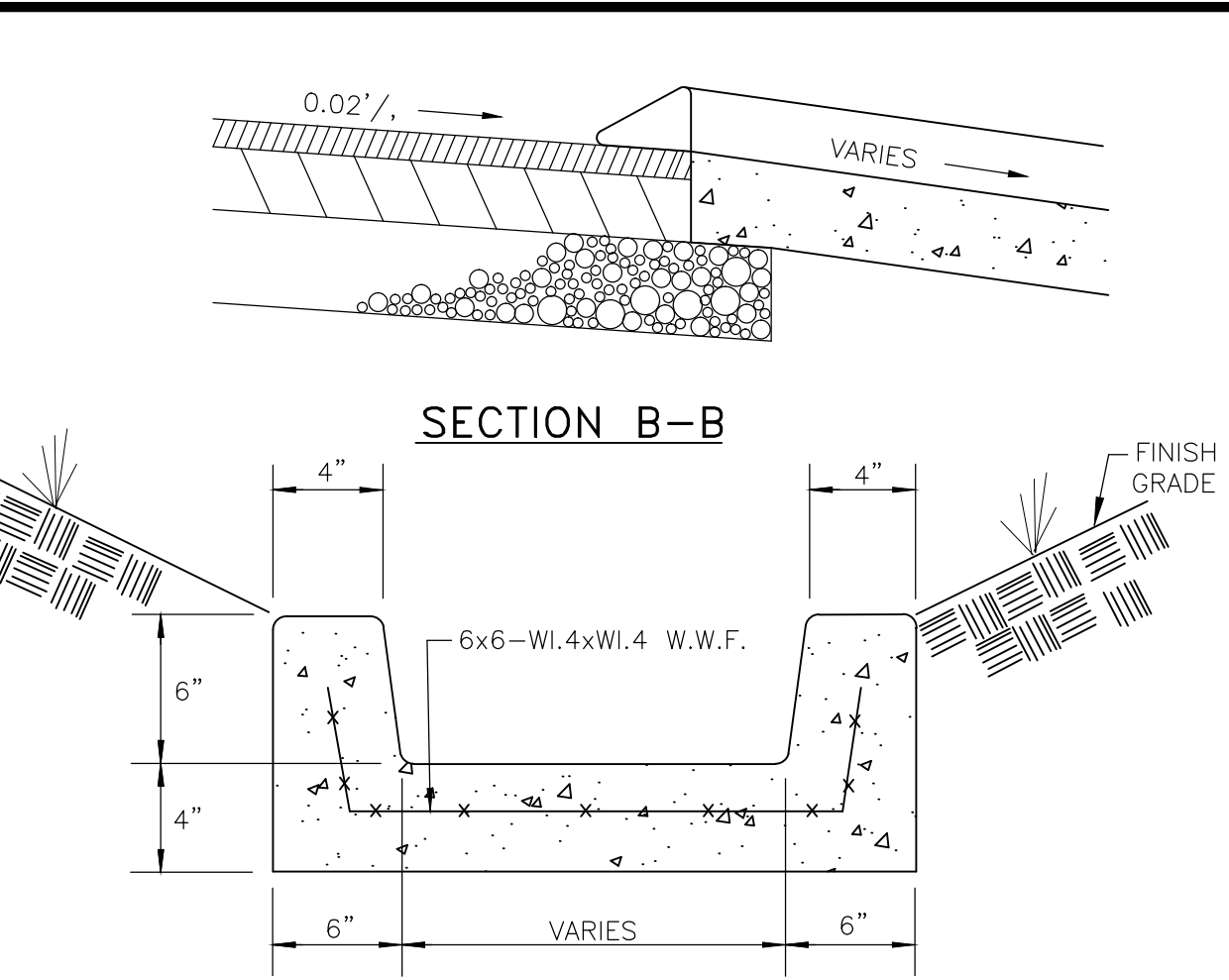
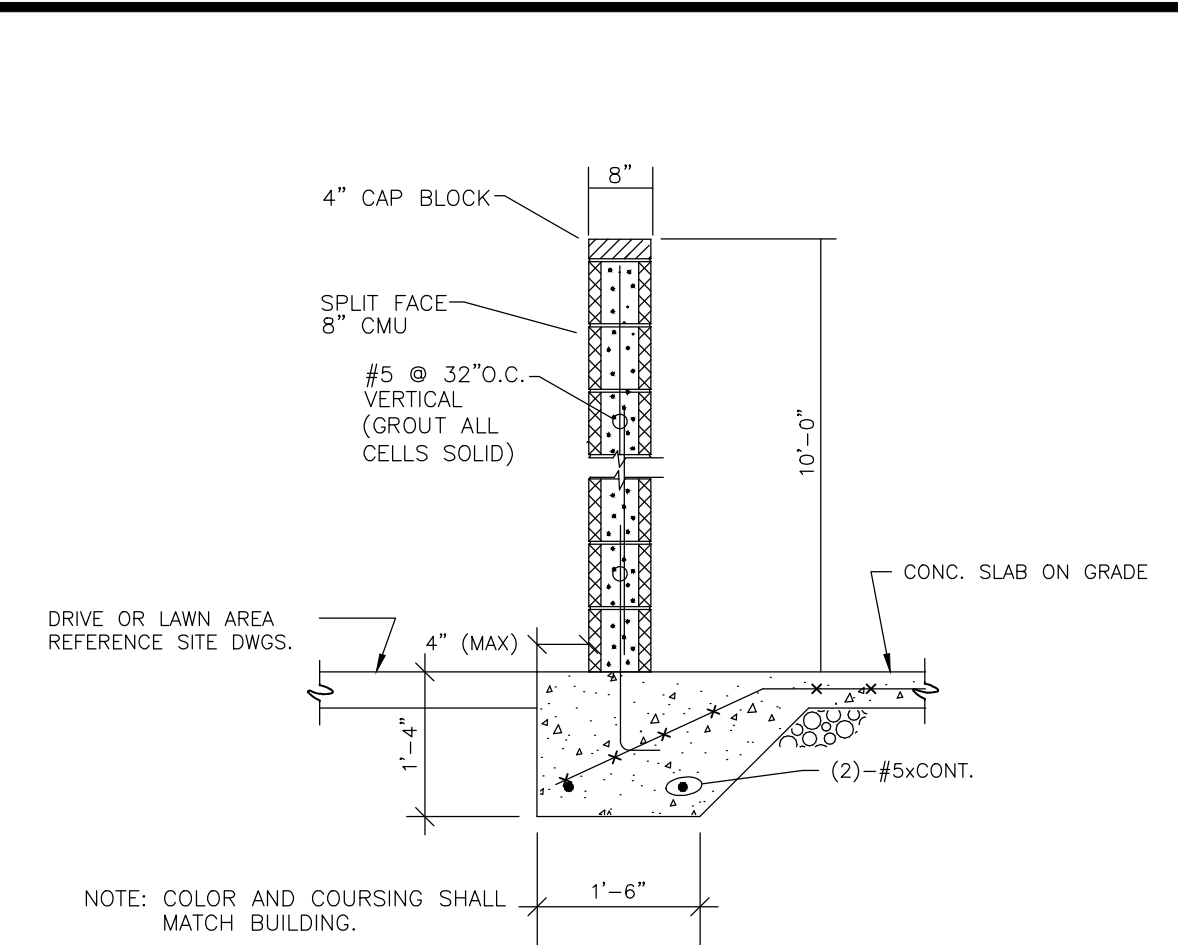
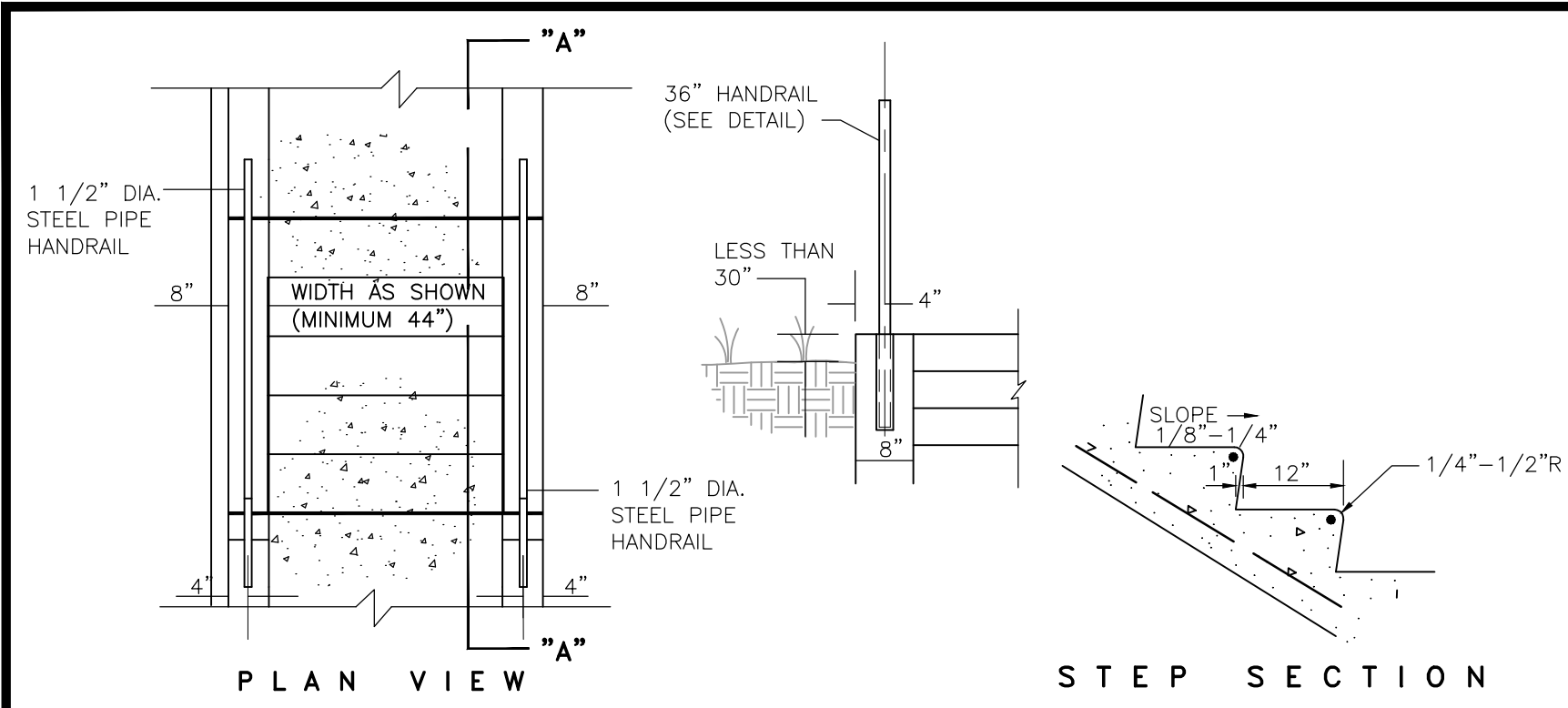
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Project No.: 20180100  
Date: 08/20/2021

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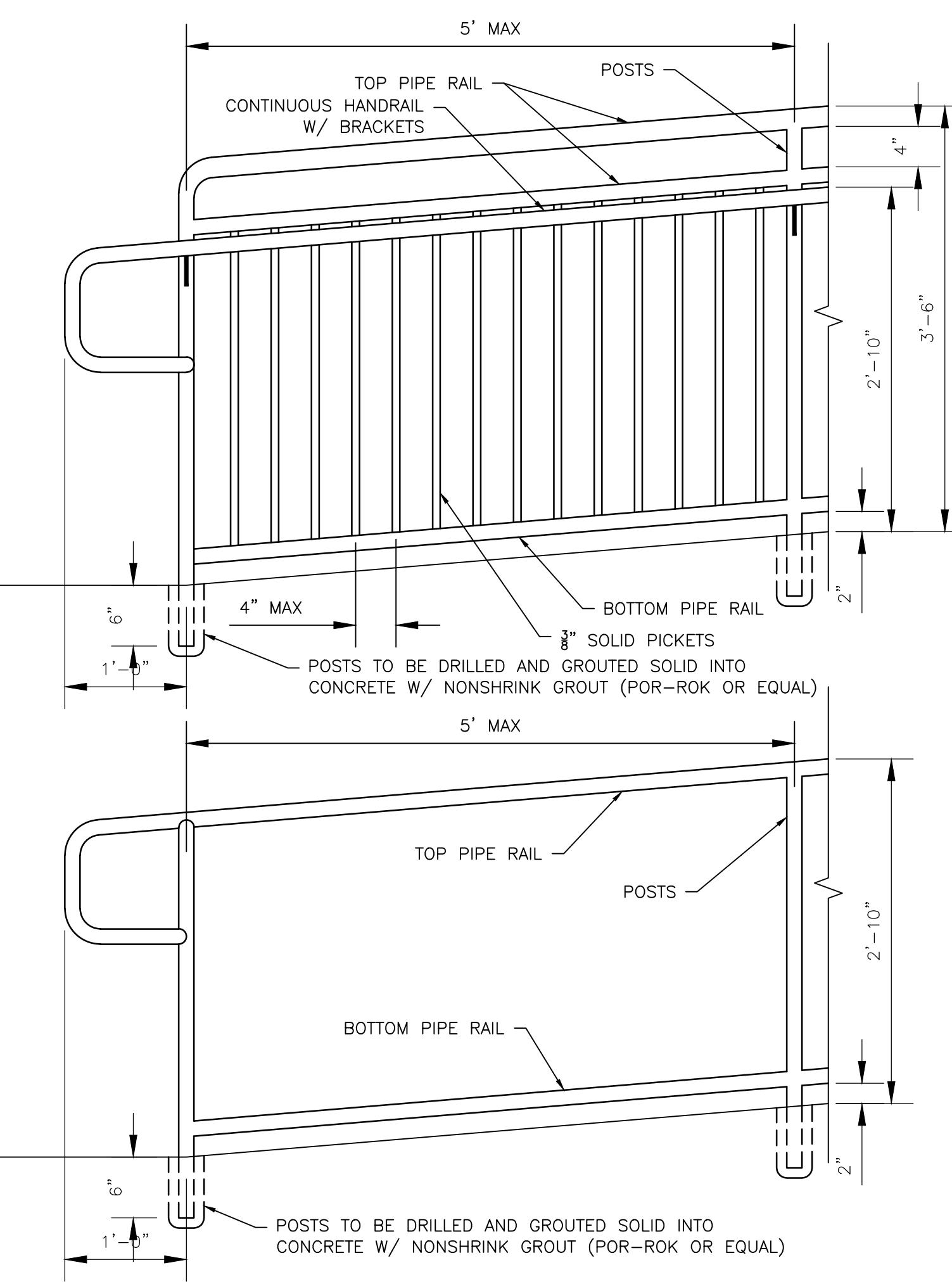
C4.02

RODNEY L. WILSON  
Professional Engineer  
No. 41317  
State of Tennessee



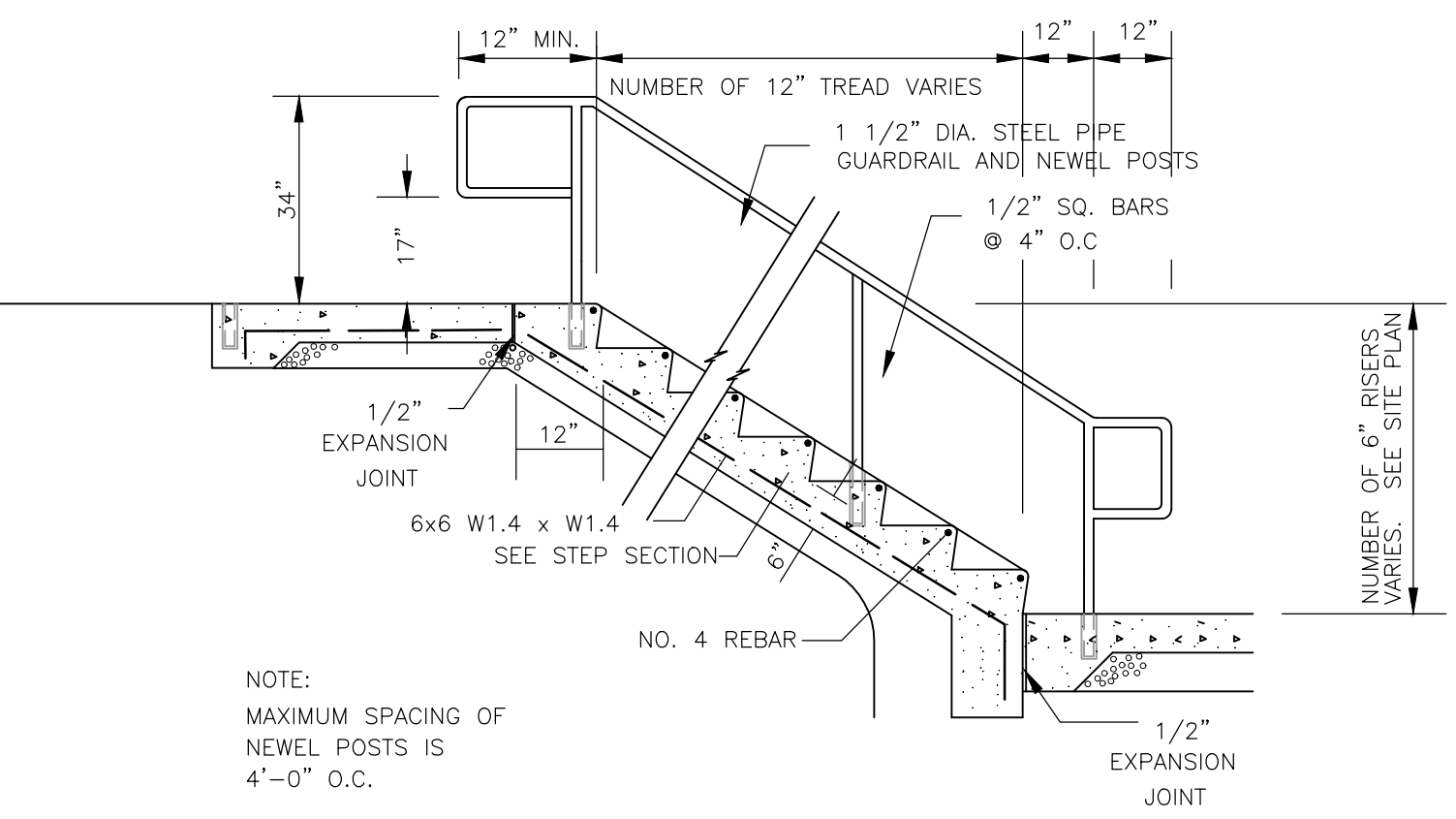
NOTES:  
 SIDEWALKS SHALL BE 4" MIN. THICKNESS WITH 4" CRUSHED STONE BASE.  
 WHERE ADJACENT TO A FIXED STRUCTURE A 1/2" EXPANSION JOINT WITH FILLER SHALL BE INSTALLED.  
 COORDINATE WITH JOINT DETAIL THIS SHEET.  
 WHERE WALK ABUTS ASPHALT, PROVIDE A TOOLED JOINT 6" FROM FACE OF CURB.

**CONCRETE SIDEWALK**

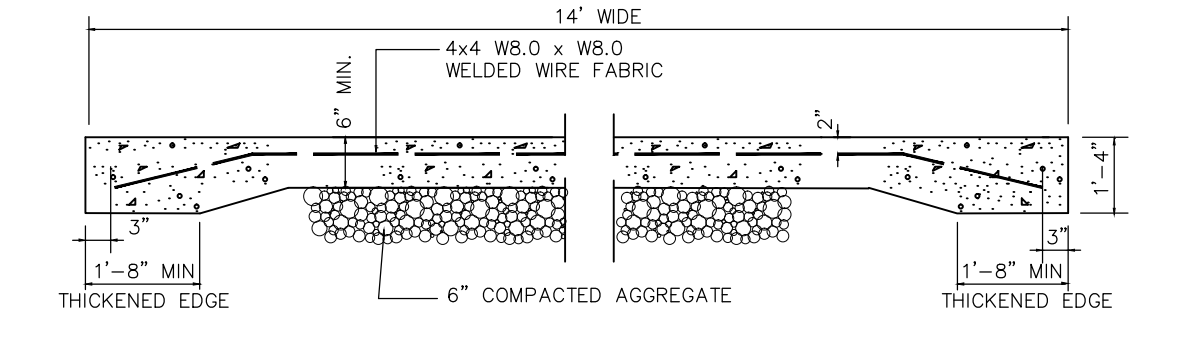


NOTE:  
 RAIL MEMBERS SHALL BE DESIGNED TO RESIST LOADS AS PRESCRIBED BY THE 2012 IBC AND FOR LOCATIONS WHERE HANDRAIL IS ALONG EXISTING BUILDING PROVIDE A WALL BRACKET AT 5' O.C. MAXIMUM W/ 1/2" ADHESIVE ANCHOR IN EXISTING MATERIAL. FINISH TO MATCH GUARDRAIL AND HANDRAILS.

**GUARDRAIL AND HANDRAIL DETAIL**

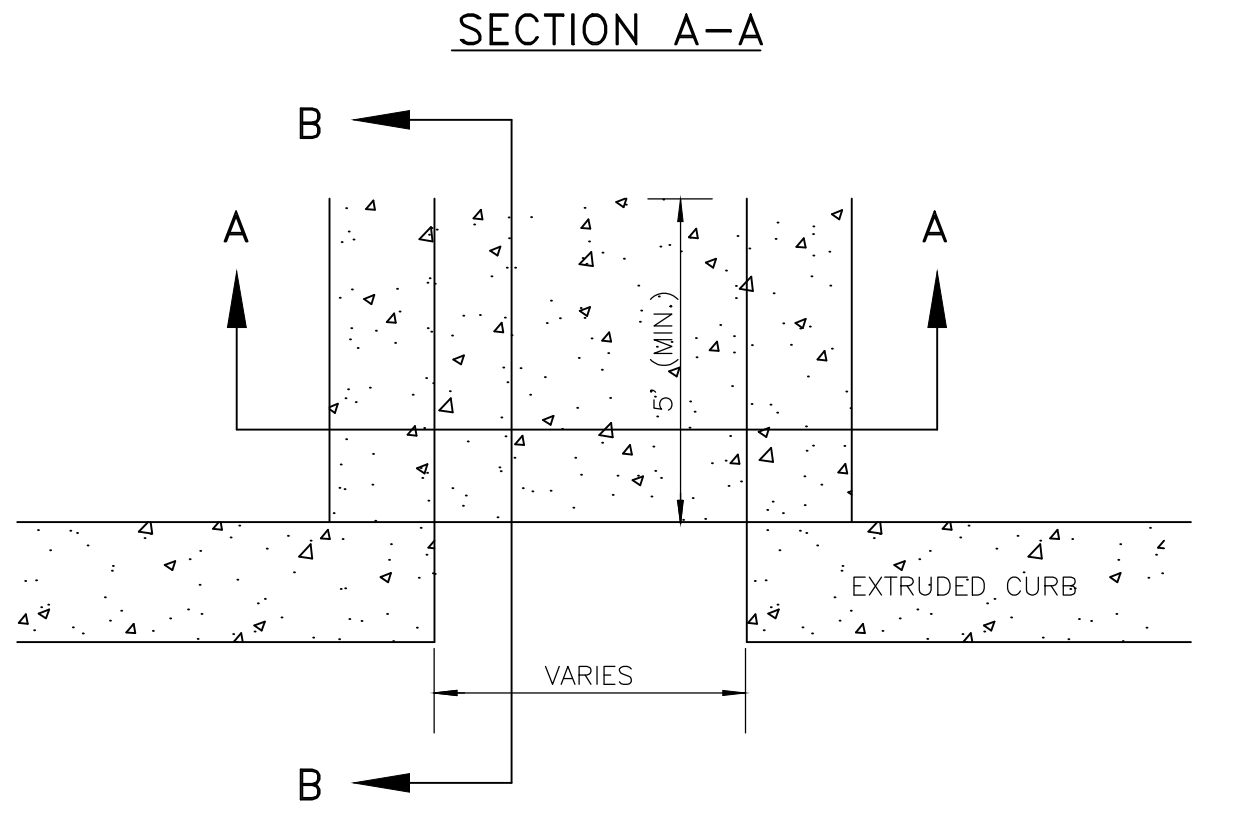


**CONC. STEPS W/HANDRAIL**

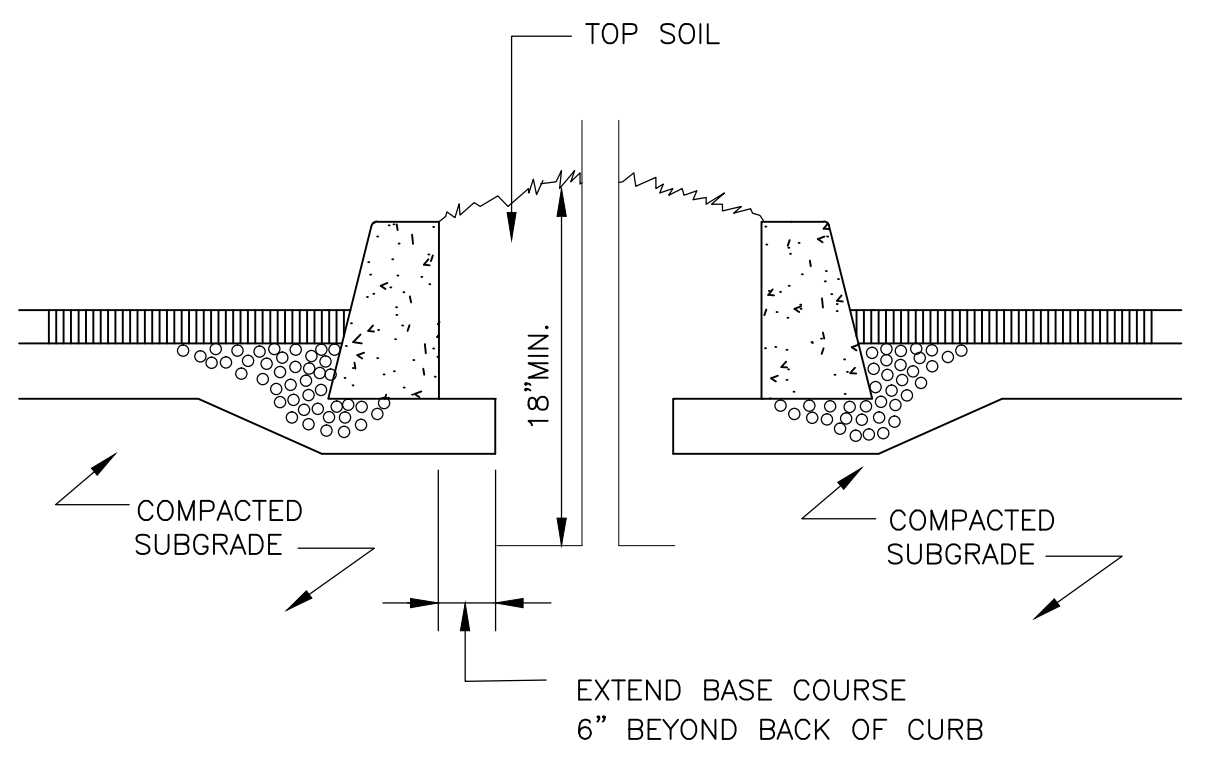


1. THE MINIMUM LAP OF FABRIC SHALL BE 12 INCHES FROM THE END CROSS WIRES.
2. REINFORCING STEEL IS TO BE CUT SO THAT NO STEEL COMES WITHIN 3 INCHES OF THE OUTER EDGES AND ENDS OF THE SLAB.
3. 6" GRANULAR BASE MATERIAL

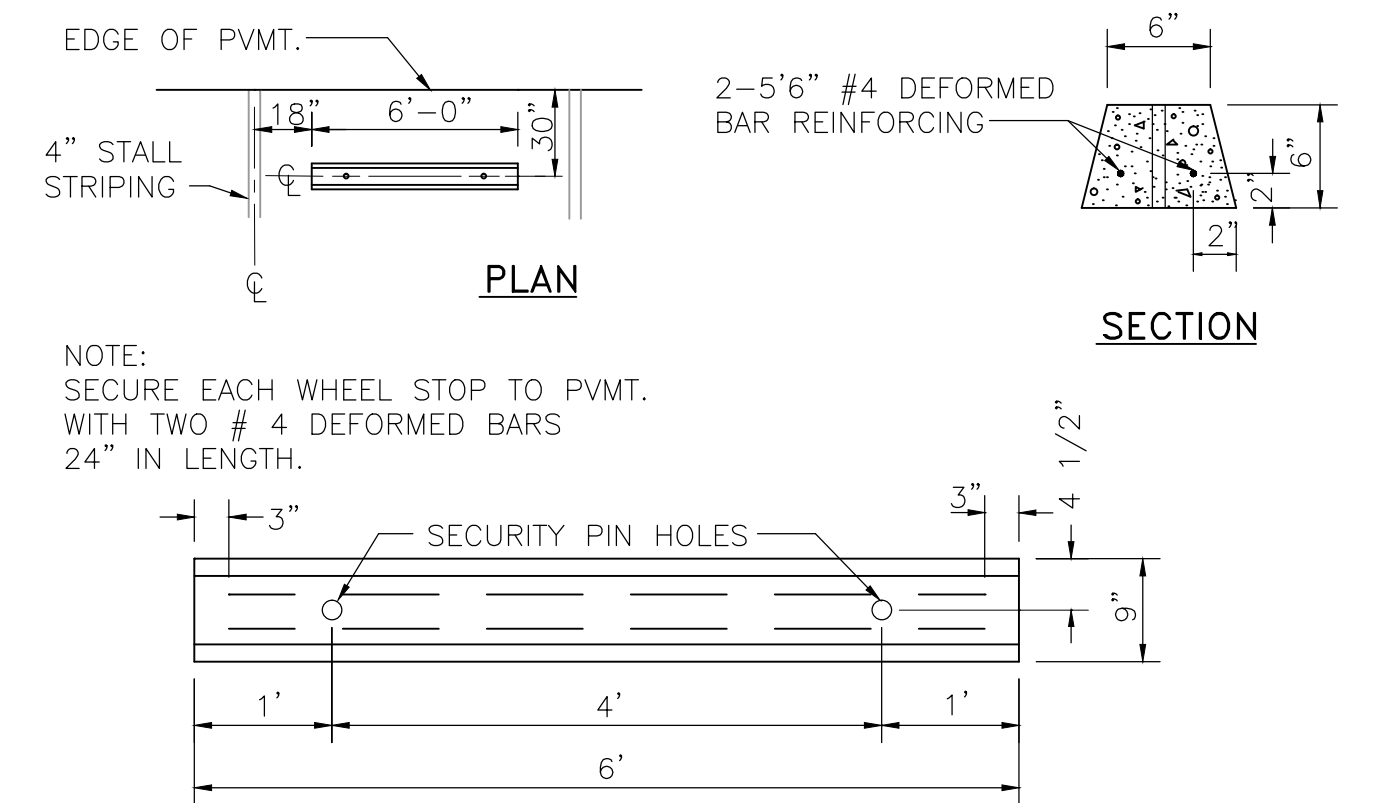
**DUMPSTER PAD W/ 10' SCREEN WALL**



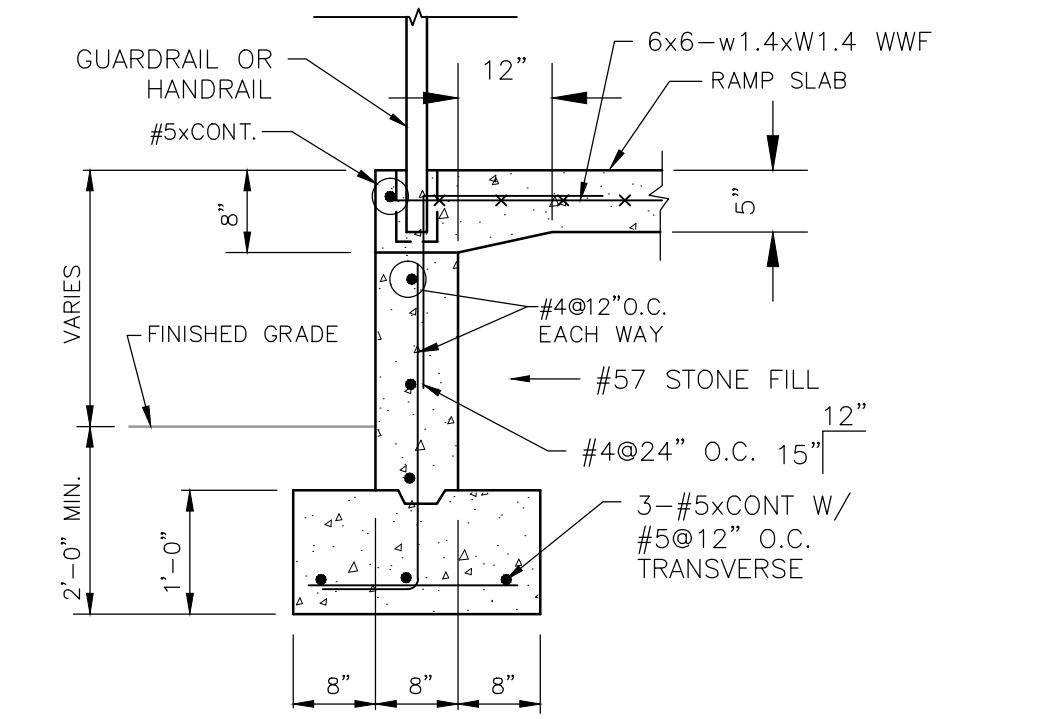
**CURB CUT**



**LANDSCAPE ISLAND**



**WHEEL STOP**



**RAMP/WALL DETAIL**

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 Email: rtwilson@rwconsult.com

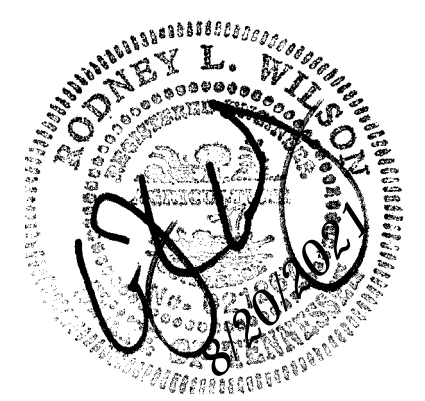
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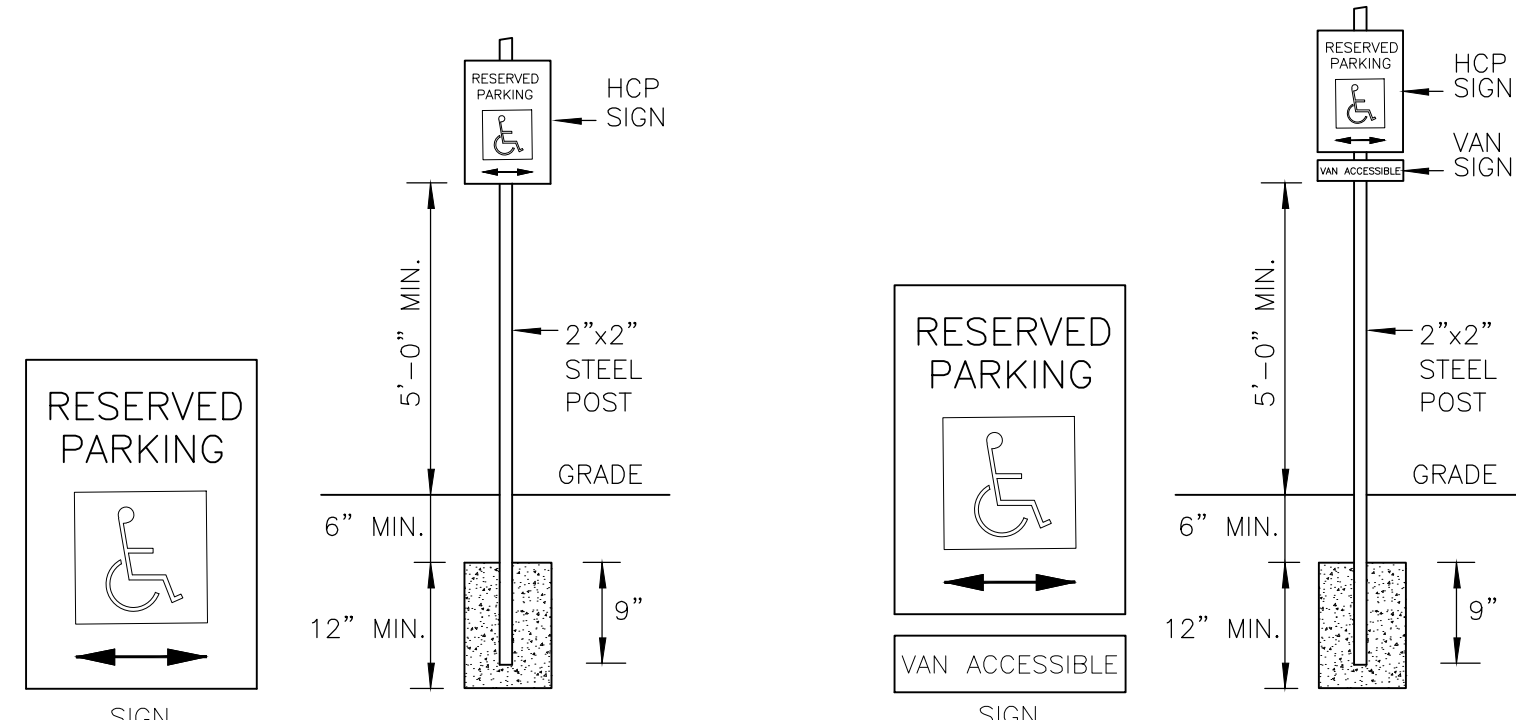
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 Thompson Station, TN

Project No.: 2018010.00  
 Date: 08/20/2021

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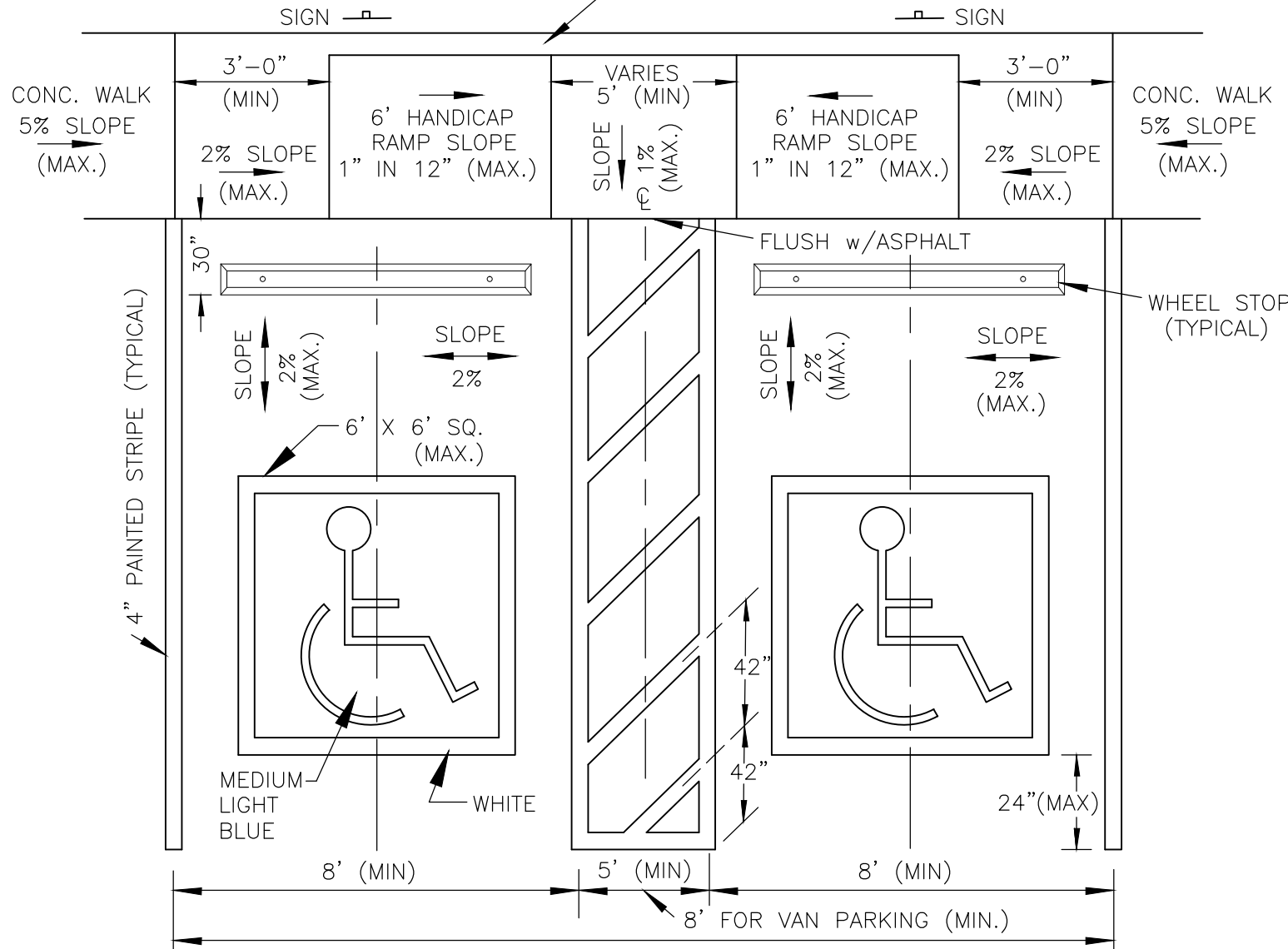
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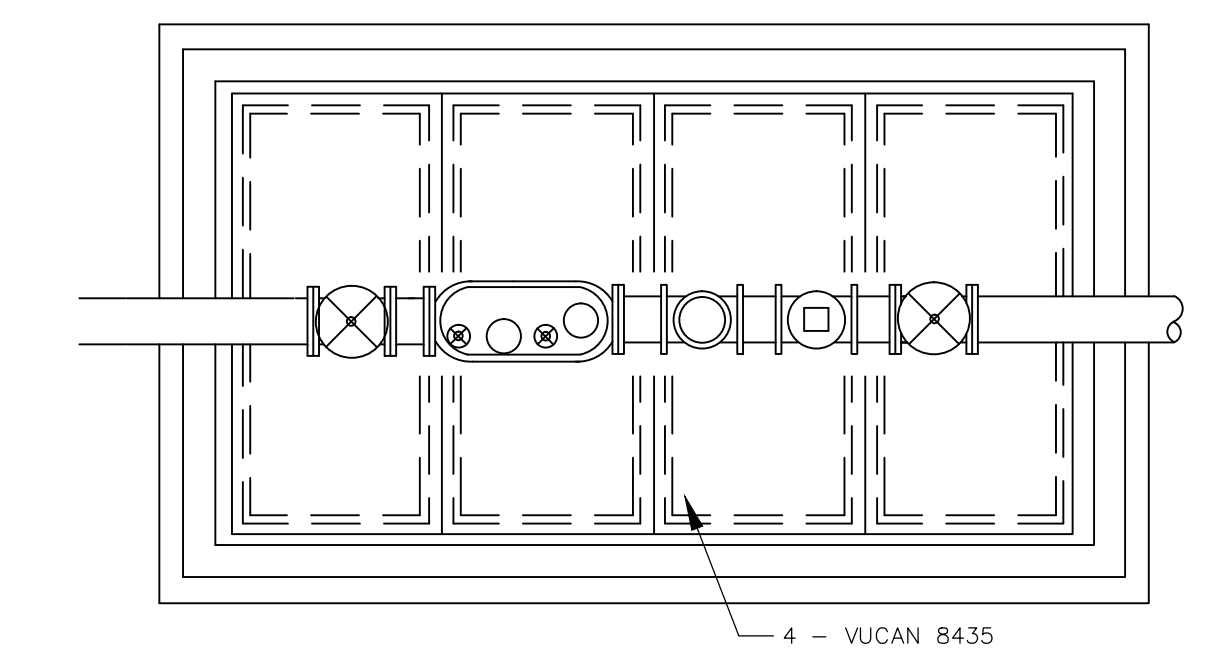
**STANDARD HC SIGN**

**VAN ONLY HC SIGN**



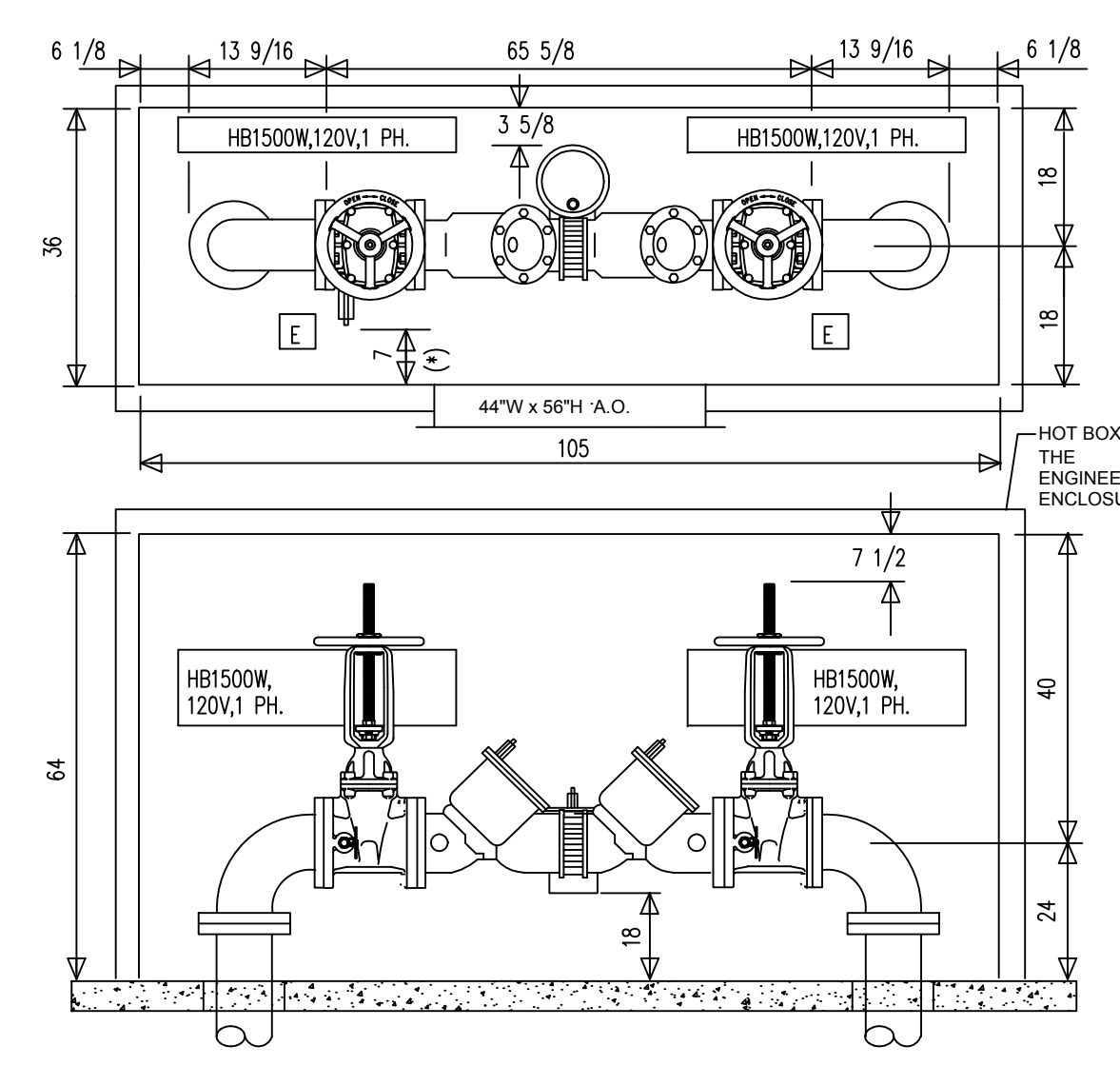
**HANDICAP PARKING**

NOTE: MAXIMUM SLOPE/CROSS SLOPE SHALL NOT EXCEED 2% IN ALL DIRECTIONS. SIGNS AT VAN ACCESSIBLE SPACES SHALL INDICATE "VAN ACCESSIBLE".



**4" METER BOX**

- A. 4" VALVE DOUBLE GATE IRON BODY, OPEN TO LEFT
  - B. 4" METER WITH FLANGE CONNECTION
  - C. 4" TEST TEE OF MALLABLE IRON W/4" BRASS TEST PLUG
  - D. 2" BRASS CHECK VALVE AS PER LOCAL GOVT. SPECS.
  - E. SAME AS "A"
  - F. 4" PVC PIPE
- NOTE: SHORT SHOULDER NIPPLES TO BE WROUGHT IRON OR EXTRA HEAVY STEEL. ALL FITTINGS TO BE STANDARD MALLABLE IRON.
- COORDINATE WITH H. B. & T.S. (HILLSBORO, BURWOOD & THOMPSON'S STATION) UTILITY DISTRICT FOR METER STANDARD SPECIFICATIONS AND REQUIREMENTS.

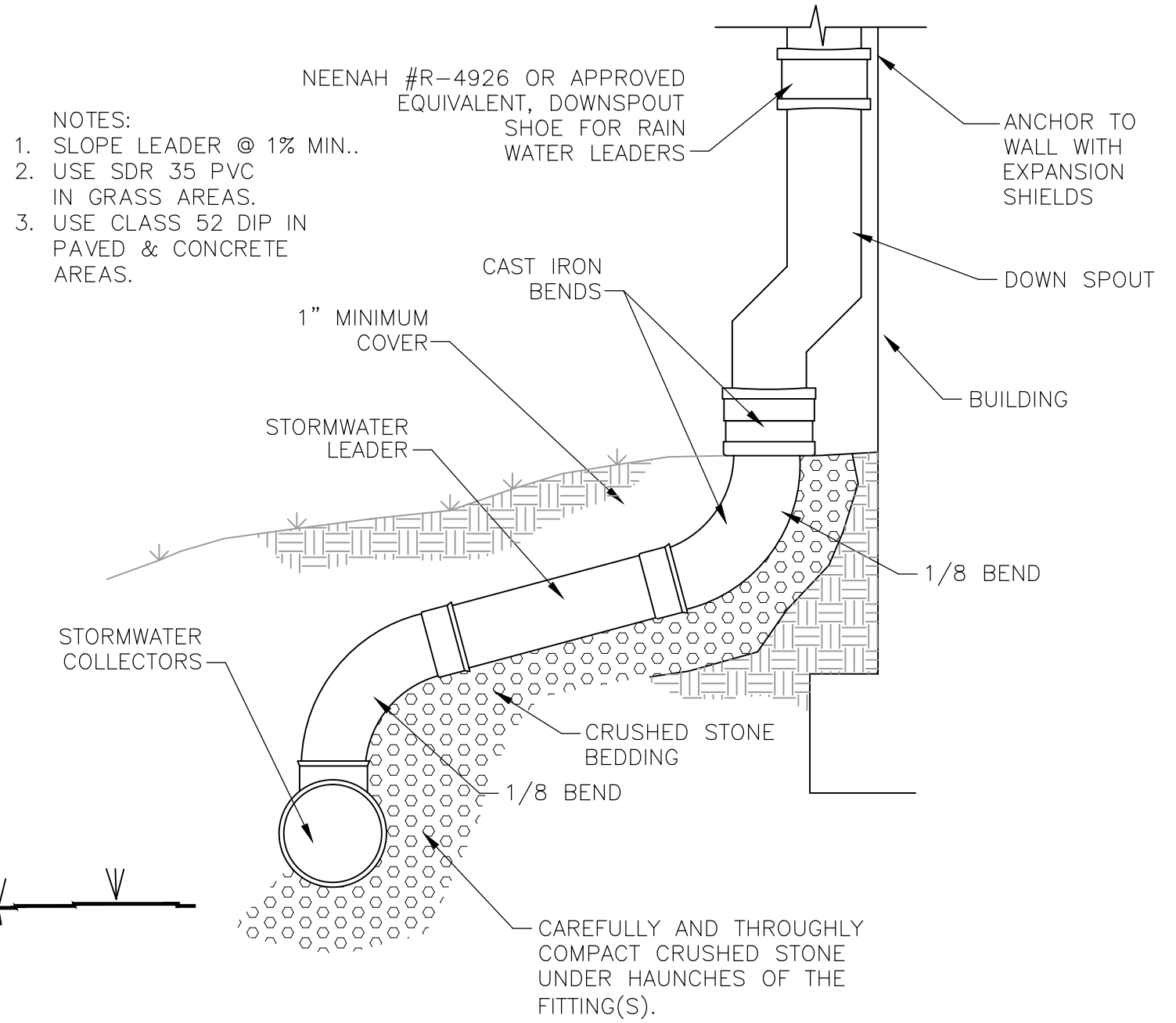


**REDUCE PRESSURE BACKFLOW PREVENTER**

4" WATTS 909RP (909RPDA) - OS&Y  
(STANDARD # HB6E ENCLOSURE - 2 SECTION ALUMINUM)

- NOTES:
1. ALL DIMENSIONS ARE APPROXIMATED IN INCHES.
  2. RECOMMENDED SLAB SIZE: 117"L x 48"W x 4" MINIMUM THICKNESS.
  3. "E" INDICATES THE ELECTRICAL RECEPTACLE. IT SHALL BE MOUNTED A MINIMUM OF 30" ABOVE THE SLAB.
  4. "A.O." INDICATES THE SIZE AND GENERAL LOCATION OF THE ACCESS OPENING.
  5. (\*) THIS DIMENSION CHANGES TO 2" WHEN THE 909RPDA IS INSTALLED.
  6. NEW YORK INSTALLATION: ADJUST CENTERLINE HEIGHT TO 30".
  7. UNIT IS A LB6E WHEN INSTALLED WITHOUT HEATERS.

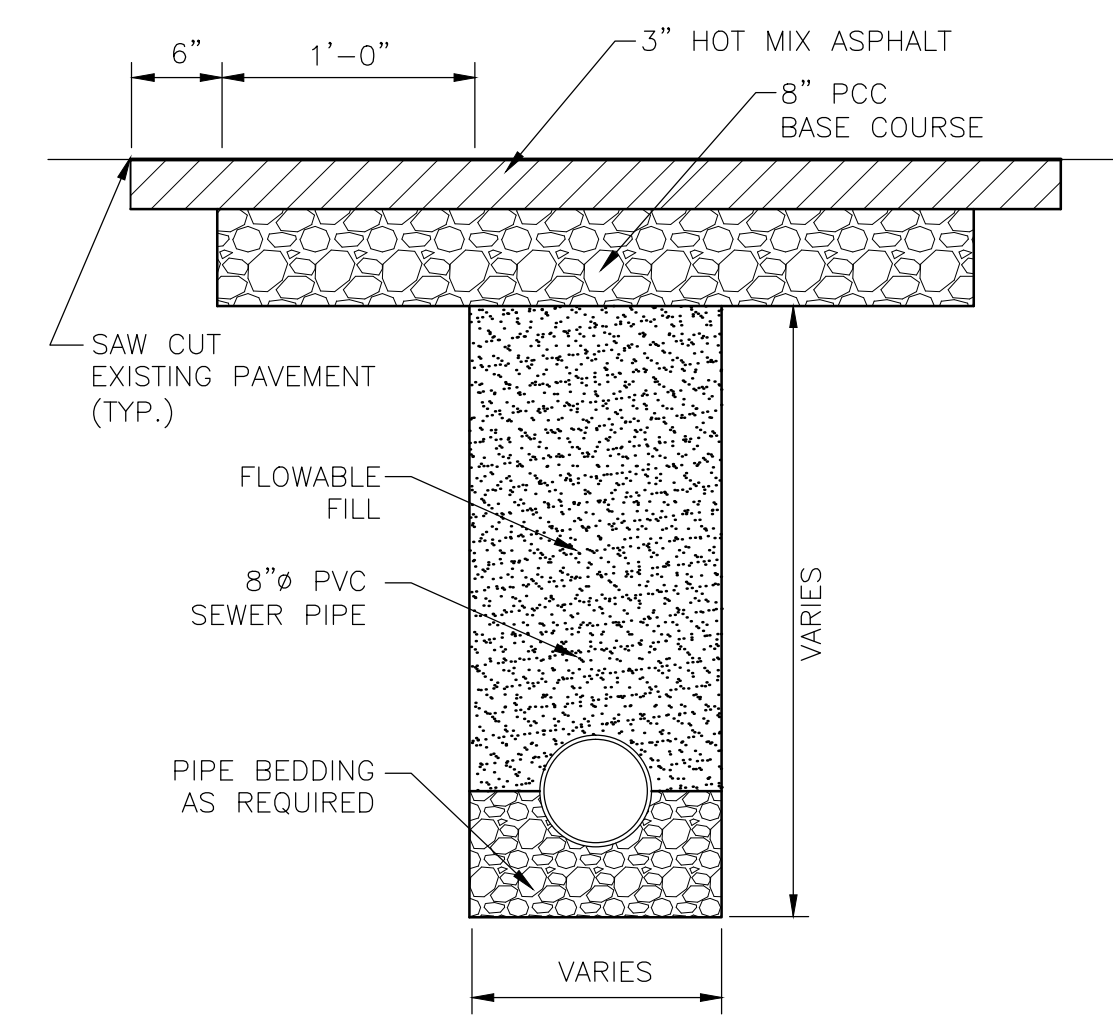
COORDINATE WITH H. B. & T.S. (HILLSBORO, BURWOOD & THOMPSON'S STATION) UTILITY DISTRICT FOR RPBP STANDARD SPECIFICATIONS AND REQUIREMENTS.



**DOWNSPOUT BOOT**

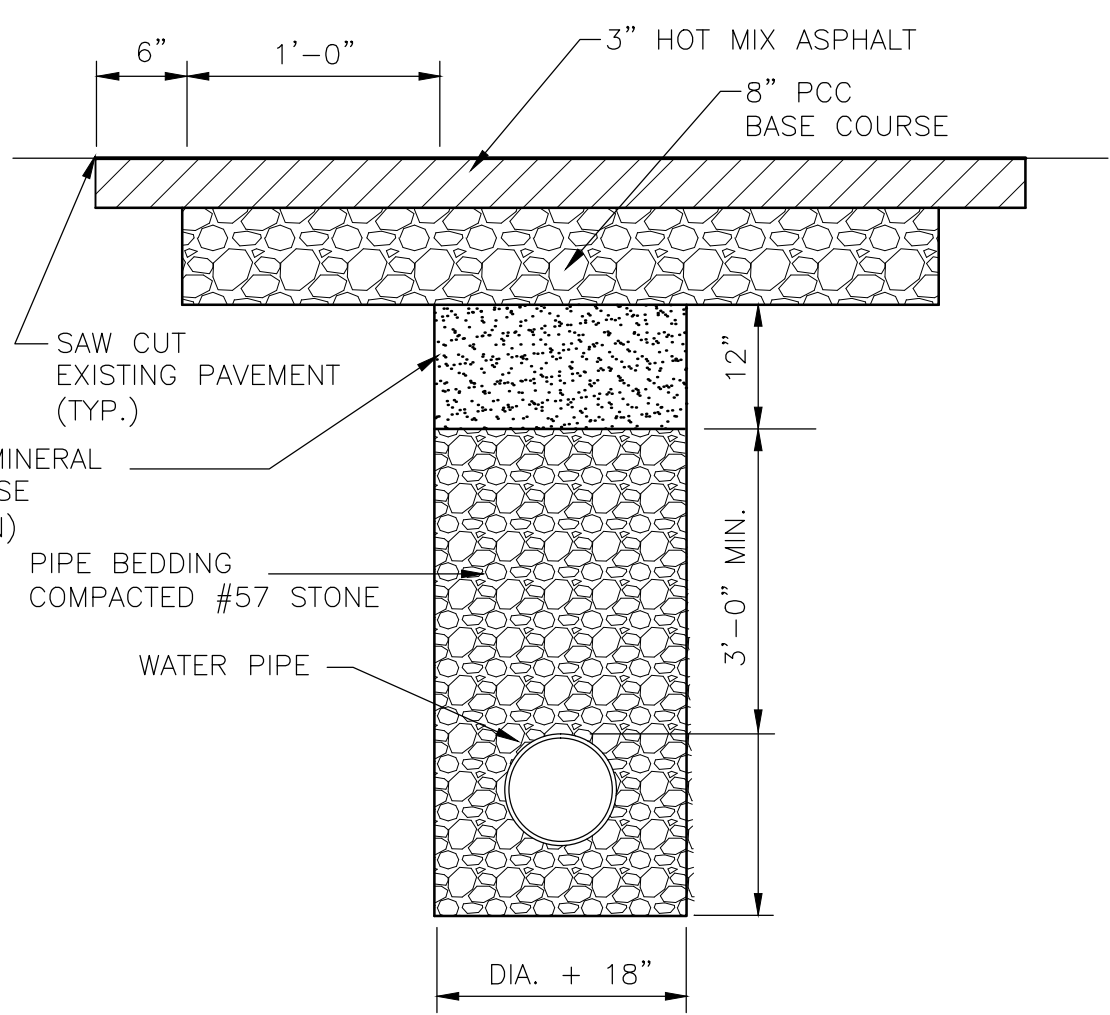
- NOTES:
1. SLOPE LEADER @ 1% MIN.
  2. USE SDR 35 PVC IN GRASS AREAS.
  3. USE CLASS 52 DIP IN PAVED & CONCRETE AREAS.

NEENAH #R-4926 OR APPROVED EQUIVALENT, DOWNSPOUT SHOE FOR RAIN WATER LEADERS



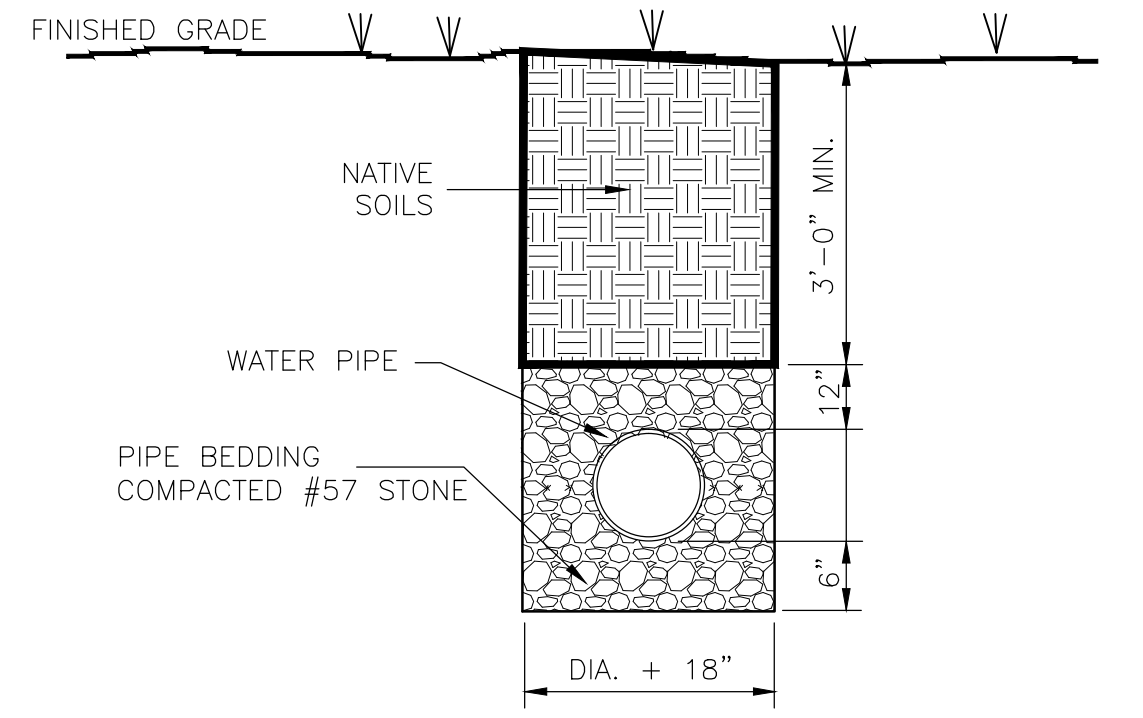
**SEWER TRENCH DETAIL**

NOT TO SCALE



**WATER TRENCH DETAIL IN PAVEMENT**

NOT TO SCALE



**WATER TRENCH DETAIL IN GRASS**

NOT TO SCALE

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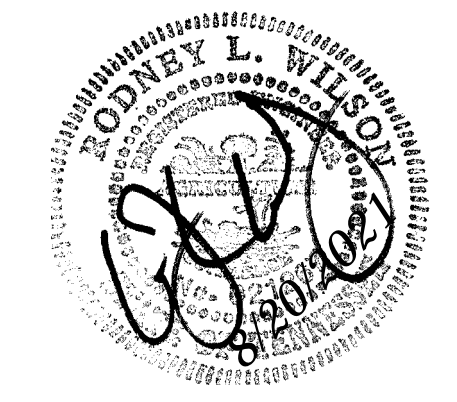
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Tel: (615) 476-2055  
Email: rtwilson@rwconsult.com

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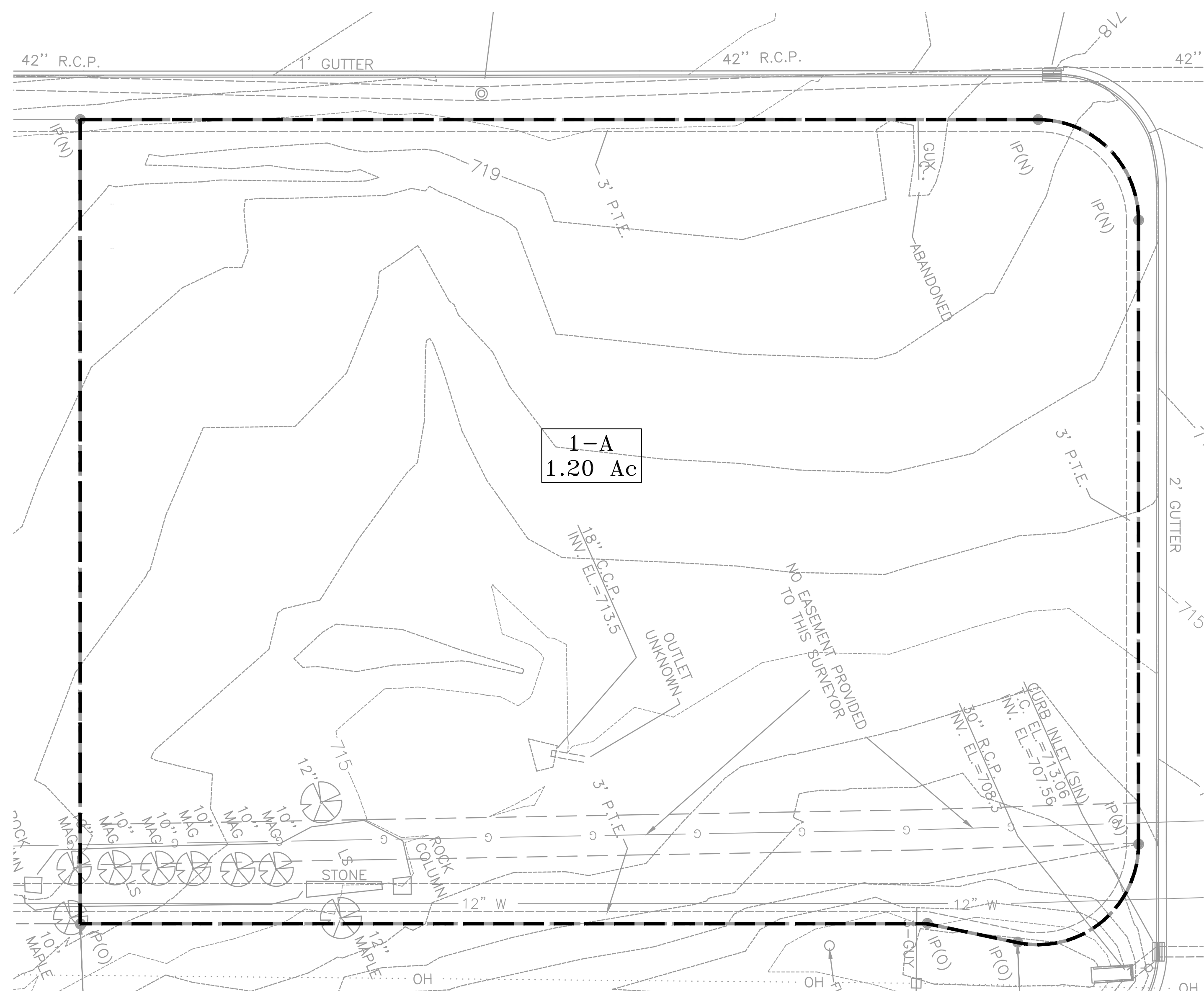
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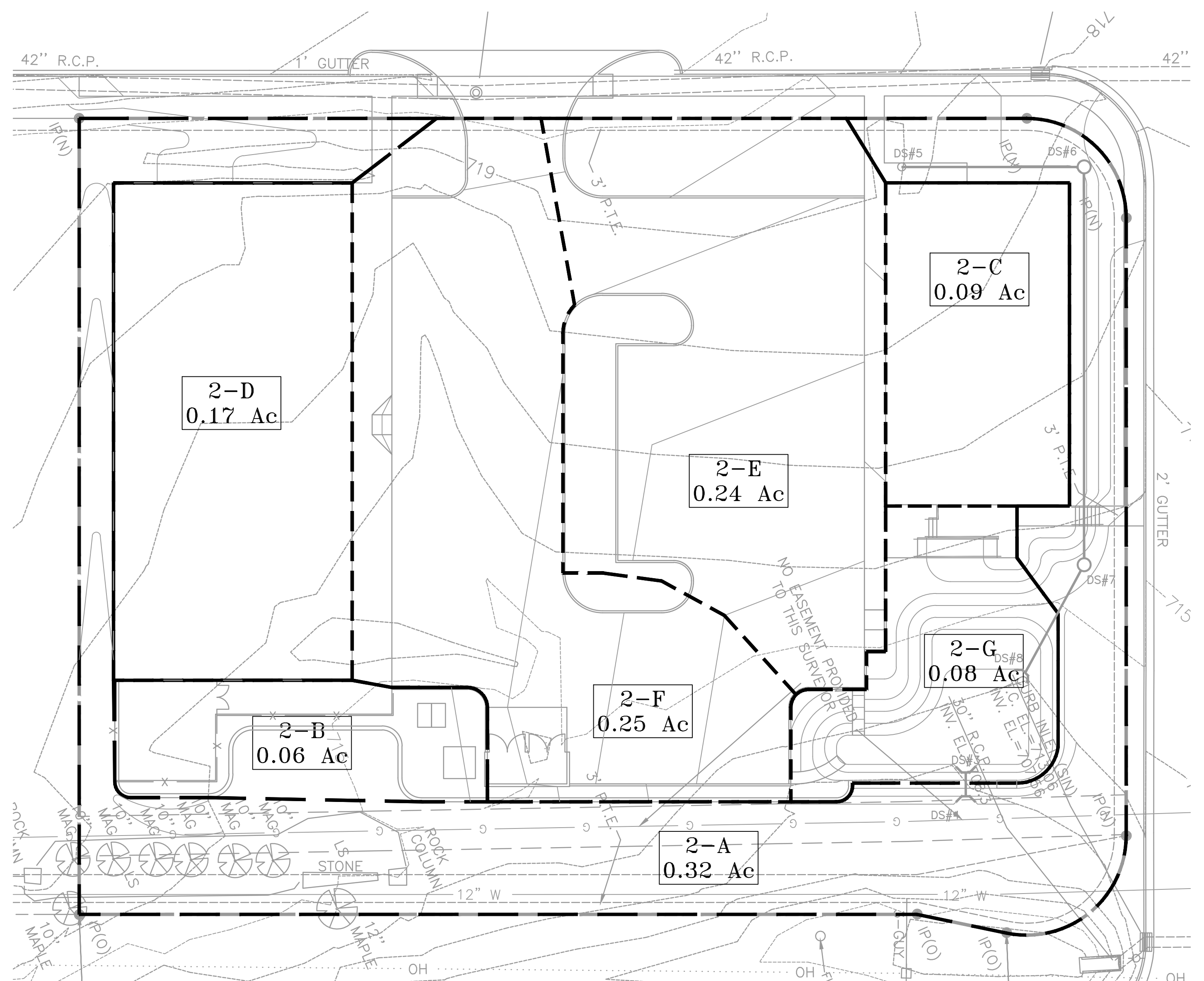
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PRE-DEVELOPMENT DRAINAGE MAP



POST-DEVELOPMENT DRAINAGE MAP

NOAA Rainfall  
Thompson Station, TN

Return Period	Rainfall (in)
2-yr	3.75
5-yr	4.57
10-yr	5.22
25-yr	6.12
50-yr	6.85
100-yr	7.59

Pond #1

Elev	Area	Avg End	Avg End	Total
713.00	757	1,029	1,475	2,504
714.00	1,300			
714.75	1,650			

Pre-Development Stormwater Conditions (Rational Method)

Sub Area	Area (ac)	Type	C	%	Area (ac)	Comp C	Total (ac)	Hydrograph Results					
								Q <sub>2</sub> (cfs)	Q <sub>5</sub> (cfs)	Q <sub>10</sub> (cfs)	Q <sub>25</sub> (cfs)	Q <sub>50</sub> (cfs)	Q <sub>100</sub> (cfs)
1-A	1.20	Imper	0.90	0%	0.00	0.30	1.20	2.03	2.35	2.60	2.96	3.25	3.54
		Perv	0.30		1.20								
1-B	0.00	Imper	0.90	0%	0.00	0.30	0.00	0.00	0.00	0.00	0.00	0.00	0.00
		Perv	0.30		0.00								
Totals	1.20				1.20	1.20	2.03	2.35	2.60	2.96	3.25	3.54	

Post-Development Stormwater Conditions (Rational Method)

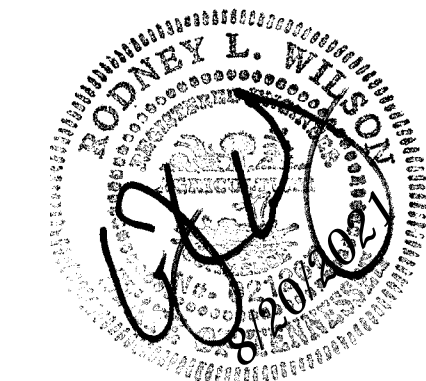
Sub Area	Area (ac)	Type	C	%	Area (ac)	Comp C	Total (ac)	Hydrograph Results					
								Q <sub>2</sub> (cfs)	Q <sub>5</sub> (cfs)	Q <sub>10</sub> (cfs)	Q <sub>25</sub> (cfs)	Q <sub>50</sub> (cfs)	Q <sub>100</sub> (cfs)
2-A	0.32	Imper	0.90	5%	0.02	0.33	0.32	0.60	0.69	0.76	0.87	0.95	1.04
		Perv	0.30		0.30								
2-B	0.06	Imper	0.90	50%	0.03	0.60	0.06	0.20	0.24	0.26	0.30	0.33	0.35
		Perv	0.30		0.03								
2-C	0.09	Imper	0.90	100%	0.09	0.90	0.09	0.46	0.53	0.58	0.67	0.73	0.80
		Perv	0.30		0.00								
2-D	0.17	Imper	0.90	100%	0.17	0.90	0.17	0.86	1.00	1.10	1.26	1.38	1.50
		Perv	0.30		0.00								
2-E	0.24	Imper	0.90	85%	0.20	0.81	0.24	1.10	1.27	1.40	1.60	1.76	1.91
		Perv	0.30		0.04								
2-F	0.25	Imper	0.90	95%	0.24	0.87	0.25	1.23	1.42	1.57	1.79	1.96	2.14
		Perv	0.30		0.01								
2-G	0.08	Imper	0.90	10%	0.01	0.36	0.08	0.16	0.19	0.21	0.24	0.26	0.28
		Perv	0.30		0.07								
Totals	1.21				1.21	1.21	4.60	5.33	5.89	6.72	7.37	8.02	

Post-Development Stormwater Routing (Rational Method)

Sub Area	Hydrograph Results					
	Q <sub>2</sub> (cfs)	Q <sub>5</sub> (cfs)	Q <sub>10</sub> (cfs)	Q <sub>25</sub> (cfs)	Q <sub>50</sub> (cfs)	Q <sub>100</sub> (cfs)
Pre 1A	2.03	2.35	2.60	2.96	3.25	3.54
Pre 1B	0.00	0.00	0.00	0.00	0.00	0.00
Post 2A	0.60	0.69	0.76	0.87	0.95	1.04
Post 2B	0.20	0.24	0.26	0.30	0.33	0.35
Post 2C	0.46	0.53	0.58	0.67	0.73	0.80
Post 2D	0.86	1.00	1.10	1.26	1.38	1.50
Post 2E	1.10	1.27	1.40	1.60	1.76	1.91
Post 2F	1.23	1.42	1.57	1.79	1.96	2.14
Post 2G	0.16	0.19	0.21	0.24	0.26	0.28
Post Direct Offsite	1.66	1.92	2.13	2.42	2.66	2.90
Post Onsite #1 inflow	2.94	3.41	3.76	4.29	4.71	5.13
Post Pond #1	0.07	0.09	0.11	0.13	0.15	0.17
Pre Total	2.03	2.35	2.60	2.96	3.25	3.54
Post Total w/o Detention	4.60	5.33	5.89	6.72	7.37	8.02
Post Total w/ Detention	1.69	1.96	2.16	2.47	2.71	2.96
Post to Pre	83%	83%	83%	83%	83%	84%

STORMWATER ROUTING NOTES:

- SUBAREA 1B INCLUDED FOR MODELING PURPOSES WITH NO FLOW OR DRAINAGE AREA
- SUBAREAS 2A, 2B AND 2D DIRECT DISCHARGE OFFSITE BYPASSING DETENTION POND #1
- SUBAREAS 2C, 2E, 2F AND 2G ARE ROUTED THROUGH DETENTION POND #1



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email: rwilson@rwconsult.com

No.	Date	Revision Description

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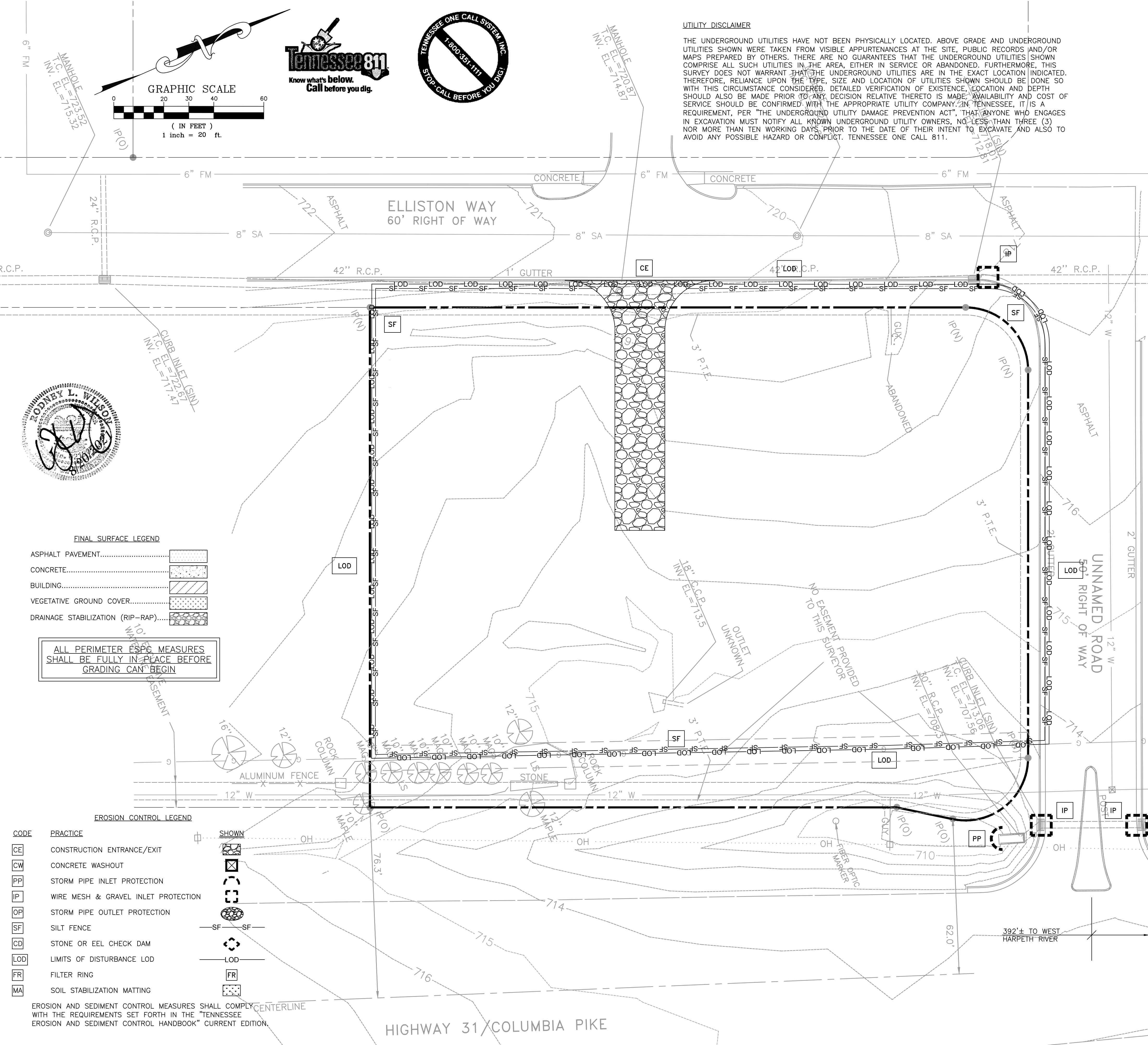
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Project No.: 2018010.00  
Date: 08/20/2021

**STORM DRAINAGE MAPPING PLANS AND CALCULATIONS**

C5.00

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**UTILITY DISCLAIMER**

THE UNDERGROUND UTILITIES HAVE NOT BEEN PHYSICALLY LOCATED. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES AT THE SITE, PUBLIC RECORDS AND/OR MAPS PREPARED BY OTHERS. THERE ARE NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. FURTHERMORE, THIS SURVEY DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) NOR MORE THAN TEN WORKING DAYS, PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL 811.

- DISCHARGE QUALITY**
- THERE SHALL BE NO DISTINCTLY VISIBLE FLOATING SCUM, OIL OR OTHER MATTER CONTAINED IN THE STORM WATER DISCHARGE.
  - THE STORM WATER DISCHARGE MUST NOT CAUSE AN OBJECTIONABLE COLOR CONTRAST IN THE RECEIVING STREAM.
  - THE STORM WATER DISCHARGE MUST RESULT IN NO MATERIALS IN CONCENTRATIONS SUFFICIENT TO BE HAZARDOUS OR OTHERWISE DETRIMENTAL TO HUMANS, LIVESTOCK, WILDLIFE, PLANT LIFE, OR FISH AND AQUATIC LIFE IN THE RECEIVING STREAM.
  - REPORTING AND RECORD KEEPING REQUIREMENTS:
    - THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS ON SITE OR AT A NEARBY OFFICE
    - RECORDS AND INFORMATION RESULTING FROM THE MONITORING ACTIVITIES REQUIRED BY THIS RULE SHALL BE RETAINED FOR A MINIMUM OF THREE (3) YEARS, OR LONGER IF REQUESTED BY THE DIVISION OF POLLUTION CONTROL.
    - KNOWINGLY MAKING ANY FALSE STATEMENT ON ANY REPORT REQUIRED BY THIS RULE MAY RESULT IN THE IMPOSITION OF CRIMINAL PENALTIES AS PROVIDED FOR IN SECTION 309 OF THE FEDERAL WATER POLLUTION CONTROL ACT AND IN SECTION 69-3-115 OF THE TENNESSEE WATER QUALITY CONTROL ACT.

- GENERAL NOTES**
- ALL VEGETATIVE AND STRUCTURAL CONTROL TECHNIQUES SHALL BE IN ACCORDANCE WITH THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK. CONTRACTOR SHALL OBTAIN A COPY OF THIS HANDBOOK AND BE FAMILIAR WITH THE TECHNIQUES.
  - THIS PLAN SHALL BE A PART OF THE OVERALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED IN ACCORDANCE WITH THE TENNESSEE GENERAL NPDES PERMIT (TNRXXXXXX) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. REFER TO THE NARRATIVE PORTION OF THE SWPPP FOR ADDITIONAL INFORMATION INCLUDING CONSTRUCTION SEQUENCING.

- CONSTRUCTION MANAGEMENT TECHNIQUES**
- CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
  - CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF CLEARED SURFACE AREA. CONSTRUCTION MUST BE STAGED OR PHASED FOR LARGE PROJECTS. AREAS OF ONE PHASE MUST BE STABILIZED BEFORE ANOTHER PHASE CAN BE INITIATED. STABILIZATION SHALL BE ACCOMPLISHED BY TEMPORARILY OR PERMANENTLY PROTECTING THE DISTURBED SOIL SURFACE FROM RAINFALL IMPACTS AND RUNOFF.
  - EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
  - ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, DAILY CHECKING AND REPAIRING IS NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS.
  - A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
  - ALL NEWLY GRADED AREA (INCLUDING SLOPES) SHALL BE SEEDED AND MULCHED OR SODDED TO EFFECTIVELY PREVENT SOIL EROSION IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.
  - ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNATED BY THE ENGINEER. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO PERFORM THE WORK IN SUCH A MANNER AS TO PREVENT THE WASHING OF ANY SOIL, SILT, OR DEBRIS ONTO ADJACENT PROPERTIES.
  - THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR KEEPING EXISTING AND PROPOSED DRAINAGE STRUCTURES, STRAW BALE FILTERS AND SILT FENCES CLEAR OF SEDIMENT BUILDUP DURING CONSTRUCTION.
  - WHEN, IN THE OPINION OF THE ENGINEER, THE TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES ARE NO LONGER REQUIRED FOR THEIR INTENDED PURPOSES, THEY SHALL BE REMOVED BY THE GRADING CONTRACTOR.

- BEST MANAGEMENT PRACTICE NOTES**
- CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON PLANS IN ACCORDANCE WITH TENNESSEE EROSION CONTROL HANDBOOK, SECOND EDITION A GUIDE FOR PROTECTION OF STATE WATERS THROUGH THE USE OF BEST MANAGEMENT PRACTICES DURING LAND DISTURBING ACTIVITIES.
  - CONTRACTOR SHALL SCHEDULE CONSTRUCTION ACTIVITIES IN A MANNER THAT WILL MINIMIZE THE EXPOSURE OF DISTURBED SOILS TO WIND, RAIN, RUN-ON AND RUN-OFF TO REDUCE THE DISCHARGE OF POLLUTANTS TO THE STORM DRAIN SYSTEM OR WATERCOURSES AS DEFINED IN MORE DETAIL IN MA-1.
  - CONTRACTOR SHALL PERFORM DEWATERING OPERATION BY USING SEDIMENT CONTROLS TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL DELIVER, STORE AND USE MATERIALS IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL PREVENT AND CONTROL CONSTRUCTION SPILLS IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE SOLID WASTE IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE VEHICLE AND EQUIPMENT CLEANING, FUELING AND MAINTENANCE IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE HIS EMPLOYEES AND SUBCONTRACTORS IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE PESTICIDES, HERBICIDES AND FERTILIZER USE IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL USE DUST CONTROL MEASURES TO STABILIZE SOIL FROM WIND AND STORMWATER RUN-OFF EROSION AND REDUCE DUST GENERATED BY CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL MAINTAIN COLLECTION FACILITIES AND APPURTENANCES ON A REGULAR BASIS TO REMOVE POLLUTANTS.
  - CONTRACTOR SHALL PRACTICE PRESERVATION AND MAINTENANCE OF EXISTING VEGETATION TO PREVENT OR REDUCE EROSION OF SOIL.
  - CONTRACTOR SHALL MANAGE SYSTEM FLUSHING IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.

- VEGETATIVE CONTROLS**
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED REMOVED OR DISTURBED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING.
  - TO THE EXTENT FEASIBLE, APPROPRIATE COVER SHALL BE APPLIED WITHIN SEVEN DAYS ON AREAS THAT WILL REMAIN UNFINISHED FOR MORE THAN 30 CALENDAR DAYS. EXAMPLES OF COVER ARE GRASS, SOD, STRAW, MULCH, FABRIC MATS, ETC.
  - PERMANENT SOIL STABILIZATION WITH PERENNIAL VEGETATION SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER FINAL GRADING.

- STRUCTURAL CONTROLS**
- ALL SURFACE WATER FLOWING TOWARD THE CONSTRUCTION AREA SHALL BE DIVERTED BY USING BERMS, CHANNELS, OR SEDIMENT TRAPS, AS NECESSARY.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED ACCORDING TO THE SIZE AND SLOPE OR DISTURBED OR DRAINAGE AREAS, TO DETAIN RUNOFF AND TRAP SEDIMENT.
  - DISCHARGES FROM SEDIMENT BASINS AND TRAPS MUST BE THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION.
  - MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR TREATED BY FILTRATION PRIOR TO ITS DISCHARGE INTO SURFACE WATERS. WATER MUST BE DISCHARGED THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION.

**TDEC NOTICE OF COVERAGE NOTE:**

THE PROJECT ASSOCIATED WITH THESE SUBMITTED PLANS IS COVERED UNDER TENNESSEE CONSTRUCTION GENERAL PERMIT TNRXXXXXX. THE TOTAL DISTURBED AREA IS: 1.21 ACRES.

CHECK ALL THAT APPLY: THIS SITE DISCHARGES INTO WATERS IDENTIFIED BY TDEC AS:

IMPAIRED FOR SILTATION      IMPAIRED FOR HABITAT ALTERATION      EXCEPTIONAL

PROJECT ENGINEER SIGNATURE \_\_\_\_\_ DATE 00/00/0000

**FINAL SURFACE LEGEND**

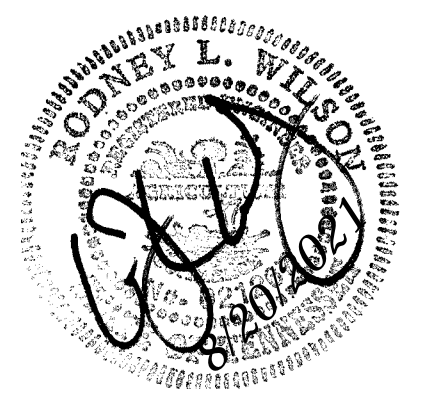
- ASPHALT PAVEMENT.....
- CONCRETE.....
- BUILDING.....
- VEGETATIVE GROUND COVER.....
- DRAINAGE STABILIZATION (RIP-RAP).....

**ALL PERIMETER ESPC MEASURES SHALL BE FULLY IN PLACE BEFORE GRADING CAN BEGIN**

**EROSION CONTROL LEGEND**

CODE	PRACTICE	SHOWN
CE	CONSTRUCTION ENTRANCE/EXIT	[Symbol]
CW	CONCRETE WASHOUT	[Symbol]
PP	STORM PIPE INLET PROTECTION	[Symbol]
IP	WIRE MESH & GRAVEL INLET PROTECTION	[Symbol]
OP	STORM PIPE OUTLET PROTECTION	[Symbol]
SF	SILT FENCE	[Symbol]
CD	STONE OR EEL CHECK DAM	[Symbol]
LOD	LIMITS OF DISTURBANCE LOD	[Symbol]
FR	FILTER RING	[Symbol]
MA	SOIL STABILIZATION MATTING	[Symbol]

EROSION AND SEDIMENT CONTROL MEASURES SHALL COMPLY WITH THE REQUIREMENTS SET FORTH IN THE "TENNESSEE EROSION AND SEDIMENT CONTROL HANDBOOK" CURRENT EDITION.



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No.	Date	Revision Description

**Lot 30.02 - Tollgate Village**  
 Thompson Station, TN

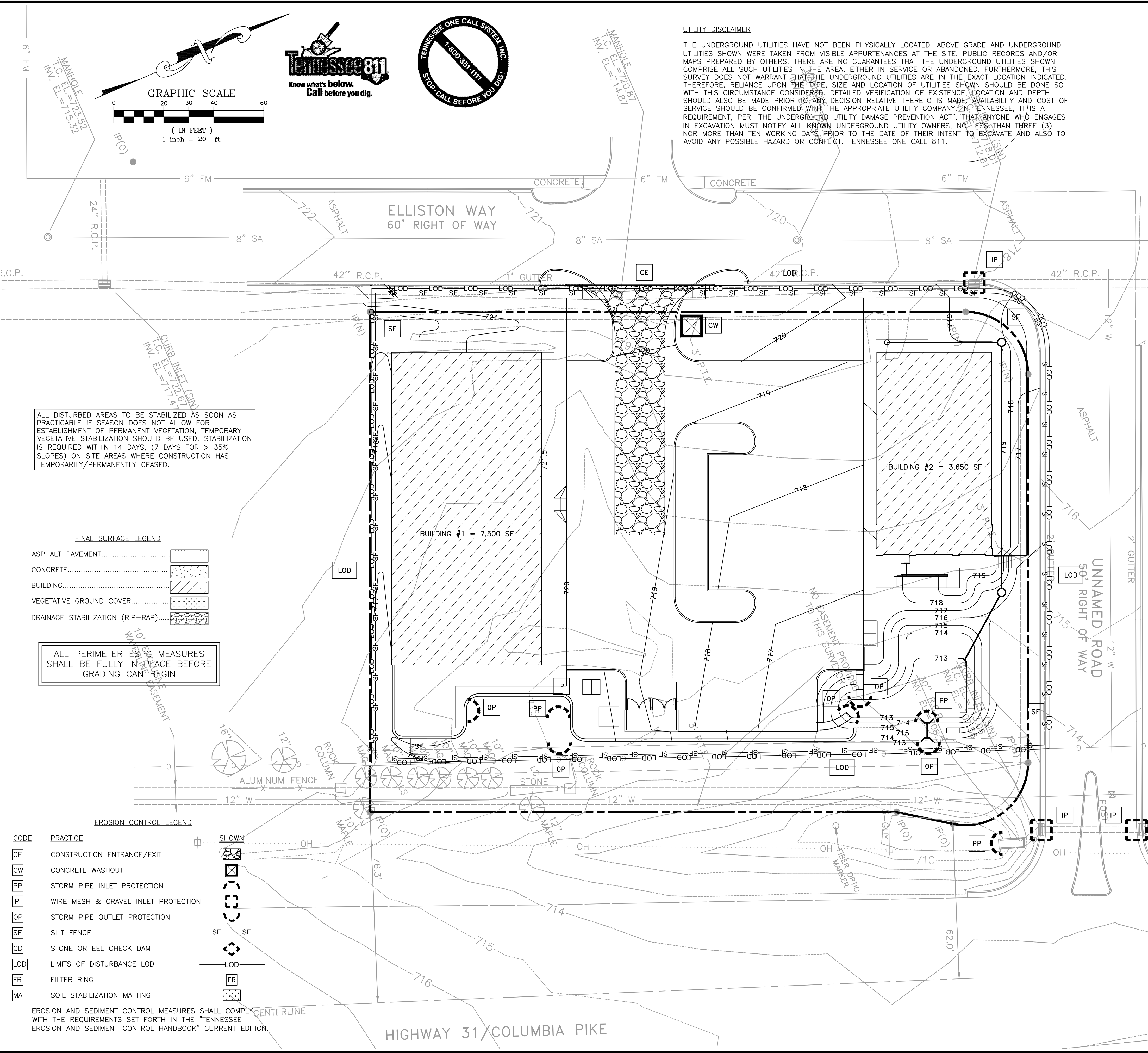
Project No.: 2018010.00  
 Date: 08/20/2021

Initial Erosion Control Plan (SWPPP)

**C5.01**



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- CONTRACTOR SHALL MANAGE SYSTEM FLUSHING IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.

**VEGETATIVE CONTROLS**

- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED REMOVED OR DISTURBED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING.
- TO THE EXTENT FEASIBLE, APPROPRIATE COVER SHALL BE APPLIED WITHIN SEVEN DAYS ON AREAS THAT WILL REMAIN UNFINISHED FOR MORE THAN 30 CALENDAR DAYS. EXAMPLES OF COVER ARE GRASS, SOD, STRAW, MULCH, FABRIC MATS, ETC.
- PERMANENT SOIL STABILIZATION WITH PERENNIAL VEGETATION SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER FINAL GRADING.

**STRUCTURAL CONTROLS**

- ALL SURFACE WATER FLOWING TOWARD THE CONSTRUCTION AREA SHALL BE DIVERTED BY USING BERMS, CHANNELS, OR SEDIMENT TRAPS, AS NECESSARY.
- EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED ACCORDING TO THE SIZE AND SLOPE OR DISTURBED OR DRAINAGE AREAS, TO DETAIN RUNOFF AND TRAP SEDIMENT.
- DISCHARGES FROM SEDIMENT BASINS AND TRAPS MUST BE THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION.
- MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR TREATED BY FILTRATION PRIOR TO ITS DISCHARGE INTO SURFACE WATERS. WATER MUST BE DISCHARGED THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION.

ALL DISTURBED AREAS TO BE STABILIZED AS SOON AS PRACTICABLE IF SEASON DOES NOT ALLOW FOR ESTABLISHMENT OF PERMANENT VEGETATION. TEMPORARY VEGETATIVE STABILIZATION SHOULD BE USED. STABILIZATION IS REQUIRED WITHIN 14 DAYS, (7 DAYS FOR > 35% SLOPES) ON SITE AREAS WHERE CONSTRUCTION HAS TEMPORARILY/PERMANENTLY CEASED.

**FINAL SURFACE LEGEND**

ASPHALT PAVEMENT	[Pattern]
CONCRETE	[Pattern]
BUILDING	[Pattern]
VEGETATIVE GROUND COVER	[Pattern]
DRAINAGE STABILIZATION (RIP-RAP)	[Pattern]

ALL PERIMETER EROSION CONTROL MEASURES SHALL BE FULLY IN PLACE BEFORE GRADING CAN BEGIN

**EROSION CONTROL LEGEND**

CODE	PRACTICE	SHOWN
CE	CONSTRUCTION ENTRANCE/EXIT	[Symbol]
CW	CONCRETE WASHOUT	[Symbol]
IP	STORM PIPE INLET PROTECTION	[Symbol]
OP	WIRE MESH & GRAVEL INLET PROTECTION	[Symbol]
OP	STORM PIPE OUTLET PROTECTION	[Symbol]
SF	SILT FENCE	[Symbol]
CD	STONE OR EEL CHECK DAM	[Symbol]
LOD	LIMITS OF DISTURBANCE LOD	[Symbol]
FR	FILTER RING	[Symbol]
MA	SOIL STABILIZATION MATTING	[Symbol]

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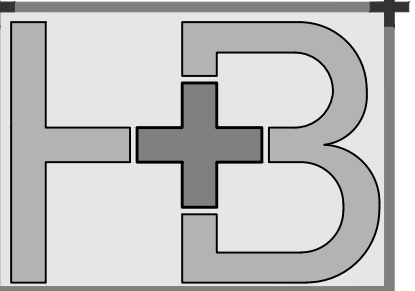
**Rodney L. Wilson Consulting, PLLC**  
 205 Rolling Mill Court  
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 Tel: (615) 476-2055  
 Email: rwilson@rwconsult.com

No.	Date	Revision Description

**Lot 30.02 - Tollgate Village**  
 Thompson Station, TN

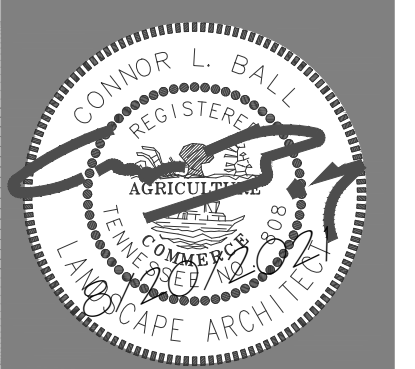
Project No.: 2018010.00  
 Date: 08/20/2021  
 Intermediate Erosion Control Plan (SWPPP)

**C5.02**



**Heibert+Ball**  
**LAND DESIGN**  
 1894 Gen. Geo. Patton Dr.  
 Suite 400  
 Franklin, TN 37067  
 Tel: 615.376.2421  
 www.hblanddesign.com

PROPOSED SITE FOR:  
**TOLLGATE VILLAGE**  
 THOMPSON STATION, TENNESSEE



BY: cb

HBLD PROJECT # 21247

RELEASE DATE: 00/00/00  
 REV 1:

**LANDSCAPE PLAN**

1.1

**PLANT SCHEDULE**

3" CANOPY TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	5	D.D. Blanchard Magnolia / Magnolia grandiflora 'D.D. Blanchard' TM Full To Base. Full Dense Form. See Tree Specifications	B & B		8' HT
	11	Ruby Springs Nuttall Oak / Quercus nuttallii 'Ruby Springs' 6' Clear Trunk. Single, Straight Central Leader. Evenly Branched. Full Symmetrical Crown. See Tree Specifications.	B & B	3'Cal	14'-15' HT
	6	Hightower Willow Oak / Quercus phellos 'Hightower' 6' Clear Trunk. Single, Straight Central Leader. Evenly Branched. Full Symmetrical Crown. See Tree Specifications.	B & B	3'Cal	14'-15' HT
	6	Green Vase Zelkova / Zelkova serrata 'Green Vase' 5' Clear Trunk. Evenly Branched. Full Symmetrical Crown. See Tree Specifications.	B & B	3'Cal	14'-15' HT
UNDERSTORY/COLUMNAR TREES	QTY	COMMON / BOTANICAL NAME	CONT	CAL	SIZE
	5	Cherokee Princess Dogwood / Cornus florida 'Cherokee Princess' 4' Clear Single Trunk. Full Symmetrical Crown. See Tree Specifications	B & B	2'Cal	10'-12' HT
	9	Nellie Stevens Holly / Ilex x 'Nellie R Stevens' Full to Base. Full Dense Form. See Tree Specifications	B & B		6'-8' HT
	7	Moon Glow Sweetbay Magnolia / Magnolia virginiana 'Moon Glow' Single Stem. Full Rounded Head. See Tree Specifications. Matched Specimens	B & B	2'Cal	10'-12' HT
SHRUBS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	60	Wintergreen Boxwood / Buxus microphylla var. japonica 'Wintergreen' Full, Dense Form. Unsheered	#3 Container		
	22	Graham Blandly American Boxwood / Buxus sempervirens 'Graham Blandly' Full, Dense Form. Unsheered	#7 Container		
	8	Dwarf Boxleaf Euonymus / Euonymus japonicus 'Microphyllus' Full, Dense; Well Rooted	#3 Container		
	20	Annabelle Hydrangea / Hydrangea arborescens 'Annabelle' Full, Dense; Well Rooted	#5 Container		
	17	Limeight Hydrangea / Hydrangea paniculata 'Limeight' Full, Dense; Well Rooted	#1 Container		
	29	Little Lime Hydrangea / Hydrangea paniculata 'Little Lime' Full, Dense; Well Rooted	#1 Container		
	15	Sea Green Juniper / Juniperus chinensis 'Sea Green' Full, Heavy, Well Branched.	#5 Container		
	69	Grey Owl Juniper / Juniperus virginiana 'Grey Owl' Full, Heavy, Well Branched.	#3 Container		
	23	Diablo Ninebark / Physocarpus opulifolius 'Diablo' Full, Dense Form	24' HT		
	23	Prague Viburnum / Viburnum x pragense Full, Dense Form	18' HT		
GRASSES	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	31	Blue Dune Lyme Grass / Elymus arenarius Blue Dune Full, Heavy, Well Rooted	#1 Container		
PERENNIALS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	13	Walkers Low Catmint / Nepeta x faassenii 'Walkers Low' Full, Heavy, Well Rooted,	#1 Container		
	50	Goldsturm Black-eyed Susan / Rudbeckia fulgida 'Goldsturm' Full, Heavy, Well Rooted,	#1 Container		
GROUND COVERS	QTY	COMMON / BOTANICAL NAME	CONT	WIDTH	
	3,863 sf	Drought Tolerant Fescue Blend / Turf Sod Install Sod as per specifications over finished graded area free of debris. Stagger seams, do not overlap. Roll twice.	sod		

**LANDSCAPE NOTES:**

- Contractor responsible for locating and protecting all underground utilities prior to digging.
- Contractor responsible for protecting existing trees from damage during construction as shown on plans.
- Contractor to install 6" minimum depth of clean, friable topsoil at all planting beds and lawn areas prior to fine grading. See topsoil specification sheet I-1.3.
- All shrub beds (existing and new) to be mulched with a 3-4 inch minimum layer of mulch.
- Existing grass in proposed planting areas to be killed and removed and area to be hand raked to remove all rocks and debris larger than 1 inch in diameter prior to planting shrubs or laying sod. Landscape contractor to provide fine grading.
- Any existing grass disturbed during construction to be fully removed, re-graded and replaced. All tire marks and indentation to be repaired.
- Soil to be tested to determine fertilizer and lime requirements and distributed prior to laying sod.
- Sod to be delivered fresh (cut less than 24 hours prior to arriving on site), laid immediately, rolled, and watered thoroughly immediately after planting. edge of sod adjacent to mulch beds to be shovel cut. All sod to be delivered in largest rolls available, there shall be no gaps between sod joints.
- Planting mix to be provided as specified in the landscape specifications.
- The landscape contractor shall guarantee all plants installed for one full year from date of acceptance. All plants shall be alive and at a vigorous rate of growth at the end of the guarantee period. The landscape contractor shall not be responsible for acts of god or vandalism.
- Any plant that is determined dead, in an unhealthy or unsightly condition, lost its shape due to dead branches or other symptoms of poor, non-vigorous growth, as determined by the landscape architect, shall be replaced by the landscape contractor at no cost to owner.
- Prior to installation, the landscape contractor shall inspect the subgrade, general site conditions, verify elevations, utility locations, irrigation, approve topsoil provided by general contractor and observe the site conditions under which the work is to be done. Notify general contractor of any unsatisfactory conditions, and work shall not proceed until such conditions have been corrected.
- Water all plant material that are newly planted thoroughly twice in first 24 hours and apply mulch immediately.
- All trees and shrubs shall be coordinated with lighting plan prior to installation.
- All shrubs to be 3' back of curb.
- All areas of disturbance outside of landscape beds shall be repaired with turf.
- Any utility structure, light poles, sign, or other feature may not be added to any required landscape island in such a manner that would displace the required element(s) (trees, shrubs, etc.)

**SUBSTITUTION NOTE:**

- Requirements shown are per the City Zoning Ordinance. Substitutions are not allowed unless approved by the City and Heibert+Ball Land Design.

**TO AVOID OVERHEAD LIGHT POLE CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 15') with proposed or existing light pole locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment

**TO AVOID OVERHEAD UTILITY CONFLICTS:**  
 In the event proposed canopy trees are in conflict (within 25') with proposed or existing overhead utility locations, the landscape contractor shall stop work and contact Heibert+Ball Land Design immediately for coordination and field adjustment.

**UTILITY SCREEN**

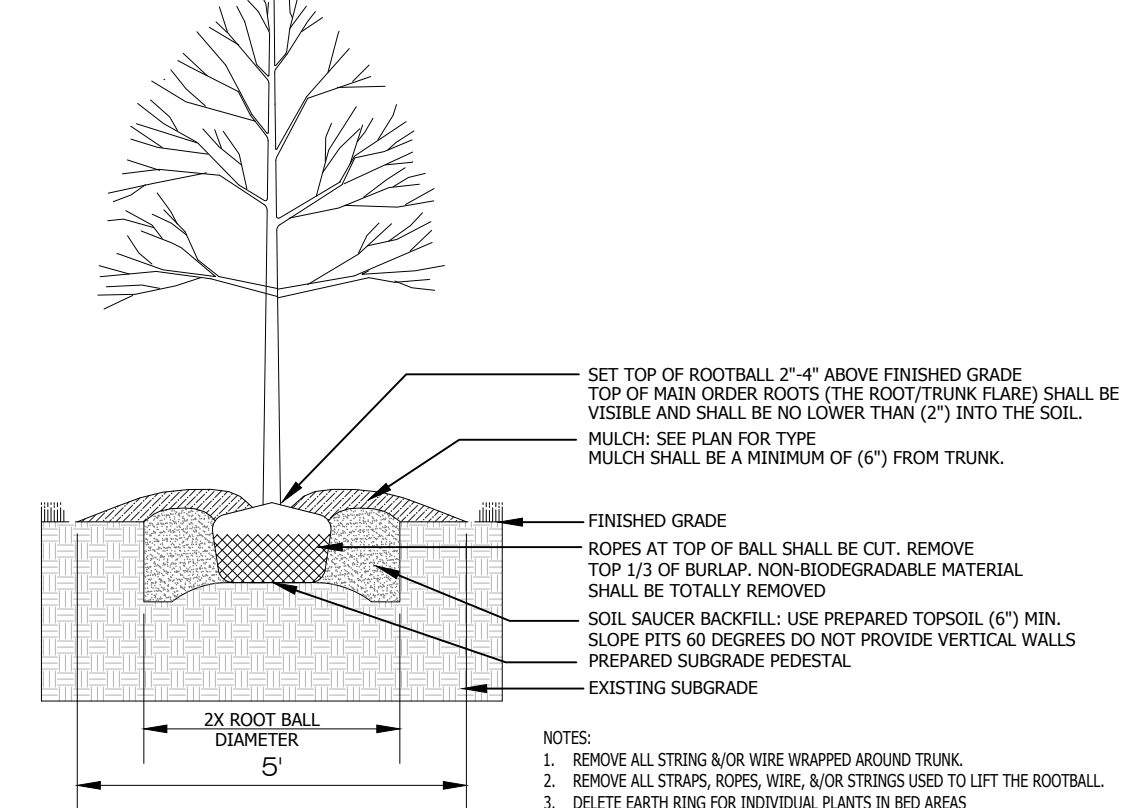
All utility structures, transformers, meters, and/or units shall be screened with plant material tall enough to provide an effective screen. Structures not shown on landscape plans will be required to be screened. If utilities are added to the site, contact Heibert+Ball Land Design for screening recommendations

**TREE SPECIFICATIONS: ALL TREES SHALL HAVE THE FOLLOWING CHARACTERISTICS:**

- Deciduous trees shall have one dominant single straight trunk with the tip of the leader on the main trunk left intact and the terminal bud on the central leader is at the highest point on the tree.
  - Trees with forked trunks are acceptable if all the following conditions are met:
    - The fork occurs in the upper 1/3 of the tree.
    - One fork is less than 2/3 the diameter of the dominant fork.
    - The top 1/3 of the smaller fork is removed at the time of planting.
  - No branch is greater than 2/3 the diameter of the trunk directly above the branch.
  - The trunk and/or major branches shall not touch.
  - Several branches are larger in diameter and obviously more dominant.
  - Branching habit is more horizontal than vertical, and no branches are oriented nearly vertical to the trunk.
  - Branches are evenly distributed around the trunk with no more than one major branch located directly above another and the crown is full of foliage evenly distributed around the tree.
  - Crown spread shall look proportional to the tree.
  - NO flush cuts or open trunk wounds or other bark injury
  - Root ball meets all ANSI standards and is appropriately sized
- DEFICIENCIES NOT ACCEPTED:**
- Tip dieback on 5% of branches
  - Crown thin/sparsely foliated
  - Included bark
  - Major Branches touching
  - Asymmetrical branching
- Landscape shall not obstruct visibility or access to fire protection equipment including, but not limited to, fire hydrants and fire department connections

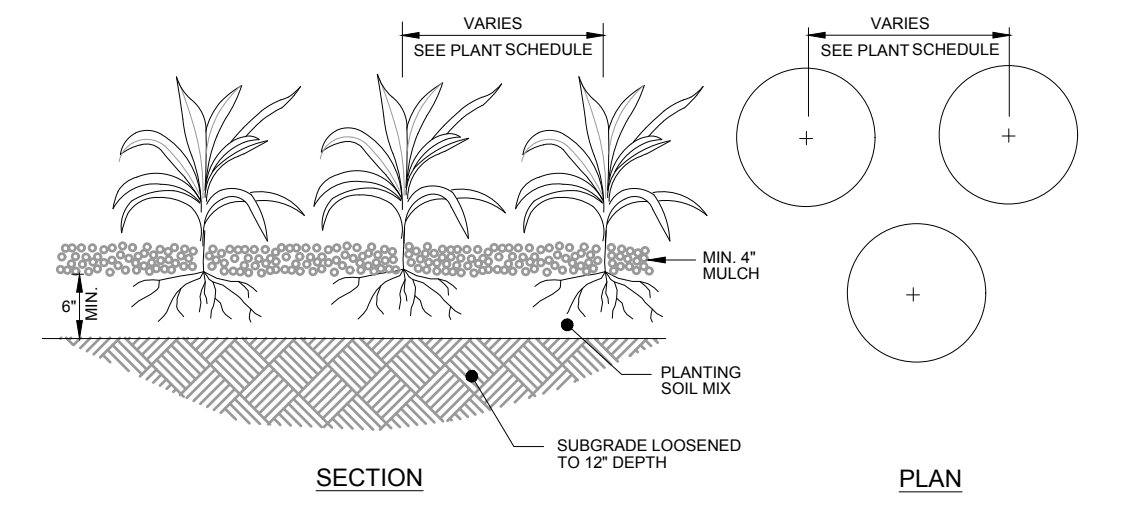
**PLANTING NOTES:**

- Refer to all written specifications; adhere to Plans and Specifications for all phases of work.
- Verify all utility locations in the field before work begins. Repair damaged utilities to owners satisfaction at no additional cost.
- Verify all material quantities on the drawing during bidding and pricing. In the event of a discrepancy, the quantities drawn on the plan will take precedence over the material schedule.
- All materials are subject to the approval of the Landscape Architect, City, and Owner.
- Once unloaded from truck, immediately stand all trees up. DO NOT lie the trees down. This will reduce the risk of sunscald.
- Plants shall meet specifications. Root balls shall meet or exceed size standards as set forth by American Standards for Nursery Stock. Main leaders of all trees shall remain intact.
- Mulch plant pits and planting beds with specified mulch to the depth indicated on drawings.
- Prepare all topsoil used in tree, shrub, and seed mixes in accordance with the specifications
- Discard any material which turns brown or defoliates within 5 days after planting. Replace immediately with approved specified material at no additional cost.
- Maintain all plant material and lawns until project is accepted in full by the City.
- Guarantee all workmanship and materials for a period of 1 calendar year.
- Install all plant material in accordance with all local codes and ordinances. Obtain any required permits necessary to complete the work.
- Provide 6" of topsoil for lawn areas (12" min. over rock), min. 24" of topsoil for shrub zones, and min. 48" deep for tree pits. Refer to specific root ball sizes for the min. diameter tree pit.
- Trees shall be first quality representatives of their species and shall meet all requirements otherwise stipulated. The Landscape Architect reserves the right to reject plant materials in the field, at the growing location, or at the job site at any time during the project.
- Test all tree pits for drainage. Any tree pit that holds water for more than 24 hours shall be installed using filter fabric wrapped perforated drainage tube (sloped to low point) and a washed pea gravel pit well drain



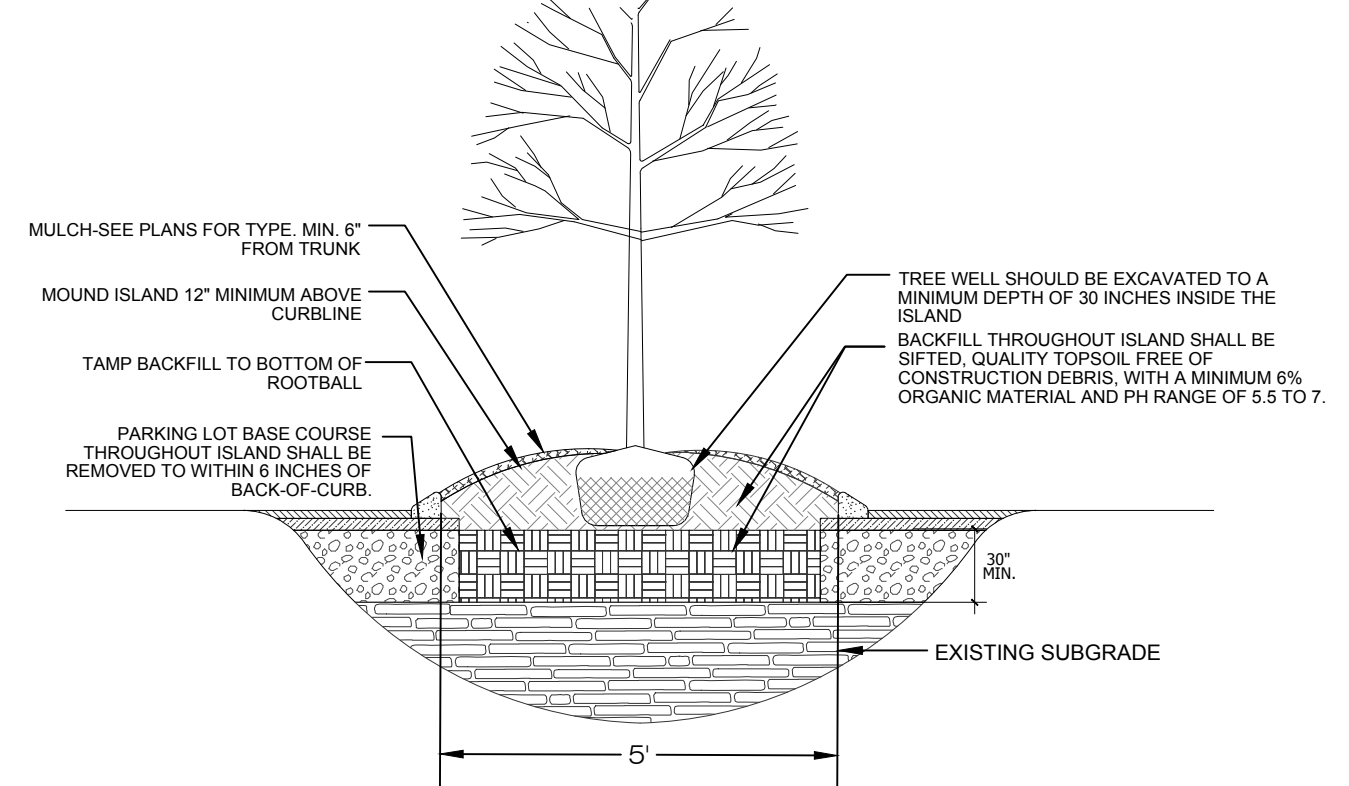
**DECIDUOUS TREE PLANTING**

P-NO-12

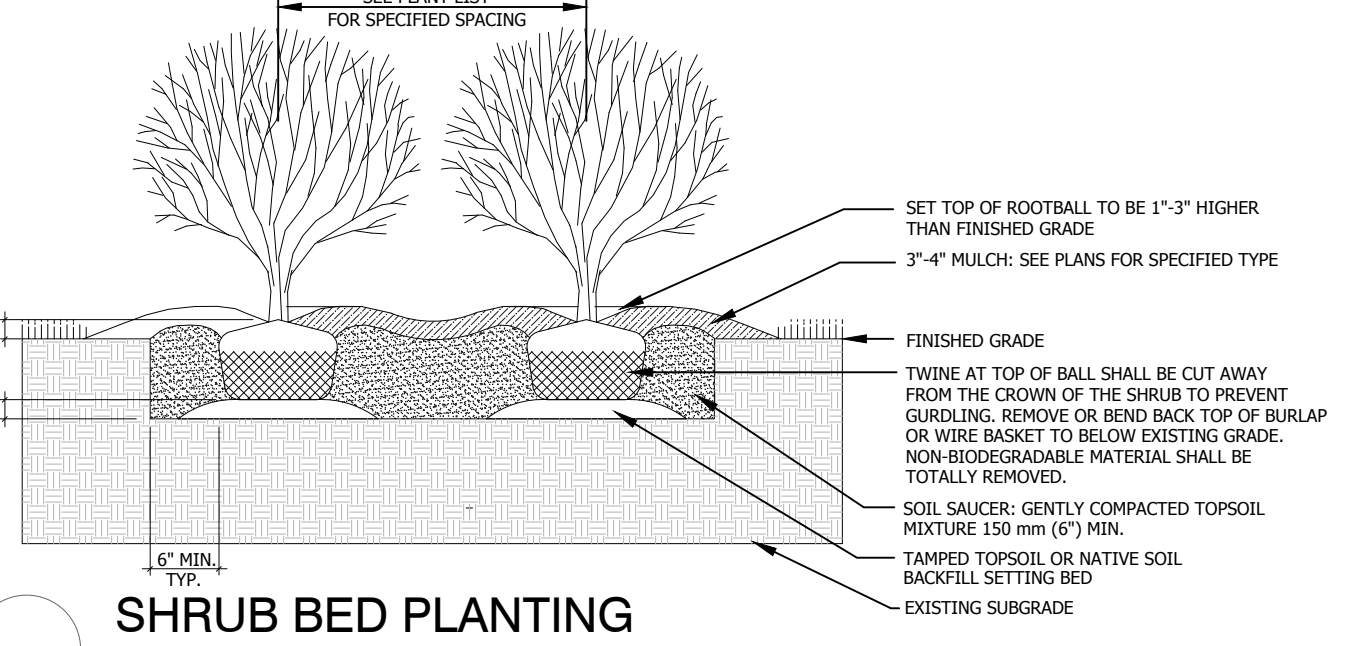


**GROUNDCOVER PLANTINGS**

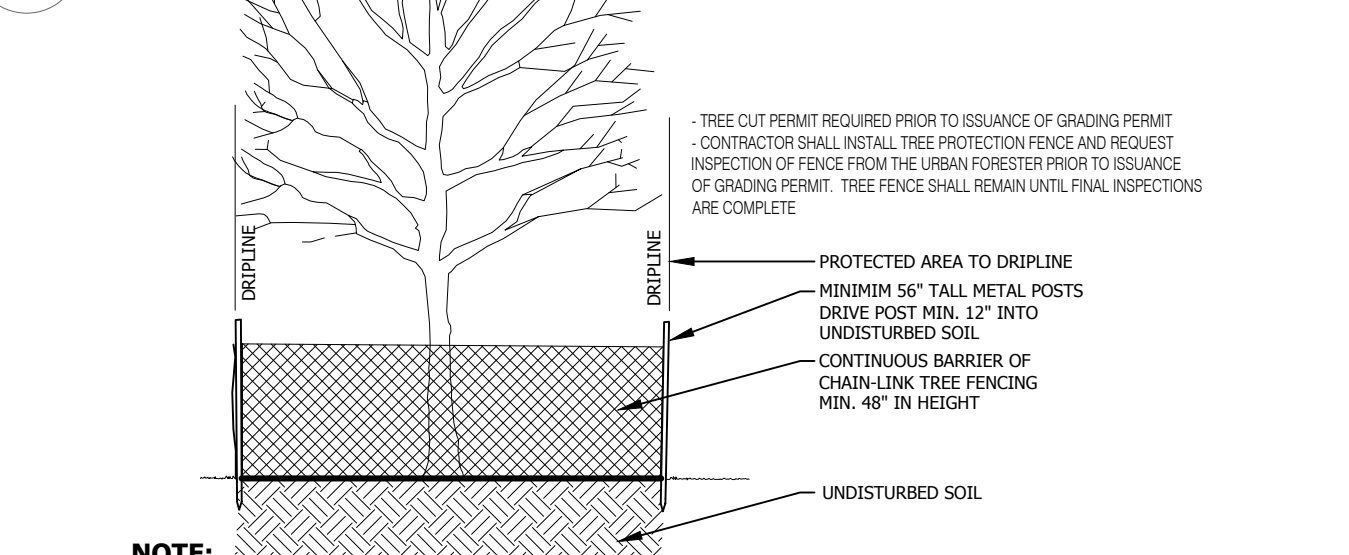
GROUNDCOVER, GRASSES, AND PERENNIALS



**PARKING ISLAND TREE PLANTING FOR PARKING LOT ISLAND OR MEDIAN**



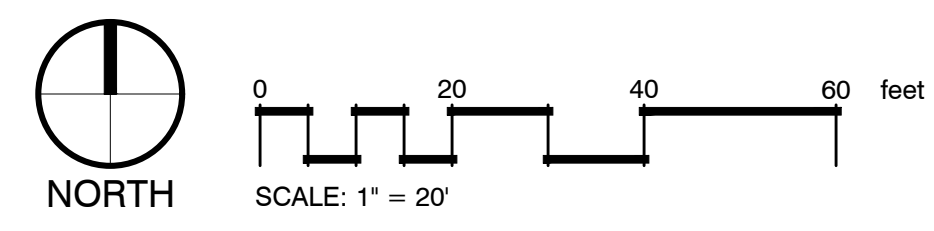
**SHRUB BED PLANTING**



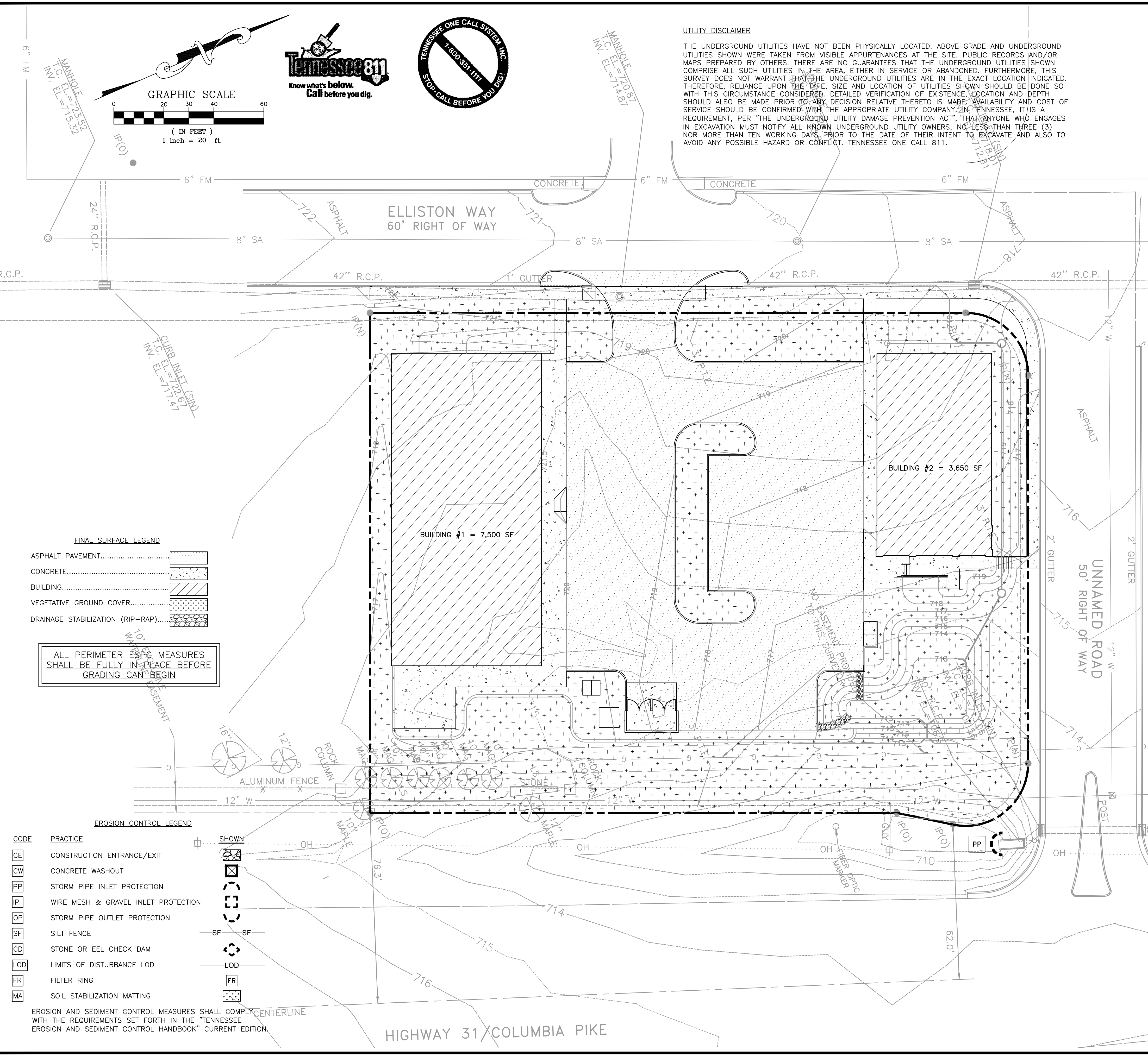
- NOTE:**
- THE TREE PROTECTION BARRIERS SHALL BE CONSTRUCTED BEFORE THE ISSUANCE OF ANY PERMITS, AND SHALL REMAIN INTACT THROUGHOUT THE ENTIRE PERIOD OF CONSTRUCTION
  - THE TREE PROTECTION BARRIER SHALL BE INSTALLED AS LABELED ON THIS PLAN OR TO A DISTANCE OF THE RADIUS OF THE DRIPLINE, WHICHEVER IS GREATER, AS MEASURED FROM THE TRUNK OF THE PROTECTED TREE(S)
  - ANY REQUIRED EXCAVATION IN OR AROUND THE PROTECTION ZONE TO ACCOMMODATE UNDERGROUND SERVICES, FOOTINGS, ETC. SHALL BE INDICATED ON THE PLAN AND SHALL BE EXCAVATED BY HAND. IN ADDITION, RELATED ROOT PRUNING SHALL BE ACCOMPLISHED VIA ANSI A-300-95 STANDARD SO AS TO MINIMIZE IMPACT ON THE GENERAL ROOT SYSTEM. ROOT PRUNING TO OCCUR PRIOR TO GRADING.
  - THE STORAGE OF BUILDING MATERIALS OR STOCKPILES SHALL NOT BE PERMITTED WITHIN THE LIMITS OF OR AGAINST THE PROTECTION BARRIERS.
  - TREES WITHIN THE PROTECTION BARRIERS MUST BE ADEQUATELY CARED FOR THROUGHOUT THE CONSTRUCTION PROCESS (I.E., THEY MUST BE WATERED SUFFICIENTLY, PARTICULARLY IF THE TREE'S ROOT SYSTEM HAS BEEN DISTURBED BY EXCAVATION). FILL SHALL NOT BE PLACED UPON THE ROOT SYSTEM AS TO ENDANGER THE HEALTH OR LIFE OF THE AFFECTED TREE.
  - HEAVY ACCUMULATION OF DUST FROM CONSTRUCTION ACTIVITIES MAY OCCUR ON THE SURFACE OF THE TREE FOLIAGE. TO CONTROL DUST, TREE FOLIAGE MAY BE HOSED DOWN UPON THE REQUEST OF THE LANDSCAPE ARCHITECT, OWNERS REP. OR CITY.
  - REMOVAL OF ALL TREE PROTECTION FENCING WILL BE DONE BY THE CONTRACTOR. RESTORATION OF ALL AREAS DISTURBED BY THE FENCING WILL BE THE CONTRACTORS RESPONSIBILITY.

**TREE PROTECTION DETAIL**

P-NO-06



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- DISCHARGE QUALITY**
- THERE SHALL BE NO DISTINCTLY VISIBLE FLOATING SCUM, OIL OR OTHER MATTER CONTAINED IN THE STORM WATER DISCHARGE.
  - THE STORM WATER DISCHARGE MUST NOT CAUSE AN OBJECTIONABLE COLOR CONTRAST IN THE RECEIVING STREAM.
  - THE STORM WATER DISCHARGE MUST RESULT IN NO MATERIALS IN CONCENTRATIONS SUFFICIENT TO BE HAZARDOUS OR OTHERWISE DETRIMENTAL TO HUMANS, LIVESTOCK, WILDLIFE, PLANT LIFE, OR FISH AND AQUATIC LIFE IN THE RECEIVING STREAM.
  - REPORTING AND RECORD KEEPING REQUIREMENTS:
    - THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS ON SITE OR AT A NEARBY OFFICE
    - RECORDS AND INFORMATION RESULTING FROM THE MONITORING ACTIVITIES REQUIRED BY THIS RULE SHALL BE RETAINED FOR A MINIMUM OF THREE (3) YEARS, OR LONGER IF REQUESTED BY THE DIVISION OF POLLUTION CONTROL.
    - KNOWINGLY MAKING ANY FALSE STATEMENT ON ANY REPORT REQUIRED BY THIS RULE MAY RESULT IN THE IMPOSITION OF CRIMINAL PENALTIES AS PROVIDED FOR IN SECTION 309 OF THE FEDERAL WATER POLLUTION CONTROL ACT AND IN SECTION 69-3-115 OF THE TENNESSEE WATER POLLUTION CONTROL ACT.
- GENERAL NOTES**
- ALL VEGETATIVE AND STRUCTURAL CONTROL TECHNIQUES SHALL BE IN ACCORDANCE WITH THE TENNESSEE EROSION & SEDIMENT CONTROL HANDBOOK. CONTRACTOR SHALL OBTAIN A COPY OF THIS HANDBOOK AND BE FAMILIAR WITH THE TECHNIQUES.
  - THIS PLAN SHALL BE A PART OF THE OVERALL STORMWATER POLLUTION PREVENTION PLAN (SWPPP) DEVELOPED IN ACCORDANCE WITH THE TENNESSEE GENERAL NPDES PERMIT (TNRXXXXX) FOR STORM WATER DISCHARGES ASSOCIATED WITH CONSTRUCTION ACTIVITY. REFER TO THE NARRATIVE PORTION OF THE SWPPP FOR ADDITIONAL INFORMATION INCLUDING CONSTRUCTION SEQUENCING.
- CONSTRUCTION MANAGEMENT TECHNIQUES**
- CLEARING AND GRUBBING MUST BE HELD TO THE MINIMUM NECESSARY FOR GRADING AND EQUIPMENT OPERATION.
  - CONSTRUCTION MUST BE SEQUENCED TO MINIMIZE THE EXPOSURE TIME OF CLEARED SURFACE AREA. CONSTRUCTION MUST BE STAGED OR PHASED FOR LARGE PROJECTS. AREAS OF ONE PHASE MUST BE STABILIZED BEFORE ANOTHER PHASE CAN BE INITIATED. STABILIZATION SHALL BE ACCOMPLISHED BY TEMPORARILY OR PERMANENTLY PROTECTING THE DISTURBED SOIL SURFACE FROM RAINFALL IMPACTS AND RUNOFF.
  - EROSION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE EARTH MOVING OPERATIONS BEGIN, AND MUST BE CONSTRUCTED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. TEMPORARY MEASURES MAY BE REMOVED AT THE BEGINNING OF THE WORK DAY, BUT MUST BE REPLACED AT THE END OF THE WORK DAY.
  - ALL CONTROL MEASURES SHALL BE CHECKED, AND REPAIRED AS NECESSARY, WEEKLY IN DRY PERIODS AND WITHIN 24 HOURS AFTER ANY RAINFALL OF 0.5 INCHES WITHIN A 24 HOUR PERIOD. DURING PROLONGED RAINFALL, DAILY CHECKING AND REPAIRING IS NECESSARY. THE PERMITTEE SHALL MAINTAIN RECORDS OF CHECKS AND REPAIRS.
  - A SPECIFIC INDIVIDUAL SHALL BE DESIGNATED TO BE RESPONSIBLE FOR EROSION AND SEDIMENT CONTROLS ON EACH PROJECT SITE.
  - ALL NEWLY GRADED AREA (INCLUDING SLOPES) SHALL BE SEEDED AND MULCHED OR SODDED TO EFFECTIVELY PREVENT SOIL EROSION IMMEDIATELY AFTER FINAL GRADE IS ESTABLISHED.
  - ALL DIMENSIONS AND LOCATIONS OF TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES SHALL BE SUBJECT TO ADJUSTMENT AS DESIGNED BY THE ENGINEER. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO PERFORM THE WORK IN SUCH A MANNER AS TO PREVENT THE WASHING OF ANY SOIL, SILT, OR DEBRIS ONTO ADJACENT PROPERTIES.
  - THE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR KEEPING EXISTING AND PROPOSED DRAINAGE STRUCTURES, STRAW BALE FILTERS AND SILT FENCES CLEAR OF SEDIMENT BUILDUP DURING CONSTRUCTION.
  - WHEN, IN THE OPINION OF THE ENGINEER, THE TEMPORARY SOIL EROSION AND WATER POLLUTION CONTROL DEVICES ARE NO LONGER REQUIRED FOR THEIR INTENDED PURPOSES, THEY SHALL BE REMOVED BY THE GRADING CONTRACTOR.
- BEST MANAGEMENT PRACTICE NOTES**
- CONTRACTOR SHALL PERFORM ALL WORK SHOWN ON PLANS IN ACCORDANCE WITH TENNESSEE EROSION CONTROL HANDBOOK, SECOND EDITION A GUIDE FOR PROTECTION OF STATE WATERS THROUGH THE USE OF BEST MANAGEMENT PRACTICES DURING LAND DISTURBING ACTIVITIES.
  - CONTRACTOR SHALL SCHEDULE CONSTRUCTION ACTIVITIES IN A MANNER THAT WILL MINIMIZE THE EXPOSURE OF DISTURBED SOILS TO WIND, RAIN, RUN-ON AND RUN-OFF TO REDUCE THE DISCHARGE OF POLLUTANTS TO THE STORM DRAIN SYSTEM OR WATERCOURSES AS DEFINED IN MORE DETAIL IN MA-1.
  - CONTRACTOR SHALL PERFORM DEWATERING OPERATION BY USING SEDIMENT CONTROLS TO PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL DELIVER, STORE AND USE MATERIALS IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL PREVENT AND CONTROL CONSTRUCTION SPILLS IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE SOLID WASTE IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE VEHICLE AND EQUIPMENT CLEANING, FUELING AND MAINTENANCE IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE HIS EMPLOYEES AND SUBCONTRACTORS IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL MANAGE PESTICIDES, HERBICIDES AND FERTILIZER USE IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
  - CONTRACTOR SHALL USE DUST CONTROL MEASURES TO STABILIZE SOIL FROM WIND AND STORMWATER RUN-OFF EROSION AND REDUCE DUST GENERATED BY CONSTRUCTION ACTIVITIES.
  - CONTRACTOR SHALL MAINTAIN COLLECTION FACILITIES AND APPURTENANCES ON A REGULAR BASIS TO REMOVE POLLUTANTS.
  - CONTRACTOR SHALL PRACTICE PRESERVATION AND MAINTENANCE OF EXISTING VEGETATION TO PREVENT OR REDUCE EROSION OF SOIL.
  - CONTRACTOR SHALL MANAGE SYSTEM FLUSHING IN A MANNER THAT WILL PREVENT OR REDUCE THE DISCHARGE OF POLLUTANTS TO STORMWATER.
- VEGETATIVE CONTROLS**
- PRE-CONSTRUCTION VEGETATIVE GROUND COVER SHALL NOT BE DESTROYED REMOVED OR DISTURBED MORE THAN 20 CALENDAR DAYS PRIOR TO GRADING OR EARTH MOVING.
  - TO THE EXTENT FEASIBLE, APPROPRIATE COVER SHALL BE APPLIED WITHIN SEVEN DAYS ON AREAS THAT WILL REMAIN UNFINISHED FOR MORE THAN 30 CALENDAR DAYS. EXAMPLES OF COVER ARE GRASS, SOD, STRAW, MULCH, FABRIC MATS, ETC.
  - PERMANENT SOIL STABILIZATION WITH PERENNIAL VEGETATION SHALL BE APPLIED AS SOON AS PRACTICABLE AFTER FINAL GRADING.
- STRUCTURAL CONTROLS**
- ALL SURFACE WATER FLOWING TOWARD THE CONSTRUCTION AREA SHALL BE DIVERTED BY USING BERMS, CHANNELS, OR SEDIMENT TRAPS, AS NECESSARY.
  - EROSION AND SEDIMENT CONTROL MEASURES SHALL BE DESIGNED ACCORDING TO THE SIZE AND SLOPE OR DISTURBED OR DRAINAGE AREAS, TO DETAIN RUNOFF AND TRAP SEDIMENT.
  - DISCHARGES FROM SEDIMENT BASINS AND TRAPS MUST BE THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION.
  - MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR TREATED BY FILTRATION PRIOR TO ITS DISCHARGE INTO SURFACE WATERS. WATER MUST BE DISCHARGED THROUGH A PIPE OR LINED CHANNEL SO THAT THE DISCHARGE DOES NOT CAUSE EROSION AND SEDIMENTATION.

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 Email: rwilson@rwcconsult.com

No.	Date	Revision Description

**Lot 30.02 - Tollgate Village**  
 Thompson Station, TN

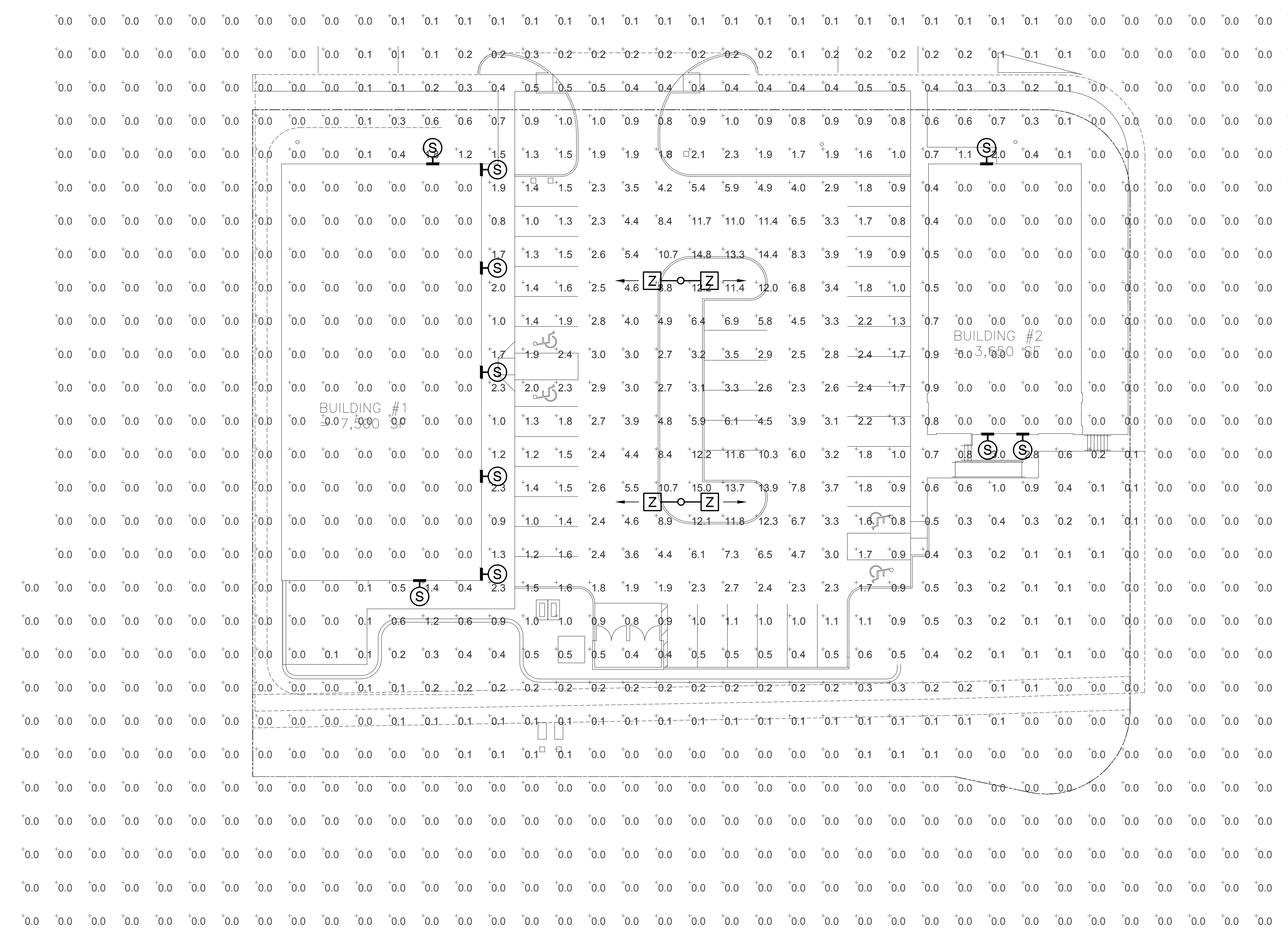
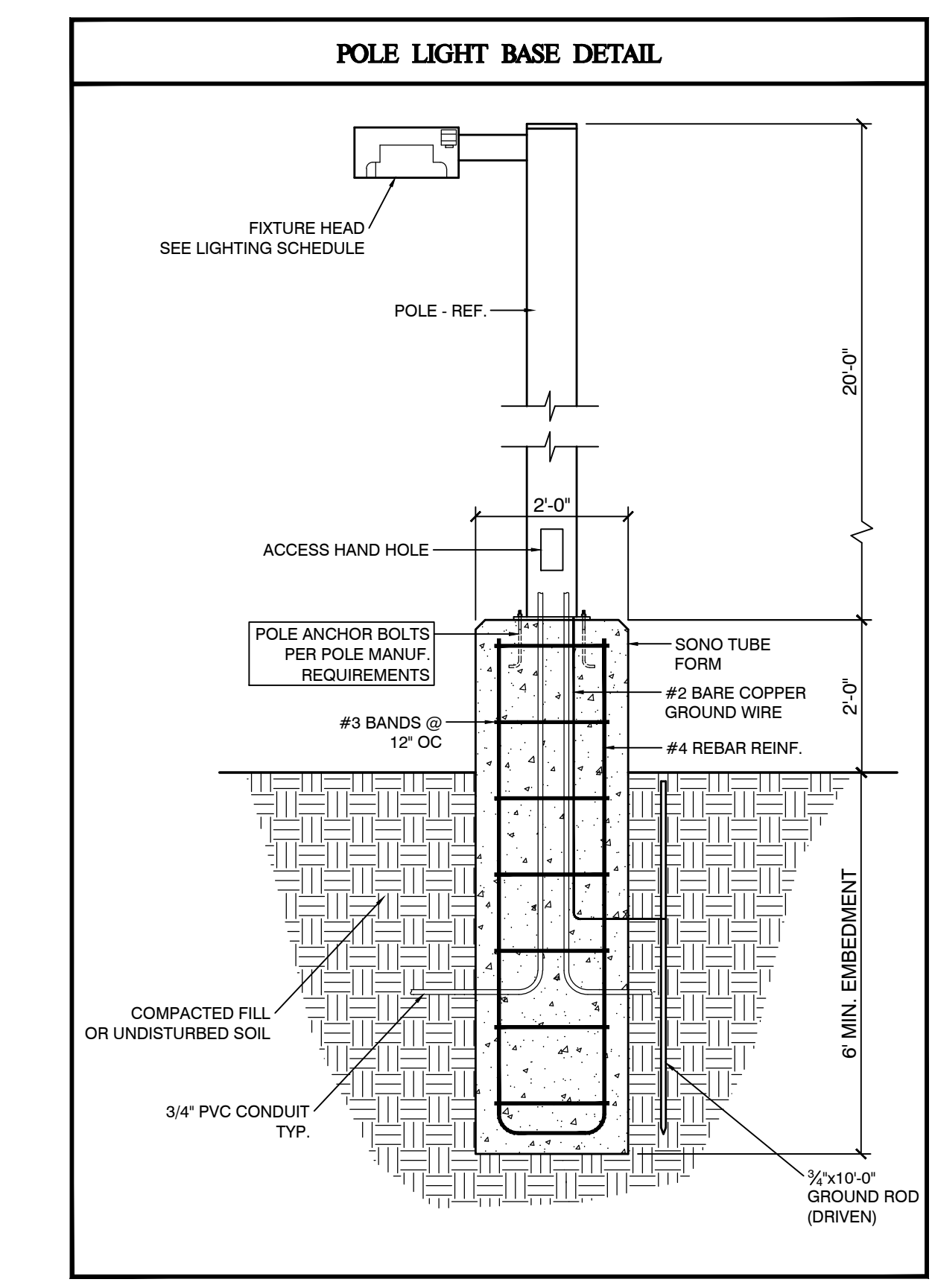
Project No.: 2018010.00  
 Date: 08/20/2021

**Final Erosion Control Plan (SWPPP)**

**C5.02**



LIGHTING FIXTURE SCHEDULE				
TYPE	DESCRIPTION	LAMPS	MANUFACTURER	DETAILS
S	LED WALL SCONCE, 2,800 LUMENS, 4,000K COLOR TEMP, BLACK FINISH, 120V	39W LED INCL	INDESSA 503-2LED17-BLK	MOUNT 7' A.F.G. 10-TOTAL
Z	LED AREA LIGHT, 18,000 LUMENS, 4,000K COLOR TEMP, FORWARD THROW OPTICS, BLACK FINISH, 120V	135W LED INCL	HUBBELL ASL-180-4K7-4W-UNV-ASQU-BLT	MOUNT ON 20', 4" SQUARE POLE 4-TOTAL



**SITE LIGHTING PHOTOMETRIC PLAN**  
SCALE: 1"=20'

**MONTGOMERY ENGINEERING**  
 Electrical and Mechanical Construction Engineers  
 909 N. 10th St.  
 Nashville, TN 37203  
 (615) 252-2028 www.montgomery-engineering.com

**MONTGOMERY ENGINEERING**  
 PROFESSIONAL ENGINEERING  
 STATE OF TENNESSEE  
 REG. NO. 35141

**MJM ARCHITECTS, LLC**  
 2946 SIDDON DR.  
 NASHVILLE, TN 37204  
 www.mjmarch.com

**MJM ARCHITECTS**

**TOLLGATE VILLAGE**  
 THOMPSON STATION, TN

**SCHEMATIC DESIGN**  
 2021-08-17

REV	DATE

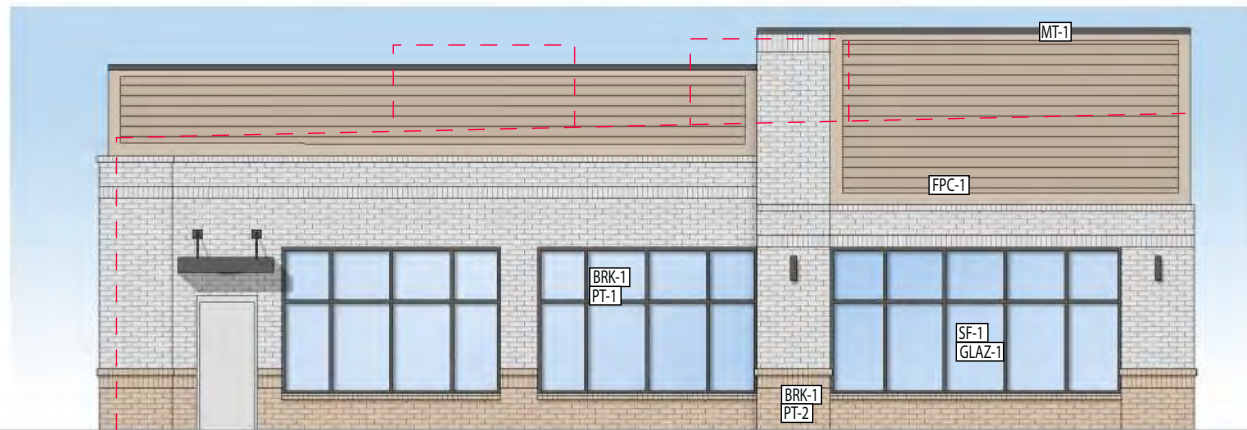
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**SL1.1**  
 1 of 1  
 MJM JOB# 21215

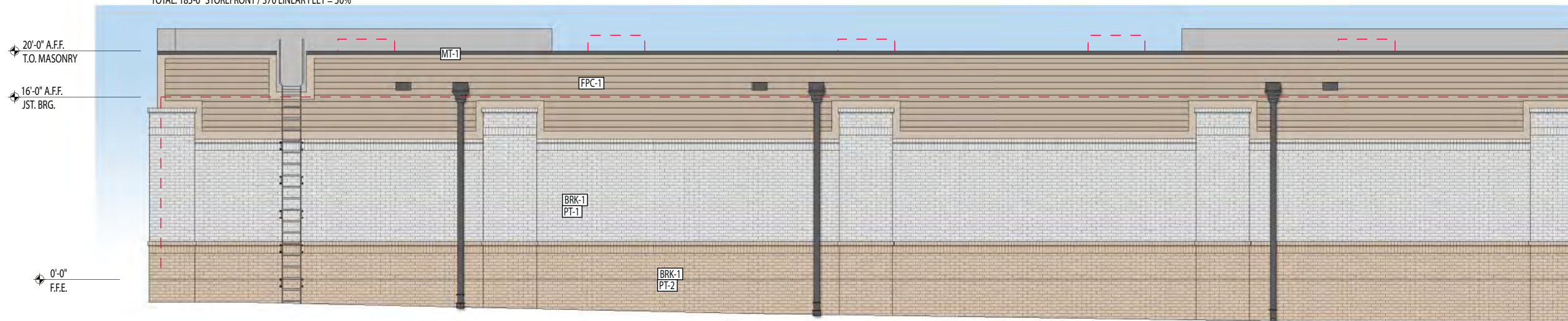
**EXTERIOR MATERIAL LEGEND**

BRK-1	GENERAL SHALE MODULAR BRICK, COLOR: GRAVE STONE VALOUR-(OR-EQUAL)
FPC-1	FIBER CEMENT PANEL, TEXTURE: VINTAGEWOOD, SPRUCE
GLAZ-1	TRANSPARENT GLAZING, 1" INSULATED GLAZING UNIT
MT-1	PAC CLAD (OR SIM) PRE-FINISHED METAL COPING, COLOR: DARK BRONZE
AWN-1	METAL CANOPY, COLOR: DARK BRONZE
SF-1	DARK BRONZE STOREFRONT
PT-1	SW - #6000, COLOR: SNOW FALL
PT-2	PAINT TO MATCH FCP-1

GLAZING PERCENTAGES:  
TOTAL: 185'-0" STOREFRONT / 370 LINEAR FEET = 50%



GLAZING PERCENTAGES:  
TOTAL: 185'-0" STOREFRONT / 370 LINEAR FEET = 50%



#21215  
09-13-21

# Tollgate Village

THOMPSON'S STATION, TN



18'-8" A.F.F.  
T.O. MASONRY

15'-1" A.F.F.  
JST. BRG.

9'-4" A.F.F.  
B.O. CANOPY

8'-8" A.F.F.  
T.O. STOREFRONT

0'-0"  
F.F.E.



13'-4" A.F.F.  
JST. BRG.



18'-8" A.F.F.  
T.O. MASONRY

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EXTERIOR MATERIAL LEGEND	
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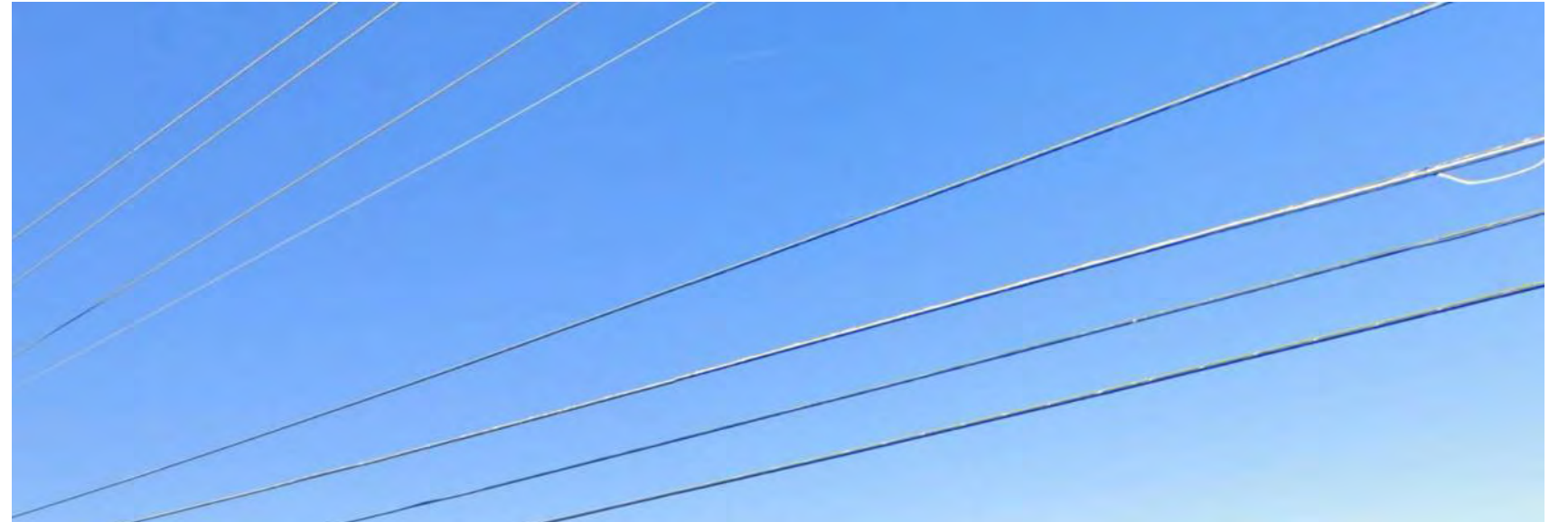
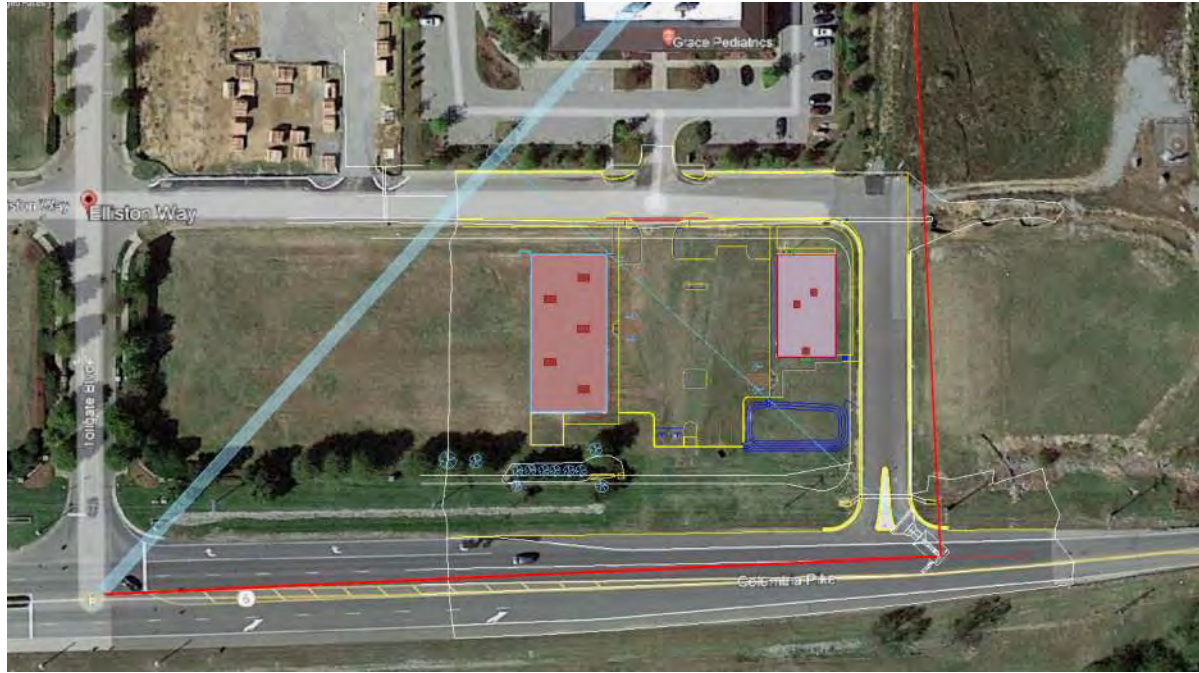
GLAZING PERCENTAGES  
TOTAL: 100'-0" STOREFRONT / 255 LINEAR FEET = 46%

#21215  
09-13-21

# Tollgate Village

THOMPSON'S STATION, TN





#21215  
09-13-21

# Tollgate Village

THOMPSON'S STATION, TN







#21215  
09-13-21

# Tollgate Village

THOMPSON'S STATION, TN

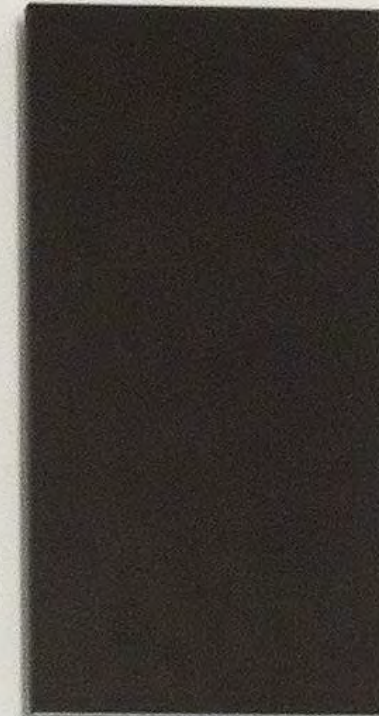




PT-1  
SHERWIN WILLIAMS  
#6000 SNOWFALL



FCP-1  
NICHIHA FIBER CEMENT PANEL  
VINTAGEWOOD SPRUCE



SF-1, AWN-1, MT-1  
STOREFRONT, METAL CONOPY, COPING  
DARK BRONZE



AWN-2  
FABRIC CANOPY  
SUNBRELLA BLACK



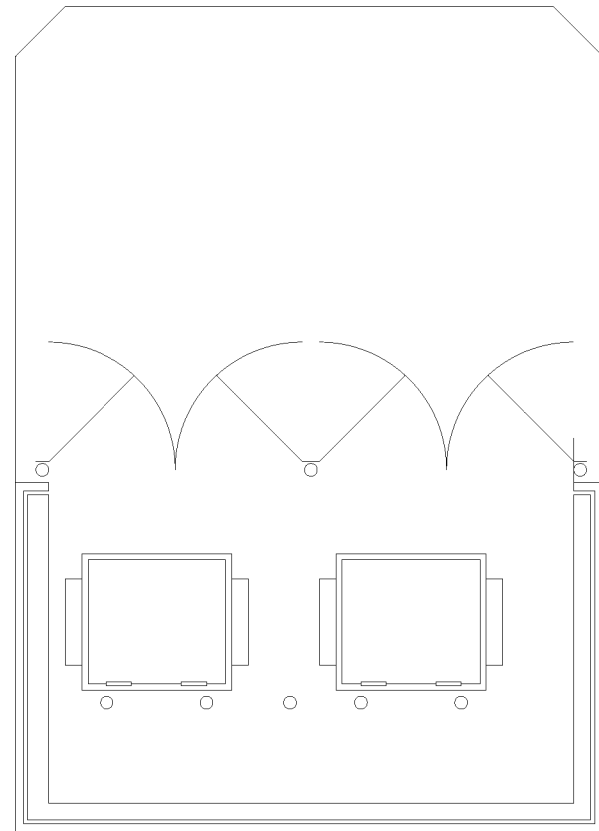
BRK-1  
GENERAL SHALE MODULAR BRICK  
GRAVE STONE VALOUR

#21215  
08-16-21

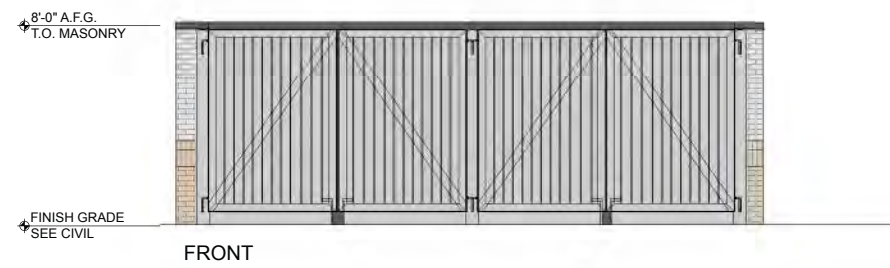
# Tollgate Village

THOMPSON'S STATION, TN

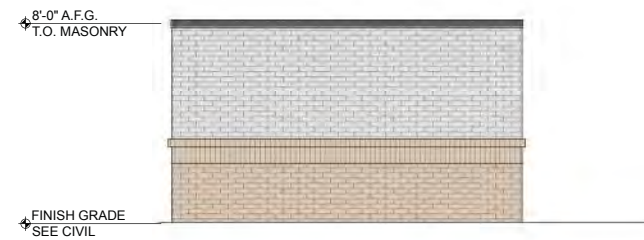




PLAN



FRONT



SIDE

#21215  
08-16-21

# Tollgate Village

THOMPSON'S STATION, TN



**Thompson's Station Design Review Commission**  
**Staff Report- Item 3**  
**September 28, 2021**

**Site Plan for a 17,000 square foot commercial building located at 1109 Elliston Way within the Tollgate Village neighborhood.**

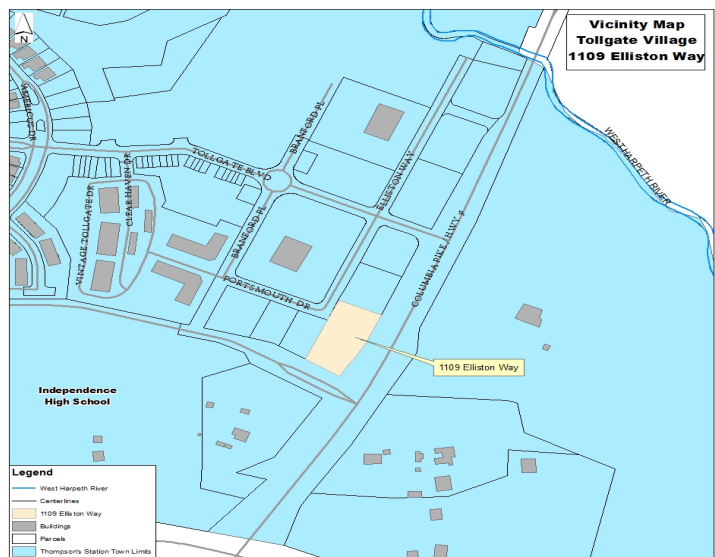
**REQUEST**

The applicant, request site plan approval for the development of a commercial building within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.

**ANALYSIS**

**Project Description**

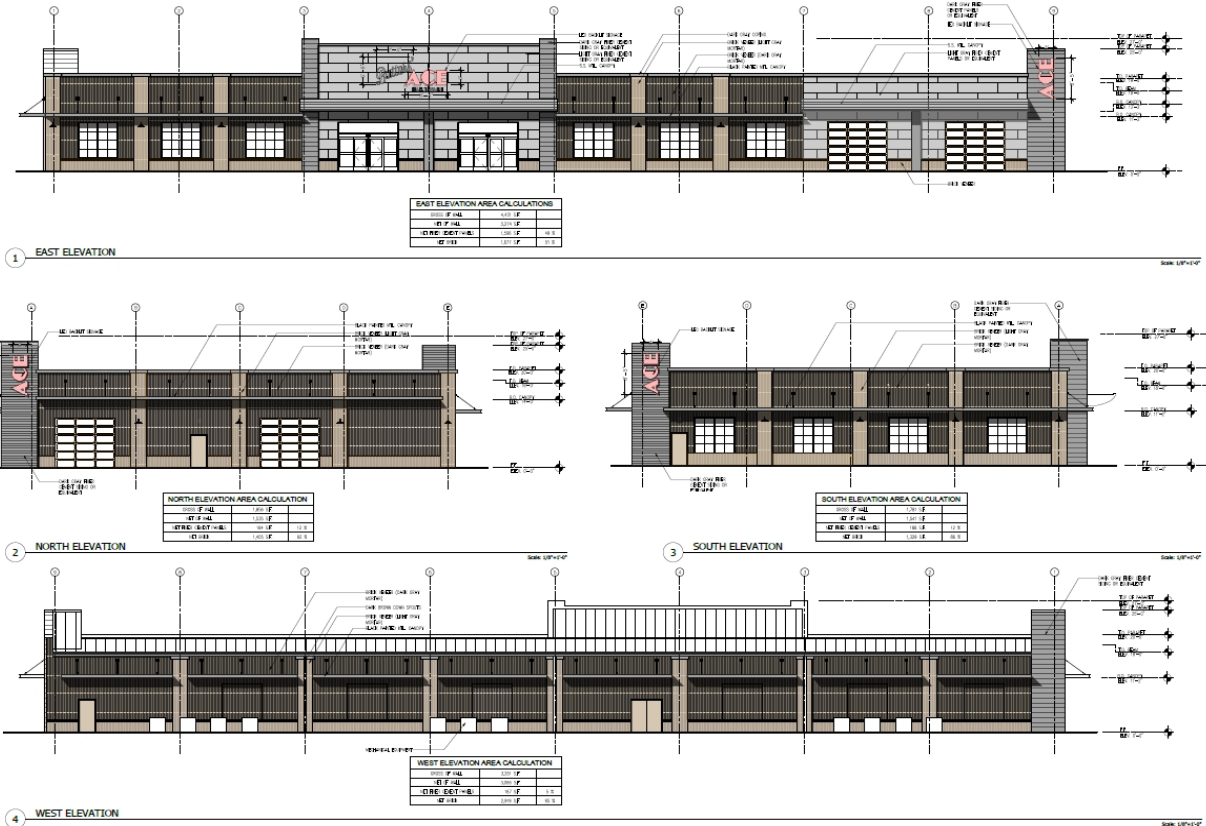
The project site, which consists of one parcel on 1.6 acres, is located along Elliston Way at Portsmouth Drive with additional frontage on both Columbia Pike. The project site is within the undeveloped commercial portion of Tollgate Village, which has been previously graded. As noted, this parcel is bordered by two roadways, creating design challenges for the site with, in effect, multiple front yards. The site will be accessed from Elliston Way. Sewer taps for this site were previously allocated with the final plat approval for this section of Tollgate.



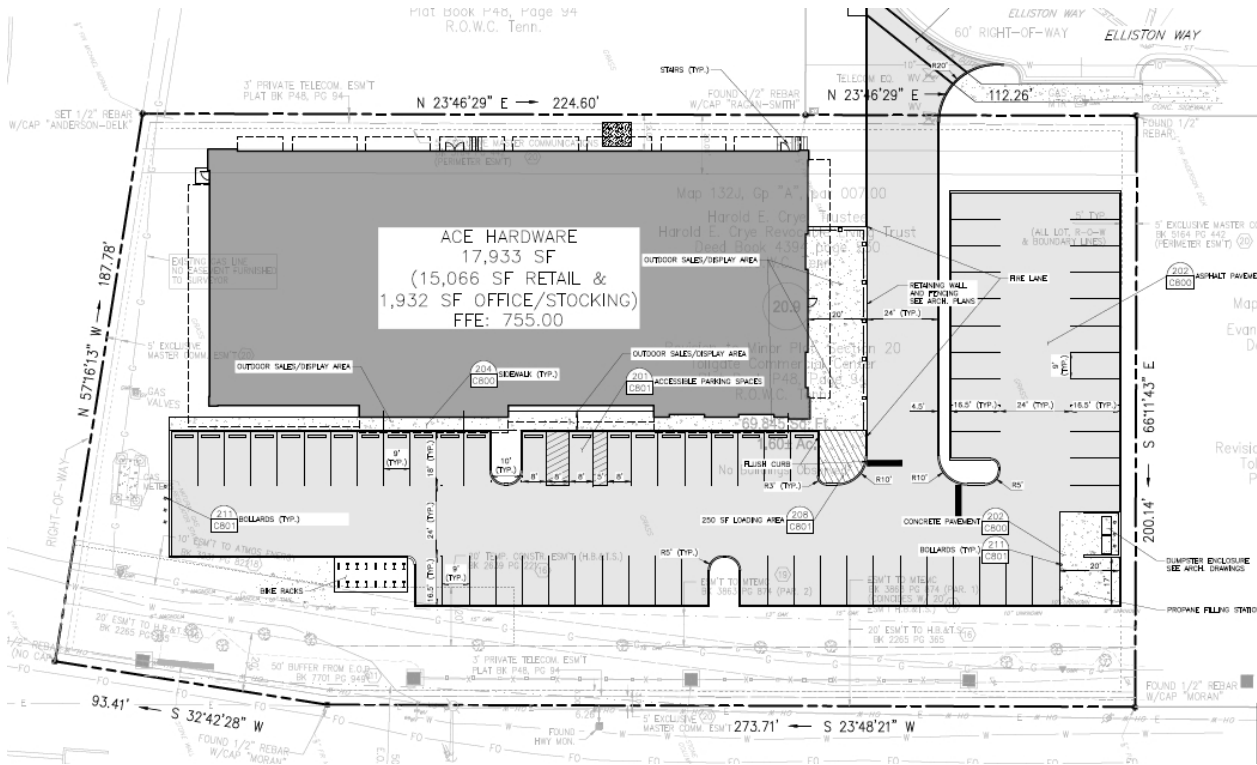
The site is required to meet the minimum requirements of the Land Development Ordinance (LDO) and show general conformity with the Design Guidelines. The site plan and architectural elevations for this development were reviewed by the Design Review Commission (DRC) at their August 31, 2021, meeting. The DRC approved the architectural elevations with the following contingency:

1. The applicant shall provide the glazing requirements per each the elevations and revise the elevations such that the minimum glazing requirements shall be met per the LDO for the NC district.

The proposal consists of a one-story commercial building with a proposed use of an Ace Hardware store consisting of a 17,000 square foot building. The color elevations are shown, on the following page.



17,000 square feet commerical use (Ace Hardware)



Site Plan for 1109 Elliston Way (Ace Hardware)

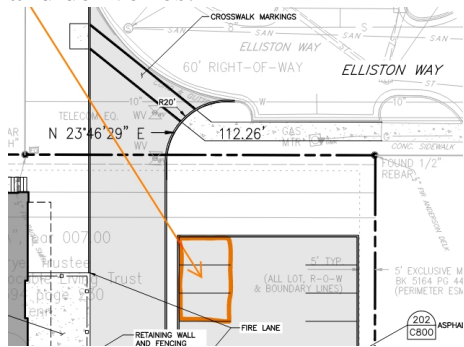
The site and building elevations, as revised by the DRC approval, meet the minimum requirements of the LDO and show general conformity with the Design Guidelines.

Staff is recommending one site design change to allow for better internal access and maneuvering for both patrons and deliveries. With the removal of three parking spaces, which can be made up for with existing on-street parking on Elliston Way and Portsmouth Drive, an interior connection can be established from the parking area at the northern end of the site with the primary access drive. Contingency 1, below, recommends this site design change.

### RECOMMENDATION

Staff recommends the Planning Commission approve the site plan with the following contingencies:

1. Staff recommends that applicant remove the three parking stalls located at the northwestern corner of the parking lot adjacent to the primary access drive for the purpose of connecting the northern parking area to the primary access drive (see diagram, below). The loss of 3 parking stalls can be accounted for by the on-street parking provided on Elliston Way and Portsmouth Drive and this connection will allow for better interior vehicular circulation for both patrons and deliveries.



2. Outdoor sales/display area shall only be allowed per the areas shown on the site plan and per LDO requirements.
3. The landscape material shall be installed, per the approved Landscape Plan, prior to Certificate of Occupancy and the Town shall be provided a copy of the 1-year warranty provided by the landscape installer.

### ATTACHMENTS

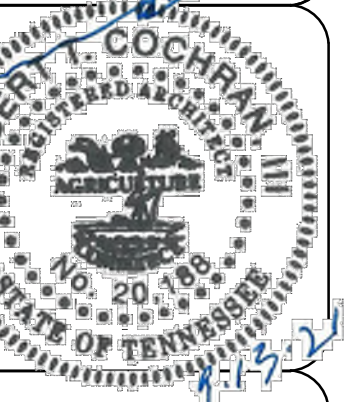
Site Plan submittal

# BUTTERS' ACE HARDWARE

1109 ELLISTON WAY  
THOMPSON'S STATION, TN  
37179

designbuild PARTNERS  
THE ARCHITECTURE PARTNERSHIP, LLC

1121 GLENDALE LANE  
NASHVILLE, TN 37204  
615.275.1133



**BUTTERS' ACE HARDWARE**  
SITE DEVELOPMENT  
1109 ELLISTON WAY  
THOMPSON'S STATION, TN 37179

ISSUED	DATE
ISSUE FOR BID	08/09/21
BID SUBMITTAL	08/16/21
PLANNING COMMISSION RESPONSE	08/20/21
COMMISSION COMMENT RESPONSE	09/13/21

**A-0**  
COVER SHEET

## ABBREVIATIONS

ABBREVIATIONS:	F	FILE	OH	OPPOSITE HAND
&	FA	FIRE ALARM	OPN	OPENING
B	FD	FLOOR DRAIN	OPPF	OPPOSITE
A	FE	FIRE EXTINGUISHER	OZ	OUNCE
AC	FEC	FIRE EXTINGUISHER CABINET	P	PARTNER/PEOPLE
A/C	FHC	FIRE HOSE CABINET	PART	PART
ADM	FIN	FINISH	PCPL	PORTLAND CEMENT PLASTER
ACT	FKT	FIXTURE	PGL	PLATE GLASS
AD	FLR	FLOOR	PBO	PROVIDED BY OWNER
ADJ	FLR	FLOOR	PARALSCAN	PARALLEL
AF	FLR	FLOOR	PL	POUNDS PER LINEAR FOOT
AFT	FLR	FLOOR	PLF	POUNDS PER LINEAR FOOT
ALT	FLR	FLOOR	PLAM	PLASTIC LAMINATE
ALUM	FLR	FLOOR	PLAS	PLASTER
AMP	FR	FRAME	PS	POUNDS PER SQUARE INCH
AND	FR	FRAME	PT	PAINT
ACCESS	FSP	FIRE STANDPIPE	PTD	PAINTED
APRD	FTG	FOOTING	PTC	PAINTING
ARCH	FWC	FABRIC WALL COVERING	PTR	PAPER TOWEL DISPENSER
ARCH	GA	GALVE	PTR	PAPER TOWEL DISPENSER
ASPH	GALV	GALVANIZED	PVC	POLYVINYL CHLORIDE
ASPM	GBLK	GYP	PWD	PLYWOOD
AVB	GC	GENERAL CONTRACTOR	R/A	RETURN AIR
AVG	GF	GROUND FAULT INTERRUPTED	RAD	RADIUS
BB	GD	GRADE	RB	RUBBER BASE
BD	GWB	GYP WALLBOARD	RD	ROOF DRAIN
BLDN	GYP	GYP	RCP	REFLECTED CEILING PLAN
BLOCKING	HB	HOSE BIBB	REF	REFRIGERATOR
BM	HC	HANDICAPPED	REN	REINFORCING/REINFORCED
B.O.	HM	HOLLOW METAL	REQD	REQUIRED
BR	HDW	HARDWARE	RH	RIGHT HAND
BSMT	HW	HARDWOOD	RHHB	RIGHT HAND REVERSE BEVEL
BTM	HRZ	HORIZONTAL	RM	ROOM
BTW	HP	HIGH POINT	RO	ROUGH OPENING
BUR	HPL	HIGH PRESSURE LAMINATE	RUB	RUBBER
BVL	HR	HOUR	SABF	SOUND ATTENUATION FIRE BATT
CAB	HT	HEIGHT	SB	STRAIGHT BASE
C.C.	HTG	HEATING	SC	SEPARATE CIRCUIT/SELF-CLOSING
CER	HVAC	HEATING, VENTILATION, AIR CONDITIONING	SCH	SCHEDULE
CFM	CLG	CLEAR	SEAL	SEALANT
CJ	CMU	CONCRETE MASONRY UNIT	SM	SMALLER
CL	C.O.	CASED OPENING	S	SOUTH/SUPPLY
CLG	COL(S)	COLUMN(S)	SB	STRAIGHT BASE
CMR	COMM	COMMUNICATION	SLC	SOLID CORE
CONC	CONC	CONCRETE	SND	SANITARY NAPKIN DISPOSAL
CONDUIT	COND	CONFERENCE	SNV	SANITARY NAPKIN DISPOSAL
CONF	CONN	CONNECTION(S)	SPEC	SPECIFICATION
CONN	CONSTR	CONSTRUCTION	SQ	SQUARE
CONSTR	CONT	CONTINUOUS	SS	STAINLESS STEEL
COORD	COORD	COORDINATE	STD	STANDARD
CORR	CP	CORROSION PROTECTANT	STL	STEEL
CP	CR	COLD ROLLED	STD	STANDARD
CR	CRS	COURSE(S)	STN	STROBE
CRS	CSD	CASED OPENING	STRUC	STRUCTURAL
CSD	CT	CERAMIC TILE	SUSP	SUSPENDED
CT	CTAI	COOLING TOWER AIR INTAKE	SVC	SERVICE
CTAI	CTR	CENTER	SUB	SUBSTITUTE
CU	CU	CUBIC	SUSP	SUSPENDED
CU	CW	COLD WATER	SYM	SYMMETRICAL
CW	CY	COPY	SYS	SYSTEM

F	FILE	OH	OPPOSITE HAND
FA	FIRE ALARM	OPN	OPENING
FD	FLOOR DRAIN	OPPF	OPPOSITE
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CU	CUBIC	SUSP	SUSPENDED
CU	COLD WATER	SYM	SYMMETRICAL
CW	COPY	SYS	SYSTEM

## GENERAL NOTES

DESIGN BUILD PARTNERS ARE NOT STRUCTURAL ENGINEERS. GC SHALL VERIFY THAT REPLACEMENT OF EXISTING STRUCTURE COMPLES WITH PRESENT DAY REQUIREMENTS WITH AN APPROPRIATELY LICENSED AND QUALIFIED STRUCTURAL ENGINEER.

ALL MATERIALS BEING REMOVED AND NOT RELOCATED UNDER THE NEW CONSTRUCTION, INCLUDING TREES AND SHRUBS, SIGNS, UTILITY STRUCTURES, ETC., SHALL BE FIRST OFFERED TO THE OWNER'S REPRESENTATIVE AND IF NOT ACCEPTED SHALL THEN BE PROPERLY DISPOSED OF BY THE CONTRACTOR.

THE CONTRACTOR SHALL USE WATER SPRINKLING AND OTHER SUITABLE METHODS AS NECESSARY TO CONTROL DUST AND DIRT CAUSED BY THE DEMOLITION WORK.

THE CONTRACTOR SHALL PRESERVE AND PROTECT SURVEY CONTROL POINTS AND SHALL BE RESPONSIBLE FOR REPLACEMENT OF ANY DISTURBED CONTROL POINTS.

NO UTILITY OR STORM SEWER LINES SHALL BE DEMOLISHED UNTIL THE NEW LINES HAVE BEEN INSTALLED AND ARE PLACED INTO OPERATION.

RELOCATION OF EXISTING PLANT MATERIALS SHALL BE COORDINATED WITH THE OWNER AND RELOCATED TO A DESIGNATED AREA ON THE SITE.

CONTRACTOR SHALL NOTIFY ARCHITECT TO CLARIFY ANY QUESTIONS IN THE CONTRACT DOCUMENTS PRIOR TO CONSTRUCTION.

THE CONTRACTOR SHALL INCORPORATE INTO HIS WORK ANY ISOLATION VALVES OR TEMPORARY PLUGS REQUIRED TO CONSTRUCT NEW UTILITY LINES AND DEMOLISH EXISTING UTILITY LINES.

THE CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE MANUAL OF ACCIDENT PREVENTION AND CONSTRUCTION ISSUED BY AGG OF AMERICA, INC. AND THE SAFETY AND HEALTH REGULATIONS OF CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.

THE CONTRACTOR SHALL CALL "TENNESSEE ONE CALL" (1-800-351-1111) 72 HOURS PRIOR TO PROCEEDING WITH ANY EXCAVATION.

IF ANY SPRINGS OR UNDERGROUND STREAMS ARE EXPOSED DURING CONSTRUCTION PERMANENT FRENCH DRAINS MAY BE REQUIRED. THE DRAINS SHALL BE SPECIFIED AND LOCATED DURING CONSTRUCTION AS REQUIRED BY THE CONDITIONS WHICH ARE ENCOUNTERED, AND SHALL BE APPROVED BY THE ENGINEER.

STOCKPILED TOPSOIL OR FILL MATERIAL SHALL BE TREATED SO NO SEDIMENT RUNOFF WILL CONTAMINATE SURROUNDING AREAS OR ENTER NEARBY STREAMS.

ALL WOOD BLOCKING AT ROOF OR IN CONTACT WITH CONCRETE OR CONCRETE BLOCK SHALL BE PRESSURE TREATED.

DO NOT SCALE DRAWINGS. IF DIMENSIONS ARE IN QUESTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE ARCHITECT BEFORE CONTINUING WITH CONSTRUCTION.

THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IMMEDIATELY IF ANY WORK INDICATED IN THE CONTRACT DOCUMENTS CANNOT BE PERFORMED DUE TO THE EXISTING FIELD CONDITIONS.

DIMENSIONS SHOWN ON THE FLOOR PLANS FOR NEW CONSTRUCTION ARE TO FACE OF EXISTING WALLS AND WOOD STUDS, UNLESS OTHERWISE INDICATED.

THE CONTRACTOR SHALL NOT CUT STRUCTURAL WORK IN A MANNER RESULTING IN A REDUCTION OF LOAD CARRYING CAPACITY OR LOAD/DEFLECTION RATIO. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ALL STRUCTURAL CUTS PRIOR TO EXECUTION SO THAT APPROVAL CAN BE OBTAINED FROM THE ARCHITECT.

THESE DRAWINGS HAVE BEEN DEVELOPED FROM FIELD SURFACE MEASUREMENTS WHICH MAY NOT REFLECT ACTUAL FIELD CONDITIONS. THE CONTRACTOR SHALL VERIFY THESE DRAWINGS WITH EXISTING FIELD CONDITIONS AND NOTIFY THE ARCHITECT IMMEDIATELY OF INCONSISTENCIES BETWEEN THESE DRAWINGS AND ACTUAL CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.

THE "GENERAL CONDITIONS" OF THE CONTRACT FOR CONSTRUCTION, AIA DOCUMENT A201, 1997 EDITION, FORM A PART OF THE CONSTRUCTION DOCUMENTS BY REFERENCE AND WILL HAVE THE SAME FORCE AS THE GENERAL CONDITIONS WERE BOUND HEREIN.

BASE INFORMATION WAS TAKEN FROM A SURVEY. DESIGN BUILD PARTNERS, AND ANY OF THEIR CONSULTANTS SHALL NOT BE HELD RESPONSIBLE FOR THE ACCURACY AND/OR COMPLETENESS OF THAT INFORMATION SHOWN HEREON OR ANY ERRORS OR OMISSIONS RESULTING FROM SUCH.

THE CONTRACTOR SHALL VERIFY THE LIMITS OF DEMOLITION WITH THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT OF WORK.

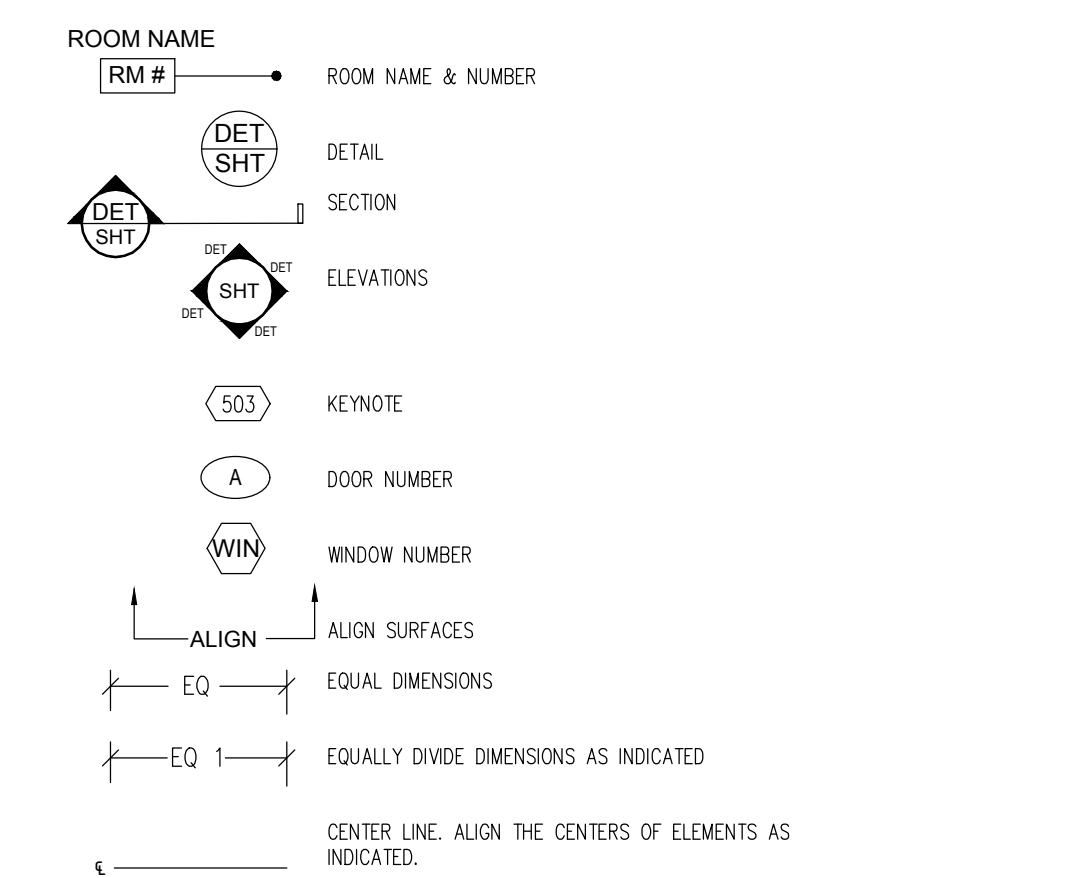
CAVITIES LEFT BY STRUCTURE REMOVAL SHALL BE SUITABLY BACKFILLED AND COMPACTED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS.

THE CONTRACTOR IS RESPONSIBLE FOR ALL DEMOLITION AND REMOVAL NECESSARY TO ACCOMPLISH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.

THE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL CHARTED AND UNCHARTED UTILITIES. TAKE CARE TO PROTECT UTILITIES THAT ARE TO REMAIN. REPAIR ANY DAMAGE ACCORDING TO LOCAL STANDARDS AND AT THE CONTRACTOR'S EXPENSE. COORDINATE ALL CONSTRUCTION WITH THE APPROPRIATE UTILITY COMPANY.

ALL DOORWAYS AND WINDOWS SHALL HAVE DOUBLE STUDS AT THE JAMBS. SIX INCHES FROM THE CENTER OF THE SECOND STUD THERE SHOULD BE ANOTHER STUD. THE SPACING FROM THE 3RD STUD TO THE 4TH WILL VARY TO A MAXIMUM OF THE 16" O.C. REQUIRED STUD SPACING.

## SYMBOLS



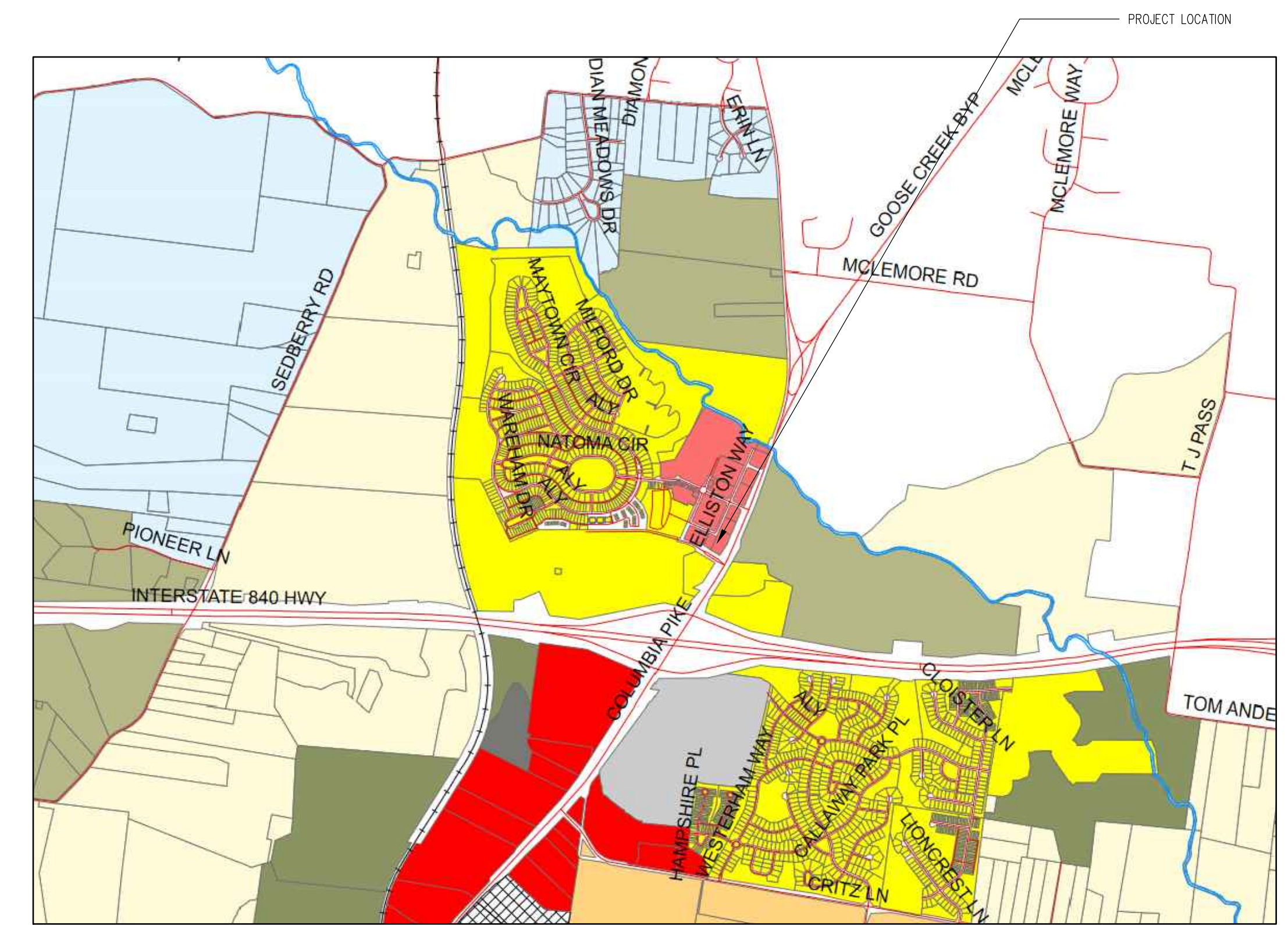
## DRAWING INDEX

A-0	COVER SHEET
CYL DWGS	CIVIL DRAWINGS
C000	COVER SHEET
S001	SURVEY
C200	SITE PLAN
C300	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
C800	SITE DETAILS
C801	SITE DETAILS
C802	SITE DETAILS
C803	SITE DETAILS
C804	SITE DETAILS
C900	INITIAL EPSC PLAN
C901	INTERM EPSC PLAN
C903	EPSC DETAILS
L100	LANDSCAPE PLAN
L101	LANDSCAPE NOTES AND DETAILS

ARCHITECTURAL DWGS:

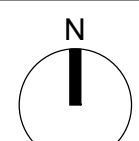
A-0 COVER SHEET  
A-1 COVER SHEET  
A-2 COVER SHEET  
A-3 ELEVATIONS

ELECTRICAL DWGS:  
E-1.00 ELECTRICAL SITE LIGHTING PLAN  
E-3.10 SITE PHOTOMETRIC STUDY  
E-4.10 LIGHTING SPEC



1 LOCATION MAP

N.T.S.



**PROJECT TEAM**

**OWNER**  
**CCAM, LLC**  
 P.O. BOX 27  
 ARRINGTON, TENNESSEE 37014  
 CONTACT: CARL SHORT  
 PHONE: 865-719-6586  
 EMAIL: carlshort@gmail.com

**ARCHITECT**  
**DESIGN BUILD PARTNERS**  
 1121 GLENDALE LANE  
 NASHVILLE, TN 37204  
 CONTACT: JOE KINNEY, AIA  
 PHONE: 615-275-5133  
 EMAIL: JKINNEY@DESIGNBUILDPARTNERS.COM

**CIVIL ENGINEER - LANDSCAPE ARCHITECT - SURVEYOR**  
**CIVIL & ENVIRONMENTAL CONSULTANTS, INC.**  
 117 SEABOARD LANE, SUITE E100  
 FRANKLIN, TN 37067

CONTACT: BERT MORTON, P.E. - PROJECT ENGINEER  
 JAY CAMELI, P.L.A. - PROJECT LANDSCAPE ARCHITECT  
 MIKE STORV, RLS - PROJECT SURVEYOR  
 PHONE: 615-333-7797  
 EMAIL: bmorton@cecinc.com  
 jcamel@cecinc.com  
 mstov@cecinc.com

**CONTRACTOR**  
**DESIGN BUILD PARTNERS**  
 1121 GLENDALE LANE  
 NASHVILLE, TN 37204  
 CONTACT: ROB COCHRAN  
 PHONE: 615-275-5133  
 EMAIL: RCOCCHRAN@DESIGNBUILDPARTNERS.COM

# ACE HARDWARE

## 1109 ELLISTON WAY THOMPSON'S STATION, WILLIAMSON COUNTY, TN SEPTEMBER 2021

ZONING INFORMATION	
SITE ZONING CLASSIFICATION:	NC - NEIGHBORHOOD COMMERCIAL
PARCEL ID	MAP 132J, GRDUP A, Parcel 007.00

ZONING OF ADJACENT PROPERTIES	
NORTH:	NC - NEIGHBORHOOD COMMERCIAL
EAST:	RIGHT-OF-WAY
SOUTH:	RIGHT-OF-WAY
WEST:	NC - NEIGHBORHOOD COMMERCIAL

**ZONING LAND DEVELOPMENT ORDINANCE**  
 Town of Thompson's Station

**TABLE 4.13 NC LOT STANDARDS**

MAIN BUILDING SETBACKS		PARKING AND STORAGE SETBACKS	
A. Primary Frontage	12 ft. max.	H. Primary Frontage	20 ft. min.
B. Secondary Frontage	10 ft. max.	I. Secondary Frontage	20 ft. min.
C. Side Lot Line	0 ft. min.	J. Side Lot Line	0 ft. min.
D. Rear Lot Line	5 ft. min.	K. Rear Lot Line	3 ft. min.

**ACCESSORY BUILDING SETBACKS**

Lot Coverage	See 4.9.5 (b)
Primary Building Frontage	60% min.
Density (units per acre)	12.0
Access Drive Width to setback	24 ft. max.
Lot Width (non-residential)	50 - 200 ft.
Lot Width (residential)	20 ft. min.

**REQUIRED PRIVATE FRONTAGE TYPES (SEE TABLE 4.17 PRIVATE FRONTAGES)**

Primary Frontage	stoop, terrace, common entry, gallery, forecourt, shopfront
Secondary Frontage	stoop, terrace, common entry, gallery, forecourt, shopfront

**ENCROACHMENTS**

Balcony and/or bay window	100% max. up to 6 ft.	Awning or gallery	100% max. or within 2 ft. of curb
Stoop or terrace	100% max. up to 6 ft.	Fireplace	2.5 ft. max.

**MINIMUM GLAZING**

Ground Floor	50%	Light Level	2 ft. max.
Upper Floors	25%	Noise: 12am to 7am	60 dba
		Noise: 7am to 10pm	72 dba
		Noise: 10pm to 12am	65 dba

**BUILDING HEIGHT**

A. Main Building	3 stories
B. Accessory Buildings	N/A

BUILDING USE AREA	BUILDOUT BUILDING AREA GSF	THOMPSON'S STATION LAND DEVELOPMENT ORDINANCE REQUIREMENTS	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
HARDWARE STORE	15,007	5 SPACES PER 1,000 SQUARE FEET	75	67*
TOTAL ACCESSIBLE PARKING	—	PER ADA GUIDELINE FOR 67 PARKING SPACES	3	3
ACCESSIBLE VAN PARKING	—	PER ADA GUIDELINE FOR 67 PARKING SPACES	1	1

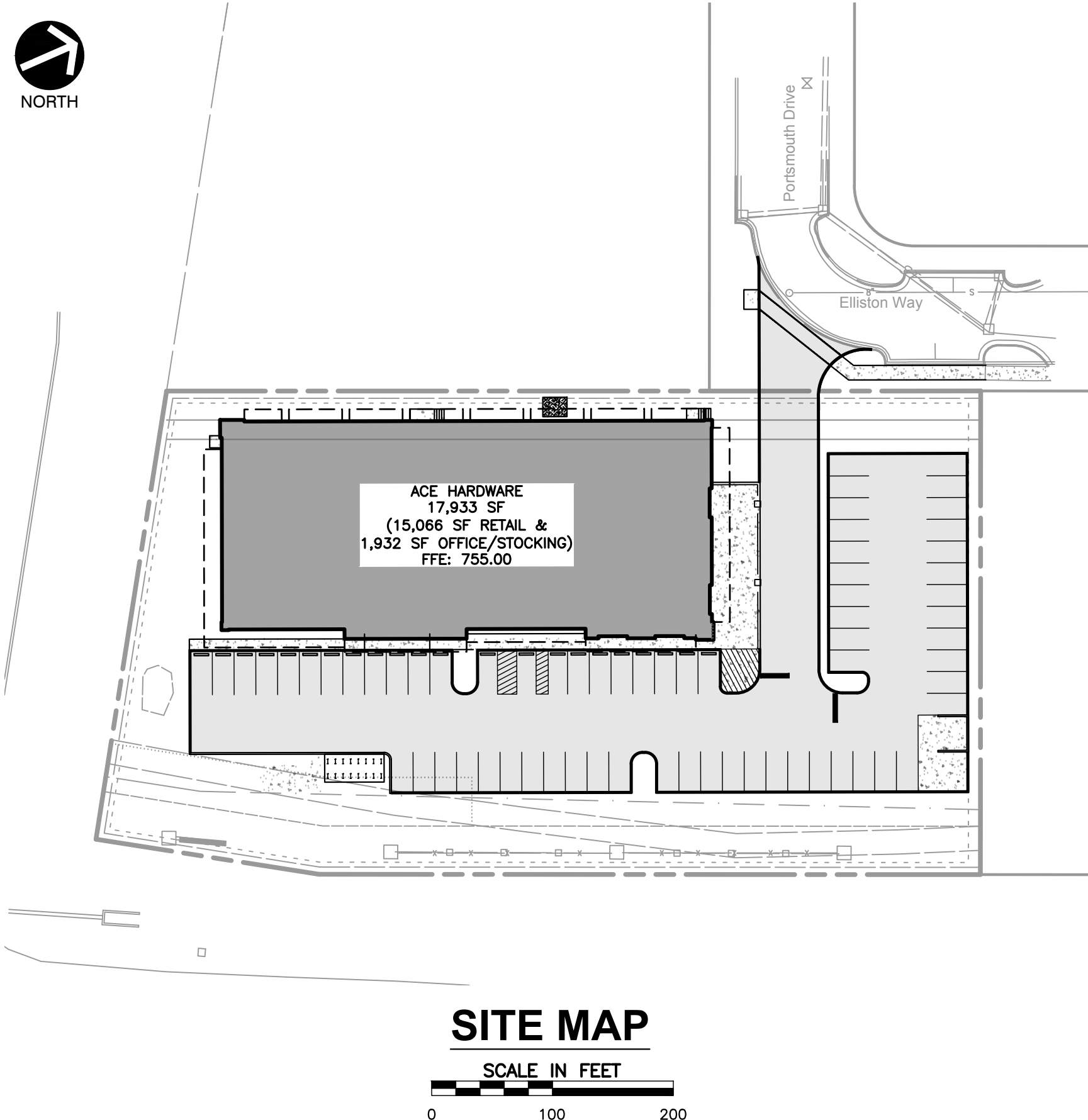
\* 10% (8 SPACES) PARKING REDUCTION ALLOWED BY PROVIDING 32 BICYCLE SPACES (4 BIKE SPACES FOR EACH REMOVED PARKING SPOT)



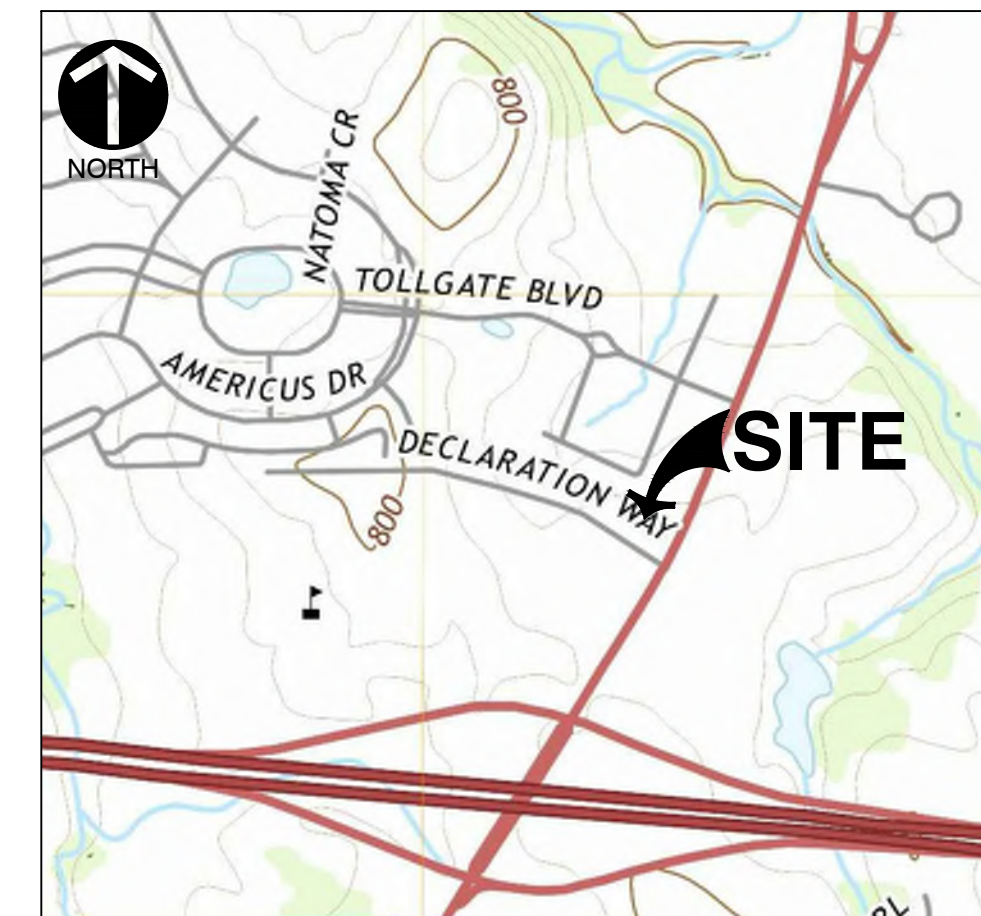
Know what's below.  
 Call before you dig.

**NOTE TO CONTRACTOR**

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE DESIGNER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.



Sheet List Table	
Sheet Number	Sheet Title
C000	COVER SHEET
ALTA	ALTA NSPS LAND TITLE SURVEY
C200	SITE PLAN
C300	GRADING AND DRAINAGE PLAN
C500	UTILITY PLAN
C800	SITE DETAILS
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**U.S.G.S. MAP**  
 U.S.G.S. 7.5 MIN. TOPOGRAPHIC MAP, SPRING HILL QUADRANGLE, TN, DATED: 2019  
 SCALE IN FEET



**VICINITY MAP**  
 BASE IMAGE FROM CNES  
 ACCESSED AUGUST 2021  
 SCALE IN FEET

**GENERAL NOTES**

- CONTRACTOR SHALL BE RESPONSIBLE FOR RAZING AND REMOVAL OF ANY EXISTING STRUCTURES, RELATED UTILITIES, PAVING, AND ANY OTHER EXISTING IMPROVEMENTS AS NOTED.
- CONTRACTOR IS TO REMOVE AND DISPOSE OF ALL DEBRIS, RUBBISH AND OTHER MATERIALS RESULTING FROM PREVIOUS AND CURRENT DEMOLITION OPERATIONS. DISPOSAL WILL BE IN ACCORDANCE WITH ALL LOCAL, STATE AND/OR FEDERAL REGULATIONS GOVERNING SUCH OPERATIONS.
- THE GENERAL CONTRACTOR WILL BE HELD SOLELY RESPONSIBLE FOR AND SHALL TAKE ALL PRECAUTIONS NECESSARY TO AVOID PROPERTY DAMAGE TO ADJACENT PROPERTIES DURING THE CONSTRUCTION PHASES OF THIS PROJECT.
- WARRANTY/DISCLAIMER: THE DESIGNS REPRESENTED IN THESE PLANS ARE IN ACCORDANCE WITH ESTABLISHED PRACTICES OF CIVIL ENGINEERING AND LANDSCAPE ARCHITECTURE FOR THE DESIGN FUNCTIONS AND USES INTENDED BY THE OWNER AT THIS TIME. HOWEVER, NEITHER THE ENGINEER, LANDSCAPE ARCHITECT, NOR ITS PERSONNEL CAN OR DO WARRANT THESE DESIGNS OR PLANS AS CONSTRUCTED EXCEPT IN THE SPECIFIC CASES WHERE THE ENGINEER OR LANDSCAPE ARCHITECT INSPECTS AND CONTROLS THE PHYSICAL CONSTRUCTION ON A CONTEMPORARY BASIS AT THE SITE.
- SAFETY NOTICE TO CONTRACTOR: IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. ANY CONSTRUCTION OBSERVATION BY THE ENGINEER OR LANDSCAPE ARCHITECT OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON OR NEAR THE CONSTRUCTION SITE.
- ALL SITE WORK FOR THIS PROJECT SHALL MEET OR EXCEED THE SPECIFICATIONS OF THE RELEVANT UTILITY COMPANY OR REGULATORY AUTHORITY, AND THE SPECIFICATIONS FOR THE CONSTRUCTION OF THE EXISTING IMPROVEMENTS WHICH ARE BEING ALTERED OR REPLACED. CONTRACTOR SHALL CONTACT THE ENGINEER AND/OR LANDSCAPE ARCHITECT FOR SPECIFICATION SECTIONS FOR ITEMS SUCH AS LANDSCAPING AND IRRIGATION THAT ARE AFFECTED BY THE WORK BUT NOT COMPLETELY DETAILED OR SPECIFIED ON THESE PLANS.

**BASIS OR BEARINGS**

BEARINGS ARE BASED ON TENNESSEE STATE PLANE COORDINATE SYSTEM (NAD83).

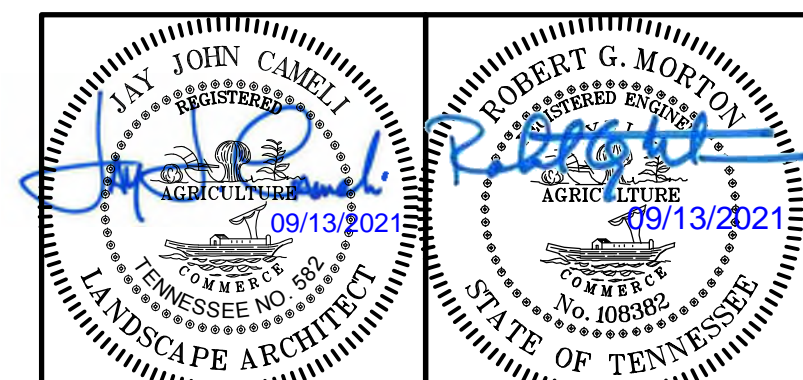
**FLOODING**

NO PORTION OF THIS PROPERTY IS LOCATED WITHIN A FLOODPLAIN, PER THE FEMA FLOOD INSURANCE RATE MAP NO. 47187C0335F EFFECTIVE DATE SEPTEMBER 29, 2006.

**UTILITY NOTE**

AVAILABLE PLANS AND OBSERVED EVIDENCE WAS USED TO DEVELOP A VIEW OF THE UNDERGROUND UTILITIES. THE EXACT LOCATION OF UNDERGROUND FEATURES CANNOT BE ACCURATELY, COMPLETELY AND RELIABLY DEPICTED. UTILITIES MAY EXIST THAT ARE NOT SHOWN.

**PRELIMINARY  
 NOT FOR CONSTRUCTION**



REVISION RECORD

**Civil & Environmental Consultants, Inc.**  
 117 Seaboard Lane - Suite E-100 - Franklin, TN 37067  
 615-333-7797 - 800-763-2326  
 www.cecinc.com

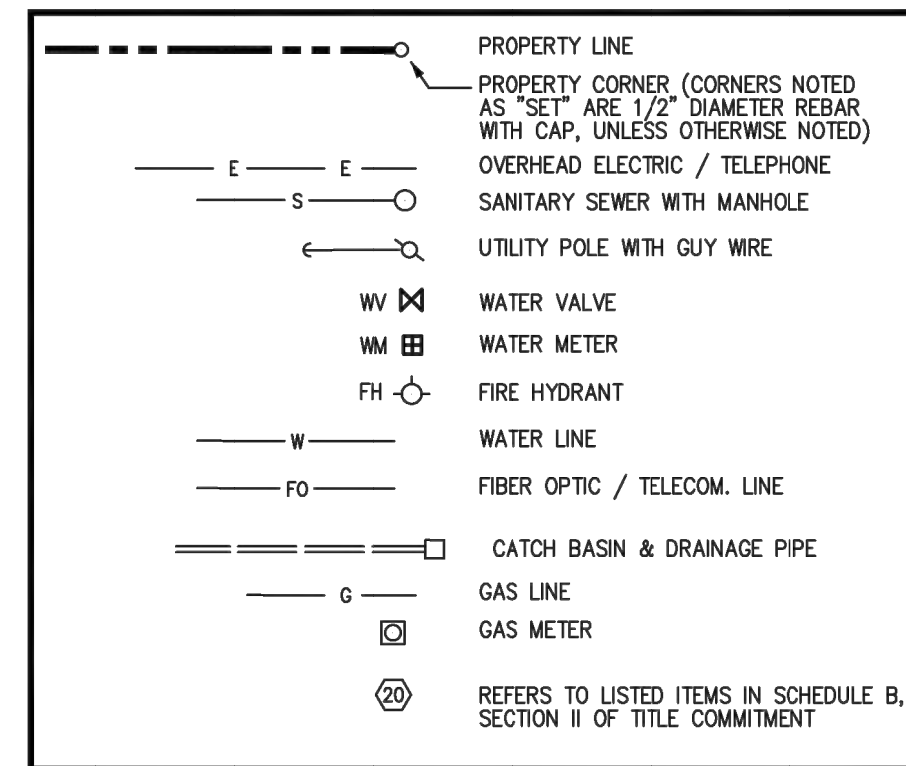
**ACE HARDWARE  
 1109 ELLISTON WAY  
 THOMPSON'S STATION  
 WILLIAMSON COUNTY, TENNESSEE**

COVER SHEET

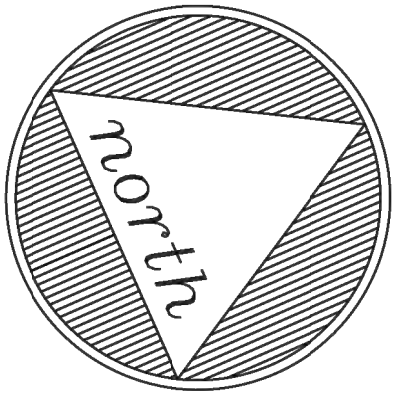
DATE: SEPTEMBER 2021  
 DRAWN BY: ZAC  
 AS SHOWN / CHECKED BY: JMK  
 PROJECT NO: 313-132  
 APPROVED BY: RGM

DRAWING NO. **C000**  
 SHEET OF

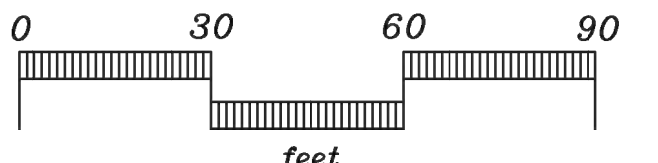




Legend



Bearings based on Tennessee Coordinate System of 1983, per previous survey of subject property by Michael C. Moran, Tennessee R.L.S. No. 970, of record in Plat Book P48, page 94, R.O.W.C. Tenn.



**General Notes:**

- Property Map 132J, Group "A" parcel 007.00  
4th Civil District, Williamson County, Tennessee
- Plat Reference: Lot 20.9  
Revision to Minor Plat, Lot 20  
Tollgate Commercial Center  
Plat Book P48, page 94  
Register's Office Williamson County, Tennessee
- Deed Reference: Harold E. Crye, Trustee  
Harold E. Crye Revocable Living Trust  
Deed Book 4394, page 230  
Register's Office Williamson County, Tennessee
- This survey was prepared based on a Title Commitment by Stewart Title Guaranty Company, File No. 02-NSH21-01250, dated February 12, 2021. Surveyor has performed no independent title work in conjunction with this survey.
- Property contains 69,845 Square Feet or 1.60 Acres, more or less.
- By graphic plotting only, property lies entirely within Zone "X" (not a special flood hazard area) per F.E.M.A. Map No. 47187C0335F, effective date September 29, 2006.
- Locations of underground utilities are based on field locations of above-ground structures and field markings pursuant to a utility locate request. Actual locations of underground structures may vary from the locations shown hereon. Additional buried utilities and/or structures may exist.
- Surveyor makes no statement regarding rights of access to U.S. Highway 31 or Declaration Way.

**Certification**

To Carl Short, Meagan Short, Stewart Title Guaranty Company, and Realty Title & Escrow Company, Inc.:

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 8, 11, 13, and 14, of Table A thereof. The fieldwork was completed on March 18, 2021.

Date: April 1, 2021

Mark E. Lowrance  
Registered Land Surveyor  
Tennessee No. 1660

**ALTA / NSPS LAND TITLE SURVEY**  
**Lot 20.9, Tollgate Commercial Center**  
**Harold E. Crye, Tr. Property**

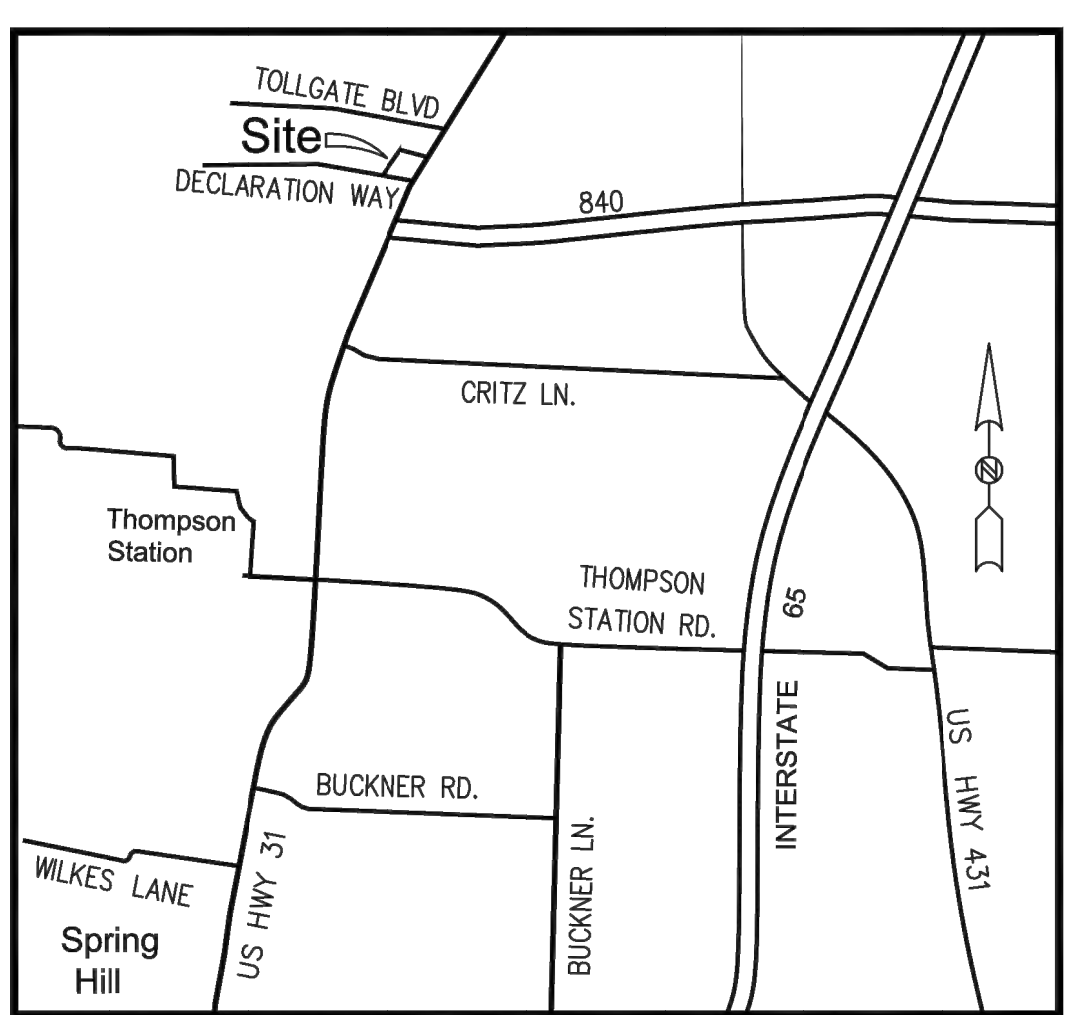
1109 Elliston Way  
Thompson's Station, TN 37179

Property Map 132J-A-007.00  
Williamson County, Tennessee

Based on a Title Commitment Prepared by  
Stewart Title Guaranty Company  
File No: 02-NSH21-01250  
Dated February 12, 2021

Prepared for  
**Harold E. Crye**  
Date: April 1, 2021 Scale: 1" = 30'

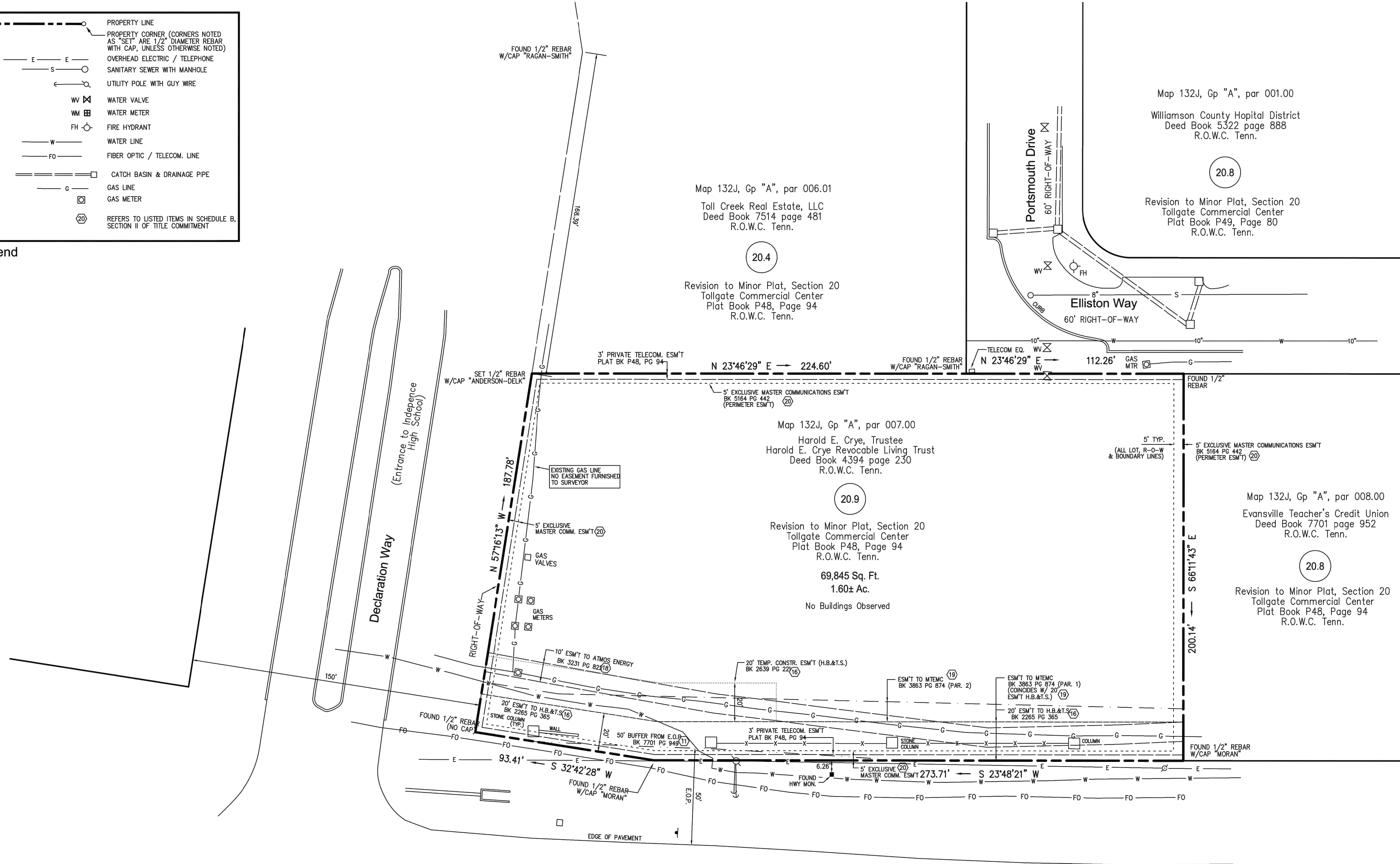
**Anderson, Delk, Epps & Associates, Inc.**  
618 Grassmere Park Drive, Suite 4  
Nashville, Tennessee 37211  
(615) 331-0809



VICINITY MAP not to scale

**Notes regarding numbered items appearing in Schedule B, Part II of the Title Commitment**

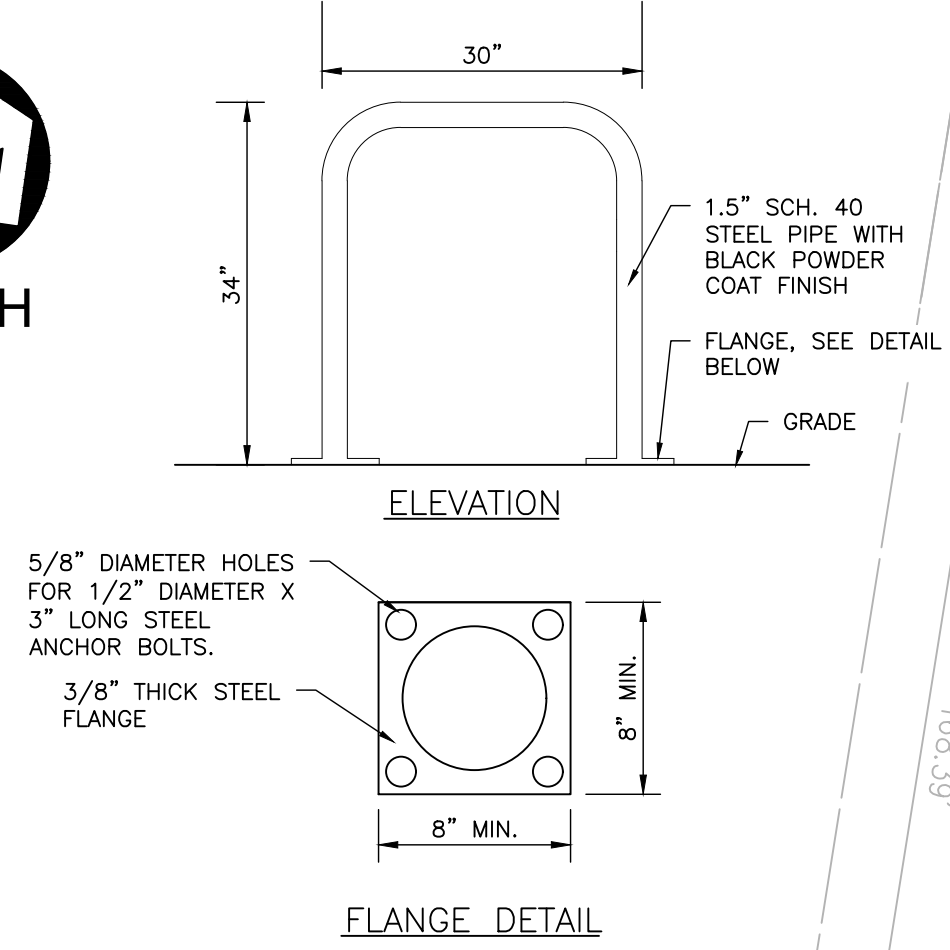
- |          |   |          |  |
|----------|---|----------|--|
| 1 - 8:   | Items 1 through 8 are not survey matters.   | 23:      | The drainage easement of record in Book 123, page 142 does not lie on the surveyed property.   |
| 9:       | No documentation regarding mineral rights furnished to surveyor.  | 24:      | Communications easement of record in Book 2285, page 205 does not lie on surveyed property.  |
| 10:      | All such plat matters are note and/or plotted hereon.   | 25:      | Plat of record in Plat Book P42, page 124 does not include the surveyed property.  |
| 11:      | Instrument of record in Deed Book 7701, page 94 specifies a 50' buffer from the edge of pavement of Hwy 31, as plotted hereon.  | 26:      | Easement of record in Book 4348, page 174 does not lie on the surveyed property.   |
| 12 - 15: | Referenced Instruments do not contain any plottable items.  | 27 - 30: | No part of the surveyed property lies within the ordinary low water mark of the Harpeth River. (See general note #6 for regulatory flood information.) |
| 16:      | Easement of record in Book 2265 pg 365 affects the property and is plotted hereon. Temporary Easement of record in Book 2639 pg 221 is plotted hereon.  |          |  |
| 17:      | Not a survey matter.  |          |  |
| 18:      | Easement of record in Book 3231 pg 822 affects the property and is plotted hereon. Easement of record in Book 3807 pg 256 does not lie on the surveyed property.  |          |  |
| 19:      | Easement of record in Book 3863 pg 874 affects the property and is plotted hereon. Easement of record in Book 4549 pg 317 is a "blanket easement" and is not plottable. Easement of record in Book 5537 pg 507 does not lie on the surveyed property. |          |  |
| 20:      | Instrument of record in Book 5164 pg 442 specifies a 5' exclusive easement adjacent to all perimeter right-of-way, property, and lot lines, as shown hereon.  |          |  |
| 21:      | The easements described in the listed instruments do not lie on the surveyed property.  |          |  |
| 22:      | The easement described Book 179 page 57 does not lie on the surveyed property.  |          |  |



U.S. Highway 31 / Columbia Pike  
RIGHT-OF-WAY WIDTH VARIES



NORTH



- NOTES:
1. PRE-DRILLED STEEL FLANGE SHALL BE WELDED TO THE BOTTOM OF EACH LEG BEFORE THE FINAL FINISH IS APPLIED.
  2. EACH BOLT TO BE POWDER COATED OR PAINTED TO MATCH BIKE RACK FINISH.

**BIKE RACK DETAIL**

N.T.S.

Map 132J, Gp "A", par 006.01

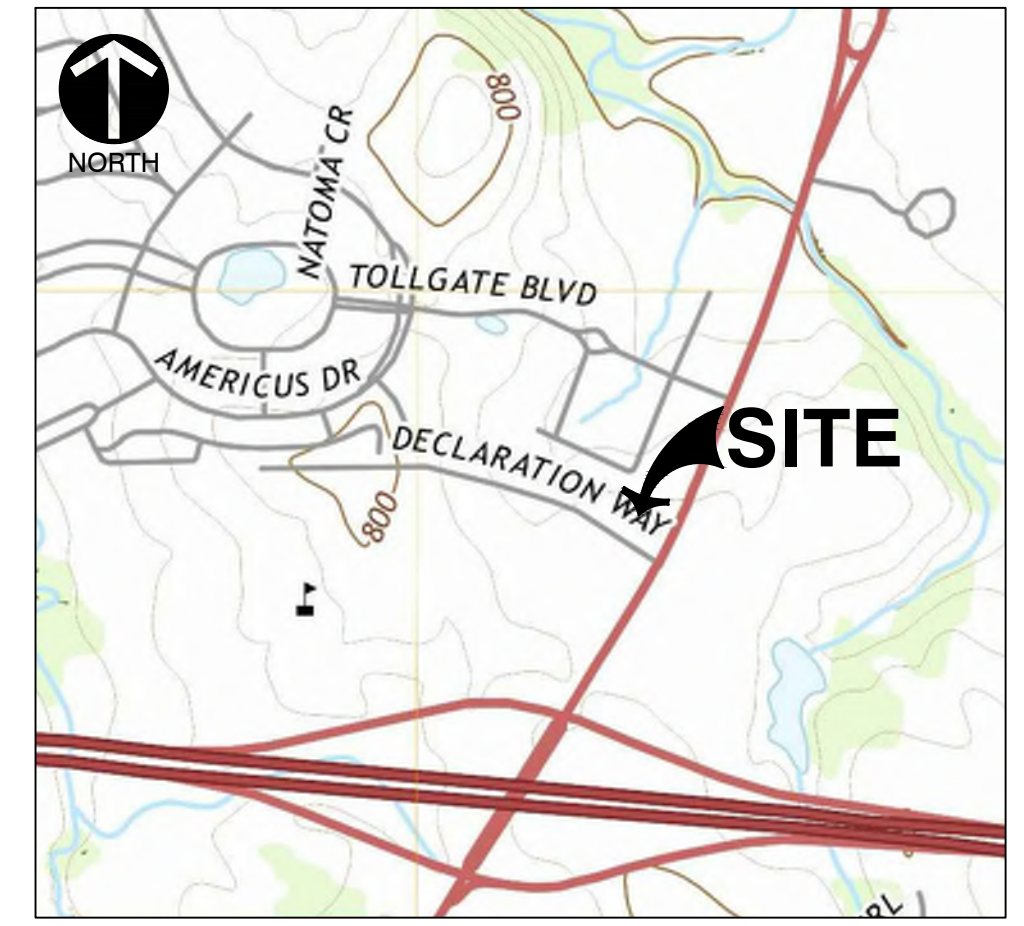
Toll Creek Real Estate, LLC  
Deed Book 7514 page 481  
R.O.W.C. Tenn.

Revision to Minor Plat, Section 20  
Tollgate Commercial Center  
Plat Book P48, Page 94  
R.O.W.C. Tenn.

Map 132J, Gp "A", par 001.C

Williamson County Hospital Dist  
Deed Book 5322 page 888  
R.O.W.C. Tenn.

Revision to Minor Plat, Section  
Tollgate Commercial Center  
Plat Book P48, Page 80  
R.O.W.C. Tenn.



**U.S.G.S. MAP**

U.S.G.S. 7.5 MIN. TOPOGRAPHIC MAP,  
SPRING HILL QUADRANGLE, TN, DATED: 2019  
SCALE IN FEET



**ZONING INFORMATION**

SITE ZONING CLASSIFICATION:	NC - NEIGHBORHOOD COMMERCIAL
PARCEL ID	MAP 132J, GROUP A, Parcel 007.00

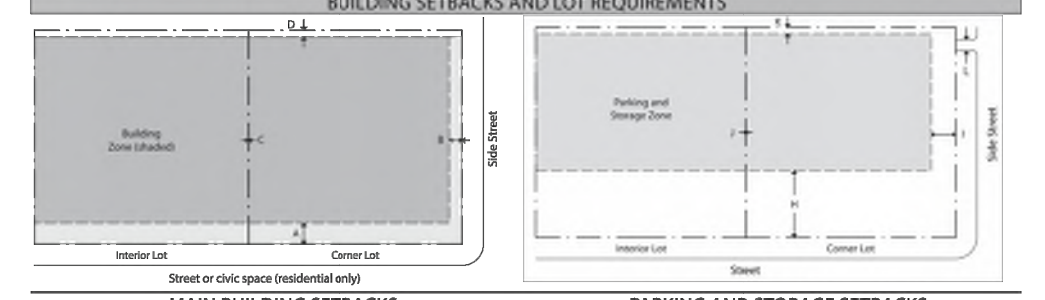
**ZONING OF ADJACENT PROPERTIES**

NORTH:	NC - NEIGHBORHOOD COMMERCIAL
EAST:	RIGHT-OF-WAY
SOUTH:	RIGHT-OF-WAY
WEST:	NC - NEIGHBORHOOD COMMERCIAL

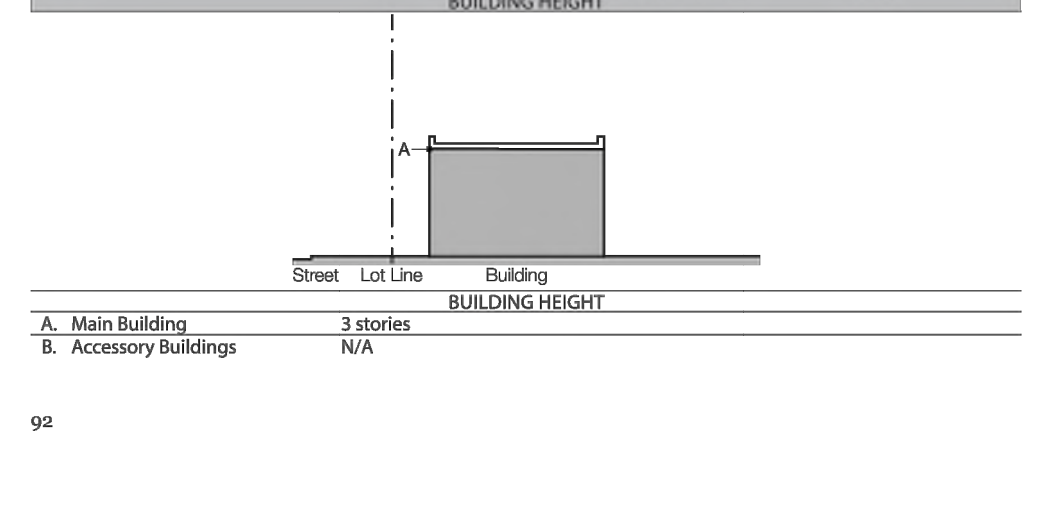
**ZONING LAND DEVELOPMENT ORDINANCE**

Town of Thompson's Station

**TABLE 4-14 NC LOT STANDARDS**



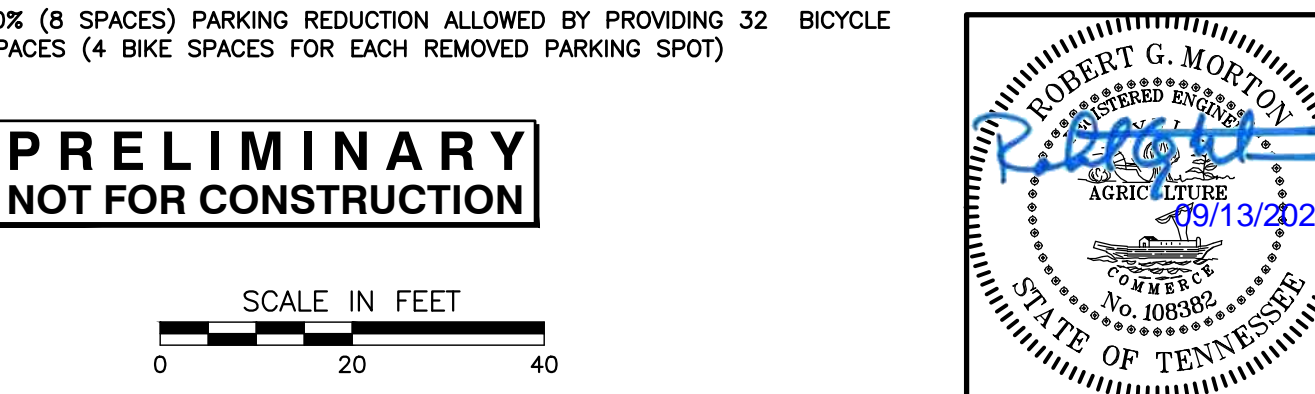
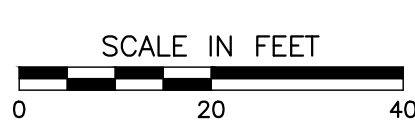
<b>MAIN BUILDING SETBACKS</b>		<b>PARKING AND STORAGE SETBACKS</b>	
A. Primary Frontage	12 ft. max.	H. Primary Frontage	20 ft. min.
B. Secondary Frontage	10 ft. max.	I. Secondary Frontage	20 ft. min.
C. Side Lot Line	0 ft. min.	J. Side Lot Line	0 ft. min.
D. Rear Lot Line	5 ft. min.	K. Rear Lot Line	3 ft. min.
<b>ACCESSORY BUILDING SETBACKS</b>		<b>LOT REQUIREMENTS</b>	
Accessory buildings are subject to the setback standards of principle buildings.		Lot Coverage	See 4.9.5 (b)
		Primary Building Frontage	60% min.
		Density (units per acre)	12.0
		Access Drive Width to setback	24 ft. max.
		Lot Width (non-residential)	50 - 200 ft.
		Lot Width (residential)	20 ft. min.
<b>REQUIRED PRIVATE FRONTAGE TYPES (SEE TABLE 4.17 PRIVATE FRONTAGES)</b>		<b>MINIMUM GLAZING</b>	
Primary Frontage	stoop, terrace, common entry, gallery, forecourt, shopfront	Ground Floor	50%
Secondary Frontage	stoop, terrace, common entry, gallery, forecourt, shopfront	Upper Floors	25%
Balcony and/or bay window	100% max. up to 6 ft.	<b>AMBIENT STANDARDS</b>	
Stoop or terrace	100% max. up to 8 ft.	Light Level	2 fc. max.
Finialace	2.5 ft. max.	Noise: 12am to 7am	60 dbA
		Noise: 7am to 10pm	75 dbA
		Noise: 10pm to 12am	65 dbA



BUILDING USE AREA	BUILDOUT BUILDING AREA, GSF	THOMPSON'S STATION LAND DEVELOPMENT ORDINANCE REQUIREMENTS	PARKING SPACES REQUIRED	PARKING SPACES PROVIDED
HARDWARE STORE	15,007	5 SPACES PER 1,000 SQUARE FEET	75	67*
TOTAL ACCESSIBLE PARKING	—	PER ADA GUIDELINE FOR 67 PARKING SPACES	3	3
ACCESSIBLE VAN PARKING	—	PER ADA GUIDELINE FOR 67 PARKING SPACES	1	1

\* 10% (8 SPACES) PARKING REDUCTION ALLOWED BY PROVIDING 32 BICYCLE SPACES (4 BIKE SPACES FOR EACH REMOVED PARKING SPOT)

**PRELIMINARY  
NOT FOR CONSTRUCTION**



NO.	DATE	REVISION RECORD DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
117 Seaboard Lane · Suite E-100 · Franklin, TN 37067  
615-333-7797 · 800-763-2326  
www.cecinc.com

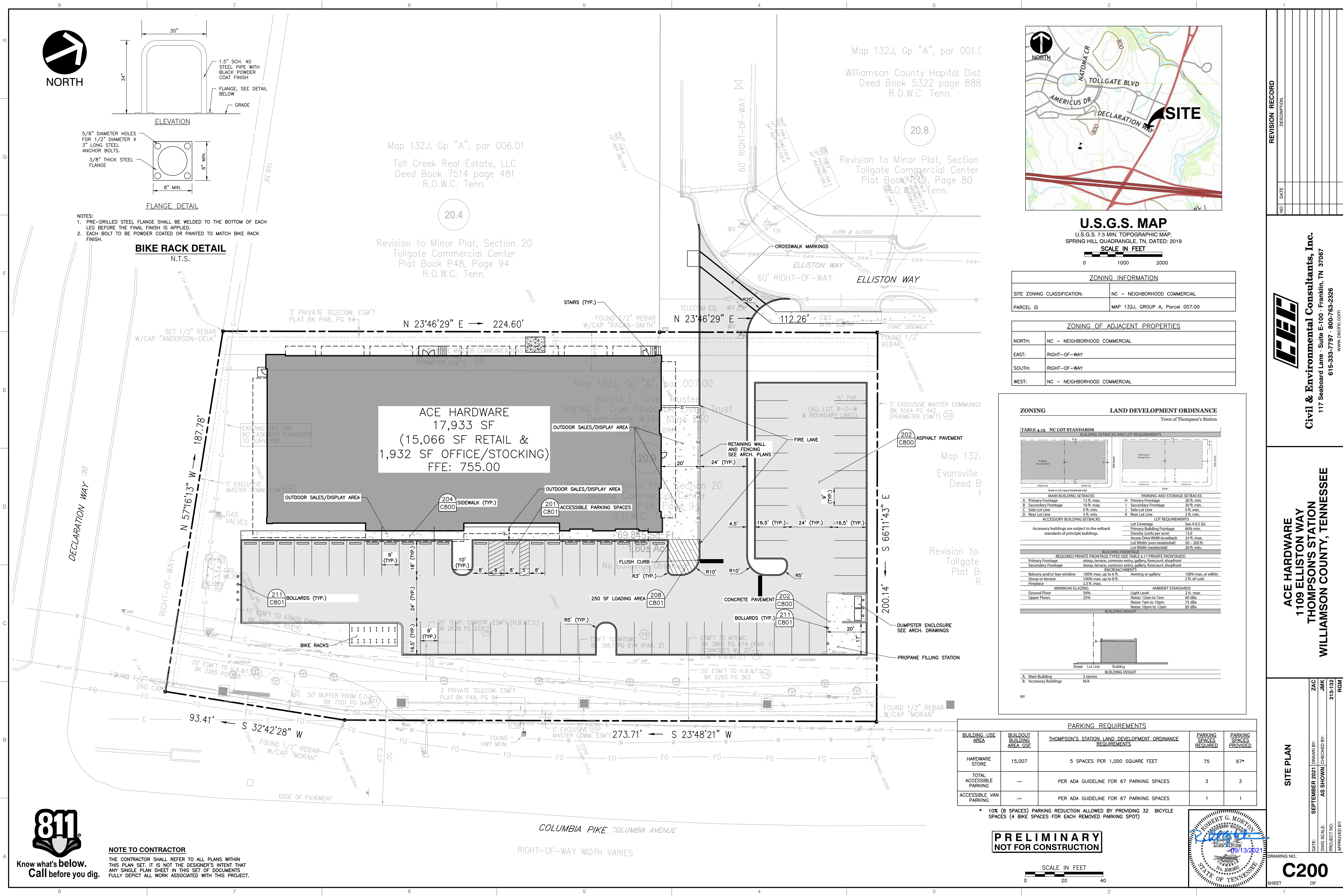
**ACE HARDWARE**  
1109 ELLISTON WAY  
THOMPSON'S STATION  
WILLIAMSON COUNTY, TENNESSEE

<b>SITE PLAN</b>	DRAWN BY: ZAC	DATE: SEPTEMBER 2021
	CHECKED BY: JMK	DATE: AS SHOWN
	PROJECT NO: 313-132	APPROVED BY: RGM



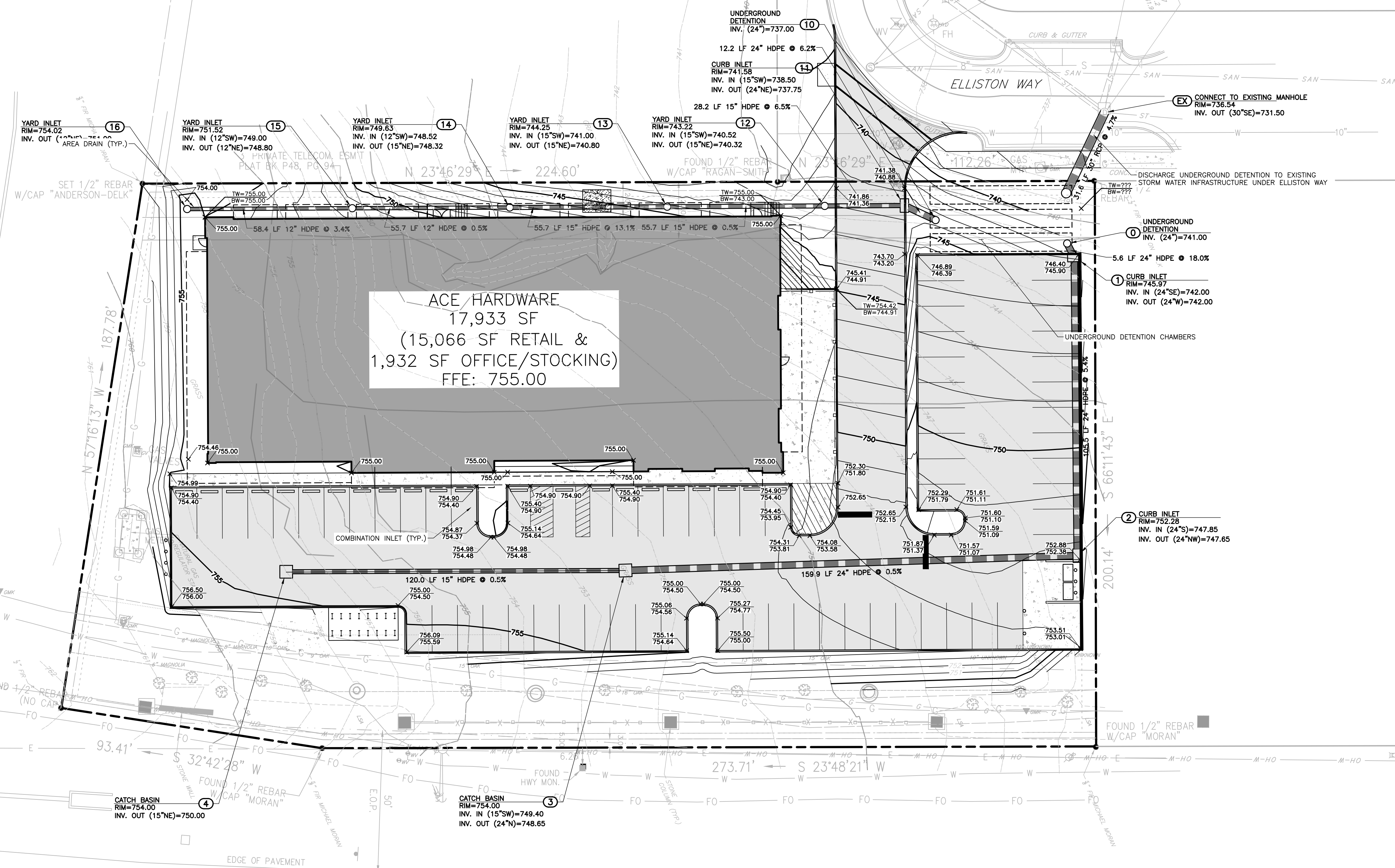
**NOTE TO CONTRACTOR**  
THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE DESIGNER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

A:\110-001-121-000\DWG\1101\1101\1101\_01.dwg - 11/13/2021 11:31 AM - LP: 8/13/2021 3:37 PM





**NOTES**  
 1. ROUTE ROOF DOWNSPOUTS DIRECTLY INTO STORMWATER SYSTEM.



**ACE HARDWARE**  
 17,933 SF  
 (15,066 SF RETAIL &  
 1,932 SF OFFICE/STOCKING)  
 FFE: 755.00

NO.	DATE	REVISION RECORD	DESCRIPTION

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 117 Seaboard Lane · Suite E-100 · Franklin, TN 37067  
 615-333-7797 · 800-763-2326  
 www.cechinc.com

**ACE HARDWARE**  
 1109 ELLISTON WAY  
 THOMPSON'S STATION  
 WILLIAMSON COUNTY, TENNESSEE

**GRADING AND DRAINAGE PLAN**

DATE:	SEPTEMBER 2021	DRAWN BY:	ZAC
DWG. SCALE:	AS SHOWN	CHECKED BY:	JMK
PROJECT NO.:	313-132	APPROVED BY:	RGH

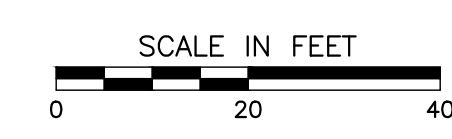
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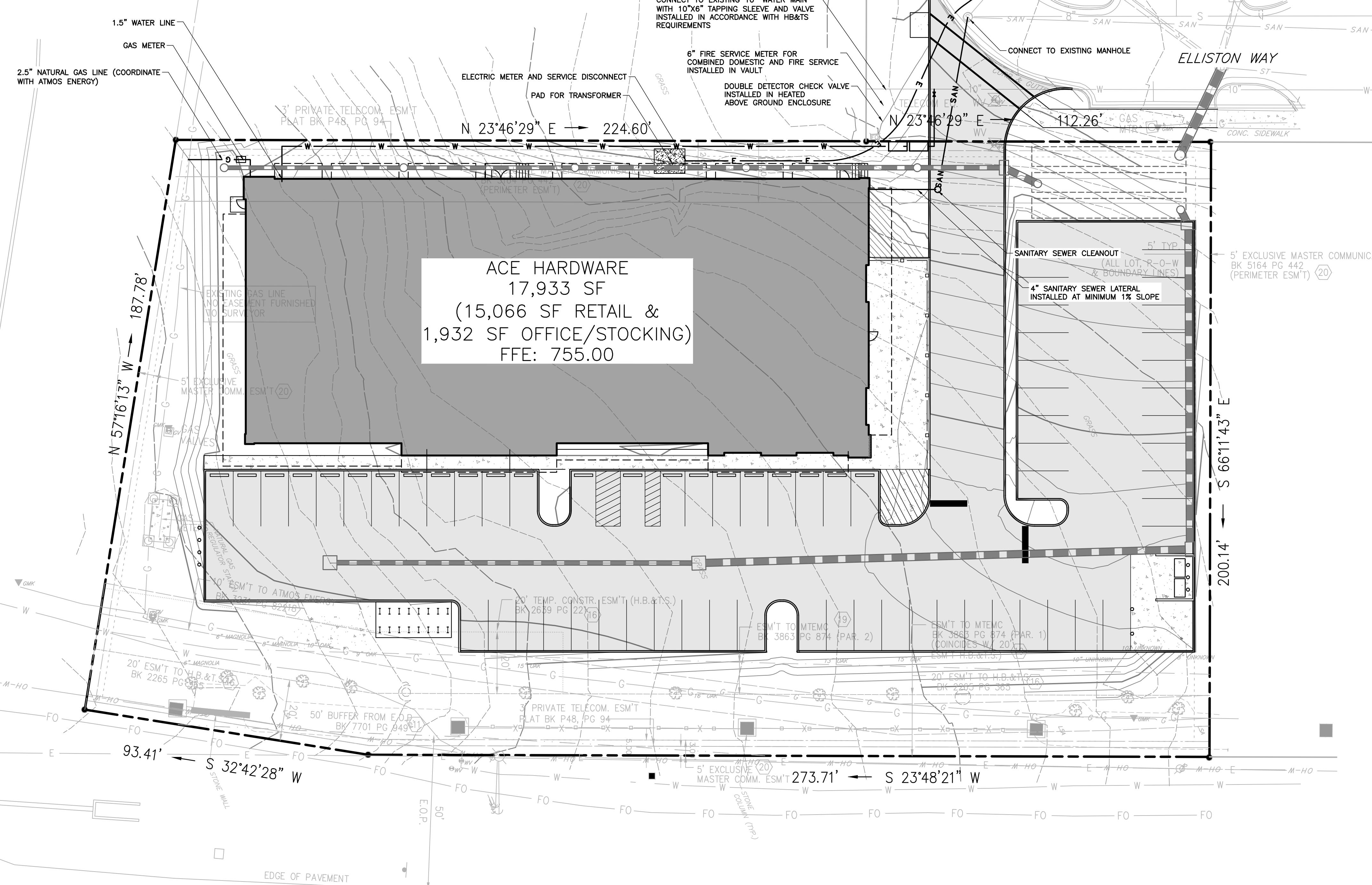
**NOTE TO CONTRACTOR**  
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**PRELIMINARY**  
 NOT FOR CONSTRUCTION





NORTH



NO.	DATE	DESCRIPTION

**CEC**  
Civil & Environmental Consultants, Inc.  
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615-333-7797 · 800-763-2326  
www.cecinc.com

**ACE HARDWARE  
1109 ELLISTON WAY  
THOMPSON'S STATION  
WILLIAMSON COUNTY, TENNESSEE**

**UTILITY PLAN**

DATE: SEPTEMBER 2021 | DRAWN BY: ZAC  
DWG SCALE: AS SHOWN | CHECKED BY: JMK  
PROJECT NO: 313-132  
APPROVED BY: RGM

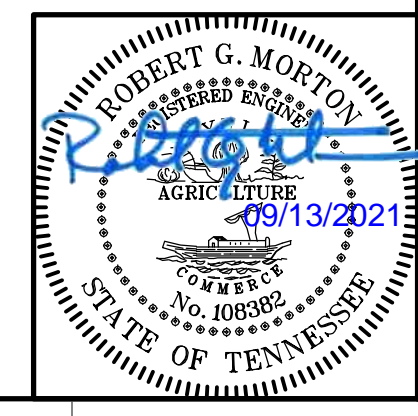
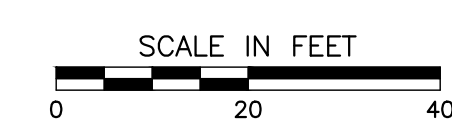
DRAWING NO. **C500**  
SHEET OF

**UTILITIES NOTE**  
WITHIN NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS), GAS, SEWER, TELEPHONE, AND WATER LINES SHALL BE PLACED UNDERGROUND.

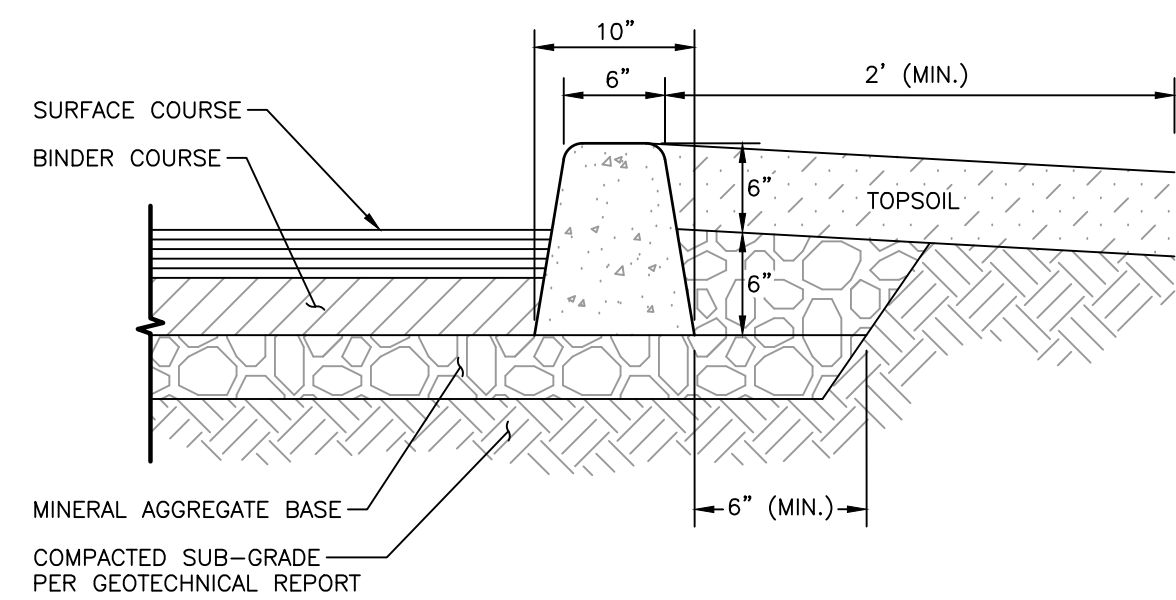
**NOTE TO CONTRACTOR**  
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**PRELIMINARY  
NOT FOR CONSTRUCTION**

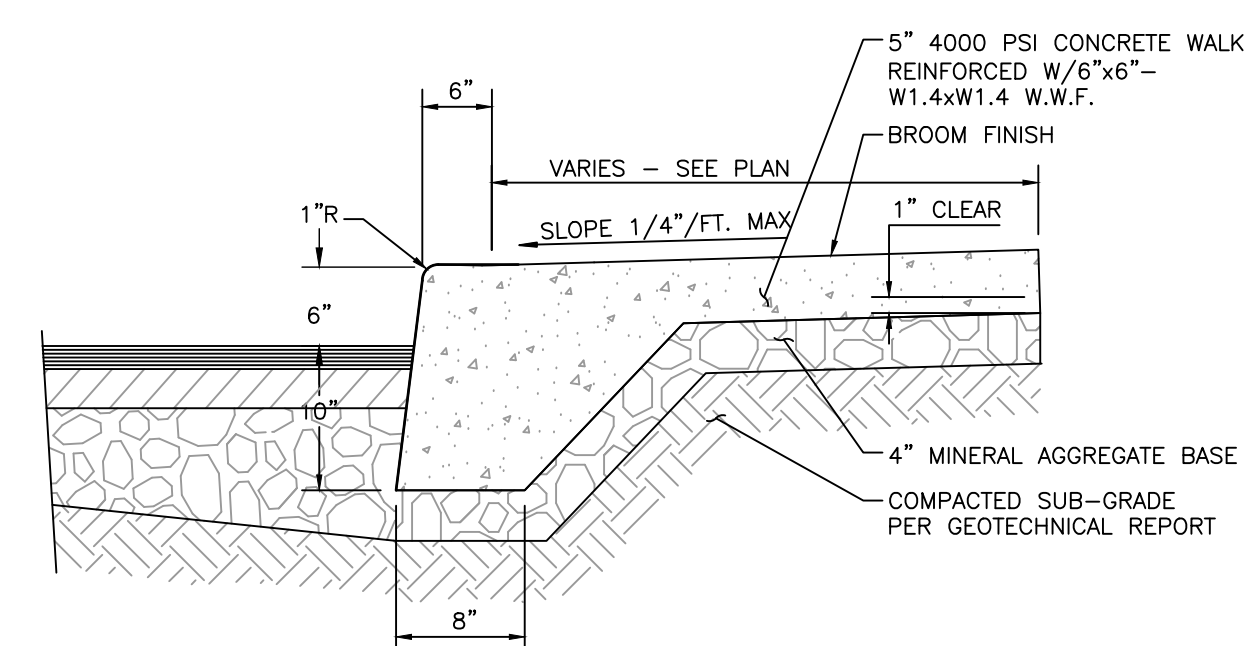


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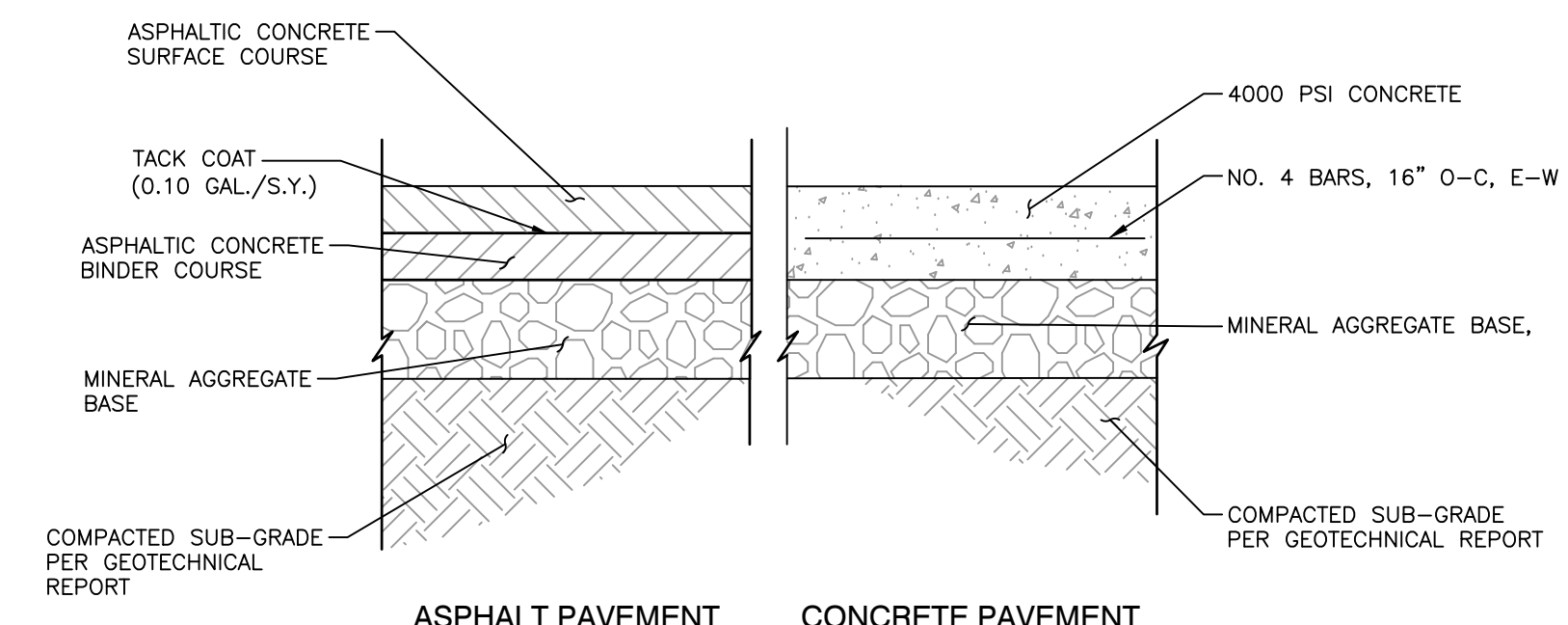
- NOTES:**
1. CONCRETE CURB PLACED ON BASE COURSE OR ON BINDER COURSE ONLY. ASPHALT TOPPING TO BE PLACED IN FRONT OF CURB.
  2. TAMP 6" (MIN.) OF TOPSOIL BACKFILL BEHIND CURB TO ACHIEVE FINISHED GRADE.

**DETAIL 200  
CONCRETE CURB**  
N.T.S.



- NOTE:**
1. PROVIDE CONTROL JOINTS SPACED EVERY 5 FT. AND ISOLATION JOINTS EVERY 25 FT.

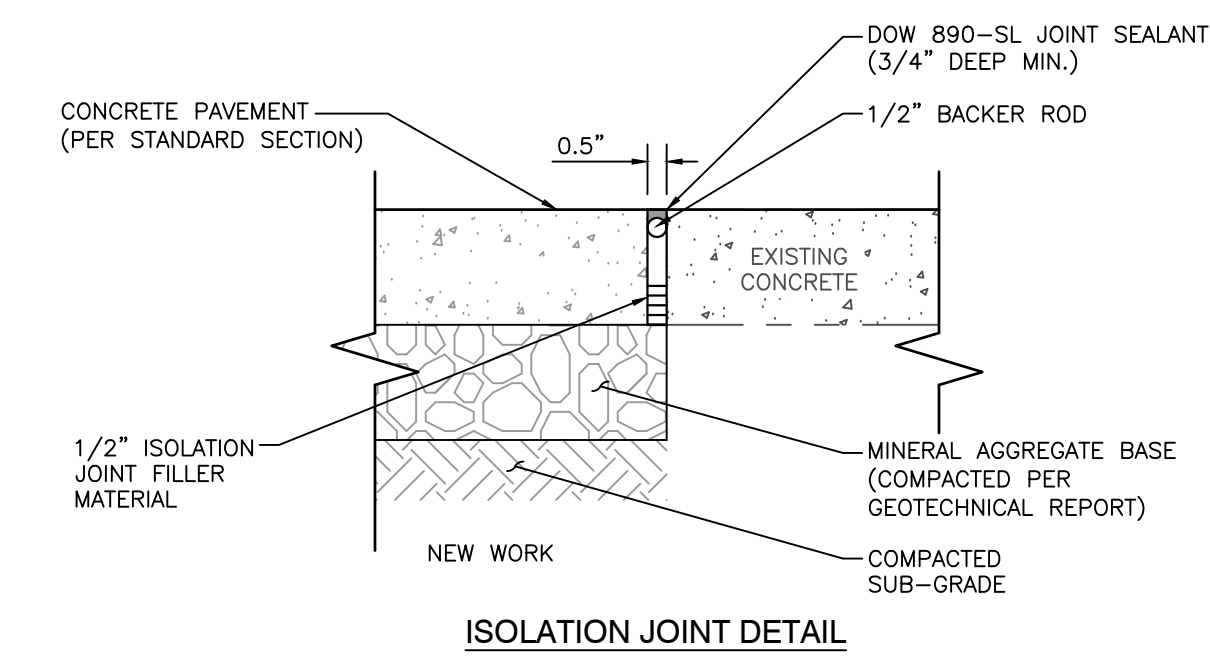
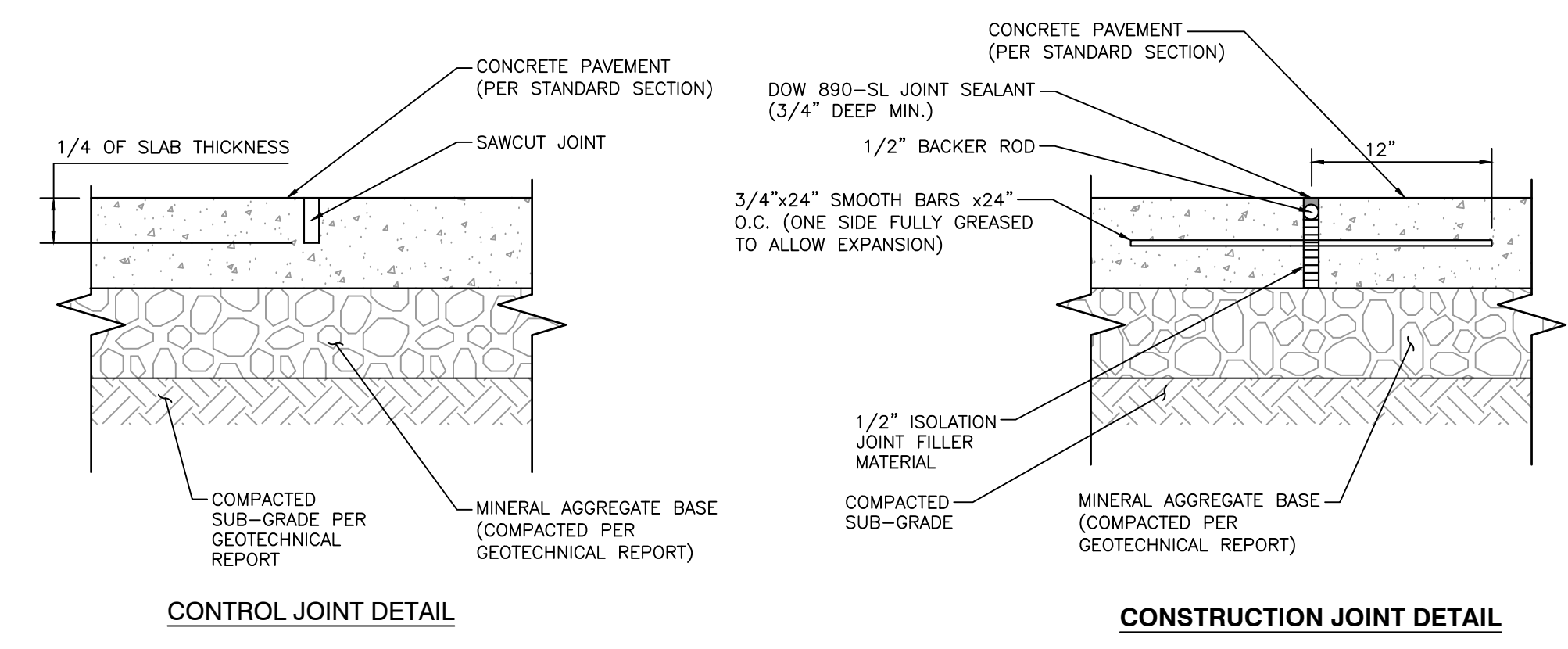
**DETAIL 201  
INTEGRAL CURB AND SIDEWALK**  
N.T.S.



MATERIAL	ASPHALT PAVEMENT		CONCRETE PAVEMENT
	HEAVY DUTY	STANDARD DUTY	HEAVY DUTY
PORTLAND CEMENT CONCRETE (4,000 PSI)	-	-	6 IN.
ASPHALTIC SURFACE COURSE	1.5 IN.	2 IN.	-
ASPHALTIC BINDER COURSE	2 IN.	-	-
CRUSHED STONE BASE	8 IN.	8 IN.	5 IN.

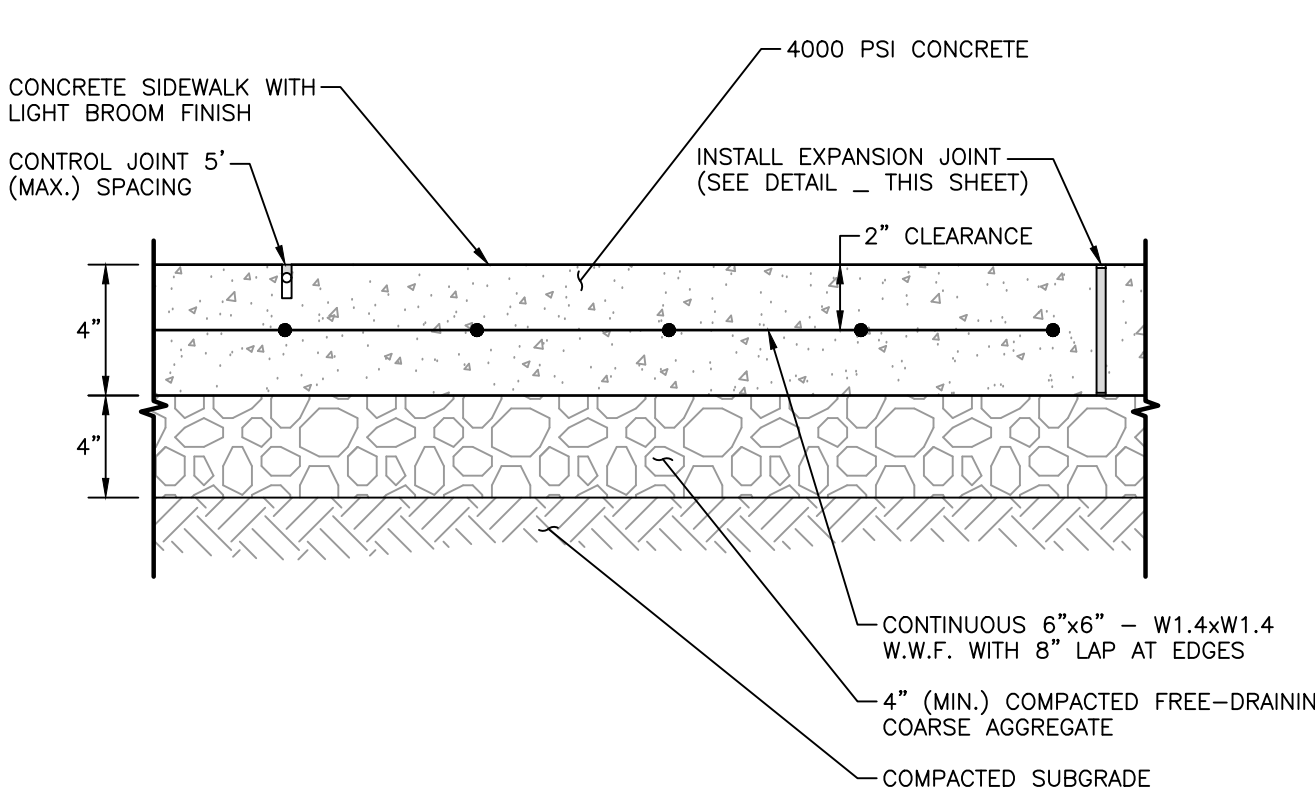
- NOTE:**
1. MATERIALS AND CONSTRUCTION PROCEDURES SHALL BE IN ACCORDANCE WITH THE TDD STANDARD SPECIFICATIONS, SECTION 501 FOR CONCRETE AND SECTION 303 FOR BASE COURSE.

**DETAIL 202  
PAVEMENT SECTIONS**  
N.T.S.



- NOTES:**
1. INSTALL SAWCUT JOINTS WITHIN 24 HOURS OF FINISHING CONCRETE.
  2. INSTALL CONSTRUCTION JOINTS WHEN CONTINUOUS POUR OPERATIONS ARE SUSPENDED FOR MORE THAN 30 MINUTES.
  3. INSTALL ISOLATION JOINTS @ 20' O.C. IN EACH DIRECTION AND AGAINST ASPHALT PAVEMENT AND STRUCTURES.
  4. ON CONCRETE SLABS, PROVIDE TRANSVERSE AND LONGITUDINAL JOINTS AT 15' INTERVALS.

**DETAIL 203  
CONCRETE PAVEMENT JOINTS**  
N.T.S.



**DETAIL 204  
SIDEWALK AND MULTI-USE PATH**  
N.T.S.

**DETAIL 205  
NOT USED**  
N.T.S.

**DETAIL 206  
NOT USED**  
N.T.S.

NO.	DATE	DESCRIPTION

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117 Seaboard Lane - Suite E-100 - Franklin, TN 37067  
615-333-7797 - 800-763-2326  
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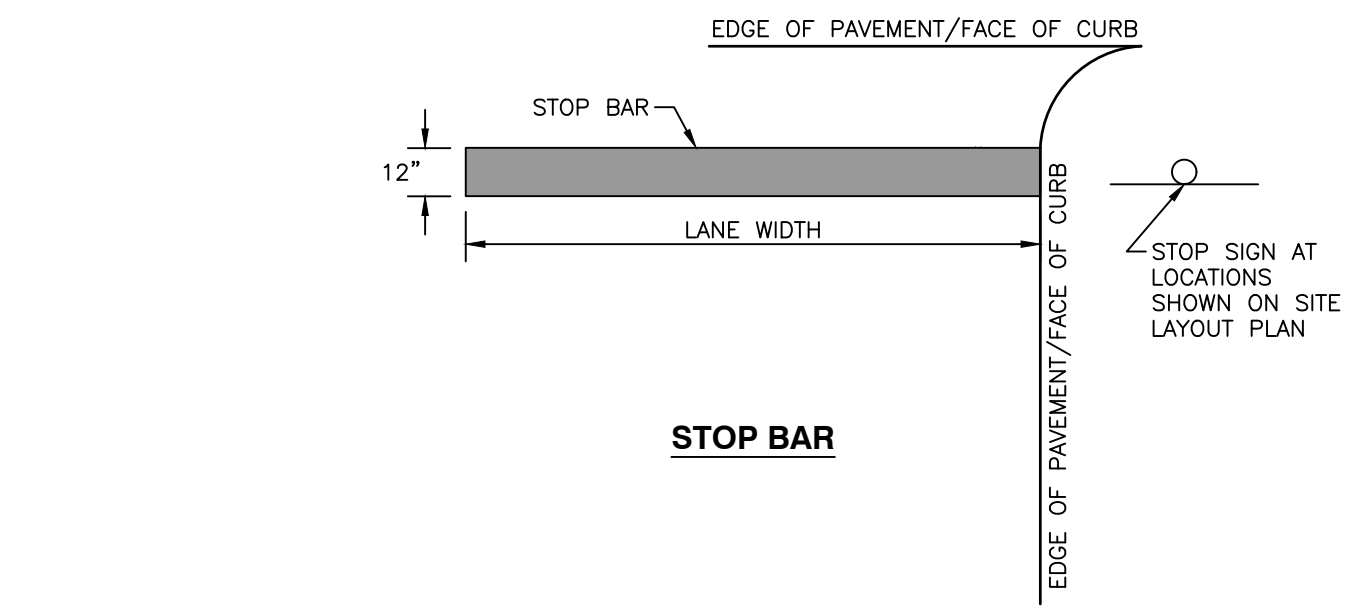
**ACE HARDWARE**  
**1109 ELLISTON WAY**  
**THOMPSON'S STATION**  
**WILLIAMSON COUNTY, TENNESSEE**

SITE DETAILS	
DATE: SEPTEMBER 2021	DRAWN BY: ZAC
DWG. SCALE: AS SHOWN	CHECKED BY: JMK
PROJECT NO: 313-132	APPROVED BY: RGM

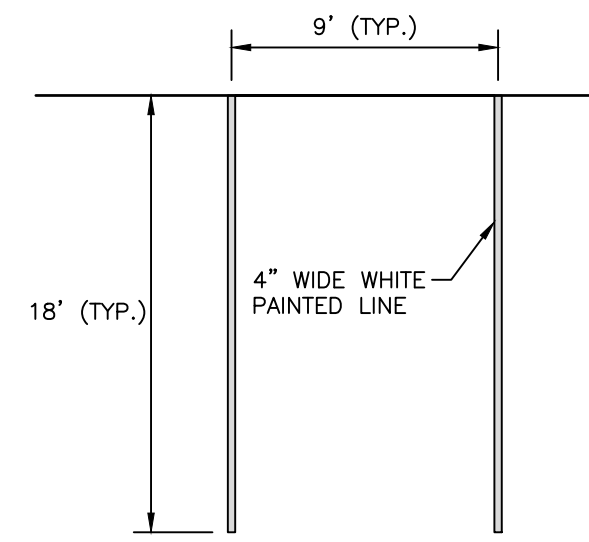


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SHEET OF

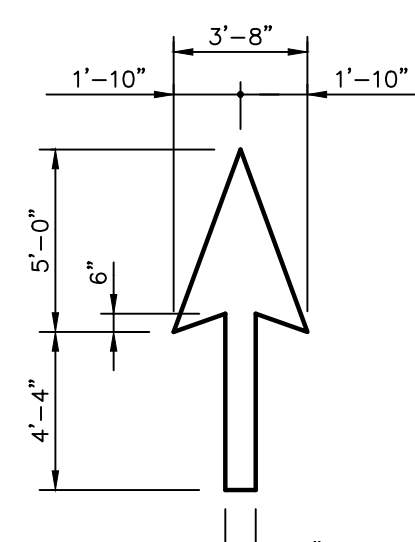
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**STOP BAR**



**PARKING SPACE**

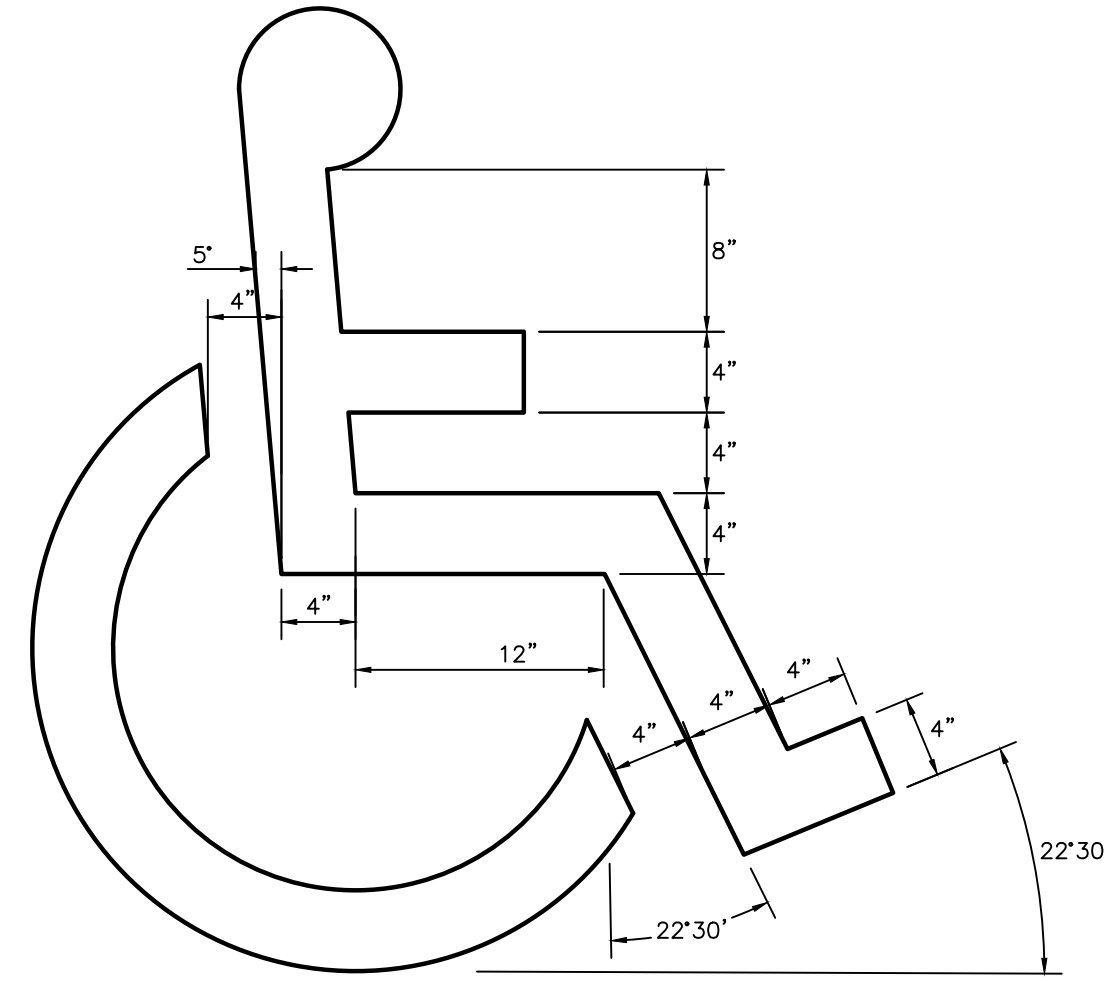


**TRAFFIC ARROW**

**NOTES:**

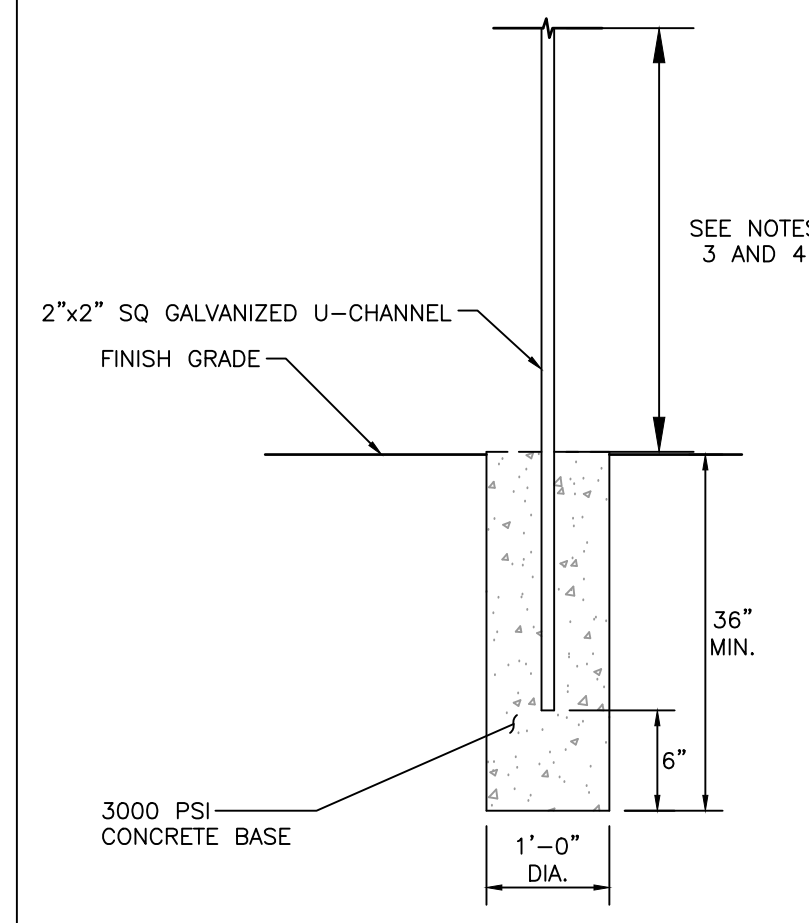
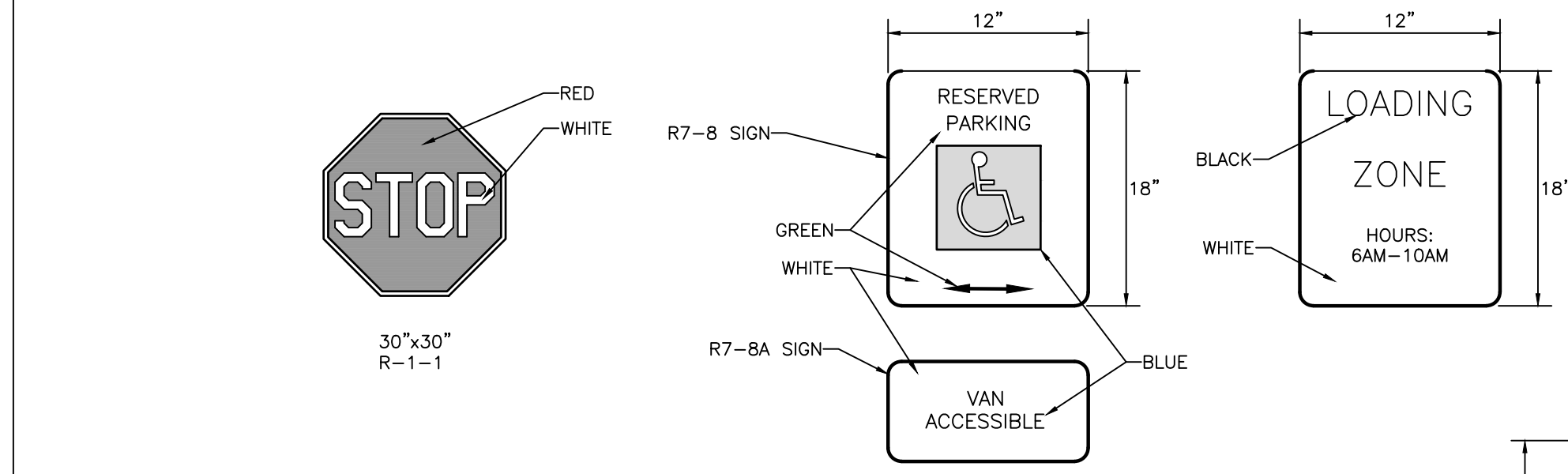
1. ALL PAINTING FOR DRIVEWAYS SHALL BE APPLIED ACCORDING TO REQUIREMENTS AS OUTLINED IN SECTION 3B OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS.
2. ALL MARKINGS ARE TO BE PAINTED WHITE PER MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

**DETAIL 207  
PAVEMENT MARKINGS**  
N.T.S.



**NOTE:**

1. SYMBOL TO BE PAINTED ON ALL ACCESSIBLE SPACES.

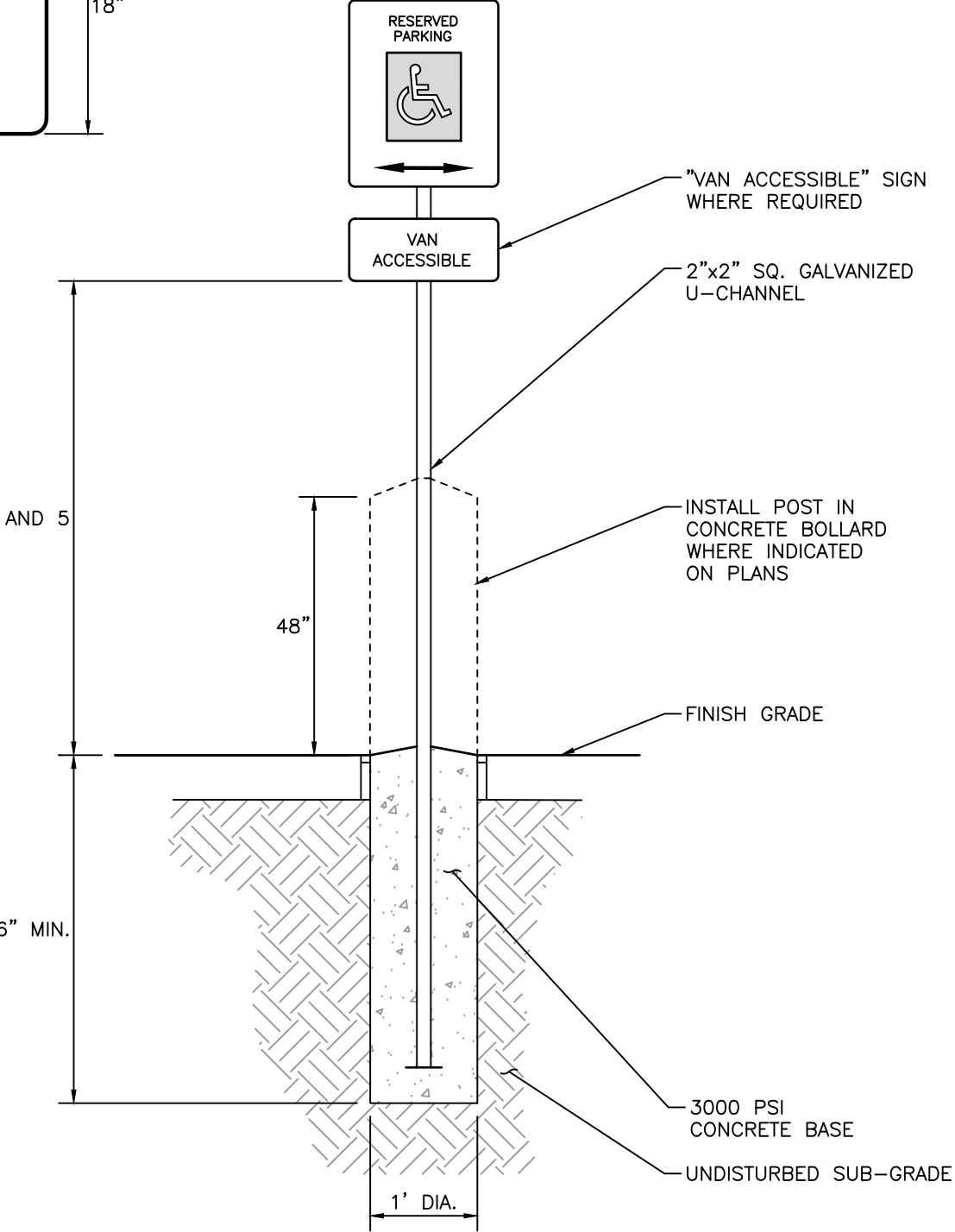


**BASE DETAIL**

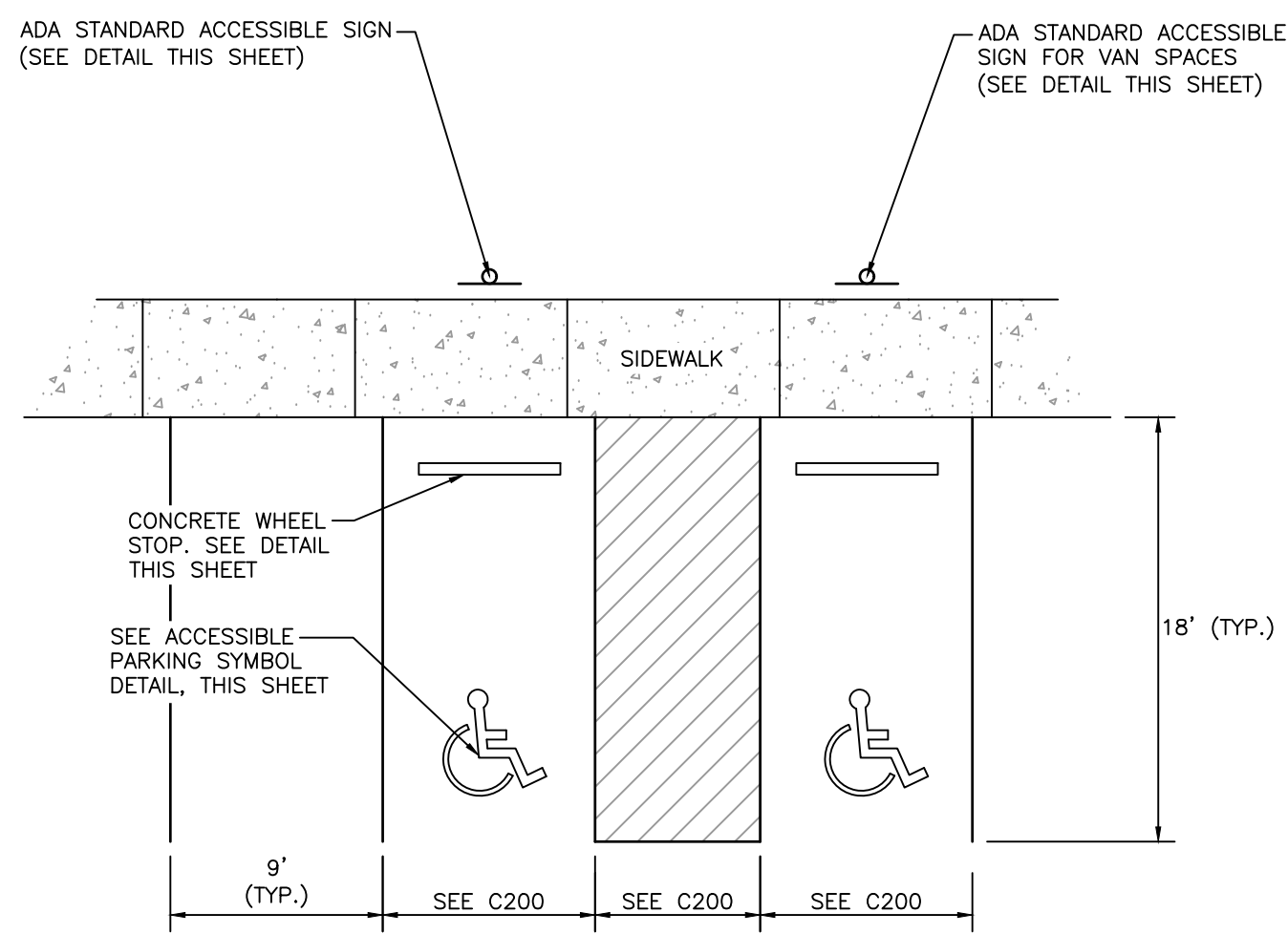
**NOTES:**

1. SET POSTS IN CONCRETE TO A MINIMUM DEPTH OF 36". SIGN PANELS SHALL BE 0.100 ALUMINUM WITH RAISED OR SILKSCREEN COPY.
2. FOR POST MOUNTING, USE NON-CORROSIVE 3/8" MACHINE BOLTS W/ WASHERS, 2 PER SIGN; OR IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
3. ALL SIGNAGE IS TO BE INSTALLED WITH THE BOTTOM EDGE OF THE LOWEST SIGN AT LEAST 60" ABOVE FINISHED GRADE, WHERE PEDESTRIAN TRAFFIC IS POSSIBLE.
4. ALL SIGNAGE IS TO BE INSTALLED WITH THE BOTTOM EDGE OF THE LOWEST SIGN AT LEAST 84" ABOVE FINISHED GRADE, WHERE PEDESTRIAN TRAFFIC IS POSSIBLE.
5. THE R7-8 SIGN SHOULD BE USED TO DEFINE WHICH PARKING SPACE OR SPACES ARE RESERVED FOR THE DISABLED OR WHEELCHAIR ACCESSIBLE IN ACCORDANCE WITH STATE LAW & LOCAL ORDINANCE.
6. PARKING SPACES SIGNED AS WHEEL CHAIR ACCESSIBLE PARKING SPACES MUST BE SUPPLEMENTED WITH PAVEMENT MARKINGS WHERE THERE IS A SUITABLE PAVEMENT SURFACE.

**DETAIL 208  
SIGNAGE**  
N.T.S.



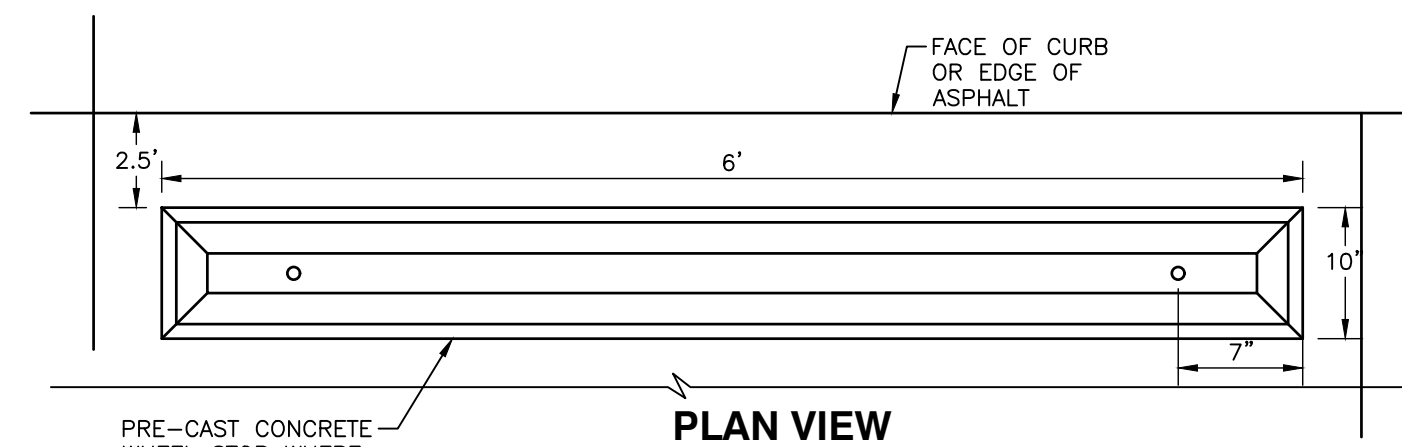
**SEE NOTES 4 AND 5**



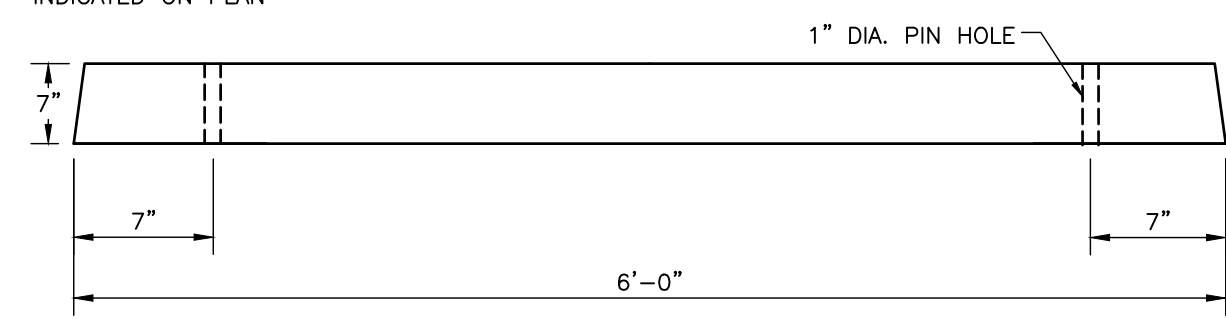
**NOTES:**

1. PAINT WHITE 4" WIDE PARKING STRIPES AS INDICATED, USING PAVEMENT MARKING MACHINE.
2. NO SLOPE TO EXCEED 2% IN ANY DIRECTION.
3. ACCESSIBLE SIGNS TO BE A MIN OF 1'-0" BEHIND PAVEMENT OR SIDEWALK, OR AS SPECIFIED ON PLANS.
4. DRIVE LANE BEHIND STALLS MUST BE A MINIMUM OF 24'.

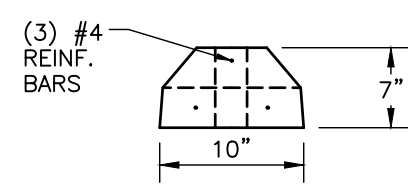
**DETAIL 209  
ACCESSIBLE PARKING SPACE MARKING**  
N.T.S.



**PLAN VIEW**



**FRONT VIEW**

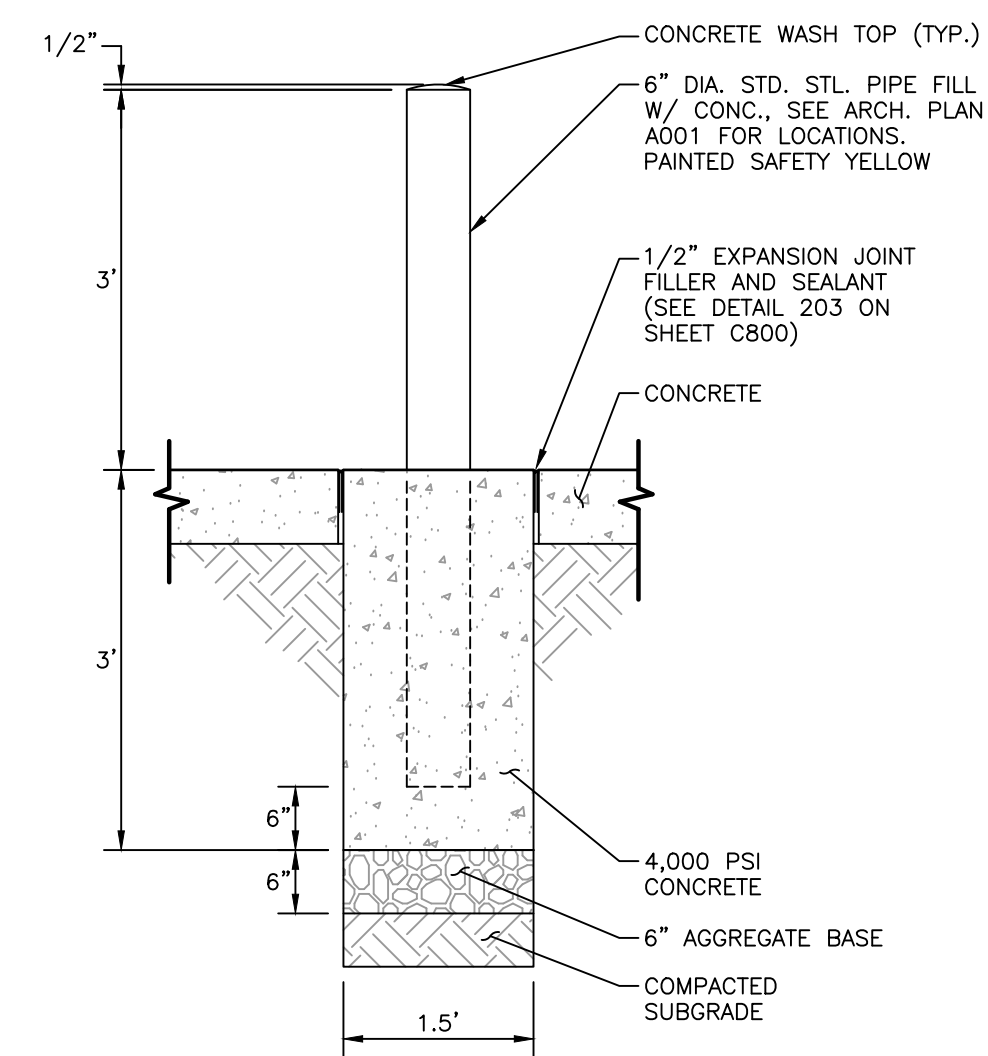


**SECTION VIEW**

**NOTES:**

1. 4,000 PSI CONCRETE @ 28 DAYS

**DETAIL 210  
CONCRETE WHEEL STOP**  
N.T.S.



**DETAIL 211  
BOLLARD**  
N.T.S.

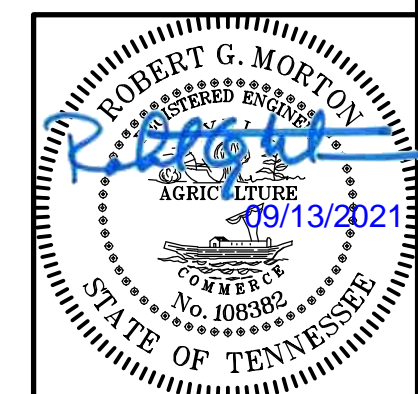
**DETAIL 212  
NOT USED**  
N.T.S.

NO.	DATE	DESCRIPTION

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117 Seaboard Lane · Suite E-100 · Franklin, TN 37067  
615-333-7797 · 800-763-2326  
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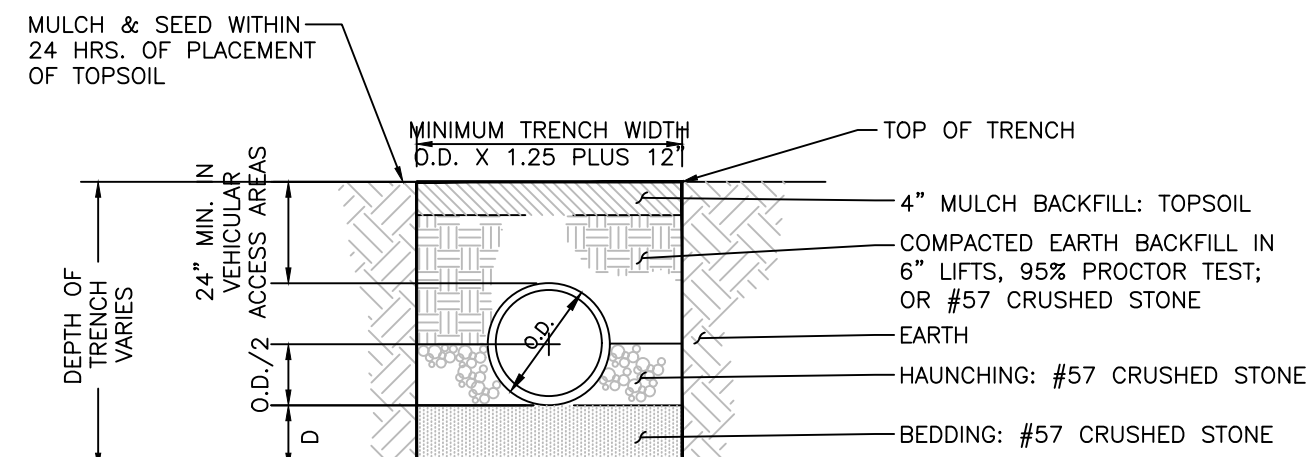
**ACE HARDWARE**  
1109 ELLISTON WAY  
THOMPSON'S STATION  
WILLIAMSON COUNTY, TENNESSEE

SITE DETAILS	
DATE: SEPTEMBER 2021	DRAWN BY: ZAC
DWG. SCALE: AS SHOWN	CHECKED BY: JMK
PROJECT NO: 313-132	APPROVED BY: RGM



DRAWING NO. **C801**  
SHEET OF

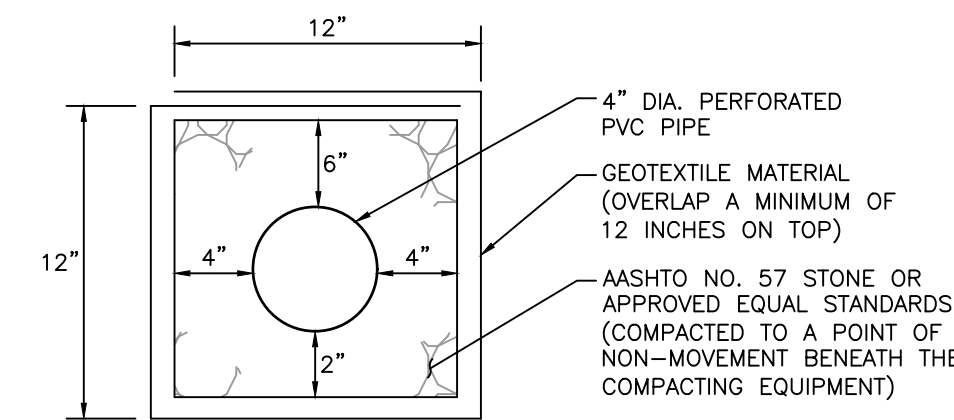
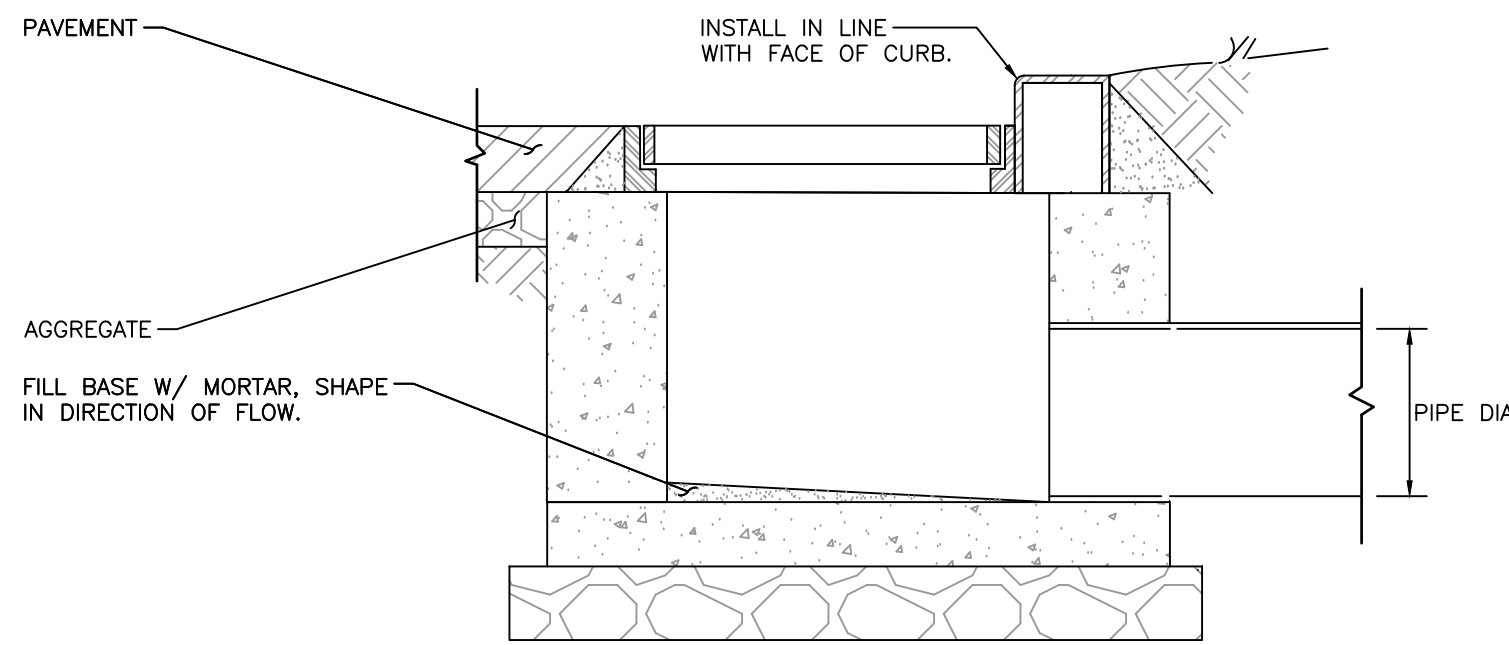
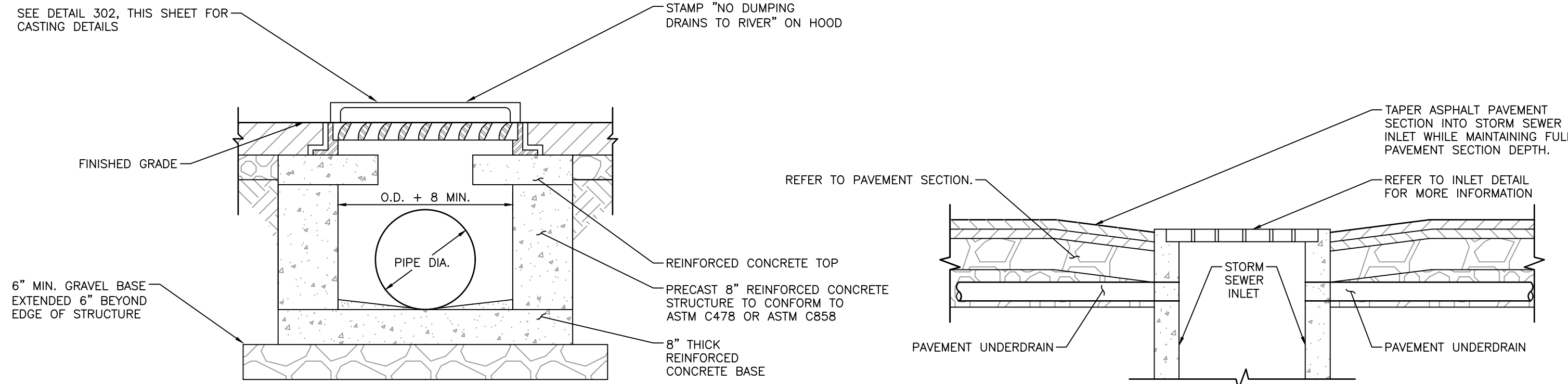
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CONDITION	D (MIN.)
MIN. ROCK CUTS	4"
	6"

- NOTES:**
1. WHEN PIPE IS TO BE PLACED IN A FILL SECTION, THE COMPACTED FILL SHALL BE PLACED A MIN. OF 12" ABOVE THE PIPE ELEVATION BEFORE THE TRENCH IS EXCAVATED.
  2. SUBGRADES SHOULD BE EXCAVATED, IF NECESSARY, SO A UNIFORM FOUNDATION FREE OF PROTRUDING ROCKS MAY BE PROVIDED.
  3. REQUIREMENTS FOR INSTALLATION OF HIGH DENSITY POLYETHYLENE (HDPE) PIPE SHALL BE AS DESCRIBED IN ASTM: 2321.
  4. THE NOTATION "HDPE" SHOWN ON THE SHEET AND ELSEWHERE IN THESE PLANS REFERS TO HIGH DENSITY POLYETHYLENE PIPE WITH AN INTEGRALLY FORMED SMOOTH INTERIOR AS MANUFACTURED BY ADVANCED DRAINAGE SYSTEMS, INC. (ADS), COLUMBUS, OHIO, AND DESIGNATED N-12, OR APPROVED EQUAL.
  5. THE NOMINAL SIZE FOR THE PIPE AND FITTINGS IS BASED ON THE NOMINAL INSIDE DIAMETER OF THE PIPE.
  6. THE PIPE AND FITTINGS SHALL BE FREE OF FOREIGN INCLUSIONS AND VISIBL DEFECTS. FITTINGS MAY BE EITHER MOLDED OR FABRICATED. FITTINGS SUPPLIED BY THE MANUFACTURERS OTHER THAN THE SUPPLIER OF THE PIPE SHALL NOT BE PERMITTED WITHOUT THE APPROVAL OF THE PROJECT ENGINEER. THE ENDS OF THE PIPE SHALL BE CUT SQUARELY AND CLEANLY SO AS NOT TO ADVERSELY EFFECT JOINING.
  7. JOINTS SHALL BE MADE WITH SPLIT COUPLINGS, CORRUGATED TO ENGAGE THE PIPE CORRUGATIONS, AND SHALL ENGAGE A MIN. OF 4 CORRUGATIONS, 2 ON EACH SIDE OF THE PIPE JOINT.
  8. JOINTS SHALL BE IN ACCORDANCE WITH ASTM RECOMMENDED PRACTICE D-2321 OR AS OTHERWISE RECOMMENDED BY THE MANUFACTURER.
  9. ALL SECTIONS OF HDPE PIPE SHALL BE PERFORATED BY THE MANUFACTURER PRIOR TO DELIVERY OR INSTALLATION. PERFORATION SHALL BE PLACED AT SIX (6) UNIFORMLY SPACED LOCATIONS ALONG THE CIRCUMFERENCE OF THE PIPE.
  10. SEE DETAIL 306 FOR ROAD CUT REPAIR.

**DETAIL 300  
HDPE PIPE BEDDING REQUIREMENTS**  
N.T.S.

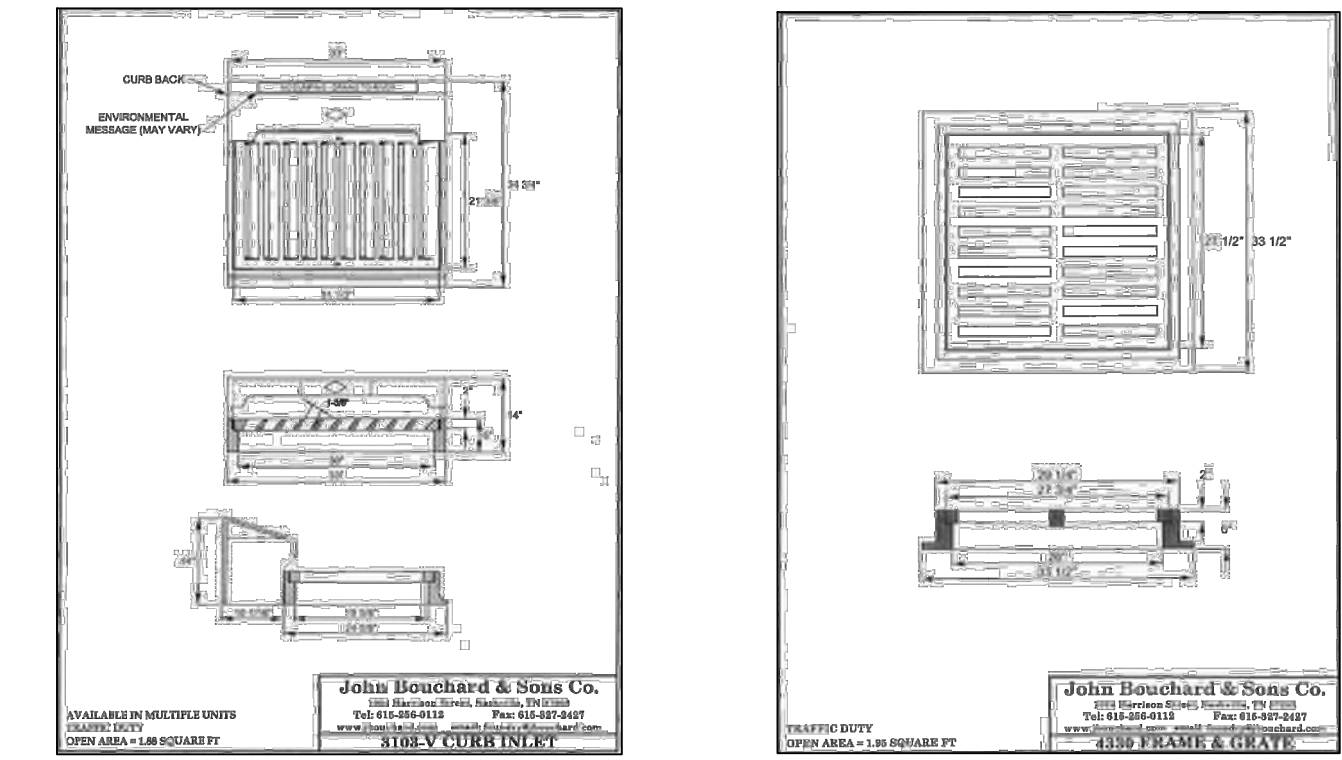


- NOTE:**  
PAVEMENT UNDERDRAINS SHALL EXTEND OUT A MINIMUM OF 10 FEET FROM ALL FOUR SIDES OF INLETS.

**DRAINAGE REQUIREMENTS AT INLETS**

- NOTE:**
1. PRECAST MANHOLE WITH MASTIC JOINTS AND WEEP HOLES. OPENINGS FOR PIPES SHOULD BE LARGER THAN THE PIPE DIAMETERS SHOWN ON THE PLANS. THE AMOUNT OF GAP BETWEEN PIPES AND CATCH BASIN WALLS SHOULD BE IN ACCORDANCE WITH THE PIPE MANUFACTURER'S SPECIFICATIONS AND /OR RECOMMENDED CONSTRUCTION METHODS.

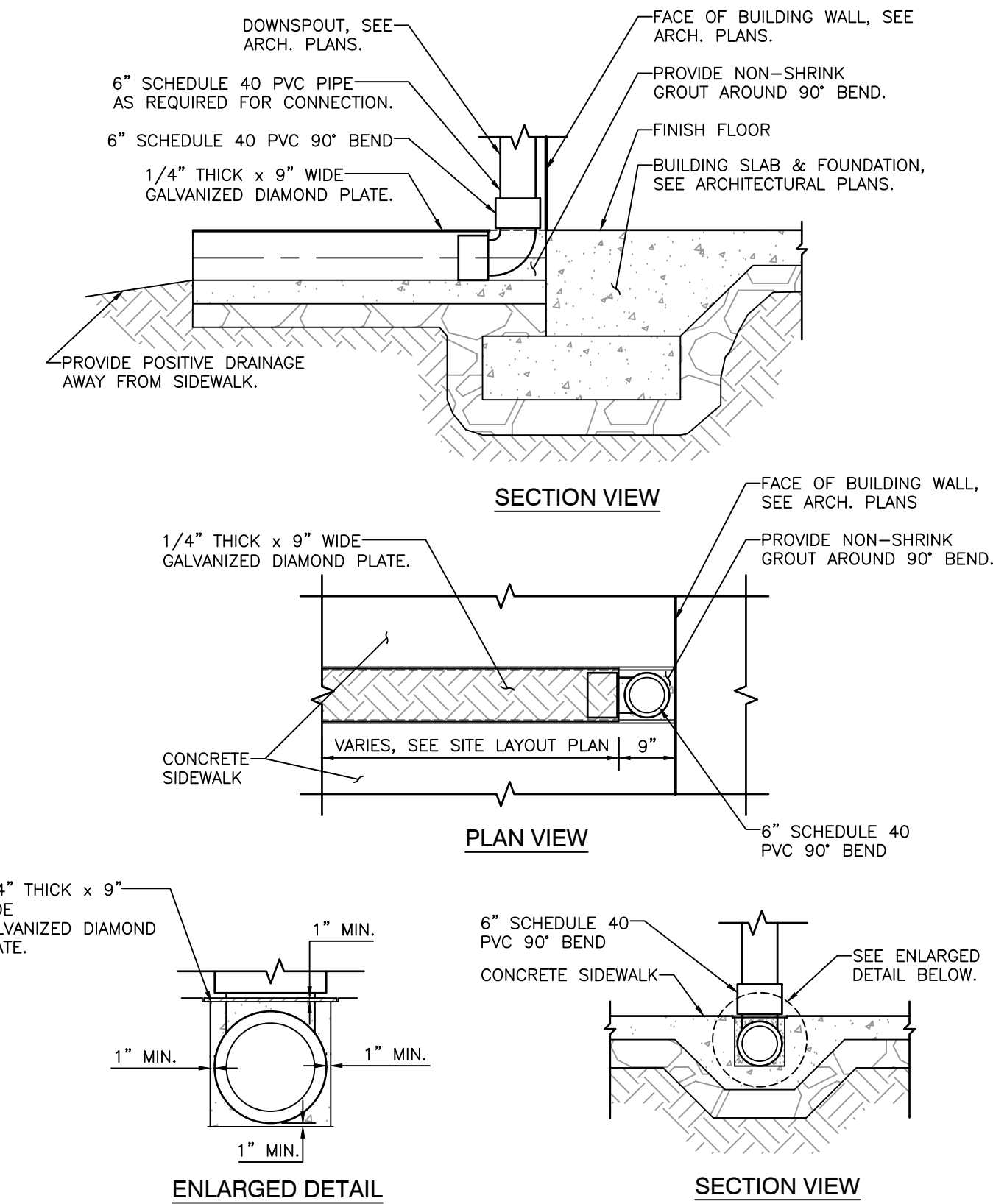
**DETAIL 301  
STORM INLETS**  
N.T.S.



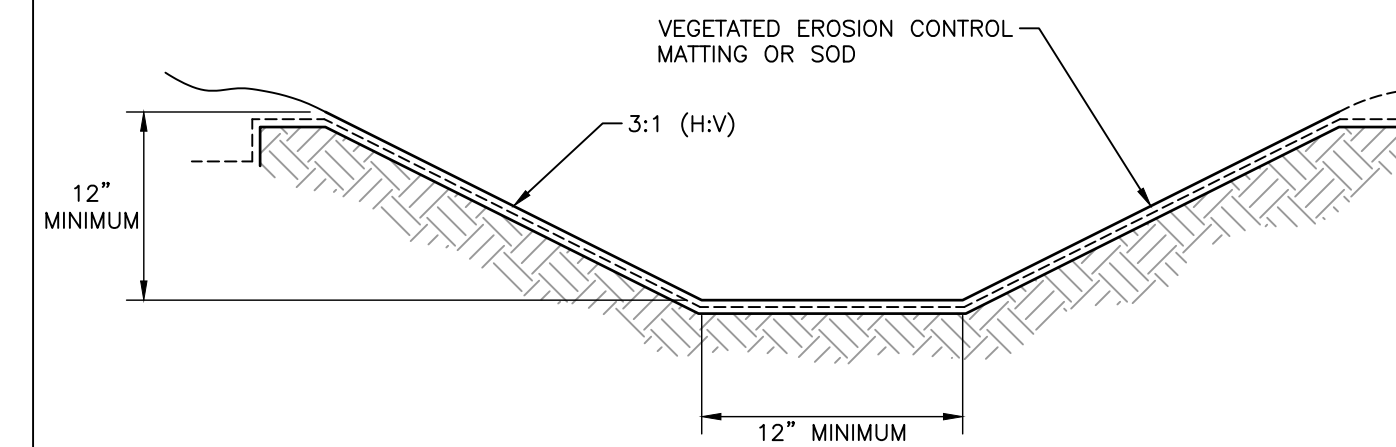
**CURB INLET**

**CATCH BASIN AND  
AREA DRAIN**

**DETAIL 302  
STORM CASTINGS**  
N.T.S.



**DETAIL 303  
DOWNSPOUT CROSSING  
SIDEWALK**  
N.T.S.



- NOTES:**
1. PREPARE SURFACE, FERTILIZE AND SEED SURFACE AREA OF DITCH IN ACCORDANCE WITH VEGETATION SPECIFICATION.
  2. APPLY EROSION CONTROL MATTING IN DIRECTION OF WATER FLOW AND IN ACCORDANCE WITH MANUFACTURER'S INSTALLATION RECOMMENDATIONS.
  3. CONTRACTOR TO SUBMIT PRODUCT INFORMATION FOR EROSION CONTROL MATTING FOR ENGINEER REVIEW PRIOR TO ORDERING.
  4. GRASS TO BE MAINTAINED TO HEIGHT OF 3-4 INCHES.

**DETAIL 305  
GRASSED CHANNEL**  
N.T.S.

**ACE HARDWARE  
1109 ELLISTON WAY  
THOMPSON'S STATION  
WILLIAMSON COUNTY, TENNESSEE**

**DRAINAGE DETAILS**

DATE:	SEPTEMBER 2021	DRAWN BY:	ZAC
DWG SCALE:	AS SHOWN	CHECKED BY:	JMK
PROJECT NO.:	108882	APPROVED BY:	RGH



**DRAINAGE NO. C802**

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## STORMTECH MC-3500 CHAMBER

Designed to meet the most stringent industry performance standards for superior structural integrity while providing designers with a cost-effective method to save valuable land and protect water resources. The StormTech system is designed primarily to be used under parking lots, thus maximizing land usage for private (commercial) and public applications. StormTech chambers can also be used in conjunction with Green Infrastructure, thus enhancing the performance and extending the service life of these practices.

**STORMTECH MC-3500 CHAMBER** (not to scale)

**Nominal Chamber Specifications**

Size (L x W x H)  
97" x 77" x 45"  
2,286 mm x 1,956 mm x 1,143 mm

Chamber Storage  
109.9 ft<sup>3</sup> (3.11 m<sup>3</sup>)

Min. Installed Storage\*  
175.0 ft<sup>3</sup> (4.96 m<sup>3</sup>)

Weight  
134 lbs (60.8 kg)

Shipping  
15 chambers/pallet  
7 pallets/truck

\*Assumes a minimum of 12" (300 mm) of stone above, 5" (120 mm) of stone below chambers, and 40% stone porosity.

**STORMTECH MC-3500 END CAP** (not to scale)

**Nominal End Cap Specifications**

Size (L x W x H)  
26.5" x 7.1" x 4.5"  
673 mm x 1,803 mm x 1,145 mm

End Cap Storage  
14.9 ft<sup>3</sup> (0.42 m<sup>3</sup>)

Min. Installed Storage\*  
45.1 ft<sup>3</sup> (1.28 m<sup>3</sup>)

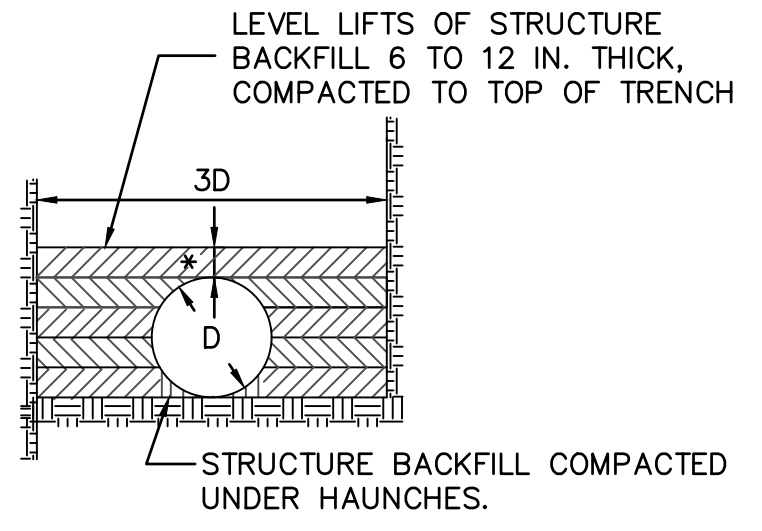
Weight  
49 lbs (22.2 kg)

\*Assumes a minimum of 12" (300 mm) of stone above, 5" (120 mm) of stone below, 6" (150 mm) of stone perimeter, 6" (150 mm) of stone between chambers/ end caps and 40% stone porosity.

PERMITS COVER TO BOTTOM OF FLEXIBLE PAVEMENT FOR UNPAVED METALLIC SURFACES WHERE RUTTING FROM VEHICLES MAY OCCUR, INCREASE COVER TO 18" (457 mm)

**DETAIL 306**  
**UNDERGROUND DETENTION**  
N.T.S.

**DETAIL 309**  
**NOR USED**  
N.T.S.



\* MINIMUM COVER OF STRUCTURE BACKFILL IS D/8 OR 12 IN. WHICHEVER IS GREATER.

**DETAIL 307**  
**OUTLET PIPE COMPACTION DETAIL**  
N.T.S.

**DETAIL 310**  
**NOR USED**  
N.T.S.

**DETAIL 308**  
**NOT USED**  
N.T.S.

REVISION RECORD

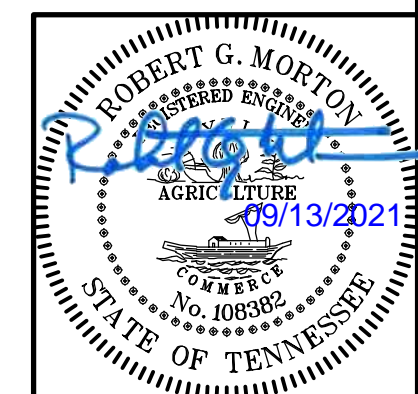
NO.	DATE	DESCRIPTION

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**ACE HARDWARE**  
**1109 ELLISTON WAY**  
**THOMPSON'S STATION**  
**WILLIAMSON COUNTY, TENNESSEE**

**DRAINAGE DETAILS**

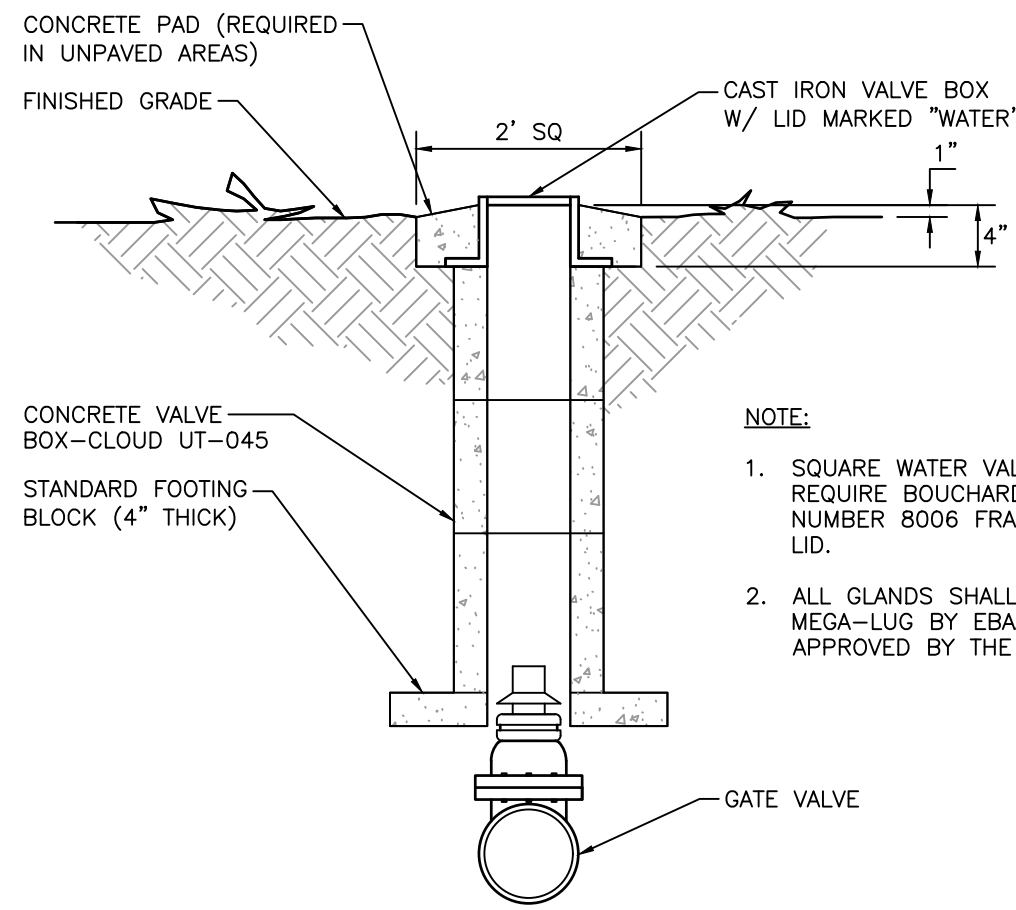
DATE: SEPTEMBER 2021 | DRAWN BY: ZAC  
DIMS SCALE: AS SHOWN | CHECKED BY: JMK  
PROJECT NO: 313-132  
APPROVED BY: RGM



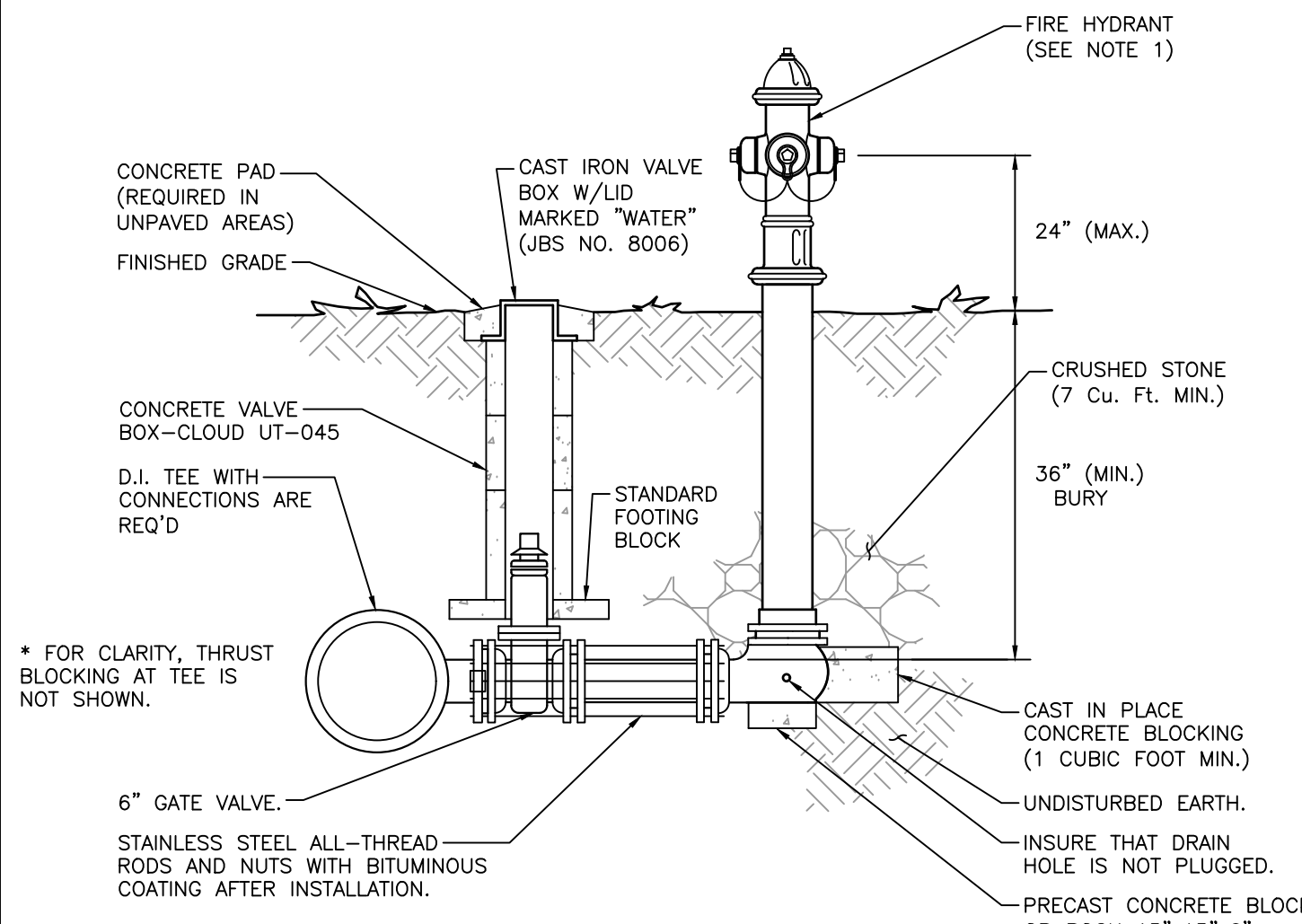
DRAWING NO.: **C803**  
SHEET OF

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**DETAIL 500  
VALVE BOX**  
N.T.S.



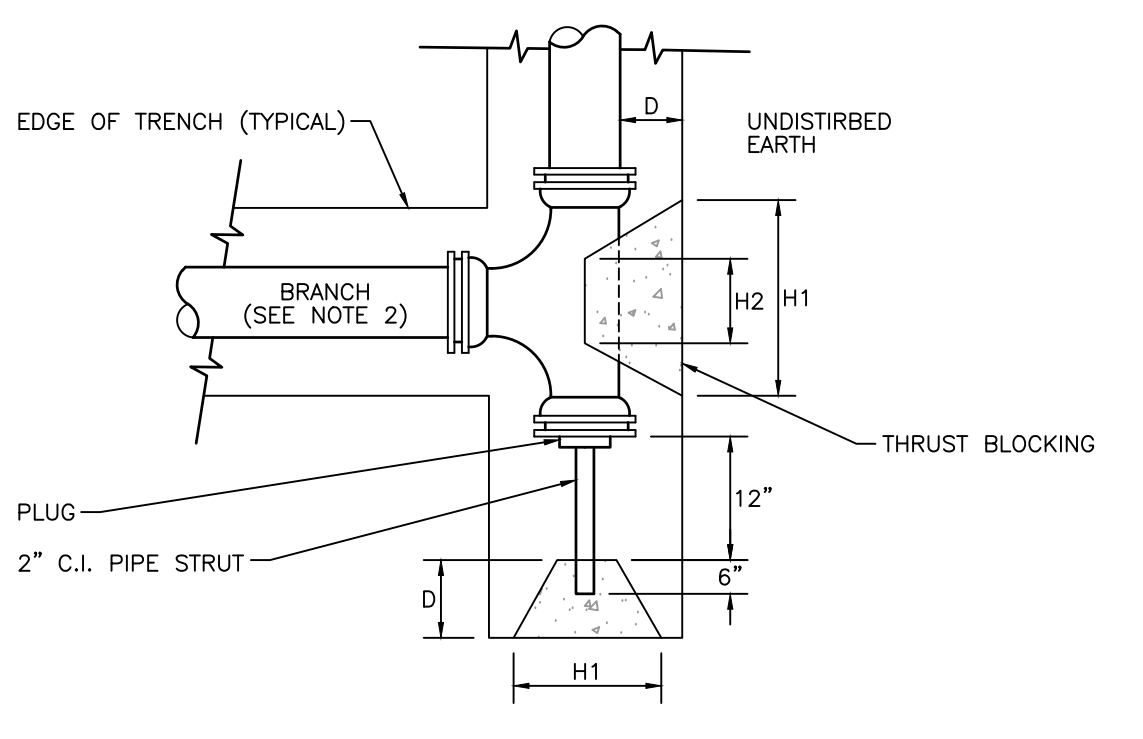
- NOTES:**
- OPERATING NUT, OPENING DIRECTION, CAP NUTS, THREADS AND CONNECTIONS MUST BE APPROVED IN WRITING BY THE WATER PROVIDER AS CONFORMING TO ITS STANDARDS.
  - SQUARE WATER VALVE BOXES REQUIRE BOUCHARD & SONS NUMBER 8006 FRAME & LID.
  - FIRE HYDRANT SHALL HAVE A 5-1/4\"/>
- GENERAL NOTES:**
- IN LIEU OF STAINLESS STEEL ALL-THREAD RODS, ANCHOR COUPLINGS MAY BE USED IF APPROVED BY WATER PROVIDER.
  - THE BURY DEPTH FOR THE HYDRANT AS SHOWN HEREON IS A MINIMUM DEPTH. HYDRANTS SHALL BE FURNISHED AND INSTALLED WITH A SITE SPECIFIC OR LOCATION SPECIFIC BURY DEPTH.

**DETAIL 501  
FIRE HYDRANT WITH VALVE**  
N.T.S.

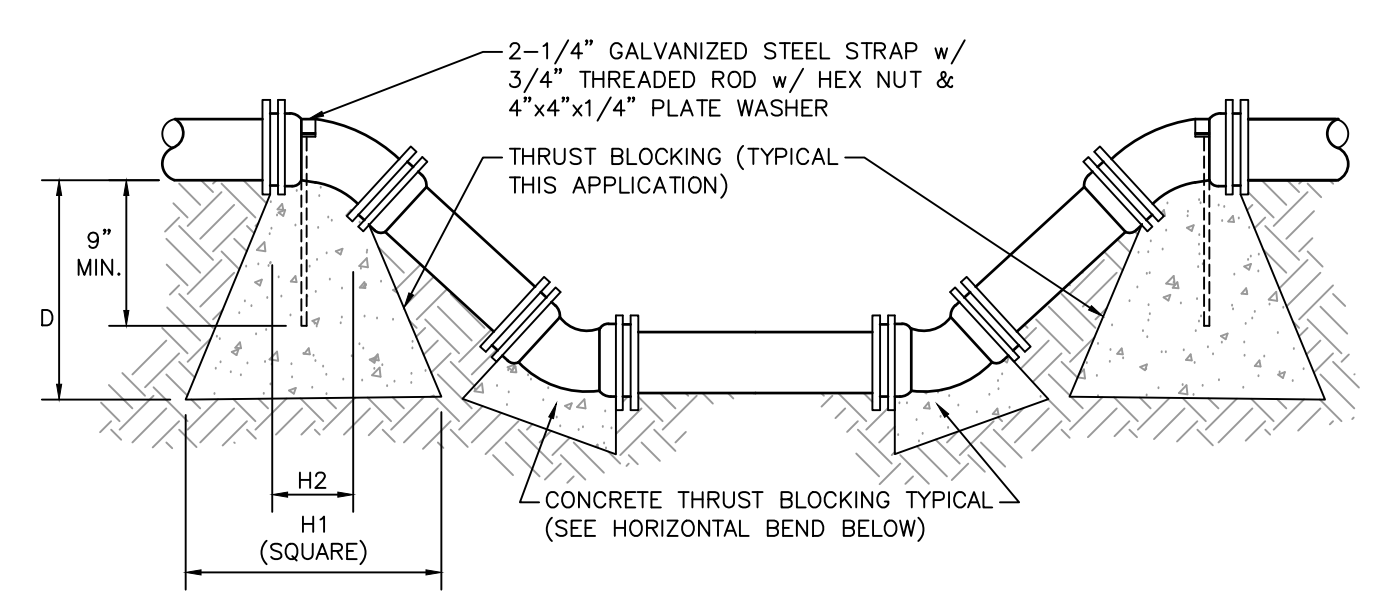
**TABLE OF DIMENSIONS FOR CONCRETE BLOCKING**

TEES, CROSSES & PLUGS		90° BENDS		45° BENDS		22-1/2° BENDS		11-1/4° BENDS		PIPE SIZE													
H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	H1	H2	V	D	C.F.	2\"/>			
18	10	12	18	1.90	18	10	12	18	1.90	18	8	12	18	1.50	18	8	12	18	1.50	3-4			
24	12	18	24	2.25	24	12	18	24	2.24	24	8	12	18	1.60	18	8	12	18	1.60	6			
24	18	18	3.50	30	16	18	18	4.05	24	10	16	18	3.20	24	10	16	18	3.20	24	8			
36	18	18	5.05	39	18	24	18	7.30	30	18	18	3.95	24	12	18	18	3.45	24	12	18	3.40		
48	24	24	7.15	54	32	24	18	10.25	36	18	24	4.60	24	18	21	18	4.60	24	18	21	18	4.60	
54	30	24	13.40	54	32	36	24	18.15	42	18	24	9.60	24	18	24	24	6.60	24	18	21	24	6.10	
60	32	30	17.90	60	40	42	24	25.00	44	24	30	24	13.20	30	24	24	9.20	27	21	24	7.90	16	
66	34	36	22.50	69	48	48	24	29.00	48	30	36	24	17.00	36	30	27	24	11.80	27	21	24	9.10	18
66	36	40	27.50	69	48	48	24	33.00	48	30	36	24	17.00	36	30	29	24	13.00	27	24	29	11.00	20
38	24			48	24		40	24			36	24		30	27		28					24	
42	24			60	24		48	24			42	24		29	32		36					36	
58	24			96	24		72	24			72	24											

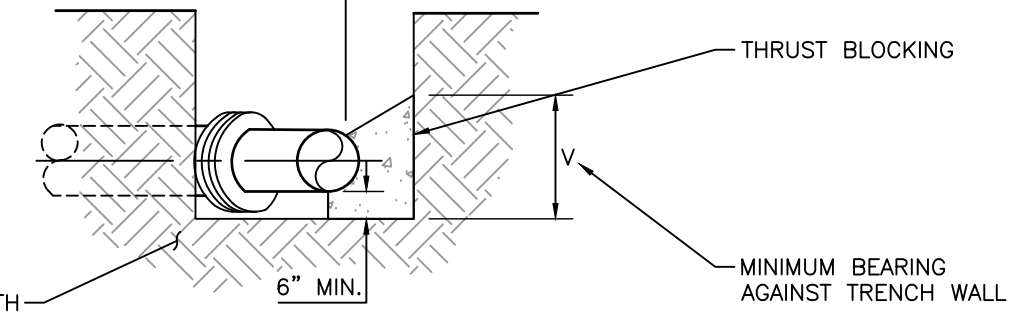
- NOTES:**
- BLOCKING WILL BE PAID FOR AT THE CONTRACT UNIT PRICE FOR CLASS "B" CONCRETE FOR THE VOLUME SHOWN IN THE ABOVE TABLE FOR EACH FITTING SO BLOCKED ONLY IF A SEPARATE ITEM APPEARS IN THE SCHEDULE OF A PROPOSAL FOR A UNIT PRICE CONTRACT. OTHERWISE, THERE WILL BE NO SEPARATE PAYMENT FOR CONCRETE THRUST BLOCKING.
  - DIMENSIONS ARE CONTROLLED BY DIAMETER OF BRANCH MAIN.



**TEES, CROSSES AND PLUGS**

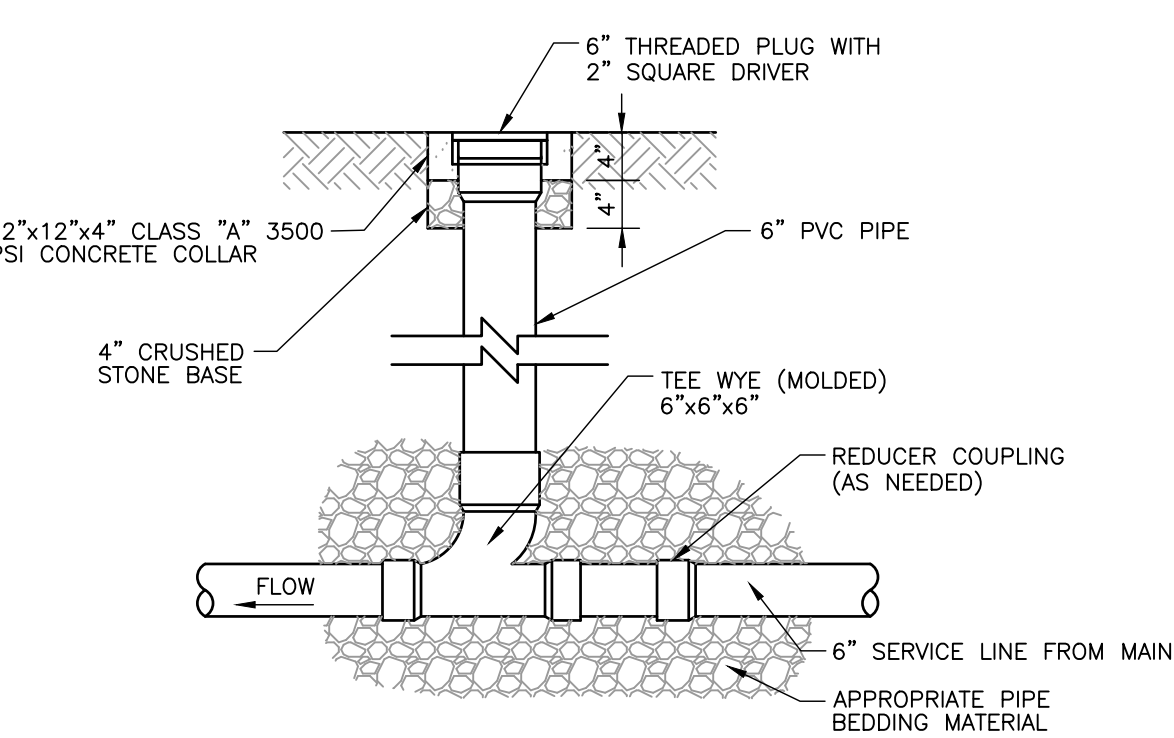


**HORIZONTAL BENDS**



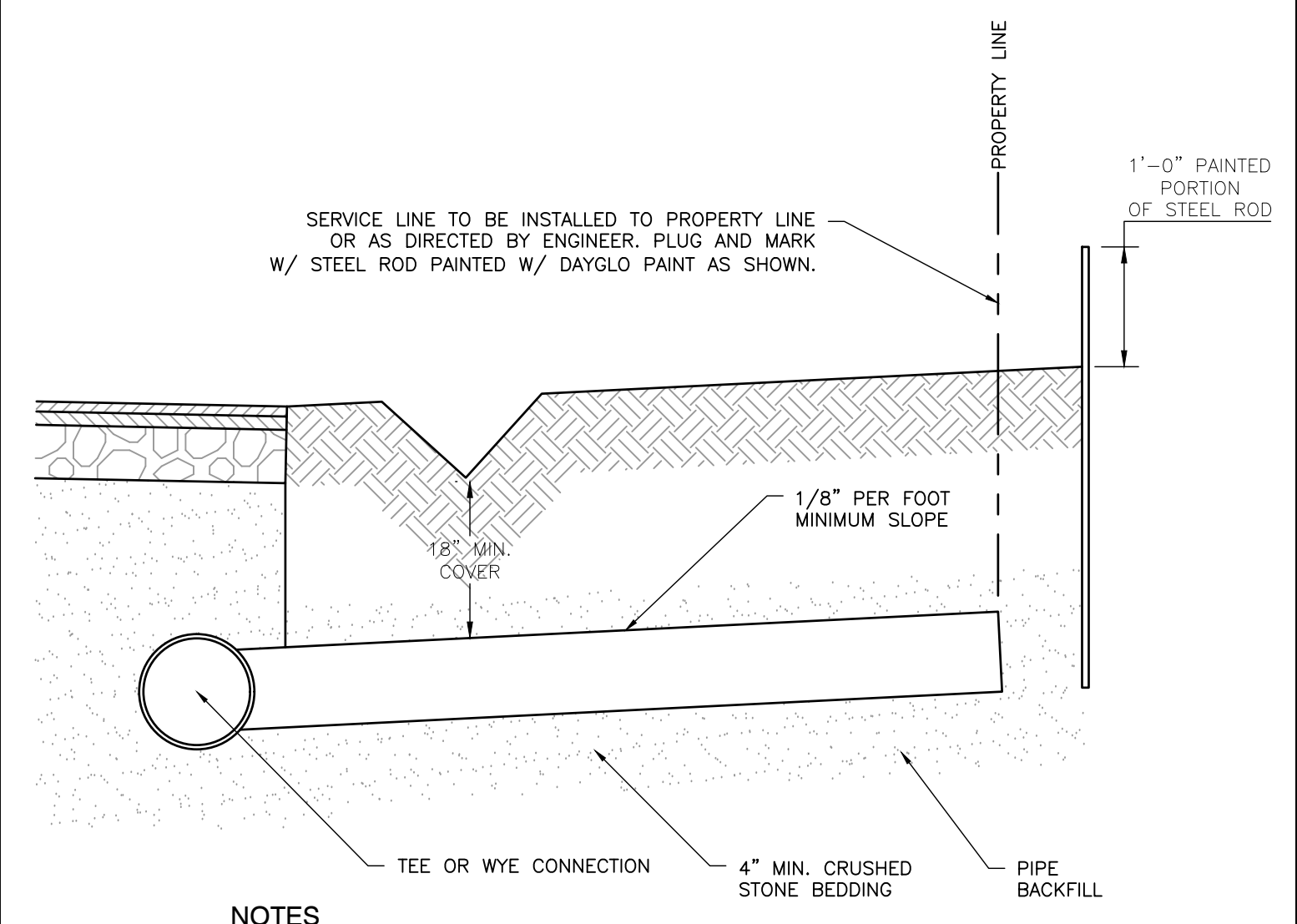
**SECTION A-A**

**DETAIL 505  
CONCRETE THRUST BLOCKS**  
N.T.S.



- NOTES:**
- ALL FITTINGS AND LINES TO BE SDR 35 PVC (SOLVENT WELD).
  - WHEN SERVICE LINE FROM MAINLINE IS 4\", ALL FITTINGS AND LINES TO BE 4\"/>

**DETAIL 504  
SANITARY SEWER CLEANOUT**  
N.T.S.



- NOTES:**
- BACKFILL ON SERVICE LINES TO BE STONE BACKFILL AS SHOWN.
  - BATTER BOARDS ARE NOT REQUIRED FOR LAYING PIPE, BUT GRADE TO BE REASONABLY UNIFORM AND ALIGNMENT STRAIGHT UNLESS OTHERWISE NOTED ON PLANS. PIPE SLOPE SHALL BE SUFFICIENT TO PROVIDE SERVICE TO BUILDING OR AS DIRECTED BY ENGINEER WITH MINIMUM SLOPES ALLOWED BY THE LOCAL PLUMBING CODE OR 1/8\"/>
  - MARKING ROD SHALL EXTEND FROM BOTTOM OF END OF SERVICE LINE TO 1'-0\"/>

**DETAIL 505  
SANITARY SEWER SERVICE ASSEMBLY**  
N.T.S.

**UTILITY DETAILS**

DATE: SEPTEMBER 2021 | DRAWN BY: ZAC  
 DIMS SCALE: AS SHOWN | CHECKED BY: JMK  
 PROJECT NO: 313-132  
 APPROVED BY: RGM

STATE OF TENNESSEE  
 ROBERT G. MORTON  
 REGISTERED PROFESSIONAL ENGINEER  
 LICENSE NO. 35006  
 EXPIRES 09/13/2027

DRAWING NO. **C804**  
 SHEET OF

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**Civil & Environmental Consultants, Inc.**  
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**ACE HARDWARE**  
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 THOMPSON'S STATION  
 WILLIAMSON COUNTY, TENNESSEE

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**EPSC NOTES**

- PERIMETER MEASURES ARE TO BE INSTALLED BEFORE EARTH MOVING ACTIVITIES BEGIN.
- EROSION AND SEDIMENT CONTROL MEASURES TO BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
- SITE EROSION CONTROLS SHALL BE CHECKED AND IF NECESSARY, REPAIRED WEEKLY AND WITHIN 24 HOURS AFTER EACH RAINFALL GREATER THAN OR EQUAL TO 1/2". IN THE EVENT OF CONTINUOUS RAINFALL, EROSION CONTROLS SHALL BE CHECKED DAILY.
- ANY OFF SITE SEDIMENT ACCUMULATIONS SHALL BE REMOVED DAILY. OFFSITE ACCUMULATIONS DEPOSITED ON PRIVATE PROPERTY SHALL BE REMOVED BY METHODS AGREED UPON BY THE CONTRACTOR AND THE ADJACENT LAND OWNER(S).
- STABILIZE AREAS WITHIN 14 DAYS AND STEEP SLOPES EQUAL TO OR GREATER THAN 3:1 WITHIN 7 DAYS.
- CONTRACTOR TO PROVIDE MEANS TO WASH WHEELS OF CONSTRUCTION VEHICLES TO PREVENT OFFSITE DEPOSITION OF SEDIMENT.

THIS SITE HAS BEEN REVIEWED FOR THE PRESENCE OF STEEP SLOPES, HILLTOPS AND RIDGETOPS, SLIPPAGE SOILS, AND KARST FEATURES. NONE OF THE MENTIONED FEATURES ARE PRESENT ON THIS SITE.



REVISION RECORD

NO.	DATE	DESCRIPTION

**CEC**  
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**ACE HARDWARE**  
**1109 ELLISTON WAY**  
**THOMPSON'S STATION**  
**WILLIAMSON COUNTY, TENNESSEE**

INITIAL EPSC PLAN

DATE:	SEPTEMBER 2021	DRAWN BY:	ZAC
DWG SCALE:	AS SHOWN	CHECKED BY:	JMK
PROJECT NO.:	313-132	APPROVED BY:	RG1

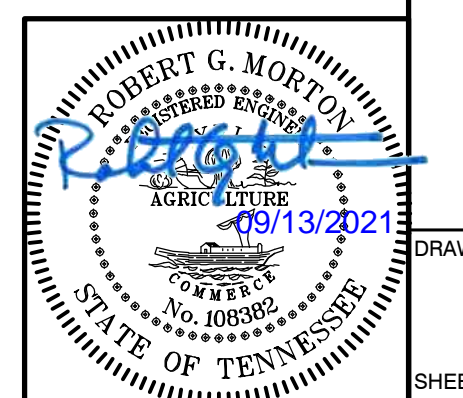
DRAWING NO. **C900**  
 SHEET OF



**NOTE TO CONTRACTOR**

THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE DESIGNER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**



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- EPSC NOTES**
1. PERIMETER MEASURES ARE TO BE INSTALLED BEFORE EARTH MOVING ACTIVITIES BEGIN.
  2. EROSION AND SEDIMENT CONTROL MEASURES TO BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH THE TENNESSEE DEPARTMENT OF ENVIRONMENT AND CONSERVATION EROSION AND SEDIMENT CONTROL HANDBOOK, LATEST EDITION.
  3. SITE EROSION CONTROLS SHALL BE CHECKED AND IF NECESSARY, REPAIRED WEEKLY AND WITHIN 24 HOURS AFTER EACH RAINFALL GREATER THAN OR EQUAL TO 1/2". IN THE EVENT OF CONTINUOUS RAINFALL, EROSION CONTROLS SHALL BE CHECKED DAILY.
  4. ANY OFF SITE SEDIMENT ACCUMULATIONS SHALL BE REMOVED DAILY. OFFSITE ACCUMULATIONS DEPOSITED ON PRIVATE PROPERTY SHALL BE REMOVED BY METHODS AGREED UPON BY THE CONTRACTOR AND THE ADJACENT LAND OWNER(S).
  5. STABILIZE AREAS WITHIN 14 DAYS AND STEEP SLOPES EQUAL TO OR GREATER THAN 3:1 WITHIN 7 DAYS.
  6. CONTRACTOR TO PROVIDE MEANS TO WASH WHEELS OF CONSTRUCTION VEHICLES TO PREVENT OFFSITE DEPOSITION OF SEDIMENT.
- THIS SITE HAS BEEN REVIEWED FOR THE PRESENCE OF STEEP SLOPES, HILLTOPS AND RIDGETOPS, SLIPPAGE SOILS, AND KARST FEATURES. NONE OF THE MENTIONED FEATURES ARE PRESENT ON THIS SITE.

NO.	DATE	DESCRIPTION

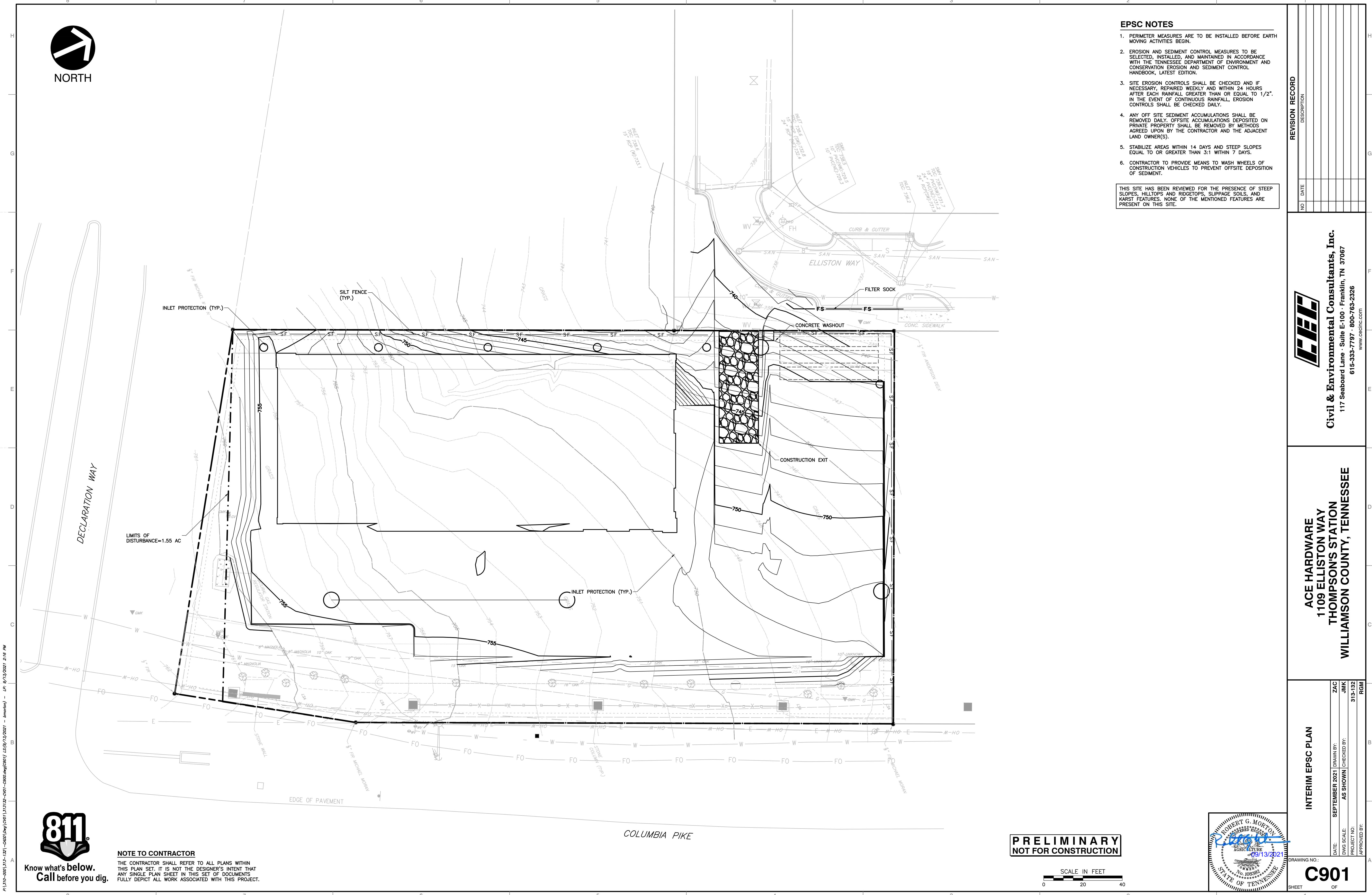
**Civil & Environmental Consultants, Inc.**  
 117 Seaboard Lane · Suite E-100 · Franklin, TN 37067  
 615-333-7797 · 800-763-2326  
 www.cechinc.com

**ACE HARDWARE**  
 1109 ELLISTON WAY  
 THOMPSON'S STATION  
 WILLIAMSON COUNTY, TENNESSEE

**INTERIM EPSC PLAN**

DATE: SEPTEMBER 2021 | DRAWN BY: ZAC  
 DWG SCALE: AS SHOWN | CHECKED BY: JMK  
 PROJECT NO: 313-132  
 APPROVED BY: RGM

DRAWING NO. **C901**  
 SHEET OF

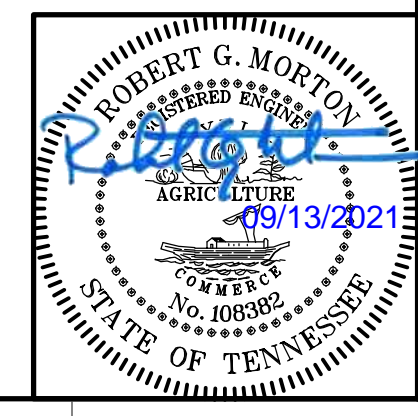


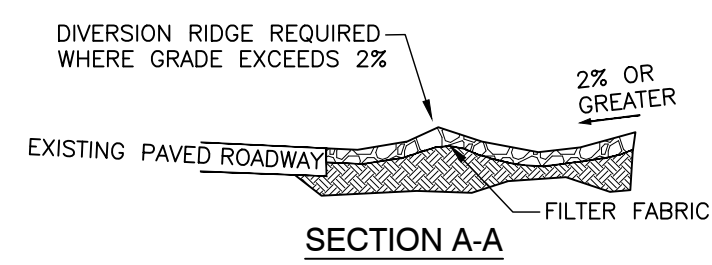
A:\110-001\110-121-000\1101\110132-epsc-001-000.dwg (3/13/2021 15:09:13) - bmvwvny - LP: 8/13/2021 2:16 PM



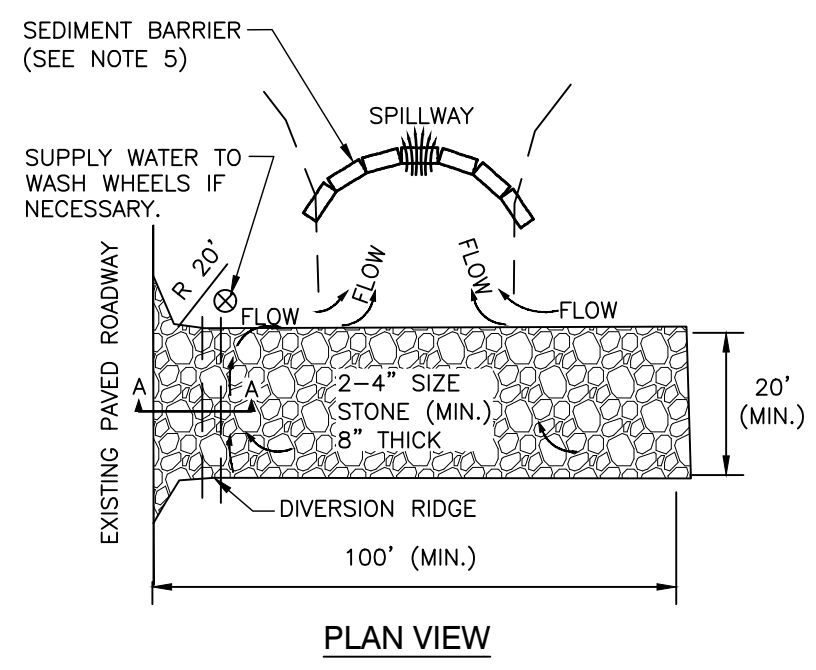
**NOTE TO CONTRACTOR**  
 THE CONTRACTOR SHALL REFER TO ALL PLANS WITHIN THIS PLAN SET. IT IS NOT THE DESIGNER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THIS PROJECT.

**PRELIMINARY**  
 NOT FOR CONSTRUCTION





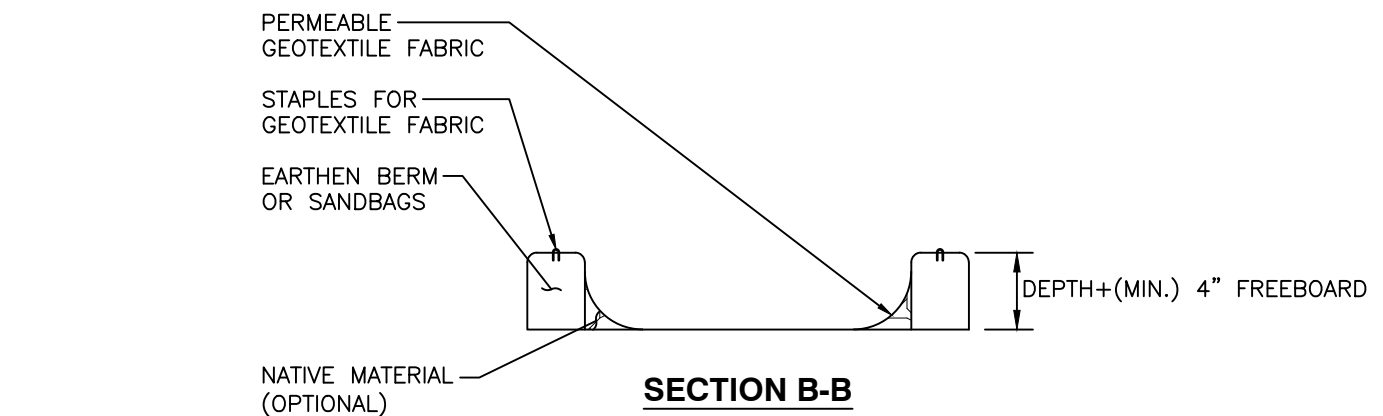
SECTION A-A



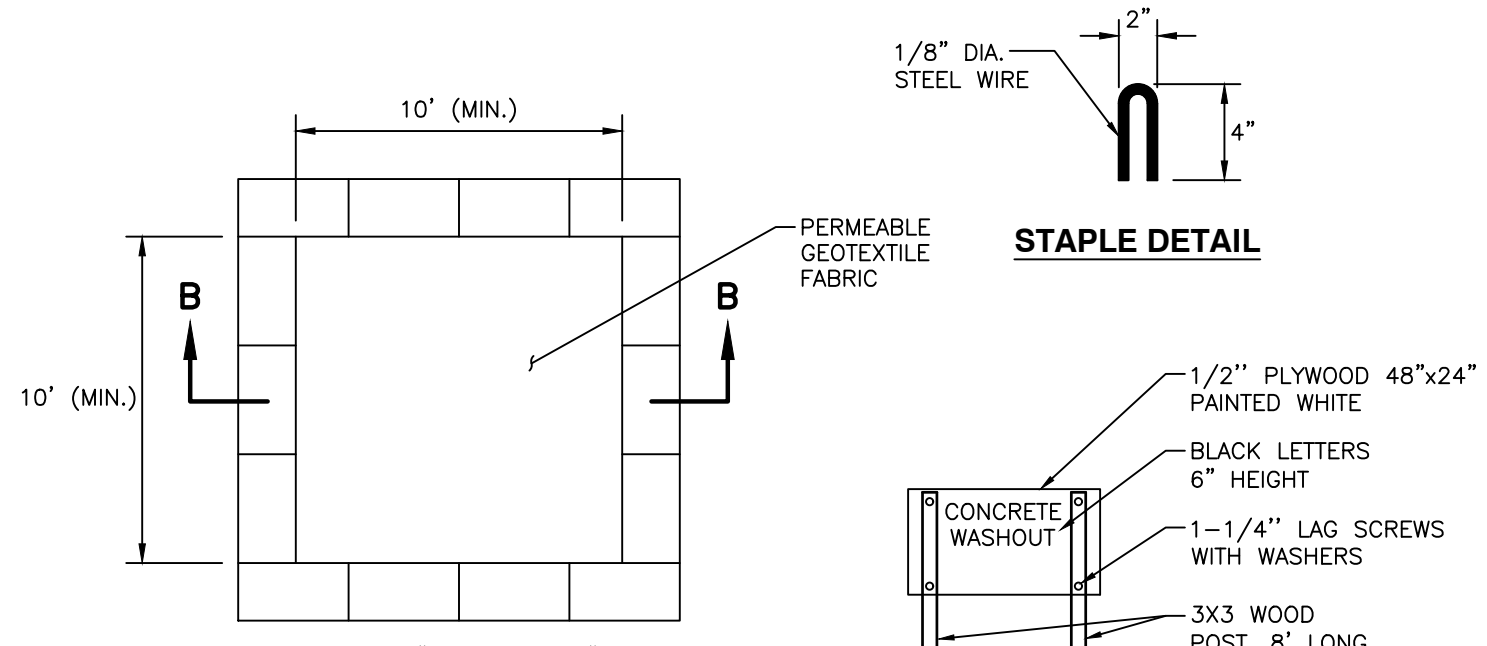
PLAN VIEW

- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  3. USE SANDBAGS, FILTER LOGS OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO BASIN AS REQUIRED.

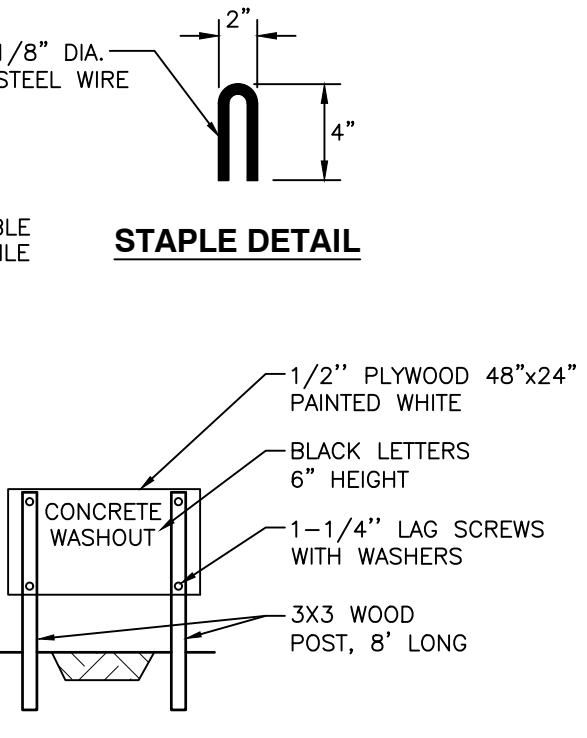
**DETAIL 900**  
**CONSTRUCTION EXIT**  
N.T.S.



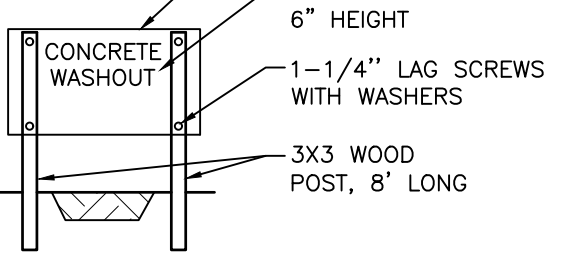
SECTION B-B



PLAN



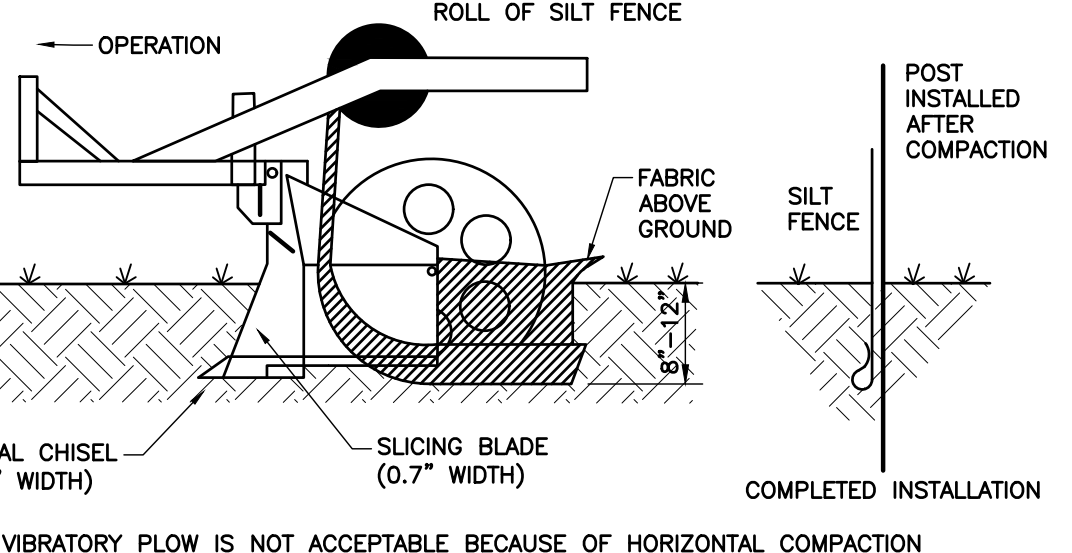
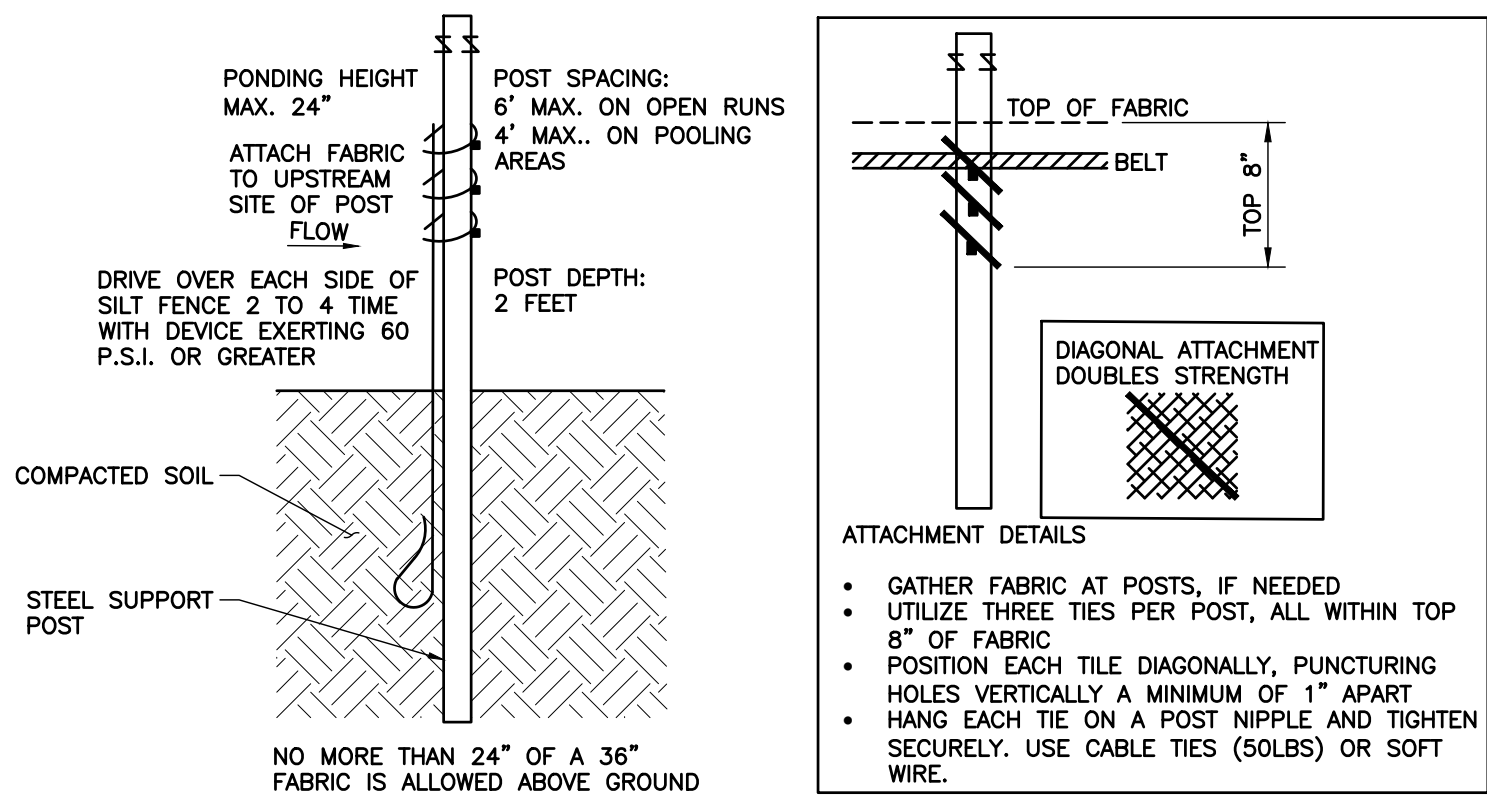
STAPLE DETAIL



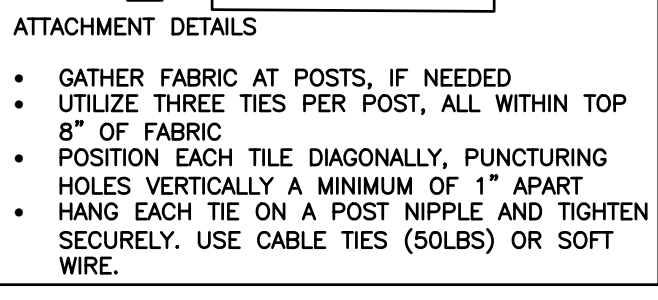
CONCRETE WASHOUT SIGN DETAIL (OR EQUIVALENT)

- NOTES:
1. ACTUAL LAYOUT DETERMINED IN FIELD.
  2. THE CONCRETE WASHOUT SIGN SHALL BE INSTALLED WITHIN 5 FT. OF THE TEMPORARY CONCRETE WASHOUT FACILITY.
  3. CONTRACTOR SHALL PROVIDE AN AREA FOR CONCRETE WASH DOWN AND EQUIPMENT FUELING. CONTRACTOR TO COORDINATE EXACT LOCATION WITH NPDES DEPARTMENT DURING PRECONSTRUCTION MEETING. CONTROL OF OTHER SITE WASTES SUCH AS DISCARDED BUILDING MATERIALS, CHEMICALS, LITTER, AND SANITARY WASTES THAT MAY CAUSE ADVERSE IMPACTS TO WATER QUALITY IS ALSO REQUIRED BY THE GRADING PERMITTEE.

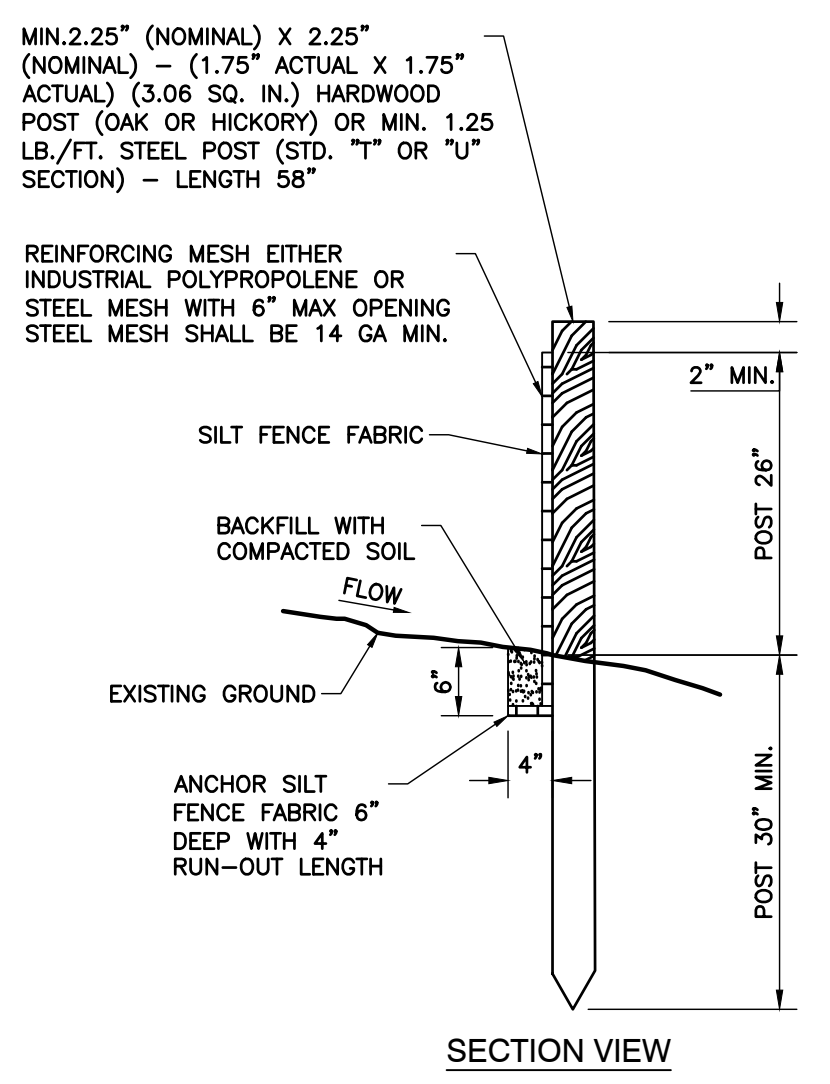
**DETAIL 901**  
**CONCRETE WASHOUT FACILITY**  
N.T.S.



VIBRATORY PLOW IS NOT ACCEPTABLE BECAUSE OF HORIZONTAL COMPACTION



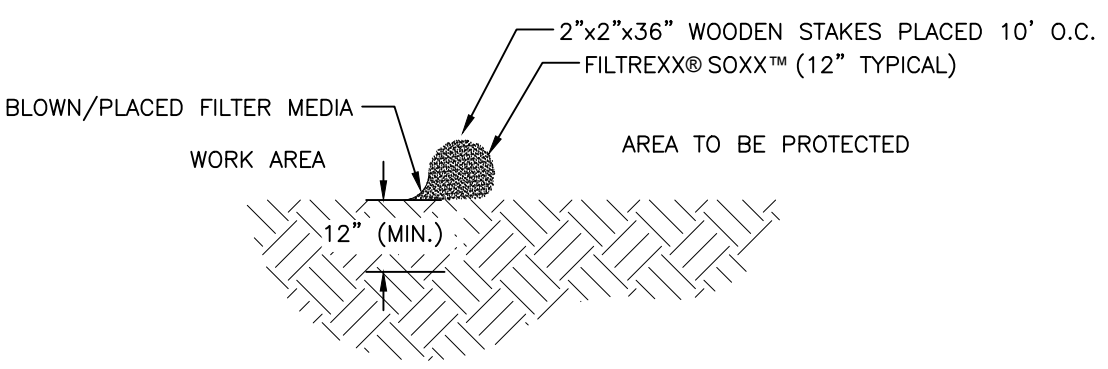
ATTACHMENT DETAILS



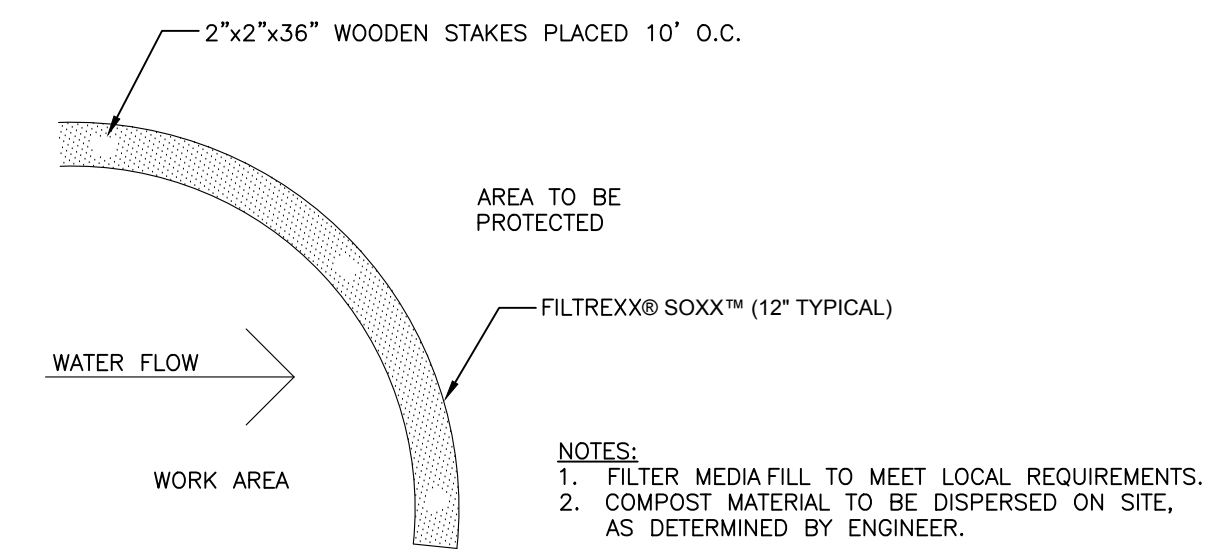
SECTION VIEW

- NOTES:
1. SILT FENCE SHALL BE SELECTED, INSTALLED, AND MAINTAINED IN ACCORDANCE WITH TDEC SPECIFICATIONS.
  2. SILT FENCE TO BE INSTALLED USING THE J-HOOK METHOD, AS APPLICABLE, ON SLOPES.

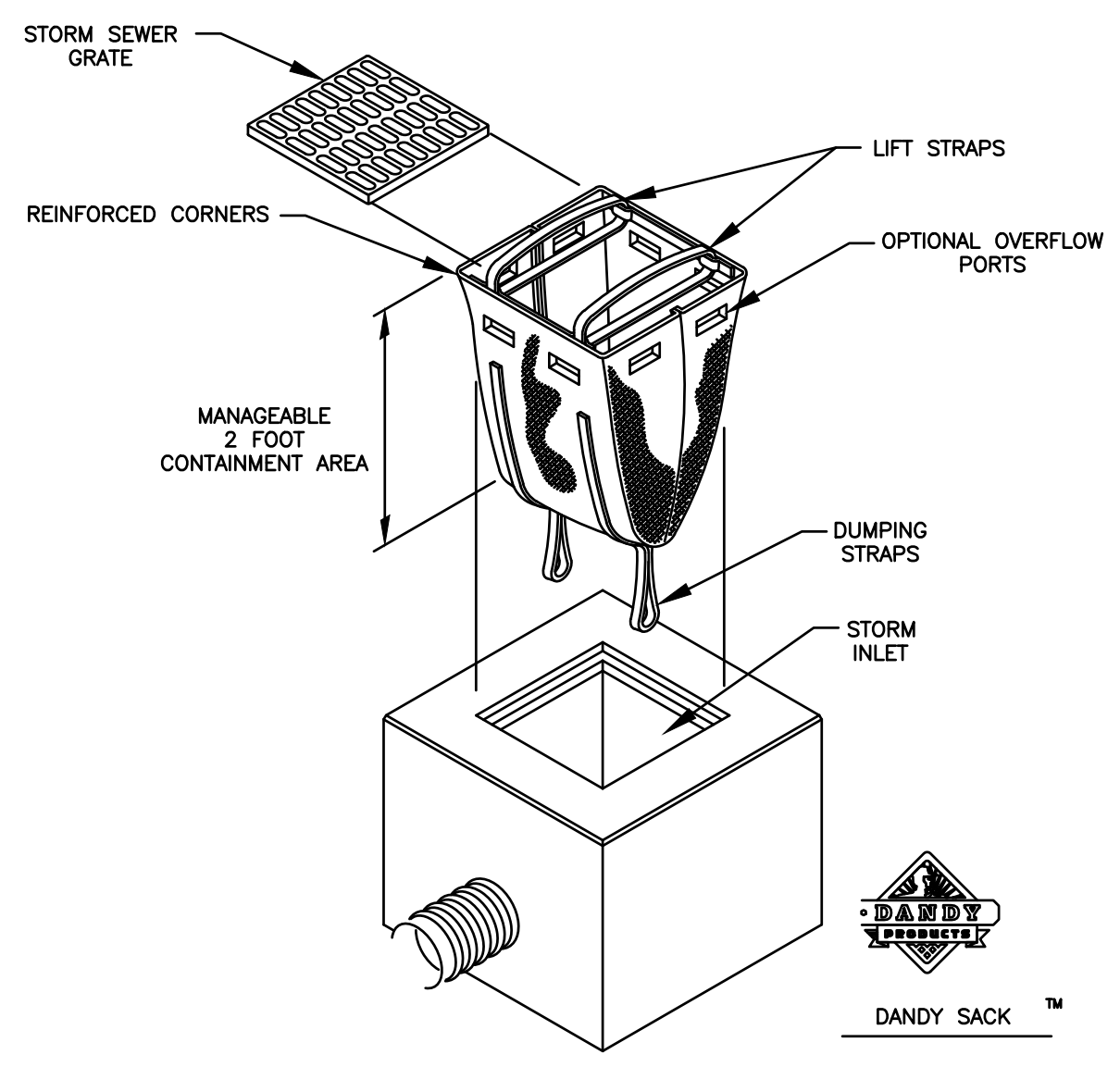
**DETAIL 902**  
**SILT FENCE WITH WIRE BACK**  
N.T.S.



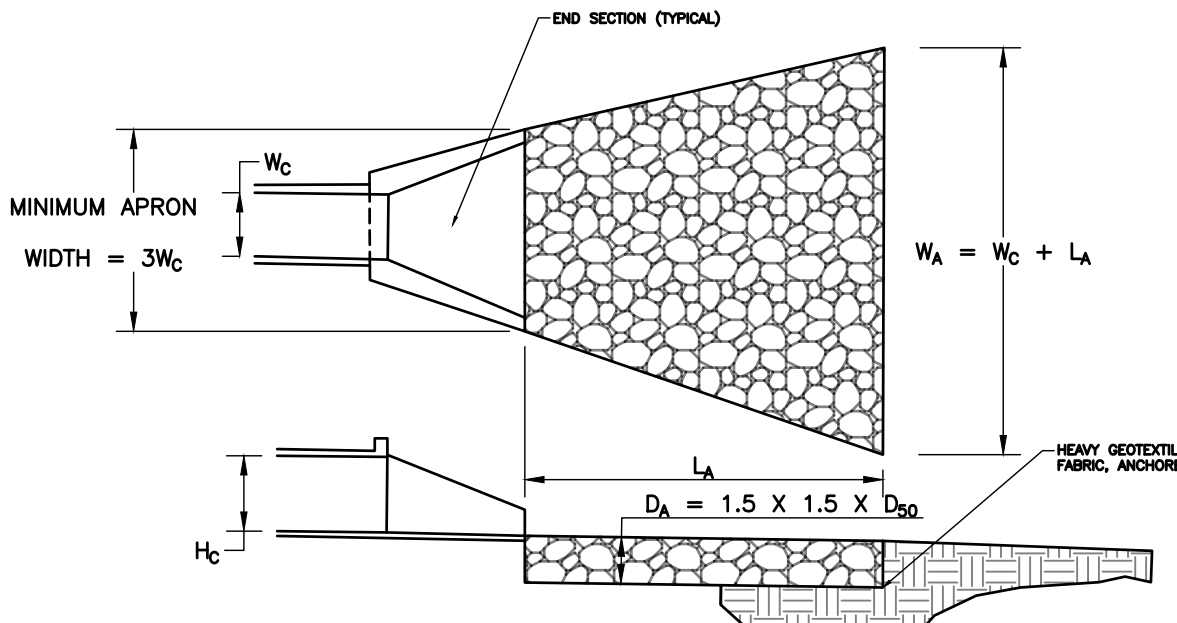
SECTION



**DETAIL 903**  
**FILTER SOCK**  
N.T.S.



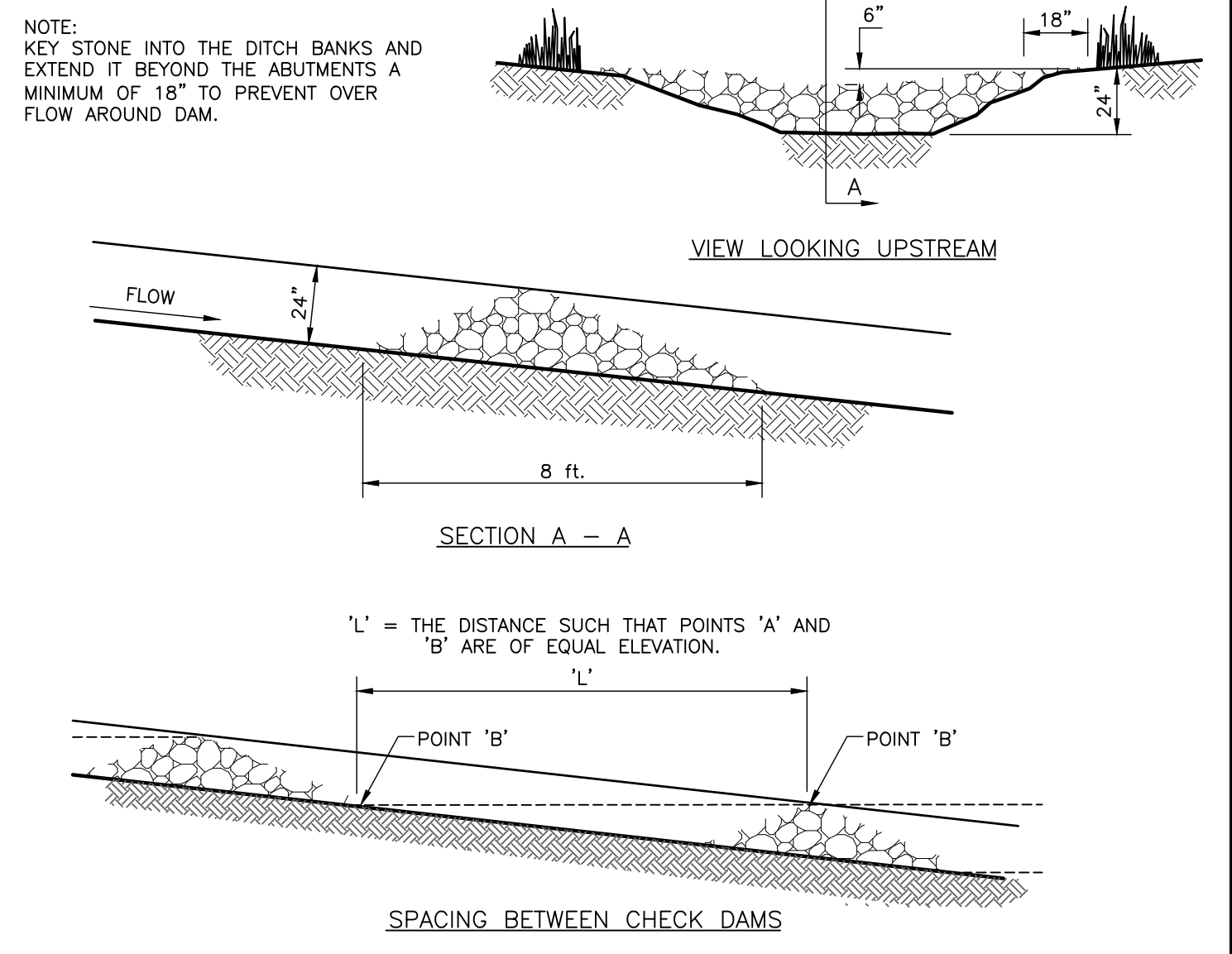
**DETAIL 904**  
**TEMPORARY INLET PROTECTION**  
N.T.S.



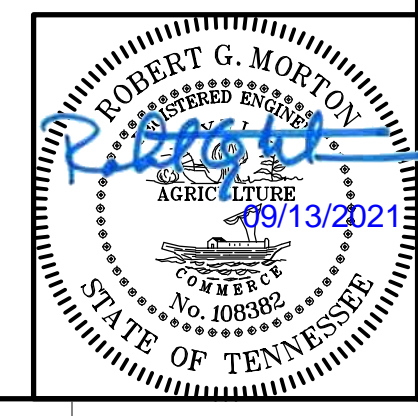
TAILWATER < 0.5Hc AND ASSUMING FULL CULVERT FLOW (LOW TAILWATER CONDITIONS)

RIPRAP APRONS FOR LOW TAILWATER					
Hc/Wc CULVERT DIAMETER	La (FT)	D50 (IN)	MINIMUM APRON WIDTH (FT)	Da STONE DEPTH (IN)	Wa (FT)
18" & 24"	14	5.5	6	13	16
DUAL 24"	16	6	15	14	21
30"	16	6	8	14	19
36"	20	7	9	16	23

**DETAIL 905**  
**RIP RAP APRON**  
N.T.S.



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**  
**DETAIL 906**  
**ROCK CHECK DAM**  
N.T.S.



NO.	DATE	DESCRIPTION

**C&E**  
**Civil & Environmental Consultants, Inc.**  
117 Seaboard Lane - Suite E-100 - Franklin, TN 37067  
615-333-7797 - 800-763-2326  
www.candec.com

**ACE HARDWARE**  
1109 ELLISTON WAY  
THOMPSON'S STATION  
WILLIAMSON COUNTY, TENNESSEE

**EPSC DETAILS**

DATE: SEPTEMBER 2021 | DRAWN BY: ZAC  
DWG SCALE: AS SHOWN | CHECKED BY: JMK  
PROJECT NO: 313-132  
APPROVED BY: RGM

APPROVED BY: [Signature]

**PRELIMINARY**  
**NOT FOR CONSTRUCTION**

**C903**

SHEET OF

A:\110-0001\110-121-0000\DWG\001\110121-001-001.dwg(303) LS(9/10/2021 - 2:00pm) - L# 9/13/2021 2:17 PM

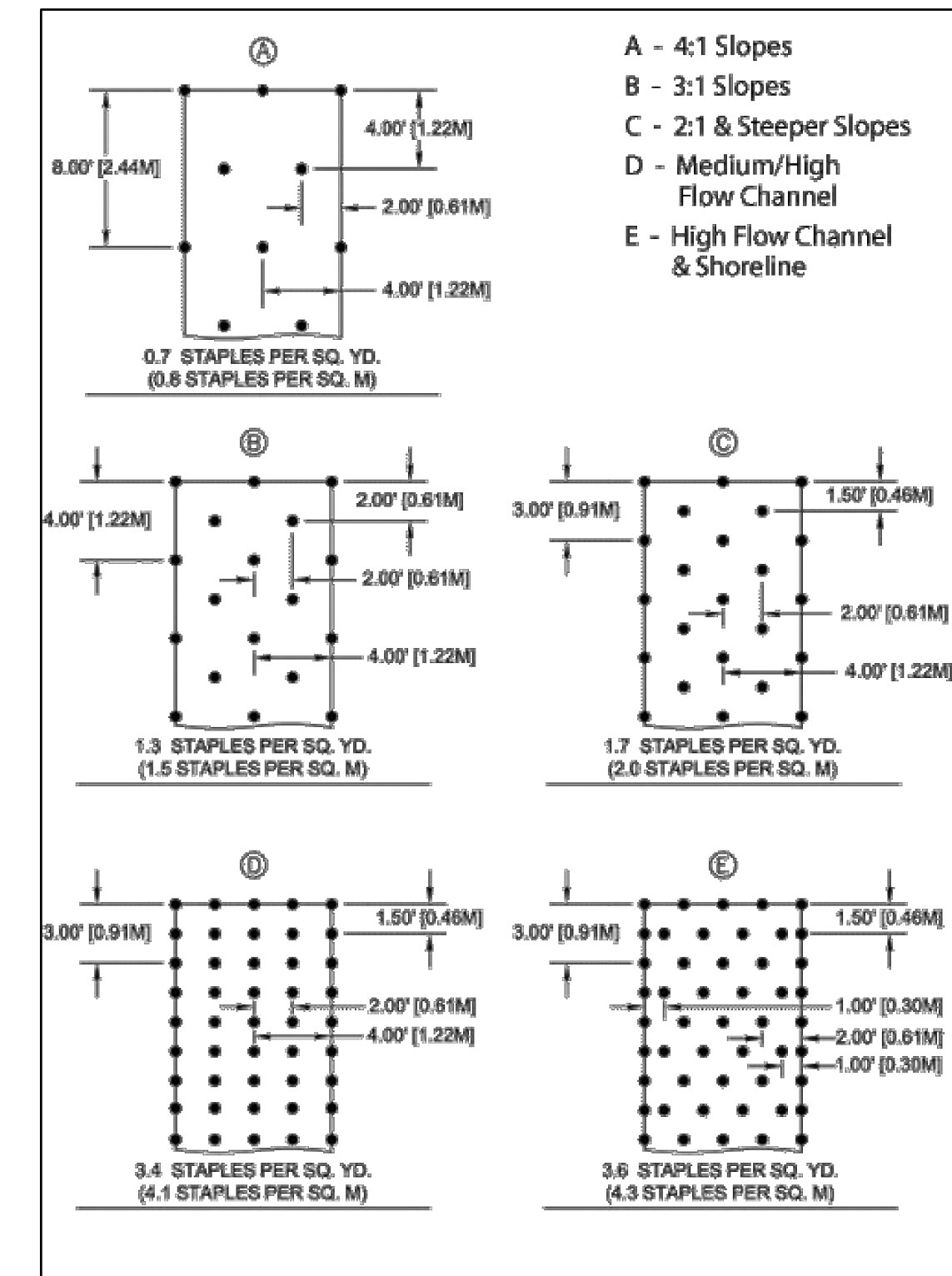


**NOTES**

1. CONTRACTOR SHALL REFER TO OTHER PLANS WITHIN THIS CONSTRUCTION SET FOR OTHER PERTINENT INFORMATION. IT IS NOT THE ENGINEER'S INTENT THAT ANY SINGLE PLAN SHEET IN THIS SET OF DOCUMENTS FULLY DEPICT ALL WORK ASSOCIATED WITH THE PROJECT.

**GENERAL LANDSCAPE NOTES**

1. ALL TREES AND SHRUBS TO BE FULL SHAPE.
2. SINGLE LEADER.
3. ALL LANDSCAPE BEDS AND TREE RINGS TO BE 3" SHREDDED HARDWOOD MULCH.
4. DISTURBED AREAS NOT RECEIVING MULCH TO BE FESCUE SOD. SEE L101.
5. CONTRACTOR TO PROVIDE FESCUE SOD.
6. CONTRACTOR TO PROVIDE SHREDDED HARDWOOD MULCH.
7. CONTRACTOR TO PROVIDE TEMPORARY IRRIGATION UNTIL JOB ACCEPTED BY LANDSCAPE ARCHITECT.
8. IT IS RECOMMENDED BY LANDSCAPE ARCHITECT TO ESTABLISH PERMANENT IRRIGATION FOR PLANT MATERIAL.
9. SEE SHEET L101 FOR LANDSCAPE NOTES AND DETAILS.
10. SOD ON SLOPES 3:1 OR GREATER TO BE STAPLED IN PLACE. (SEE DETAIL, THIS SHEET)
11. ALL DISTURBED AREAS NOT RECEIVING SOD OR OTHER GROUND COVER TO BE SEEDED WITH FESCUE SEED MIX AND STRAWED.



**ACE HARDWARE**  
 17,933 SF  
 (15,066 SF RETAIL &  
 1,932 SF OFFICE/STOCKING)  
 FFE: 755.00

**PLANT SCHEDULE**

TREES	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	AR	ACER RUBRUM 'OCTOBER GLORY'	OCTOBER GLORY RED MAPLE	3" CAL.	B&B	6	L101	FULL SHAPE, SINGLE LEADER
	TO	THUJA OCCIDENTALIS 'SMARAGD'	EMERALD GREEN ARBORVITAE	6' HT.	B&B	35	L101	FULL SHAPE
	ZS	ZELKOVA SERRATA 'GREEN VASE'	GREEN VASE SAWLEAF ZELKOVA	3" CAL.	B&B	6	L101	FULL SHAPE, SINGLE LEADER
SHRUBS	CODE	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER	QTY	DETAIL	REMARKS
	CXA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	KARL FOERSTER FEATHER REED GRASS	2.5' HT.	CONT.	31	L101	FULL SHAPE
	ICC	ILEX CRENATA 'COMPACTA'	DWARF JAPANESE HOLLY	2.5' HT.	CONT.	22	L101	FULL SHAPE
	PL	PRUNUS LAUROCERASUS 'OTTO LUYKEN'	OTTO LUYKEN ENGLISH LAUREL	3' - 4' HT.	CONT.	37	L101	FULL SHAPE

NO.	DATE	DESCRIPTION

**Civil & Environmental Consultants, Inc.**  
 117 Seaboard Lane · Suite E-100 · Franklin, TN 37067  
 615-333-7797 · 800-763-2326  
 www.cecinc.com

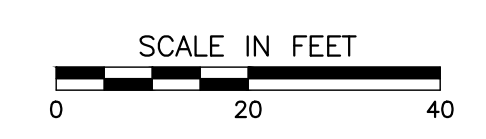
**ACE HARDWARE**  
 1109 ELLISTON WAY  
 THOMPSON'S STATION  
 WILLIAMSON COUNTY, TENNESSEE

**LANDSCAPE PLAN**

DATE: SEPTEMBER 2021 | DRAWN BY: ZAC  
 DWG SCALE: AS SHOWN | CHECKED BY: JMK  
 PROJECT NO: 313-132  
 APPROVED BY: RGM



**PRELIMINARY**  
**NOT FOR CONSTRUCTION**



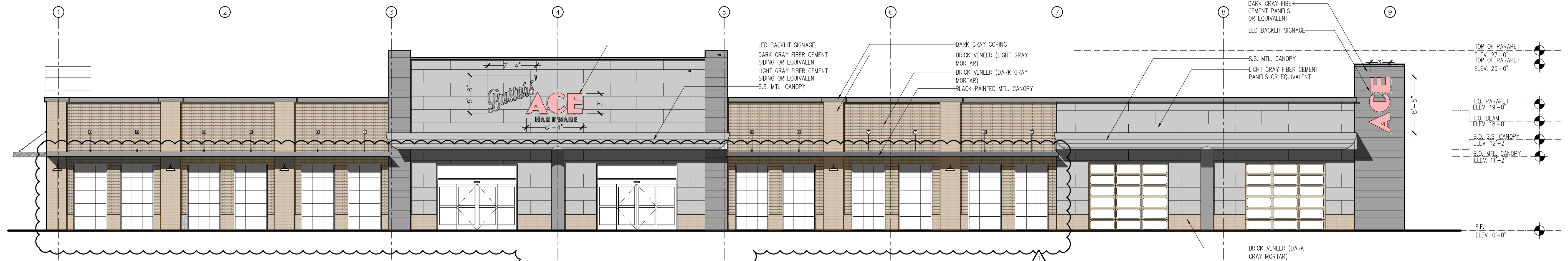
DRAWING NO. **L100**  
 SHEET OF

A:\170-0001\171-121-000\DWG\10071\17132-001-100.dwg(10071\_17132-001-100.dwg) - P. 9/13/2021 12:08 PM



**NOTE TO CONTRACTOR**  
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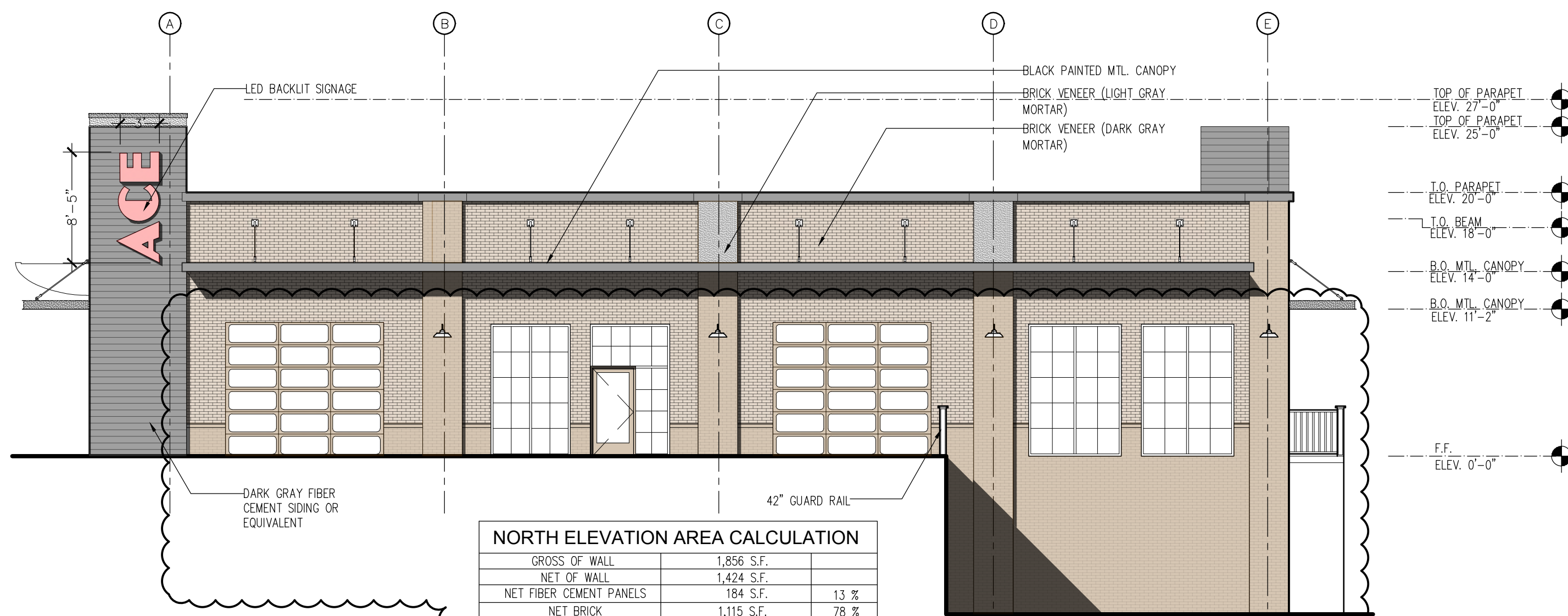




GROSS OF WALL	4,431 S.F.	
NET OF WALL	3,259 S.F.	
NET FIBER CEMENT PANELS	1,596 S.F.	49 %
NET BRICK	1,677 S.F.	51 %
WALL UNDER CANOPY	2,448 S.F.	
GLAZING	1,256.4 S.F.	51.3 %

1 EAST ELEVATION

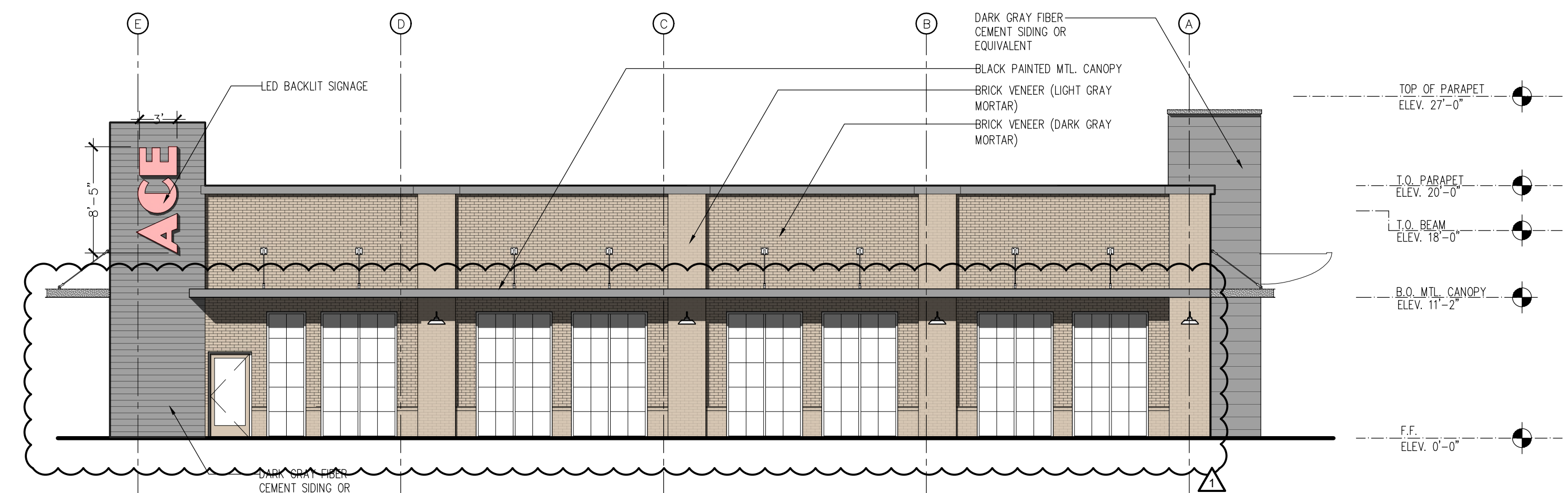
Scale: 1/8"=1'-0"



GROSS OF WALL	1,856 S.F.	
NET OF WALL	1,424 S.F.	
NET FIBER CEMENT PANELS	184 S.F.	13 %
NET BRICK	1,115 S.F.	78 %
WALL UNDER CANOPY	1,016 S.F.	
GLAZING	505 S.F.	49.7 %

2 NORTH ELEVATION

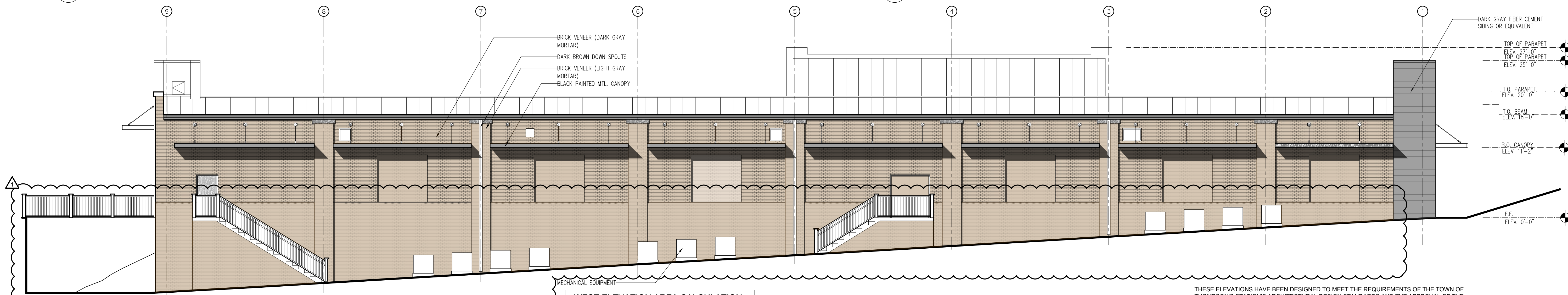
Scale: 1/8"=1'-0"



GROSS OF WALL	1,781 S.F.	
NET OF WALL	1,169 S.F.	
NET FIBER CEMENT PANELS	188 S.F.	10 %
NET BRICK	1,064 S.F.	91 %
WALL UNDER CANOPY	1,045 S.F.	
GLAZING	558 S.F.	53.3 %

3 SOUTH ELEVATION

Scale: 1/8"=1'-0"



GROSS OF WALL	3,251 S.F.	
NET OF WALL	3,066 S.F.	
NET FIBER CEMENT PANELS	167 S.F.	5 %
NET BRICK	2,919 S.F.	95 %

4 WEST ELEVATION

Scale: 1/8"=1'-0"

THESE ELEVATIONS HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE TOWN OF THOMPSON'S STATION'S ARCHITECTURAL DESIGN STANDARDS AND THE APPROVAL OF THE DRC/TOWN OF THOMPSON'S STATION. CHANGES SHALL NOT BE MADE TO THE APPROVED ELEVATIONS UNLESS APPROVED BY EITHER THE COMMUNITY DEVELOPMENT DIRECTOR OR THE DRC



ISSUED	DATE
ISSUE FOR BID	08/09/21
DRG SUBMITTAL	08/16/21
PLANNING COMMISSION RESPONSE	08/20/21
COMMITTEE RESPONSE REVISION	09/13/21

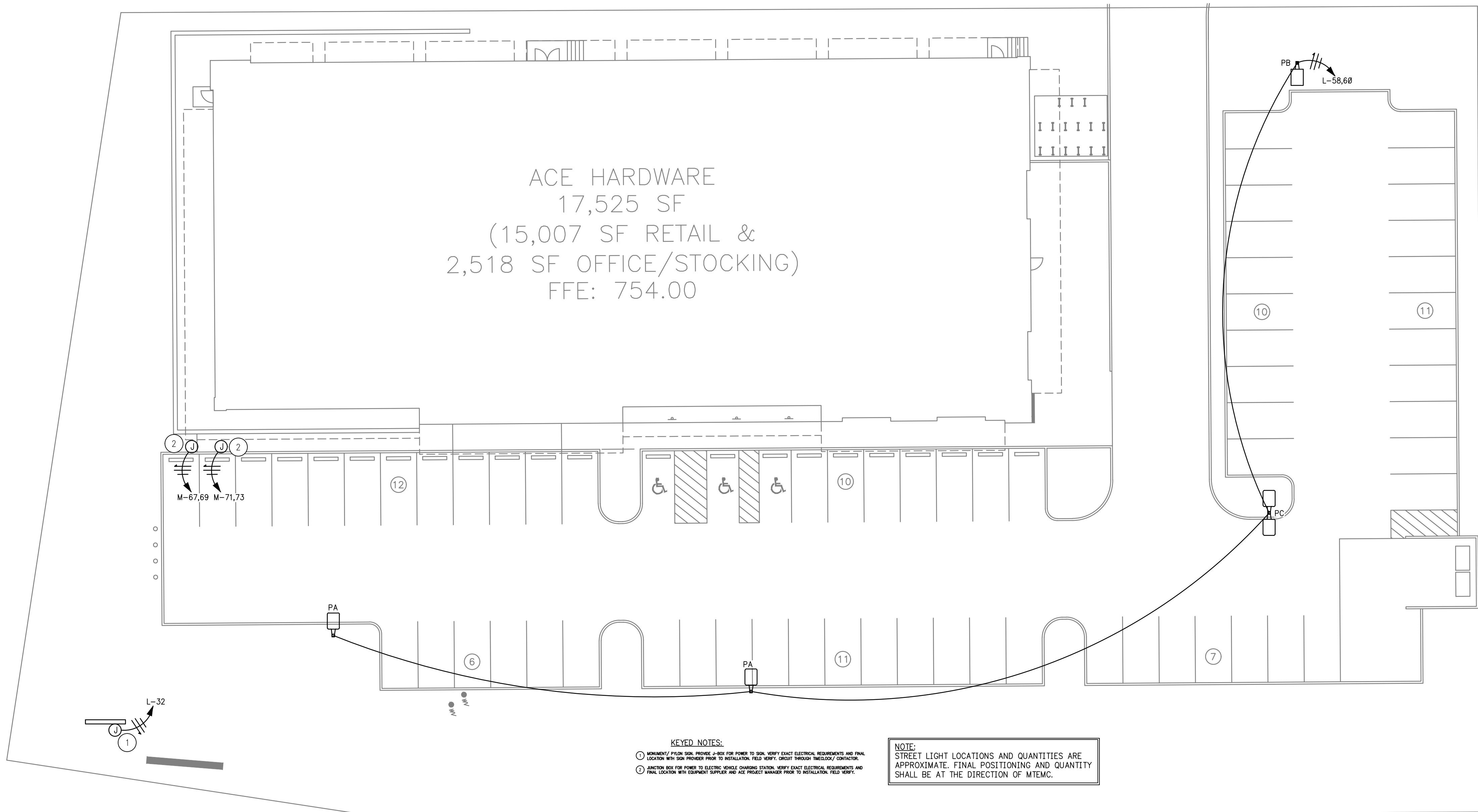


**BUTTERS' ACE HARDWARE**  
SITE DEVELOPMENT  
1109 ELLISTON WAY  
THOMPSON'S STATION, TN

ISSUED	DATE
PLANNING COMMISSION	08/20/2021

**E-3.00**  
ELECTRICAL  
SITE  
LIGHTING PLAN

MARK	SYMBOL	TYPE	VOLT	WATTS	LAMP	BRAND & CATALOG NO.
PA		LED PARKING LOT LIGHT FIXTURE, 4000K. MOUNTING HEIGHT: 25 FEET	MVOLT	185	LED	LITHONIA DSX2 LED P2 40K T4M MVOLT SPA
PB		LED PARKING LOT LIGHT FIXTURE, 4000K. MOUNTING HEIGHT: 25 FEET	MVOLT	217	LED	LITHONIA DSX2 LED P3 40K T4M MVOLT SPA
PC		LED PARKING LOT LIGHT FIXTURE, TWO LED HEADS, HOUSE SIDE SHIELD, 4000K. MOUNTING HEIGHT: 25 FEET	MVOLT	140 EACH	LED	LITHONIA DSX2 LED P1 40K T3M MVOLT HS SPA



**KEYED NOTES:**

- ① MOMENT/PLAN FOR SIGN PROVIDE 2-KEY FOR POWER TO SIGN. VERIFY EXACT ELECTRICAL REQUIREMENTS AND FINAL LOCATION WITH SIGN PROVIDER PRIOR TO INSTALLATION. FIELD VERIFY, CREDIT THROUGH "INVENTORY" CONTRACTOR.
- ② JUNCTION BOX FOR POWER TO ELECTRIC VEHICLE CHARGING STATION. VERIFY EXACT ELECTRICAL REQUIREMENTS AND FINAL LOCATION WITH EQUIPMENT SUPPLIER AND AEC PROJECT MANAGER PRIOR TO INSTALLATION. FIELD VERIFY.

**NOTE:**  
STREET LIGHT LOCATIONS AND QUANTITIES ARE APPROXIMATE. FINAL POSITIONING AND QUANTITY SHALL BE AT THE DIRECTION OF MTEMC.

1 ELECTRICAL SITE LIGHTING PLAN  
Scale: 1/16"=1'-0"









The applicant was requested to provide written responses to the LDO requirements for a Residential Business. The applicant's responses are in blue text, below.

Provide information showing compliance with the following:

1. **4.11.3 states that Residential Business are intended "to permit non-intrusive economic activity on residential properties while protecting the integrity of the community..."**.

**Please provide a written assurance detailing how this Residential Business will be non-intrusive.**

Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. Adequate parking exists for the volume of guests the [Venue at Lookaway Farm](#) expects, and the size of the property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate.

2. **Please provide a written response to each of the General Regulations of Section 4.11.3(b) of the LDO:**

- i. **A residential business may not be permitted on lots less than one (1) acre in size.**

The property is 36.57 acres.

- ii. **The residents of the property must be engaged in the business. Additional non-residents may be employed in the residential business providing all parking can be provided on site and the use does not become a nuisance to the community. Adequate parking for all employees shall be indicated on the site plan.**

Residents of the property shall be engaged in the business and adequate parking exists for any employees and/or invitees. As stated above Mr. Reifschneider has an annual firework display which has not generated any nuisance complaint(s).

- iii. **With the exception of land uses that require cultivation of the land, all residential business uses shall be maintained within an enclosed building, not to exceed 5,000 square feet.**

There are several barns on the property, all of which exceed 5,000 square feet, and the dwelling exceeds this square footage. A variance from this requirement is requested.

- iv. **All storage of materials used for the residential business shall be kept within an enclosed structure or shall be completely screened from the roadways and adjacent properties.**

There are several barns on the property, all of which exceed 5,000 square feet which will satisfy the enclosed structure requirement(s) and the size of the property, and its topography and tree canopy adequately provides the necessary screening.

- v. **All buildings utilized for the business shall maintain a minimum setback of 50 feet from any property line.**

The size of the property (36.57 acres) provides significant buffering to any existing structure satisfying this requirement; further, any temporary structure shall be sited to exceed this setback requirement.

**vi. Any land alterations necessary for the installation of any accessory structures shall be subject to review and approval of a grading plan.**

No accessory structures are expected; however, should any be contemplated after approval of the [Venue at Lookaway Farm](#) an application for a grading plan will be made.

**vii. All businesses shall comply with the code requirements for buffer yard performance standards.**

The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate and the [Venue at Lookaway Farm](#) will comply with all buffer yard performance standards.

**viii. Any business that exceeds the thresholds within the Noise Ordinance shall be required to soundproof the building.**

The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate and the [Venue at Lookaway Farm](#) will comply with all Noise Ordinances.

**ix. No activities, materials or equipment related to the residential business may negatively impact visibility from the public right-of-way or neighboring residences.**

The size of the property (36.57 acres) and its topography, existing landscaping and tree canopy adequately provides the necessary screening to prevent any visibility impact from the public right-of-way or neighboring residences.

**x. Any proposed signage shall be required to obtain a sign permit prior to the installation of any signs.**

An existing sign for the farm exists in a field adjacent to the main drive into the property. A sign permit application will be made for its modification if the [Venue at Lookaway Farm](#) is approved.

**3. Please provide a more detailed site plan. At a minimum show labeled areas for- parking, portable sewer vehicles/porta-potties, & tents.**

Labeled parking and alternate locations for tent placement has been provided. It is expected that the Luxury Loo placement will be adjacent to the main barn and/or garage to the North of the main dwelling dependent upon the type of event, to provide ease of access from existing driveways.

**4. Please provide details on:**

**a. Venue hours** - Will vary dependent upon the type of event.

**i. If the venue will operate after dark, will there be site lighting?**

Site lighting is expected for events occurring in the evening. The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate, and the [Venue at Lookaway Farm](#) will comply with all Town codes and/or standards.

**b. Venue occupancy** - Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in

attendance. No event at the [Venue at Lookaway Farm](#) is expected to exceed three hundred attendees.

- c. **Traffic Control measures for ingress/egress** Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. No event at the [Venue at Lookaway Farm](#) is expected to exceed three hundred attendees; however, traffic patrol guidance will be provided for ingress/egress if necessary. Further, dependent upon the type of event, valet parking may be provided as an option for invited guests.
  - d. **Will there be fireworks/noise makers?** Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. These events are for invited guests and are not associated with the events expected to occur at the [Venue at Lookaway Farm](#).
  - e. **Will there be PA/Sound amplification systems?** The [Venue at Lookaway Farms](#) expects live entertainment and/or music to be a component of the events utilizing the property. The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate and the [Venue at Lookaway Farm](#) will comply with all Noise Ordinances.
5. **Will any events take place in any existing structures?** It is expected the main barn will be utilized and integrated with the tent location(s) dependent upon the type of event, to provide ease of access to/from existing driveways and Luxury Loo placement.
- i. **Building Code/Fire Code Compliance maybe required if, so.**  
The [Venue at Lookaway Farm](#) will comply with all Town codes and/or building standards.

No details related to signage were included. If approved as a residential business, a sign permit shall be required for any on-site signage per LDO section 4.171.4(b)(iii) Residence Signs.

### **PC REVIEW**

Planning Commission should review the information provided by the application and determine if the thresholds for a residential business have been satisfied.

### **ATTACHMENTS**

PC Application/Submittal

# Town of Thompson's Station Planning Department

P. O. Box 100  
1550 Thompson's Station Road West  
615-794-4333



**General Application / Request:**

File No.: \_\_\_\_\_

**Applicant Information:** (Please print)

Company / Business Name: Huntly Gordon PLLC

Contact: Huntly Gordon Phone # 1: 615.302.0100

Mailing / Street Address: PO Box 461

City, State, Zip: Thompson's Station, TN 37179

E-mail: huntly@huntlygordon.com Phone # 2: \_\_\_\_\_

**SUBDIVISIONS:**

<b>RESIDENTIAL</b>	<b>NON-RESIDENTIAL</b>
Development Concept Presentation	Development Concept Presentation
Single Lot Site Plan – Lot #: _____	Single Lot Site Plan – Lot #: _____
Site Plan	Site Plan
Preliminary Plat	Preliminary Plat
Final Plat	Final Plat
Revision to Final Plat	Revision to Final Plat
Construction Drawing	Construction Drawing

**SIGNS:**

Master Sign Plan / Program	Sign Permit / Review
Billboard Sign Face Replacement	Temporary Sign Permit

**OTHER:**

Annexation	Change of Use
Rezoning / Sector Map Amendment	<input checked="" type="checkbox"/> Residential Business
Temporary Use/Event permit	Home Occupation
Special Exception	Variance or Other BZA Request

**Parcel / Property Information:**

Parcel Location / Address: 1850 Lewisburg Pike; Franklin, TN 37064

Tax Map & Parcel #: Map 144 Parcel 32 Acreage: 36.57

Owner Name: Darrel Reifschneider

Owner Address (if different from Parcel Address): \_\_\_\_\_

Deed Book & Page #: DB 6753 PG 685

Check one :  sewer  septic  n/a

**Project Description Information:**

Subdivision / Project Name:  n/a

Plat Book & Page #: \_\_\_\_\_ Lot #(s): \_\_\_\_\_

Project Description:

Home based wedding venue and event space.

Justification Statement: State why the application(s) should be approved, based on the required findings (if any). Attach additional pages if necessary.

Mr. Reifschneider's home was built in the 1800s and has been restored and renovated over the years to its current state. Additionally, there are several outbuildings and barns which may be utilized for larger parties and/or catering. Additional areas are able to accommodate large tents and adequate field parking exists. All guests will utilize a contracted portable septic vehicle (i.e. Luxury Loo) which will be sized and contracted for each event.

  
Signature of Applicant

8-5-21  
Date



## PROPERTY OWNER(S) STATEMENT

STATE OF TENNESSEE  
COUNTY OF WILLIAMSON  
TOWN OF THOMPSON'S STATION

I / We, Darrel Reifschneider, declare that I / we am / are the owner(s) of the property described herein and hereby give authorization for the filing of this application. Further, I / we do, by my / our signature(s) on this agreement, absolve the Town of Thompson's Station of all liabilities regarding any deed restrictions that may be applicable to the property described herein. (Signature of all property owners is required. The owner in escrow is not acceptable.)

I / We declare that all encumbrances on the subject property are shown on the submitted site plan (or are attached on a separate sheet) and that the purpose of all encumbrances (and ownership of all easements) is stated. In the case of a tentative map, I / we further declare that the property involved in this application is free from all encumbrances that would conflict with the project application, particularly dedications of the right to further subdivide to the Town of Thompson's Station.

I / We hereby grant the Town admittance to the subject property as necessary for processing of the project application.

I / We declare under penalty of perjury that the foregoing statements and answers herein contained and the information herewith submitted are in all respects true and correct to the best of my knowledge and belief.

Signed: 

Date: 8-5-21

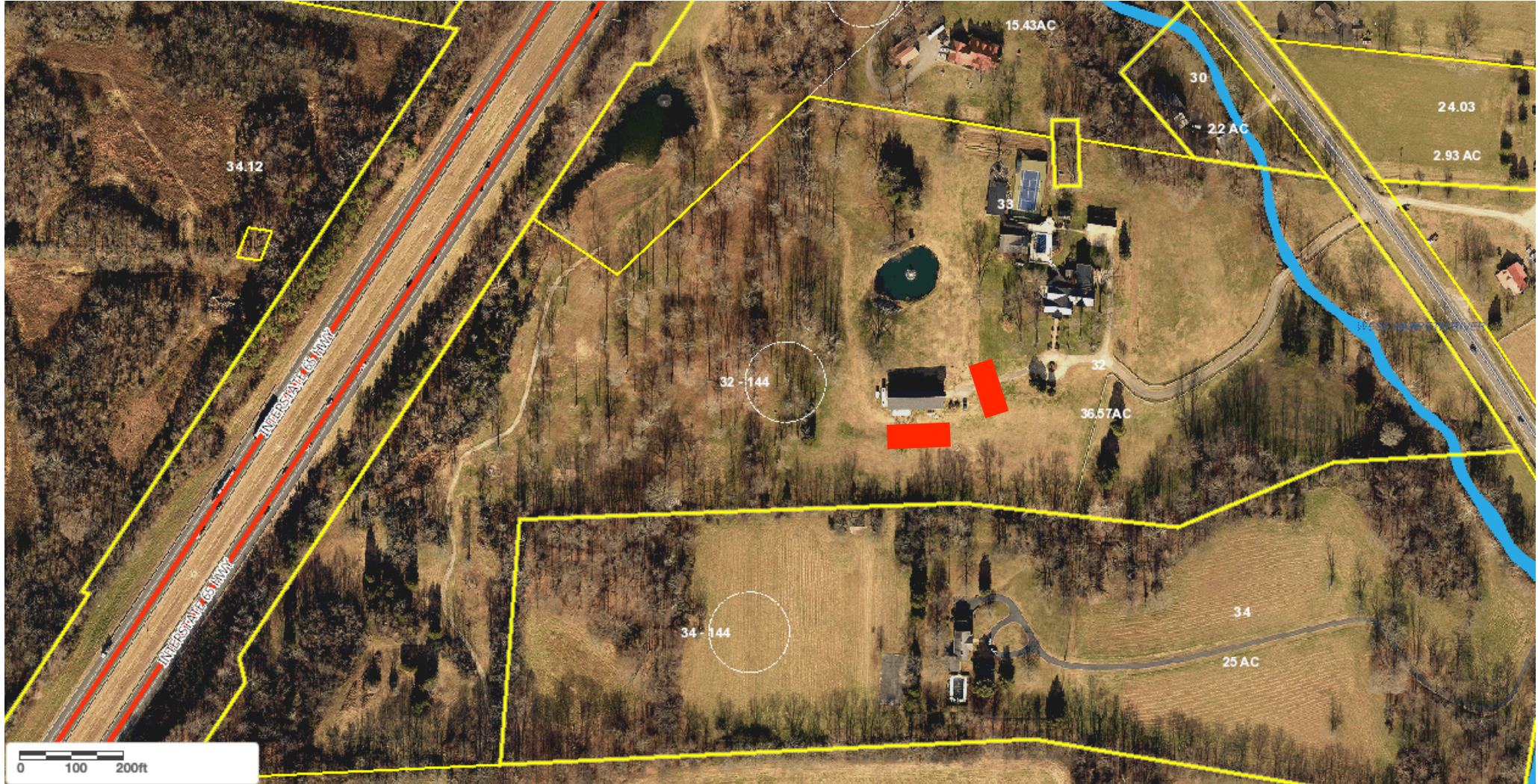
Signed: \_\_\_\_\_

Date: \_\_\_\_\_

Signed: \_\_\_\_\_

Date: \_\_\_\_\_





Provide information showing compliance with the following:

1. 4.11.3 states that Residential Business are intended “to permit non-intrusive economic activity on residential properties while protecting the integrity of the community...”.

Please provide a written assurance detailing how this Residential Business will be non-intrusive.

Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. Adequate parking exists for the volume of guests the Venue at Lookaway Farm expects, and the size of the property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate.

2. Please provide a written response to each of the General Regulations of Section 4.11.3(b) of the LDO:

- i. A residential business may not be permitted on lots less than one (1) acre in size. The property is 36.57 acres.
- ii. The residents of the property must be engaged in the business. Additional non-residents may be employed in the residential business providing all parking can be provided on site and the use does not become a nuisance to the community. Adequate parking for all employees shall be indicated on the site plan. Residents of the property shall be engaged in the business and adequate parking exists for any employees and/or invitees. As stated above Mr. Reifschneider has an annual firework display which has not generated any nuisance complaint(s).
- iii. With the exception of land uses that require cultivation of the land, all residential business uses shall be maintained within an enclosed building, not to exceed 5,000 square feet. There are several barns on the property, all of which exceed 5,000 square feet, and the dwelling exceeds this square footage. A variance from this requirement is requested.
- iv. All storage of materials used for the residential business shall be kept within an enclosed structure or shall be completely screened from the roadways and adjacent properties. There are several barns on the property, all of which exceed 5,000 square feet which will satisfy the enclosed structure requirement(s) and the size of the property, and its topography and tree canopy adequately provides the necessary screening.
- v. All buildings utilized for the business shall maintain a minimum setback of 50 feet from any property line. The size of the property (36.57 acres) provides significant buffering to any existing structure satisfying this requirement; further, any temporary structure shall be sited to exceed this setback requirement.
- vi. Any land alterations necessary for the installation of any accessory structures shall be subject to review and approval of a grading plan. No accessory structures are expected; however, should any be contemplated after approval of the Venue at Lookaway Farm an application for a grading plan will be made.
- vii. All businesses shall comply with the code requirements for buffer yard performance standards. The property (36.57 acres) provides adequate buffering and allows for any light

and/or noise generated from an event to dissipate and the [Venue at Lookaway Farm](#) will comply with all buffer yard performance standards.

viii. Any business that exceeds the thresholds within the Noise Ordinance shall be required to soundproof the building. The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate and the [Venue at Lookaway Farm](#) will comply with all Noise Ordinances.

ix. No activities, materials or equipment related to the residential business may negatively impact visibility from the public right-of-way or neighboring residences. The size of the property (36.57 acres) and its topography, existing landscaping and tree canopy adequately provides the necessary screening to prevent any visibility impact from the public right-of-way or neighboring residences.

x. Any proposed signage shall be required to obtain a sign permit prior to the installation of any signs. An existing sign for the farm exists in a field adjacent to the main drive into the property. A sign permit application will be made for its modification if the [Venue at Lookaway Farm](#) is approved.

3. Please provide a more detailed site plan. At a minimum show labeled areas for- parking, portable sewer vehicles/porta-potties, & tents. Labeled parking and alternate locations for tent placement has been provided. It is expected that the Luxury Loo placement will be adjacent to the main barn and/or garage to the North of the main dwelling dependent upon the type of event, to provide ease of access from existing driveways.
4. Please provide details on:
  - a. Venue hours - Will vary dependent upon the type of event.
    - i. If the venue will operate after dark, will there be site lighting?  
Site lighting is expected for events occurring in the evening. The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate, and the [Venue at Lookaway Farm](#) will comply with all Town codes and/or standards.
  - b. Venue occupancy - Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. No event at the [Venue at Lookaway Farm](#) is expected to exceed three hundred attendees.
  - c. Traffic Control measures for ingress/egress Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. No event at the [Venue at Lookaway Farm](#) is expected to exceed three hundred attendees; however, traffic patrol guidance will be provided for ingress/egress if necessary. Further, dependent upon the type of event, valet parking may be provided as an option for invited guests.
  - d. Will there be fireworks/noise makers? Mr. Reifschneider has had annual Fourth of July fireworks and Oktoberfest gatherings for the past several years; each with several hundred in attendance. These events are for invited guests and are not associated with the events expected to occur at the [Venue at Lookaway Farm](#).

- e. Will there be PA/Sound amplification systems? The [Venue at Lookaway Farms](#) expects live entertainment and/or music to be a component of the events utilizing the property. The property (36.57 acres) provides adequate buffering and allows for any light and/or noise generated from an event to dissipate and the [Venue at Lookaway Farm](#) will comply with all Noise Ordinances.
- 5. Will any events take place in any existing structures? It is expected the main barn will be utilized and integrated with the tent location(s) dependent upon the type of event, to provide ease of access to/from existing driveways and Luxury Loo placement.
  - i. Building Code/Fire Code Compliance maybe required if, so.  
The [Venue at Lookaway Farm](#) will comply with all Town codes and/or building standards.