

Town of Thompson's Station
Design Review Commission
Meeting Agenda
October 7, 2015

Meeting Called To Order

Minutes-

1. Consideration Of Minutes Of The September 2, 2015 Meeting

Documents: [090215 DRC MINS.PDF](#)

Unfinished Business:

1. Tollgate Apartment Modification To Exterior Elevation And Lighting Plan

Documents: [DESIGN REVIEW STAFF REPORT.PDF](#)

New Business:

1. Design Review For The Development Of A Five Unit Townhome Building Within Section 1B Of The Fields Of Canterbury. (File: SP 2015-006 & DR 2015-006).

Documents: [SITE PLAN PACKET.PDF](#)

Adjourn

Meetings are held in Thompson's Station Town Hall

Town of Thompson's Station
Design Review Commission
Minutes of the Meeting
September 2, 2015

Call to Order.

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:00 p.m. on Wednesday, September 2, 2015 with the required quorum. Members and staff in attendance were Commissioners Daryl Stevens, Wanda Bradley, Kim Peterson and Mary Khim; Town Planner Wendy Deats and Town Recorder Chandra Boughton. Mr. Chad Gore was in attendance to represent the applicant. Commissioner Steve Bennett was unable to attend.

Consideration of Minutes.

The minutes of the August 5, 2015 meeting were previously submitted.

Commissioner Khim moved for approval of the August 5, 2015 Design Review Commission meeting minutes. The motion was seconded and carried unanimously.

New Business:

1. Design Review for the development of a five unit townhome building within Section 1B of the Fields of Canterbury. (File: SP 2015-002 & DR 2015-001).

Mrs. Deats reviewed the request. Based on the project's consistency with the Town's Zoning Ordinance, Mrs. Deats recommended that the Design Review Commission approve the project as presented. The Commission discussed brick colors and unification of structures, landscaping, and fence materials.

After discussion, Commissioner Khim moved for approval of the Design Review for the development of a five unit townhome building within Section 1B of the Fields of Canterbury. The motion was seconded and carried unanimously.

Additional Discussion: Mrs. Deats informed the Commission that upon adoption of the new Land Development Ordinance, townhomes will no longer be required to come before the Design Review Commission for approval. The Commission will review those projects that are not considered single family residences.

Adjourn.

There being no further business, the meeting was adjourned at 4:16 p.m.

Steve Bennett, Chairman

Secretary

Wanda Bradley,

Thompson's Station Design Review
Staff Report – Item 2 (File: SP 2015-006 & DR 2015-006)
October 7, 2015

Site Plan/Design Review for the development of a five unit townhome building within Section 1B of the Fields of Canterbury.

PROJECT DESCRIPTION

Ford Homes submitted a request for approval of a site plan for the development of a five-unit townhome building on Danby Trace Drive within the Fields of Canterbury community.

ANALYSIS

Site plan

The applicant is proposing the development of one five-unit townhome building with detached garages to be located on Lots 132 – 136 with frontage along Danby Trace Drive. These units are surrounded by residential development to the north, east and west and open space to the south. The townhomes will have access from an alley that will extend between Channing Drive and Hampshire Place.

Architecture

The architecture consists of a mixture of brick veneer, turned brick accents, fiber cement, planter boxes under windows and shutters. The Design Guidelines state to “keep the design consistent with the positive character of the surrounding area in terms of both existing character and desired future character.” The proposed design is substantially consistent with the Fields of Canterbury community which consists of a mixture of brick and fiber cement or hardiplank siding. The DRC is scheduled to review the architecture on October 7, 2015.

Landscaping

Most units will have one front yard tree consisting of a Gold Maple, Dogwood, Holly, Crape Mrytle or Arborvitae. The remaining landscaping consists of shrubs and grasses with groundcover. The landscaping is consistent with the existing landscaping for the other townhomes within the neighborhood.

RECOMMENDATION

Based on the project’s consistency with Town’s Zoning Ordinance, Staff recommends that the Design Review Commission approve the project.

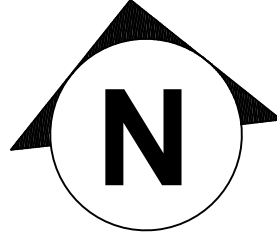
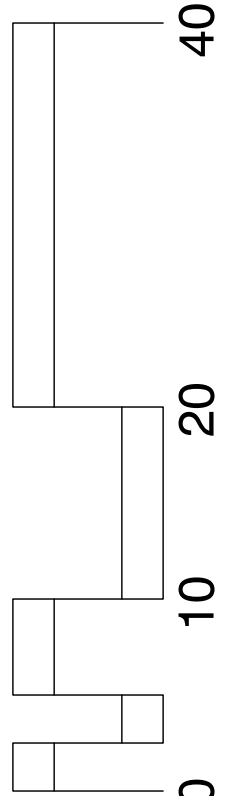
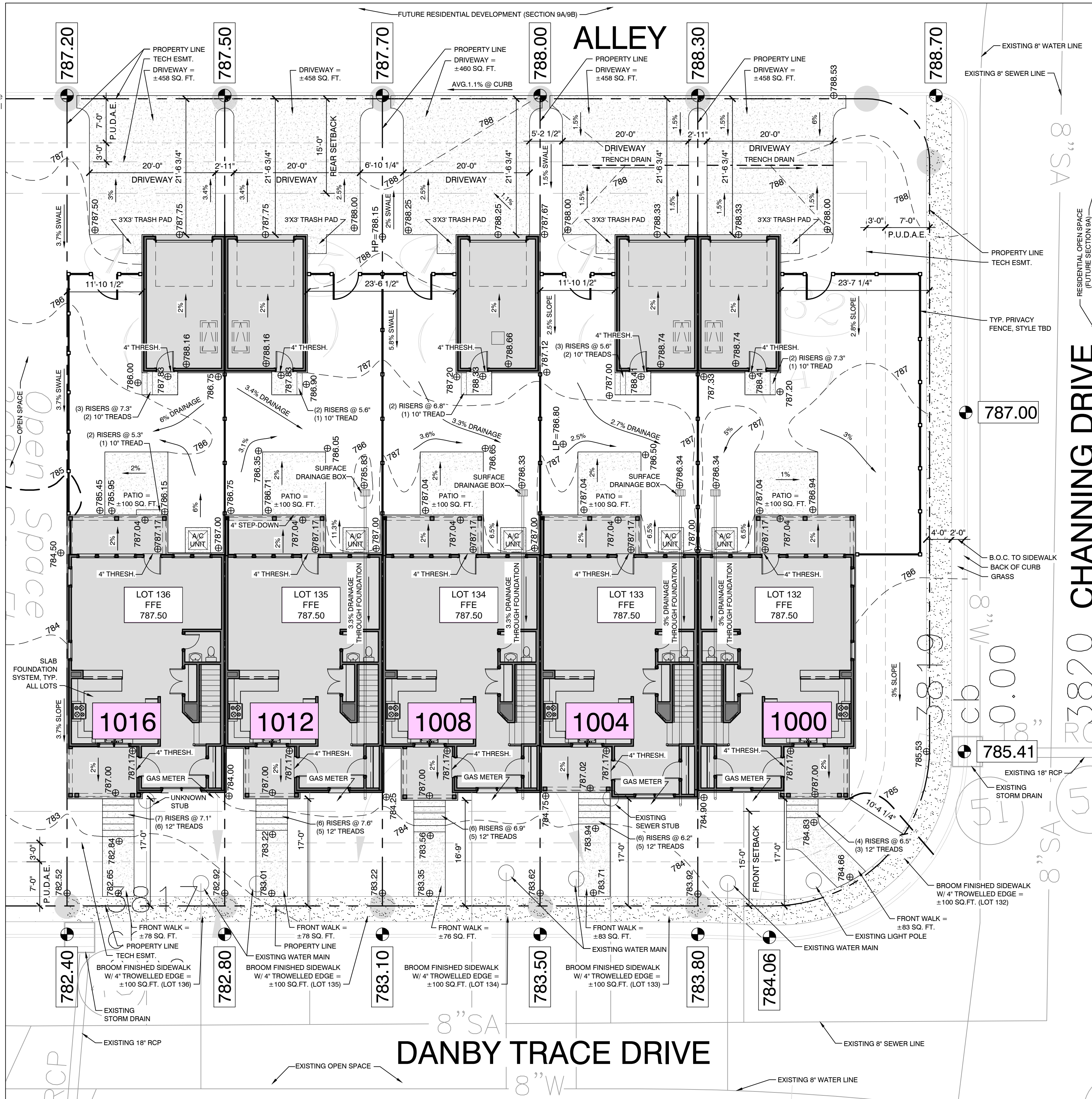
ATTACHMENTS

Site Plan packet

NOTES:

- * Builder is responsible for confirmation of architecture, property lines, easements and building setbacks prior to construction. **DO NOT SCALE FROM THIS PLAN.**
- * Builder must confirm all spot elevations prior to construction
- * Builder is responsible for compliance with all applicable codes and ordinances.
- * Builder is responsible for proper grading and adequate drainage (2% minimum slopes away from residence & garage.) No cut or fill may be performed which will result in damage to any adjoining property.
- * Final staking of house must be performed by a licensed land surveyor
- * Any discrepancy found in these plans must be reported to the architect. Should discrepancies be found, continuation of work without review by the architect will be at builder's risk.
- * This plan HAS NOT been prepared in accordance with handicapped guidelines or any other ADA considerations
- * Builder is responsible for the review and approval of plans with prospective purchaser(s)
- * No runoff calculations have been developed or used to size swales and/or inlets and pipes.

NOTE: COORDINATE FLOOR ELEVATIONS IN FIELD AND VERIFY SUITABILITY



FORD
 CUSTOM CLASSIC HOMES
 390 MALLORY STATION RD. SUITE 100
 FRANKLIN, TN 37067
 P. 615.503.9727 F. 615.503.9798

CANTERBURY LOTS 132-136

SITE PLAN

LAST CHECKED:
 08.26.2015
 KJK

S:\Projects\Canterbury\CB132-136\CB132-136-PLAT.dwg katie.king 09/14/15 - 4:56 P

ISSUE DATE:
26 AUG 2015

REVISIONS:

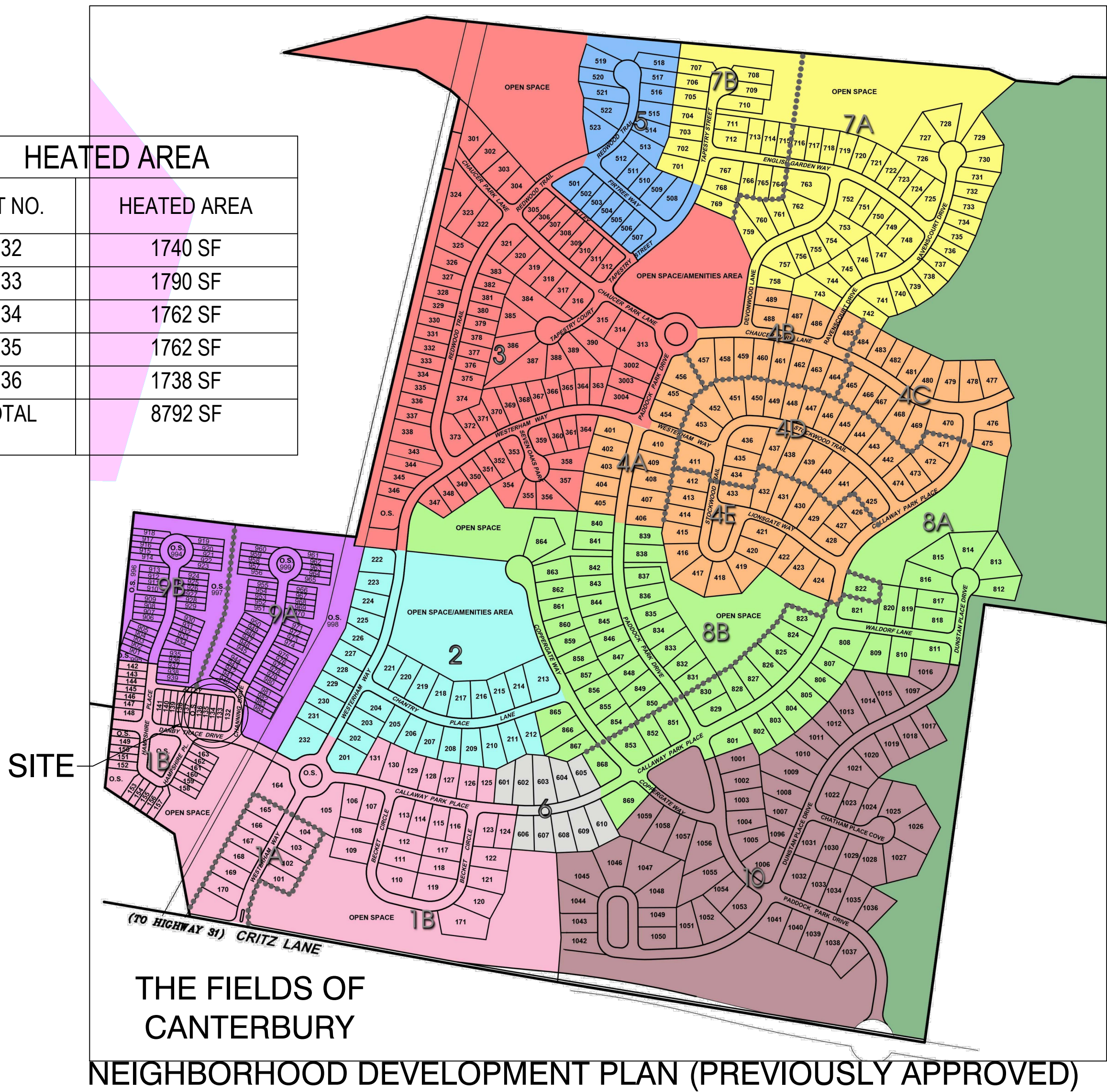
C2.1

SITE PLAN

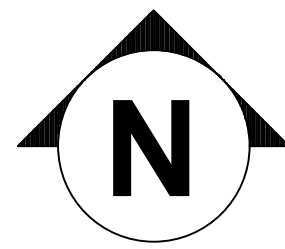
ZONING: HIGH INTENSITY

AREA / COVERAGE TABLE			
LOT NO.	LOT AREA	BLDG. FOOTPRINT	LOT COVERAGE
132	4546 SF / 0.104 AC.	1338 SF	29%
133	3200 SF / 0.073 AC.	1348 SF	42%
134	3200 SF / 0.073 AC.	1332 SF	42%
135	3200 SF / 0.073 AC.	1324 SF	41%
136	3200 SF / 0.073 AC.	1347 SF	42%
TOTAL	17346 SF / 0.396 AC.	6697 SF	39%

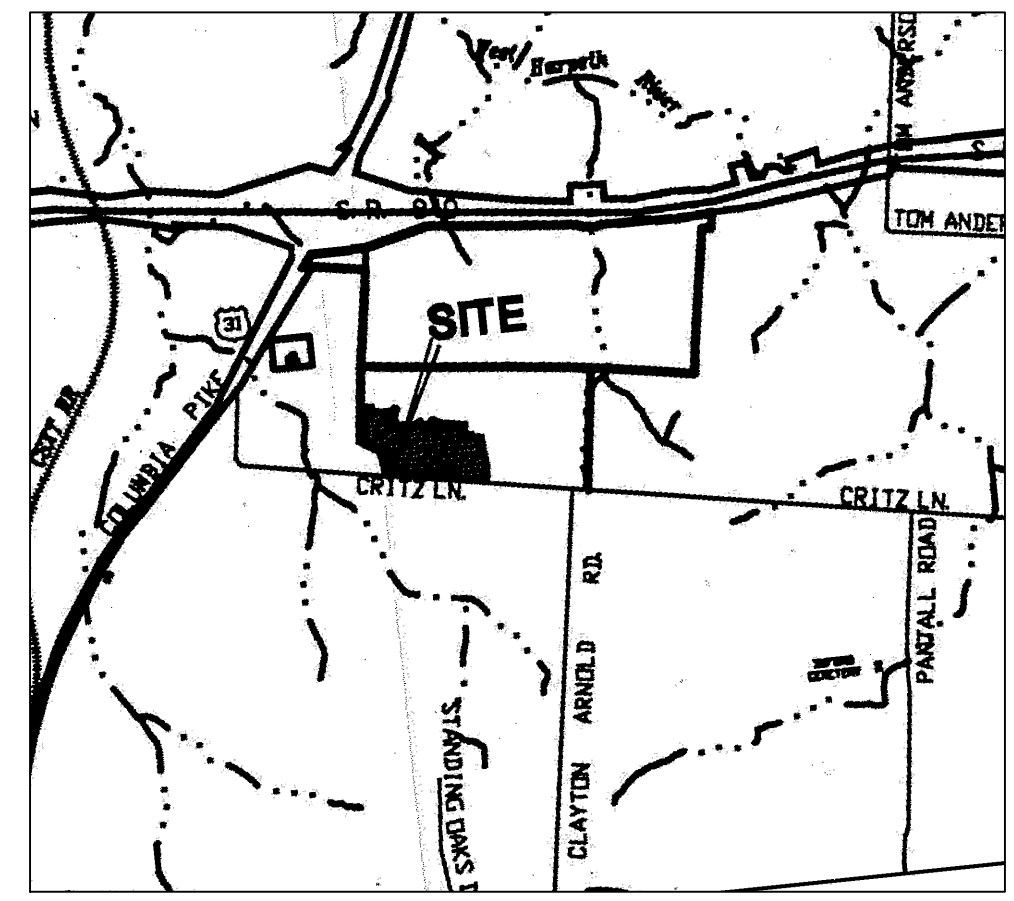
HEATED AREA	
LOT NO.	HEATED AREA
132	1740 SF
133	1790 SF
134	1762 SF
135	1762 SF
136	1738 SF
TOTAL	8792 SF



THE FIELDS OF CANTERBURY
NEIGHBORHOOD DEVELOPMENT PLAN (PREVIOUSLY APPROVED)



- NOTES:**
- * Builder is responsible for confirmation of architecture, property lines, easements and building setbacks prior to construction.
DO NOT SCALE FROM THIS PLAN.
 - * Builder must confirm all spot elevations prior to construction
 - * Builder is responsible for compliance with all applicable codes and ordinances.
 - * Builder is responsible for proper grading and adequate drainage (2% minimum slopes away from residence & garage.) No cut or fill may be performed which will result in damage to any adjoining property.
 - * Final staking of house must be performed by a licensed land surveyor
 - * Any discrepancy found in these plans must be reported to the architect. Should discrepancies be found, continuation of work without review by the architect will be at builder's risk.
 - * This plan HAS NOT been prepared in accordance with handicapped guidelines or any other ADA considerations
 - * Builder is responsible for the review and approval of plans with prospective purchaser(s)
 - * No runoff calculations have been developed or used to size swales and/or inlets and pipes.



AREA MAP

FORD
CUSTOM CLASSIC HOMES
390 MALLORY STATION RD. SUITE 100
FRANKLIN, TN 37067
p. 615.503.9727 f. 615.503.9798

CANTERBURY LOTS 132-136

SITE PLAN

LAST CHECKED:
08.26.2015
KJK

S:\Projects\Cantebury\CB132-136\CB132-136-PLAT-C2.2.dwg katie.king 09/14/15 - 4:57 P

ISSUE DATE: 26 AUG 2015
REVISIONS:

C2.2

SITE PLAN



LANDSCAPE PLAN

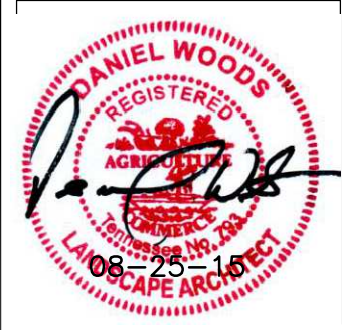
- LANDSCAPE NOTES:**
1. LANDSCAPE CONTRACTOR TO VERIFY QUANTITIES OF PLANT MATERIAL PRIOR TO INSTALLATION.
 2. LANDSCAPE CONTRACTOR TO VERIFY ALL ABOVE AND BELOW GRADE UTILITY LOCATIONS PRIOR TO BEGINNING INSTALLATION.
 3. SEE LANDSCAPE PLANT LIST AND NOTES ON SHEET L1.02.

SCALE: 1"=10'

The Addison Group, LLC 2014

LANDSCAPE PLAN
CANTERBURY
 TOWNHOMES 132-136
 THOMPSON'S STATION, TENNESSEE

Prepared For:
 FORD CUSTOM
 CLASSIC HOMES
 615-503-9727



DATE: 08-25-15

REVISIONS:

SHEET NO.
L1.01

Plant Materials

Plant material shall be delivered to the site after the beds are prepared and are ready for planting. Shipments of plant materials shall be thoroughly protected from the sun and from drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected. Plant materials remain the property of the Contractor until initial acceptance.

Shrubs And Groundcovers

Plants shall be nursery grown, healthy, vigorous, compact, bushy to the ground, well branched, of normal habit of growth for the species, and shall be free from defects, decay, girdling roots, sun-scald injuries, abrasions of the bark or limbs, disease, insect eggs, and larvae. They shall have ball sizes that meet the standard set forth by the American Association of Nurserymen, Inc. The specified sizes shall be before pruning, and the plants shall be measured from their nominal top branches in normal position to the top of the ball or soil level. Plants shall not be pruned prior to delivery, except upon special approval.

All plants shall be of specimen quality. Specimen means an exceptionally heavy, symmetrical, tightly knit plant, so trained or favored in its development that its appearance is unquestionable and outstandingly superior in form, number of branches, compactness and symmetry.

All plants shall be hardy under climatic conditions similar to those in the locality of the project.

Shade Trees

Shade trees shall be healthy, vigorous, full-branched on all sides, well-shaped, specimen quality, symmetrical, and shall meet the trunk diameter, height and spread requirements as specified. Single trunk trees shall have a straight trunk. Trees which have a damaged or crooked leader or trunk or are one-sided or do not have a full, symmetrical branch structure and crown, will be rejected. Ball shall be firm, neat, slightly tapered, and well burlapped. Any tree loose in the ball or with broken ball at the time of planting will be rejected. Trees with abrasions on the bark, disfiguring knots, or wounds over two (2) inches which have not calloused will be rejected. All trees shall have trunk flare exposed, excess soil shall be removed from root ball necessary.

. Tree ball sizes shall be as outlined in ANSI Z6.0.1 - 1980.

Multi-trunk Trees: No division of the trunk which branches more than six (6) inches from the ground level, as determined by the root crown of the plant, shall be considered a stem.

Ornamental Trees

Ornamental trees shall be healthy, vigorous; full branched, well shaped, and shall meet the height and spread, caliper and branching character as specified. Trees not having a full, symmetrical branch structure and crown will be rejected.

Single trunk ornamental trees shall have straight trunks with branching beginning a minimum of forty-two (42) inches above the top of the ball or container.

Multi-trunk ornamental trees shall be pruned so all "sucker" type branching is removed from around trunk canes as well as extraneous branching on trunk canes below crown of trees. Pruning shall be such that as least one-half of the plant is trunk branching and approximately one-half is crown foliage. All multi-trunk trees will conform to the number of trunk canes and/or caliper specified.

Materials

Compost: 100% organic, aerobically composted humus, fully composted under proper C/H ratios with sustained temperatures to 170 degrees F., possessing excellent air porosity, water holding capacity and drainage, optimum cation exchange capacity, free of weeds, weed seeds, insect pests and with a pH averaging 6.5 to 7.0. As supplied by Living Earth Technology, Dallas, Texas, or approved equal.

Fertilizer: Complete slow release fertilizer with an organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original unopened containers, each bearing manufacturer's guaranteed statement of analysis. Fertilizer shall contain 20% nitrogen, 10% phosphoric acid, 10% potash, unless otherwise specified or approved. "Agriform" by Sierra Chemical Company, or approved equal.

Peat Moss: Clean hypnum peat, free of noxious weeds and rubble, dark brown in color.
Pine Fines: Fine texture, ¼ to ½ inch size, free of noxious weeds and rubble.

Topsoil: Fertile natural surface soil, uniform in composition, similar to site topsoil if approved, free of stones, lumps, weeds, and roots. Minimum 20 percent organic matter, 50 to 70 percent sand, 15 to 20 percent clay. If topsoil at the site does not meet specifications, Contractor is responsible for importing topsoil to the site for the purpose of backfilling plant pits.

Tree Pits And Planting

If planting occurs without approval of plant locations by the Landscape Architect, the Landscape Architect reserves the right to relocate plant material as deemed necessary.

Ornamental Trees: Plant ornamental trees in pits twelve (12) inches larger than the tree ball. After setting the tree, the pit shall be backfilled with parts of topsoil to one (1) part of compost and carefully settled by watering to prevent air pockets. Form a three (3) inch high watering ring for each ornamental tree. All cord or wire to secure burlap on tree ball shall be cut from top of ball and around trunk. Place a (2) inch layer of compost inside the watering ring.

Shade Trees: Plant shade trees in a tree pit two (2) feet greater in diameter than the tree ball. The crown of the tree ball should be approximately one (1) inch higher than the existing grade. After setting the tree, the pit shall be backfilled with four (4) parts of acceptable existing soil or topsoil to one (1) part compost and carefully settled by watering to prevent air pockets. Form a four (4) inch high watering ring around the tree. All cord or wire used to secure burlap on tree ball shall be cut from top one-third of ball and from around trunk after setting. Place two (2) inch layer of compost or bark mulch inside the watering ring.

Percolation Test Pits: The Contractor shall excavate at least four (4) test pits on the site and fill with water to test for percolation. Size of pits shall be comparable to largest tree pit to be excavated. Location can be in conjunction with proposed shade tree location. Monitor pit for forty-eight (48) hours. If, at the end of that time, water has not significantly percolated, a Stand Pipe underdrain system should be installed for trees in that area.

Stand Pipe Installation: Should it be determined that tree pits will not percolate, or do so very slowly, shade trees shall have sump pipes installed in specially excavated tree pits.

Bed Preparation

Groundcover Beds: Loosen all groundcover beds to a depth of six (6) inches. Two (2) inches of peat moss or compost shall be applied and worked into the upper six (6) inches of bed. Beds shall be thoroughly tilled and pulverized to a depth of six (6) inches and raked smooth. Work fertilizer into soil at the rate of twelve (12) pounds per 1000 square feet. Delivery receipts of soil amendments may be requested.

Rototill all seasonal color beds to a depth of six (6) inches. Four (4) inches of peat moss or compost shall be applied and worked into the upper six (6) inches of the bed. Beds shall be thoroughly tilled and pulverized to a depth of six (6) inches and raked smooth. Beds shall be left two (2) to three (3) inches higher than surrounding grade for proper drainage.

Shrub Bed Planting: Rototill all shrub beds to a depth of six (6) inches. Four (4) inches of peat moss or compost shall be applied and worked into the upper six (6) inches of the bed. Beds shall be thoroughly tilled and pulverized to a depth of six (6) inches and raked smooth. Beds shall be left two (2) to three (3) inches higher than surrounding grade for proper drainage. Broadcast fertilizer and work lightly into the soil around the shrubs at the rate of (12) twelve pounds per 1000 square feet. Bed shall be left high to prevent poor drainage or ponding of water within the bed.

Care shall be taken to prevent planting beds from blocking drainage against building or impeding site drainage in any way.

Tree Guying And Staking

Submit unit cost in bid for staking all trees four (4) inch caliper and under, with three (3) steel stakes and three (3) Adj-A-Tye straps, Model 5100. Stakes should be located equal distant around the tree, and outside of tree pit. Stakes to be embedded a minimum of two (2) feet into stable soil.

Staked and guys shall be removed following the one (1) year warranty period.

Bed Alignment And Plant Placement

Shrubs and groundcover shall be planted in string line straight rows using alternative spaces between rows. The specified quantity of shrubs or groundcover shall be placed in the bed prior to planting to assure even coverage. The specified quantity of seasonal color shall be placed in the bed prior to planting to assure even coverage.

After the planting is completed, all cultivated areas shall be leveled, loosened, and raked, and the edges carefully trimmed so that the tree pits and beds shall present a neat appearance. Care shall be used that these bed edges conform as closely as possible with the lines shown on the Planting Plan. Steel edging stakes shall be on the inside of the beds.

Top Dressing

After the work of planting has been completed and approved by the Landscape Architect, mulch all beds and tree rings with two (3) inches of shredded hardwood bark mulch, lightly cultivated into area. Do not disturb watering saucer and do not cover root flair.

Grass And Weed Removal

Existing grass and weeds in areas of proposed beds shall be removed either chemically or by excavation, including root systems. Existing weeds shall be removed either chemically or by excavation, including root system, from all proposed lawn areas prior to installation of grass. Contractor shall re-fill excavated areas with topsoil to finish grade before bed preparation or grass installation.

Soil Erosion Protection

Install jute mesh or approved equal in planting bed with slopes greater than three to one prior to planting. Mesh shall have a minimum overlap of twelve (12) inches where sections join. Materials shall be installed in lengthwise sections running parallel with the slope, providing the length of slope is in excess of ten (10) linear feet from top to bottom. Jute mesh on slopes with lengths less than ten (10) linear feet shall be installed across the lope and double pinned at the twelve (12) inch overlap. Pins shall be installed so that no gaps or sags are visible in mesh.

Lawns

Loosen and rake smooth all areas to be grassed. Remove all weeds, debris and any clumps, stones, clods, etc. larger than three quarter (3/4) inch diameter. Ensure lawn areas and swales are graded for proper drainage. Areas next to sidewalks and curbs shall be graded down to one (1) inch below finished grade to allow for thickness of grass build-up.

Sod: Areas will be planted with sod as indicated on the plan. All sod shall be dark, rich green, free of weeds and nut grass and placed so joints are flush between pieces. Sod is to have root development that will support its own weight without tearing, when suspended vertically by holding the upper two corners. Sodded areas shall be rolled with a 200 pound roller immediately after laying, watered thoroughly and rerolled. All sodded grass areas shall be fertilized at the rate of twenty-five (25) pounds per 1000 square feet, prior to laying sod. Dead patches of sod shall be removed and replaced immediately.

Lawn Establishment

It is the responsibility of the Contractor to establish a dense lawn of permanent grasses, free from weeds, lumps and depressions. Any part of the area that fails to show a uniform germination shall be reseeded or resodded, and such reseeding or resodding shall continue until a dense lawn is established, regardless of amount of rain.

Water, mow and edge the lawn until initial acceptance. Mow each time after the law has reached a height of three and a half (3 ½) inches. Mow to a height of two and a half (2 ½) inches, returning the clippings to the lawn. Damage to seeded areas resulting from erosion shall be repaired by the Contractor. Scattered bare spots will not be allowed over one (1) foot square in the lawn area. Never mow off more than one-third of the grass leaves.

Clean-Up

During the work, the premises are to be kept neat and orderly at all times. Storage areas for plant and other materials shall be so organized that they, too, are neat and orderly. All trash, including debris resulting from removing weeds or rocks from planting area, preparing beds, or planting plants, shall be removed from the site daily as the work progresses. All walks and drives shall be kept clean by sweeping and hosing. Excavated soil may be distributed on the site or hauled off site as directed by Owner.

Maintenance

The Contractor shall maintain all trees, shrubs, and groundcover under this Contract until initial acceptance, by adequate watering, cultivating the top two (2) inches, weeding every two (2) weeks, spraying, and replacing as necessary to keep plants in a healthy, vigorous condition. Bed areas shall be raked as may be required to keep them neat.

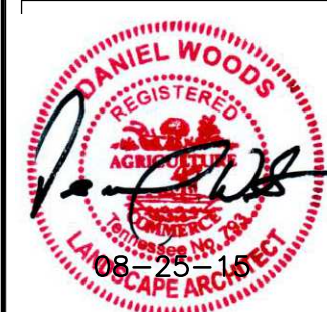
The Contractor shall maintain all grass areas under this Contract until initial acceptance by watering, mowing, spraying, fertilizing, etc.

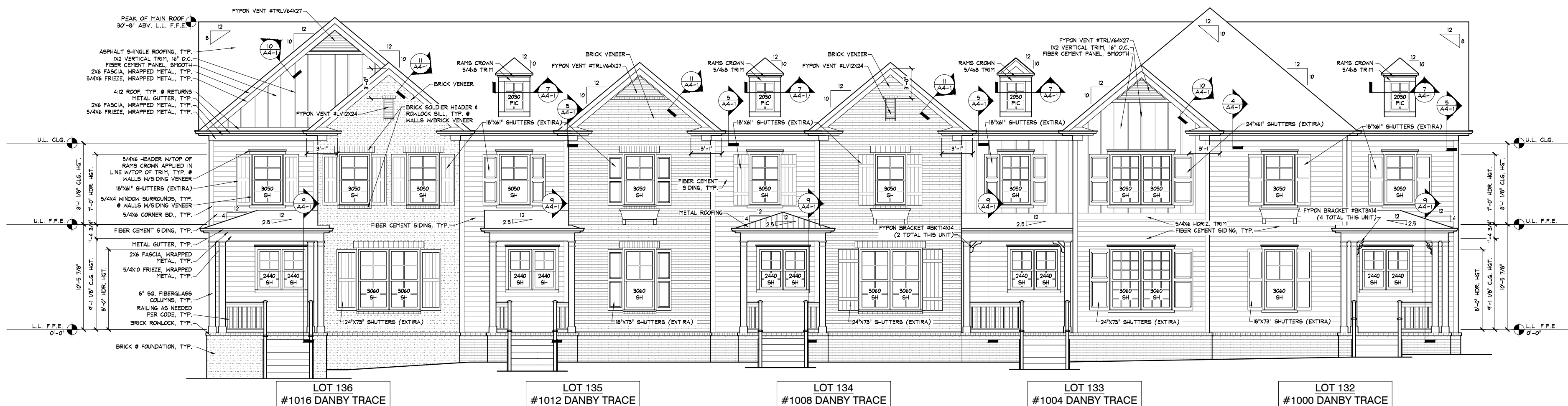
One Year Maintenance

The Contractor shall submit a separate price for maintenance of the landscape and irrigation installation for a period of one (1) year after initial acceptance. Maintenance shall be based on the Maintenance Specifications listed above.

CANTERBURY TH 132-136 PLANT LIST					
QTY	SYM	Common Name	Scientific Name	Size	Spacing
Trees					
2	ACER	Armstrong Gold Maple	Acer rubrum 'JFS-KW78'	2" Caliper	as shown
2	COKO	Cherokee Chief Dogwood	Cornus florida 'Cherokee Chief'	1.5" Caliper	as shown
3	ILCO	Liberty Holly	Ilex x 'Conty'	5' Ht.	as shown
2	LAIN	Natchez Crape myrtle	Lagerstroemia indica 'Natchez'	8' Ht, 3 Trunks	as shown
2	THOE	Emerald Green Arborvitae	Thuja occidentalis 'Smaragd'	5' Ht.	as shown
Shrubs/Grasses					
11	ABEL	Little Richard Abelia	Abelia x grandiflora 'Little Richard'	3 Gallon	as shown
18	BUGV	Green Velvet Boxwood	Buxus 'Green Velvet'	18"-24" Ht.	as shown
10	BUGM	Green Mountain Boxwood	Buxus x 'Green Mountain'	30"-36" Ht, Conical	as shown
13	BUXS	Winter Gem Boxwood	Buxus microphylla japonica 'Winter Gem'	24"-30" Ht.	as shown
5	CARY	Blue Mist Bluebeard	Caryopteris x clandonensis 'Blue Mist'	3 Gallon	as shown
6	HYDR	Little Lime Hardy Hydrangea	Hydrangea paniculata 'Jane'	3 Gallon	as shown
19	ICDB	Dwarf Burford Holly	Ilex cornuta 'Burfordii'	24" Ht - 30" Ht.	as shown
8	ILEX	Soft Touch Holly	Ilex crenata 'Soft Touch'	3 Gallon	as shown
6	MUCA	Pink Muhly	Muhlenbergia capillaris	3 Gallon	as shown
1	PAVN	Northwind Switchgrass	Panicum virgatum 'Northwind'	3 Gallon	as shown
13	PLOL	Otto Luyken Laurel	Prunus laurocerasus 'Otto Luyken'	18"-24" Ht	as shown
Groundcover/Perennials					
21 SF	ANNU	Annuals	By Homeowner		
14	DIAN	Firewitch Cheddar Pink	Dianthus gratianopolitanus 'Firewitch'	1 Gallon	18" o.c.
11	IBSP	Purity Candytuft	Iberis sempervirens 'Purity'	1 Gallon	18" o.c.
7	SEAJ	Autumn Joy Sedum	Sedum x 'Autumn Joy'	1 Gallon	24" o.c.

LANDSCAPE NOTES





1 FRONT ELEVATION
1/8" = 1'-0"

EXTERIOR COLOR SELECTIONS

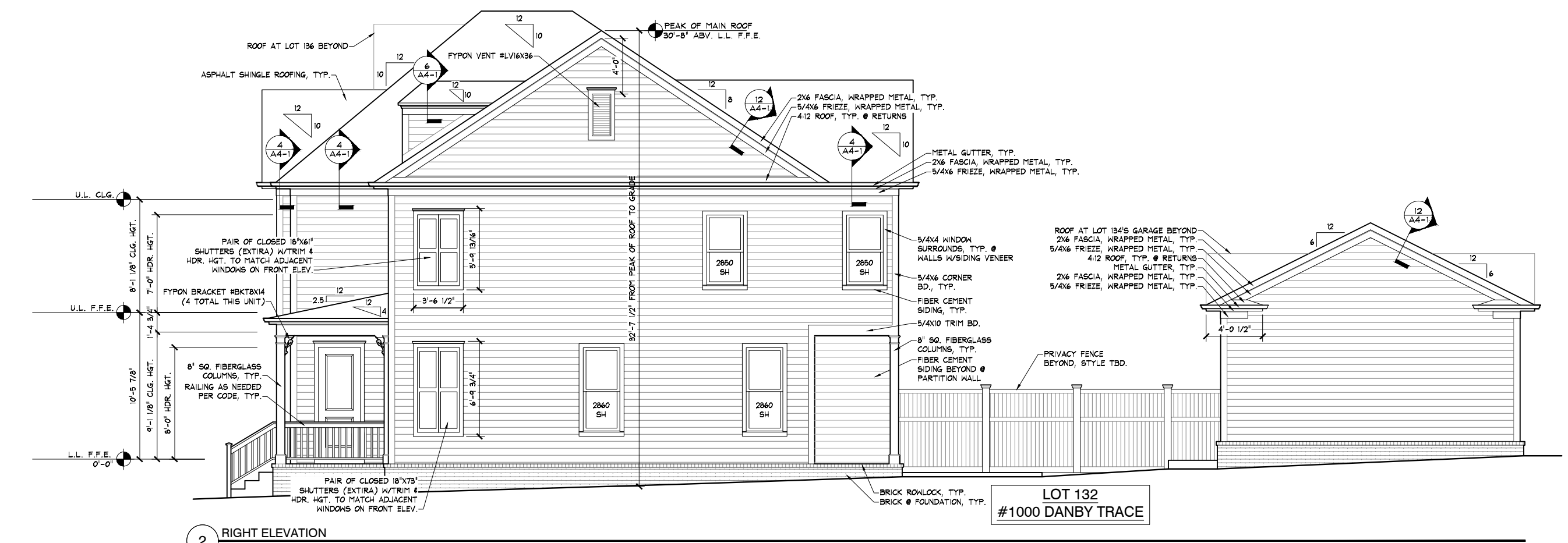
LOT 132:
 ROOF: TAMKO RUSTIC BLACK BRICK & MORTAR, PINE HALL BRICK SPANISH
 SIDING COLOR: PPG 1033-4 LIGHT DRIZZLE
 TRIM COLOR: SW766 WESTHIGHLAND WHITE
 WINDOWS: WHITE VINYL
 SHUTTERS: PPG 101-7 ONYX
 FRONT DOOR: PAINT TO MATCH UNIT
 SHUTTERS OR STAIN DARK WALNUT
 GUTTER COLOR: LINEN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE

LOT 133:
 ROOF: TAMKO RUSTIC BLACK BRICK & MORTAR, PINE HALL BRICK SPANISH
 SIDING COLOR: SW764 COLLOMADE GRAY
 TRIM COLOR: SW766 WESTHIGHLAND WHITE
 WINDOWS: WHITE VINYL
 SHUTTERS: PORTER T&P-2 WROUGHT IRON
 FRONT DOOR: PAINT TO MATCH UNIT
 SHUTTERS OR STAIN DARK WALNUT
 GUTTER COLOR: LINEN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE

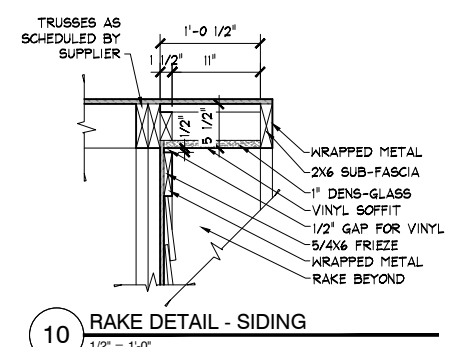
LOT 134:
 ROOF: TAMKO RUSTIC BLACK METAL ROOF, BURNISHED SLATE
 BRICK & MORTAR: PINE HALL BRICK SPANISH
 SIDING COLOR: PPG 1033-5 GRAY HERON
 TRIM COLOR: SW766 WESTHIGHLAND WHITE
 WINDOWS: WHITE VINYL
 SHUTTERS: PPG 101-7 BLACK MAGIC
 FRONT DOOR: PAINT TO MATCH UNIT
 SHUTTERS OR STAIN DARK WALNUT
 GUTTER COLOR: LINEN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE

LOT 135:
 ROOF: TAMKO RUSTIC BLACK BRICK & MORTAR, PINE HALL BRICK SPANISH
 SIDING COLOR: SW764 PAVESTONE
 TRIM COLOR: SW766 WESTHIGHLAND WHITE
 WINDOWS: WHITE VINYL
 SHUTTERS: PORTER T&P-2 WROUGHT IRON
 FRONT DOOR: PAINT TO MATCH UNIT
 SHUTTERS OR STAIN DARK WALNUT
 GUTTER COLOR: LINEN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE

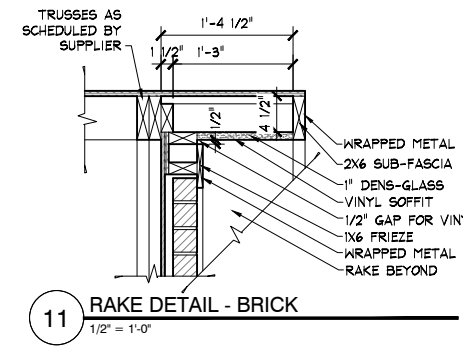
LOT 136:
 ROOF: TAMKO RUSTIC BLACK BRICK & MORTAR, PAINTED BRICK - SW766 WESTHIGHLAND WHITE
 SIDING COLOR: SW766 WESTHIGHLAND WHITE
 TRIM COLOR: SW766 WESTHIGHLAND WHITE
 WINDOWS: WHITE VINYL
 SHUTTERS: PORTER T&P-2 WROUGHT IRON
 FRONT DOOR: PAINT TO MATCH UNIT
 SHUTTERS OR STAIN DARK WALNUT
 GUTTER COLOR: LINEN (SERVICE PARTNERS)
 GARAGE COLOR: WHITE



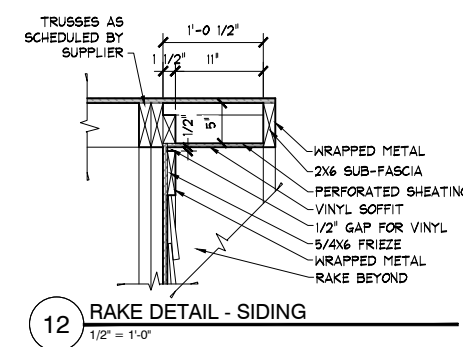
2 RIGHT ELEVATION
1/8" = 1'-0"



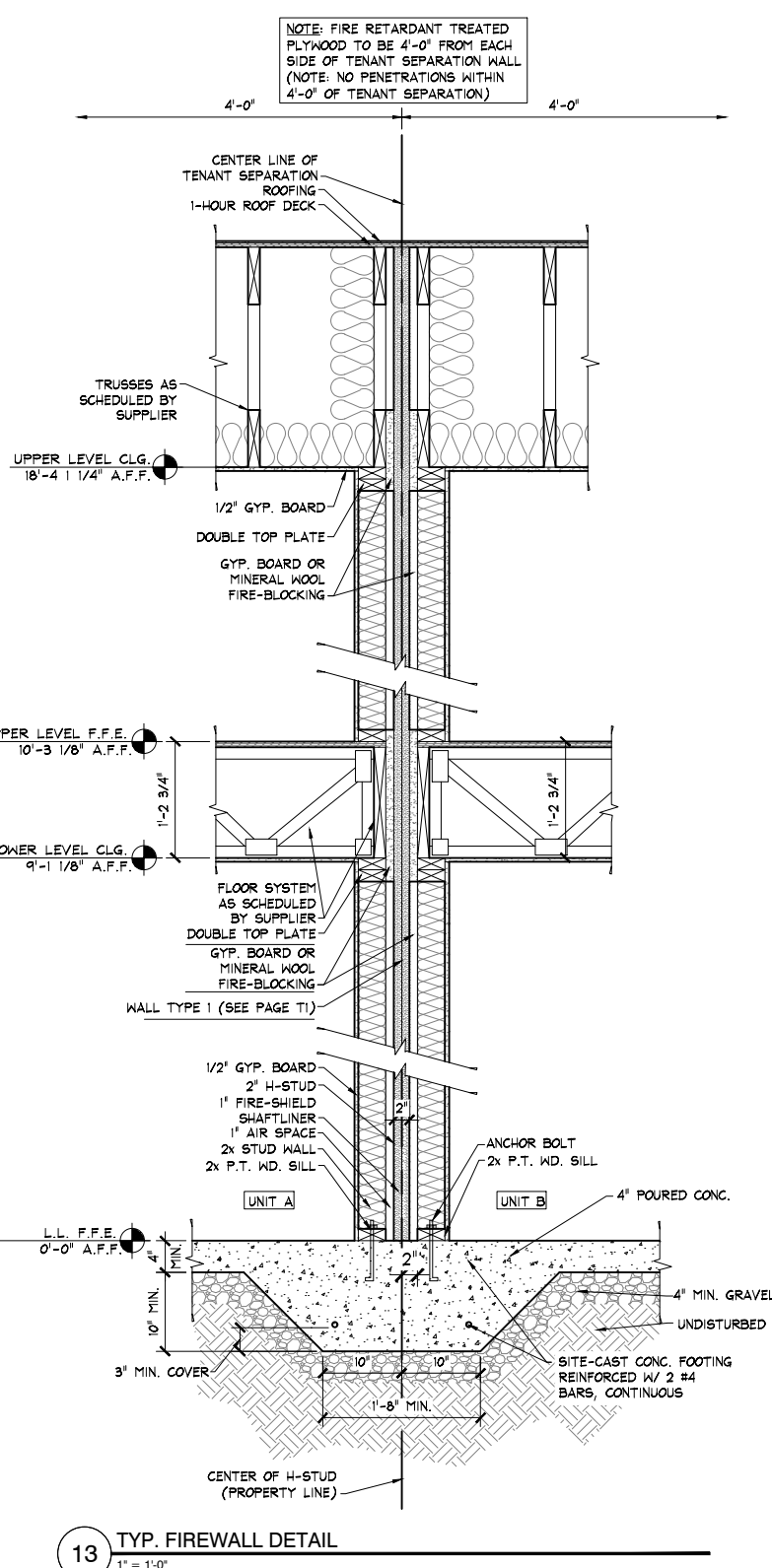
10 RAKE DETAIL - SIDING
1/2" = 1'-0"



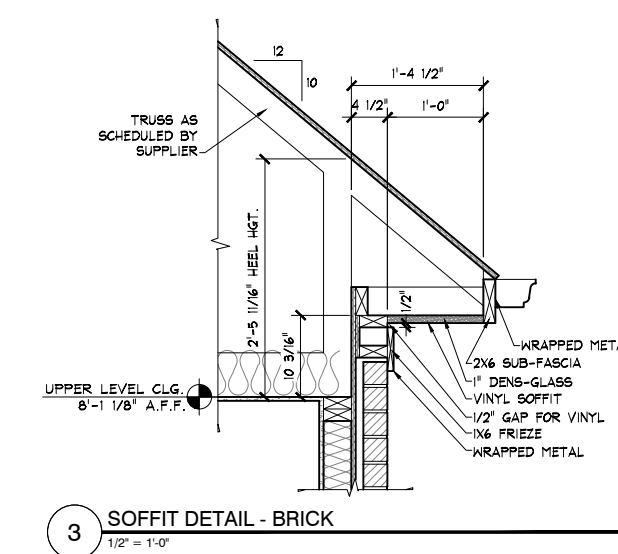
11 RAKE DETAIL - BRICK
1/2" = 1'-0"



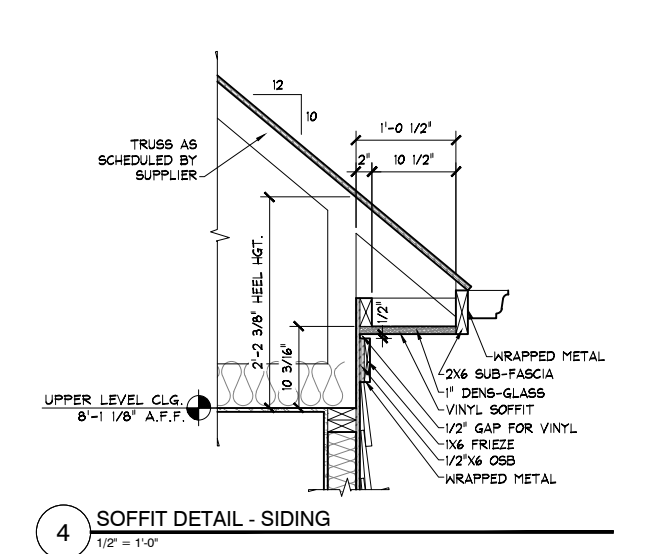
12 RAKE DETAIL - SIDING
1/2" = 1'-0"



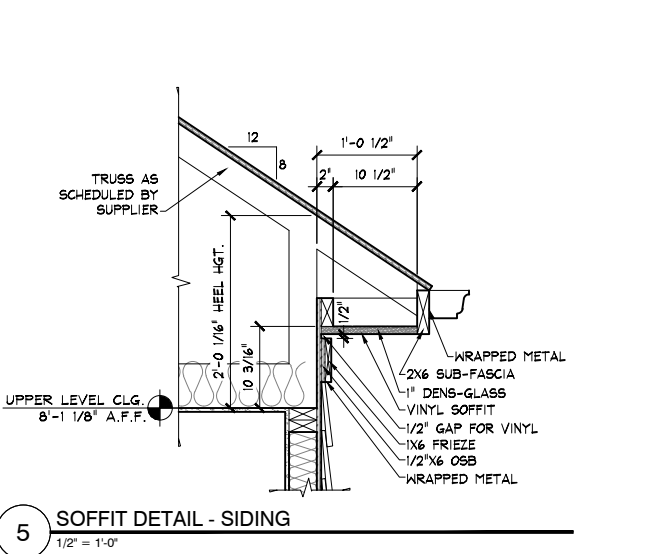
13 TYP. FIREWALL DETAIL
1/2" = 1'-0"



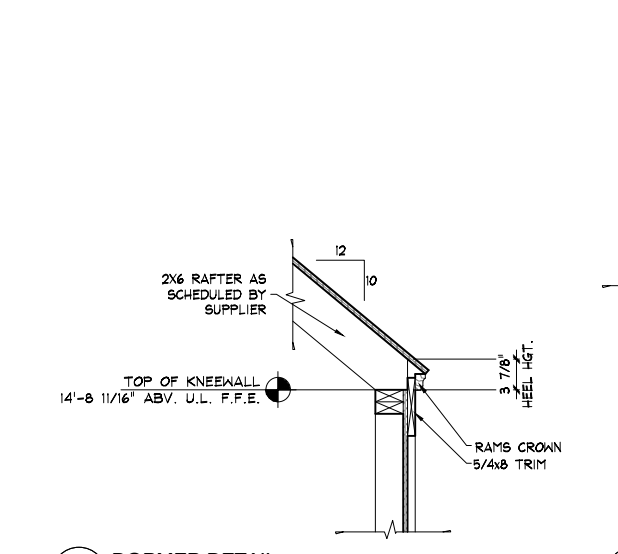
3 SOFFIT DETAIL - BRICK
1/2" = 1'-0"



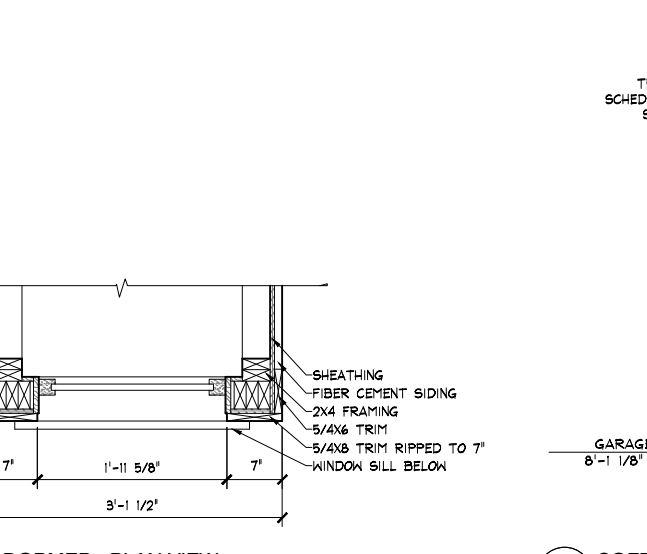
4 SOFFIT DETAIL - SIDING
1/2" = 1'-0"



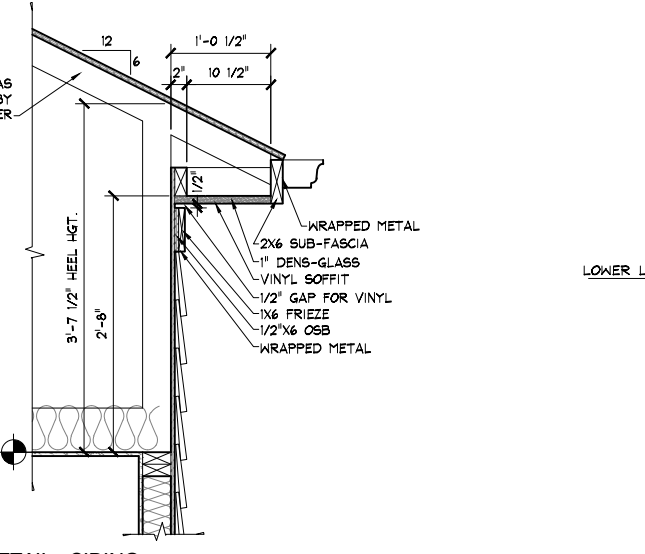
5 SOFFIT DETAIL - SIDING
1/2" = 1'-0"



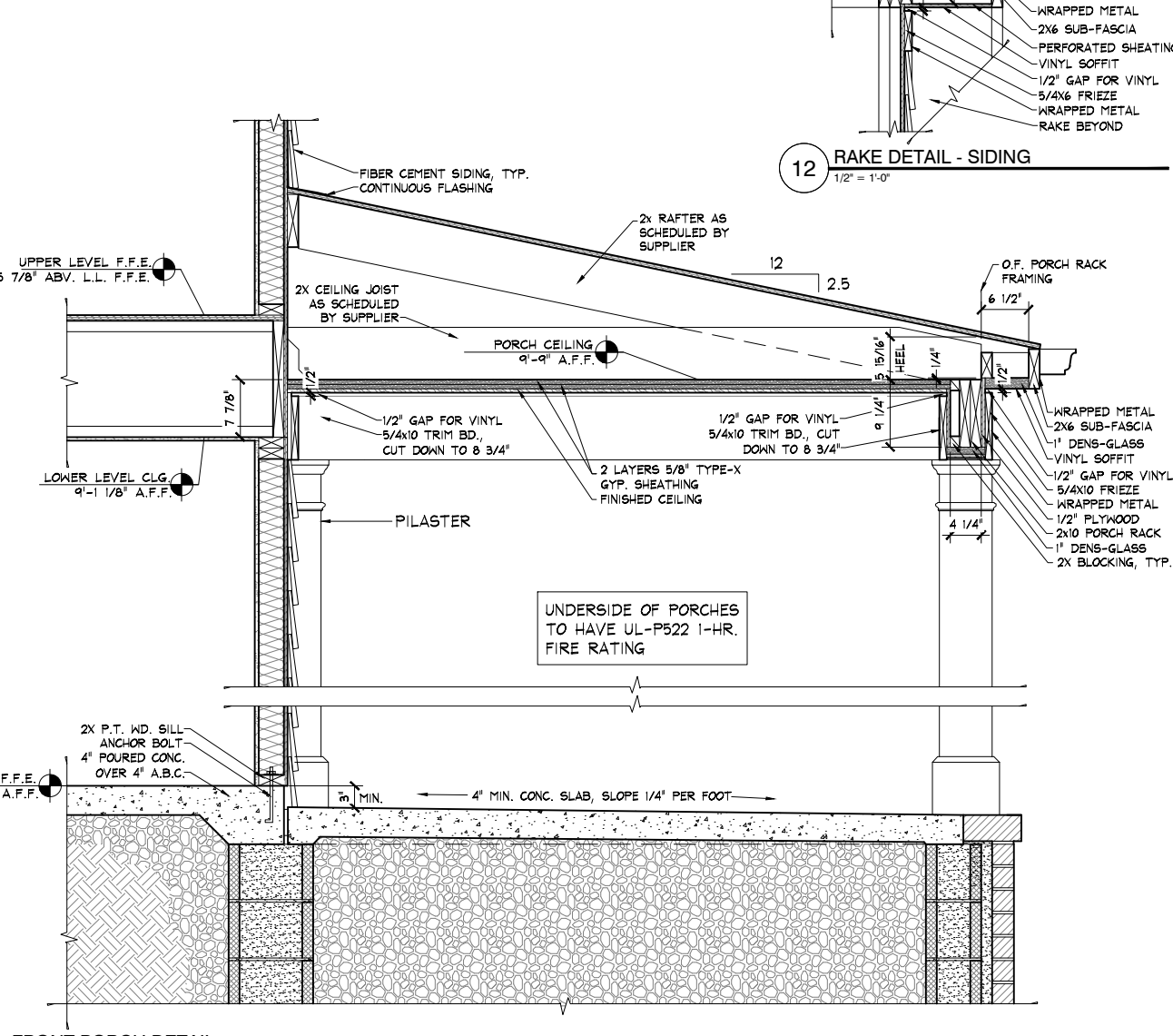
6 DORMER DETAIL
1/2" = 1'-0"



7 DORMER - PLAN VIEW
1/2" = 1'-0"



8 SOFFIT DETAIL - SIDING
1/2" = 1'-0"



9 FRONT PORCH DETAIL
1/2" = 1'-0"

LAST CHECKED:
 08/20/15
 KJR

CANTERBURY LOTS 132-136
 TOWNHOMES

ELEVATIONS

ISSUE DATE:
 08 SEPT 2015

REVISIONS:

A4-2

ELEVATIONS

