

**Town of Thompson's Station  
Board of Mayor and Aldermen  
Meeting Agenda  
October 8, 2019, 7:00 p.m.**

**Meeting Called To Order**

**Pledge Of Allegiance**

**Consent Agenda**

**A. Consideration Of The Minutes Of The September 10, 2019 Regular Meeting.**

Documents:

[ITEM A CONSENT AGENDA BOMA MINUTES 9\\_10\\_2109.PDF](#)

**Public Comments-**

**Unfinished Business:**

**1. Consideration Of Resolution 2019-012: A Resolution To Accept A Right Of Way Dedication Of A Portion Of Declaration Way From Williamson County Schools.**

Documents:

[ITEM 1 - STAFF REPORT FOR DECLARATION FINAL PLAT.PDF](#)  
[ITEM 1 - BARGE BRANFORD PLACE MEMO.PDF](#)  
[ITEM 1 - RESOLUTION 2019-012 DECLARATION DEDICATION.PDF](#)  
[ITEM 1 - TV FINAL PLAT FOR DECLARATION WAY APPROVED BY PC \(2\).PDF](#)

**New Business:**

**2. Approval Of Resolution 2019-021: A Resolution Of The Town Of Thompson's Station To Amend Resolution 2018-10 Related To The ROW And Easements For The Critz Lane Project.**

Documents:

[ITEM 2 - CRITZ LANE BOMA.PDF](#)  
[ITEM 2 - CRITZ LANE REVISED SHEETS 2019.02.21.PDF](#)  
[ITEM 2 - 2019.01.15 CRITZ LANE IMPROVEMENTS.PDF](#)  
[ITEM 2 - 3647300\\_PLANSET\\_20190809 - BARGE.PDF](#)  
[ITEM 2 - 2019.08.06 CRITZ LN \(RAGAN-SMITH\) AGTEK EXHIBIT.PDF](#)  
[ITEM 2 - CRITZLNACQUISITION\\_PROPERTYSUMMARIES.PDF](#)

**3. Approval Of Resolution 2019-022: A Resolution Of The Town Of Thompson's Station To Approve The Surveying Work Necessary For The Alexander Drip Lines Project.**

Documents:

[ITEM 3 - MEMO ALEXANDER PROPERTY SURVEYS RESOLUTION 2019-022 9-28-2019.PDF](#)

ITEM 3 - RESOLUTION 2019-022 ALEXANDER PROPERTY SURVEY.PDF  
ITEM 3 AND 4 - PROPOSED TIMELINE10-3-2019.PDF

**4. Approval Of Resolution 2019-023: A Resolution Of The Town Of Thompson's Station To Approve The Soils Testing And Mapping For The Alexander Drip Fields Project.**

Documents:

ITEM 4 - MEMO TO ALEXANDER PROPERTY SOILS TESTING  
RESOLUTION 2019-23 10-3-2019.PDF  
ITEM 4 - RESOLUTION 2019-023 ALEXANDER PROPERTY SOILS  
TESTING.PDF  
ITEM 4 - OHM CONTRACT THOMPSONS STATION GRID STAKING.PDF  
ITEM 4 - CONTRACT\_EARTHSEARCHLLC\_TOWN OF THOMPSONS  
STATION - FINAL FOR 10-8-19.PDF  
ITEM 3 AND 4 - PROPOSED TIMELINE10-3-2019.PDF

**5. Approval Of Resolution 2019-024: Acceptance Of A TDOT Bridge Grant In The Amount Of \$151,470.00 For The Replacement/Rehabilitation Of The Fry Road Bridge Crossing Murfrees Fork Creek And To Grant The Mayor Authority To Enter Into A Contract For The Oversight And Construction Of The Bridge. (Cost Information Attached)**

Documents:

ITEM 5 - FRY ROAD BRIDGE MEMO.PDF  
ITEM 5 RESOLUTION 2019 - 024 ACCEPTANCE OF THE TDOT BRIDGE  
GRANT (1).PDF  
ITEM 5 - FRY ROAD BRIDGE COST ESTIMATE - BENESCH.PDF  
ITEM 5 - FRY ROAD BRIDGE COST ESTIMATE - BARGE.PDF  
ITEM 5 - FRY ROAD BRIDGE COST ESTIMATE - SNYDER.PDF  
ITEM 5 - FRY ROAD BRIDGE COST ESTIMATE CEI.PDF  
ITEM 5 - FRY ROAD BRIDGE PROPOSAL - BENESCH.PDF  
ITEM 5 - FRY ROAD BRIDGE PROPOSAL - SNYDER.PDF  
ITEM 5 - FRY ROAD BRIDGE PROPOSAL -CEI.PDF  
ITEM 5 - FRY RD SIDE BY SIDE COST COMPARISON.PDF

**6. Approval Of Resolution 2019-025: A Resolution Of The Town Of Thompson's Station, Tennessee For Approval Of An MOU For The Use And Implementation Of The Bioclere System By The Littlebury Development Company, LLC.**

Documents:

ITEM 6 - RESOLUTION 2019-025 LITTLEBURY BIOCLERE SYSTEM.PDF  
ITEM 6 - LITTLEBURY MEMORANDUM OF UNDERSTANDING FINAL  
FOR APPROVAL 10-8-19.PDF  
ITEM 6 - LITTLEBURY MOU EXHIBIT A FINAL 10-8-19 APPROVAL.PDF

**7. Approval Of Bioclere Wastewater Treatment System In Lieu Of SBR System For Pleasant Creek Investments, LLC Subject To Finalization Of Memorandum Of Understanding With The Town Of Thompson's Station.**

**8. First Reading Of Ordinance 2019-009: Ordinance Of The Town Of Thompson's Station, Tennessee, Providing That The Code Of Ordinances Of The Town Of Thompson's Station Be Amended By Adding A New Chapter To Title 16 Therein, Providing For The Installation And Maintenance Of**



**Communications Facilities In The Public Right-Of-Way (Small Cell Ordinance).**

Documents:

[ITEM 8 - ORDINANCE 2019 - 009 SMALL CELL ORDINANCE.PDF](#)  
[ITEM 8 - SMALL CELL PERMIT APPLICATION.PDF](#)

**9. Executive Session - Recess For Executive Session To Discuss Potential And/Or Pending Litigation As To Volunteer Paving Litigation, Shaw Enterprises And Potential Property Maintenance Enforcement Issues.**

**10. Potential Action As To Volunteer Paving Lawsuit.**

**11. Adjourn**

**Information Only:**

**Finance Report**

Documents:

[OCT 2019 BOMA FINANCE REPORTS.PDF](#)

*This meeting will be held at 7:00 p.m. at Thompson's Station Community Center  
1555 Thompson's Station Road West*

**Town of Thompson's Station  
Board of Mayor and Aldermen  
Meeting Minutes  
September 10, 2019 7:00 p.m.**

**Call to Order:**

The meeting of the Board of Mayor and Aldermen of the Town of Thompson's Station was called to order at 7:00 p.m. on September 10, of 2019 at the Thompson's Station Community Center with the required quorum. Members and staff in attendance were: Mayor Corey Napier; Alderman Shaun Alexander; Alderman Brandon Bell; Alderman Ben Dilks; Alderman Brian Stover; Town Administrator Ken McLawhon; Town Planner Wendy Deats; Finance Director Steve Banks; Town Recorder/Clerk Regina Fowler and Town Attorney Andrew Mills and Kirk Vandivort.

**Pledge of Allegiance:**

**Consent Agenda:**

Consideration of a. the August 13, 2019, regular meeting minutes and b. the consideration of the appointment of Skip Beasley to the Utility Board.

**Alderman Bell made a motion to approve the Consent Agenda excluding item b, consideration of a. August 13, 2019 meeting minutes. The motion was seconded and carried unanimously.**

Consideration of b. The Appointment of Skip Beasley to the Utility Board.

**Alderman Stover made a motion to approve the appointment of Skip Beasley to the Utility Board. The motion was seconded and passed 4-1 with a nay vote being cast by Alderman Dilks,**

**Public Comments:**

Jay Franks – Pleasant Creek Investments would like to be heard tonight regarding a wastewater treatment plan however, he was told that the Utility Board will be taking up the issue next week.

Dwayne Wilson – No Comment, Walter Weller – no comment and Robert Taylor – No comment.

Ben Hailey – 2732 Critz Lane - Would like an update on the Alexander Property. Alderman Stover noted that it is in the preliminary stages. Mr. Hailey had another question and said he would contact the town Planner to address his concern.

John L. Mianhart – 2868 Americus - He was concerned that in a prior meeting a Tollgate resident stated a signed petition against Declaration Way was signed by a majority of residents. His calculations indicated only 21% of total residents signed the petition. He is in favor of the sidewalk for student safety but thinks it should be on the south side of Tollgate.

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Fred McCoye - 3100 Natoma Circle - He is new to the neighborhood but thinks condemning property adjoining school could be an alternative route to be used. With new commercial development, parking is only going to get worse.

Russ Sellers – 1953 Newark Lane - He lives in a Townhouse in Tollgate. He is against the road but agrees with the sidewalk and an exit for emergency use only.

Brad Wilson – 3064 Americus Drive - He agrees that old house on property adjacent to Independence should be torn down. He thinks a sidewalk is a good idea however, the Developer's plans called for Declaration and Bransford to be connected, so he says let the Developer pay for it instead of the taxpayers.

Chris Cusick – 3037 Millerton Way - He has lived in Tollgate for two years. He thinks it ridiculous that the Town did not plan properly for infrastructure etc. He is against Declaration and Bransford being connected, he states it's uncalled for, unplanned and Tollgate should not be penalized for poor planning.

Sandra Gavin – 3037 Millerton Way She is against Declaration and Bransford being connected and thinks this will change the Tollgate dynamics drastically. A sidewalk and emergency exit are fine but would ask BOMA to think outside of the box to address this problem.

Elaine Weisberger – 2936 Americus - She is opposed to the connector road in Tollgate.

Larry Simmons – 3116 Hazelton He thanks BOMA for traffic study in Tollgate. He felt Barge did a thorough study relative to the entrance into Tollgate. He believes that Bransford to Declaration Way will be completed and he thinks it's much better for the developer to pay for it instead of taxpayers but should include two caveats; Tollgate be patrolled for speeding and BOMA to approve prior to construction of the road, should any issues arise the road be closed off.

### **Unfinished Business:**

1. Approval of Bioclere Wastewater Treatment System in lieu of SBR System for Littlebury Development subject to finalization of Memorandum of Understanding.

**A motion was made by Alderman Bell for approval of Bioclere Wastewater Treatment System in lieu of SBR System for Littlebury Development subject to finalization of Memorandum of Understanding. The motion was seconded and carried unanimously.**

2. Rescinding action on Resolution 2019-012: A Resolution to Accept a Right of Way Dedication of a Portion of Declaration Way from Williamson County Schools.

**A motion was made by Alderman Stover to rescind action on Resolution 2019-**

**012: A Resolution to Accept a Right of Way Dedication of a Portion of Declaration**

**Way from Williamson County Schools. The motion was seconded and passed 4-1 with a nay vote being cast by Alderman Dilks.**

3. Approval of Resolution 2019-012: A Resolution to Accept a Right of Way Dedication of a Portion of Declaration Way from Williamson County Schools.

**Alderman Bell made a motion to table the Approval of Resolution 2019-012: A Resolution to accept a Right of Way Dedication of a Portion of Declaration Way from Williamson County Schools. The motion was seconded and passed unanimously.**

**New Business:**

4. First Reading Ordinance 2019-008: An Ordinance to amend certain provision of the Land Development ordinance LDO Amendments (LDO Amend 2019-002).

**Alderman Stover made a motion for Approval on first reading of Ordinance 2019-008: an ordinance to amend certain provisions of the Land Development ordinance LDO Amendments (LDO Amend 2019-002).**

5. Resolution 2019-020: A Resolution to accept Federal Funds for Multi-modal connectivity (PIN 12661.01), to approve the Town's matching funds and enter into a contract with TDOT for the project.

**Alderman Alexander made a motion for approval of Resolution 2019-020: A Resolution to accept Federal Funds for Multi-modal connectivity (PIN 12661.01), to approve the Town's matching funds and enter into a contract with TDOT for the project. The motion was seconded and passed unanimously.**

6. Approve Amendment to Whistle Stop Settlement Agreement with the contingency of the Mayor signing the Amendment only after the town staff approves the utility line locations within the subject area.

**Alderman Bell made a motion to approve Amendment to Whistle Stop Settlement Agreement with the contingency of the Mayor signing the Amendment only after the town staff approved the utility line locations within the subject area. The motion was seconded and passed unanimously.**

**Adjournment**

There being no further business, the meeting adjourned at 9:20 p.m.

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**Corey Napier, Mayor**

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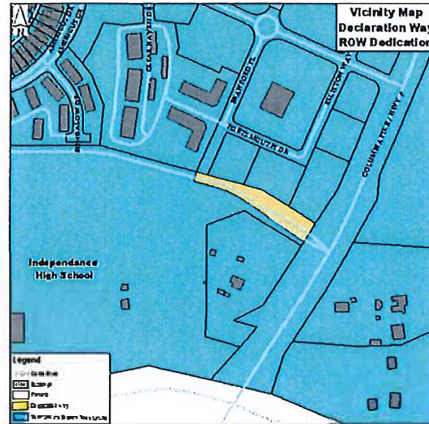
**Regina Fowler, Town Recorder/Clerk**

**Thompson's Station Planning Commission  
Staff Report –Item 1 (FP 2019-001)  
April 23, 2019**

**Request to approve the final plat for Branford Place/Declaration Way.**

**PROJECT DESCRIPTION**

A request to approve the final plat for the connection of Branford Place to Declaration Way and the dedication of Declaration Way to the Town.



**BACKGROUND**

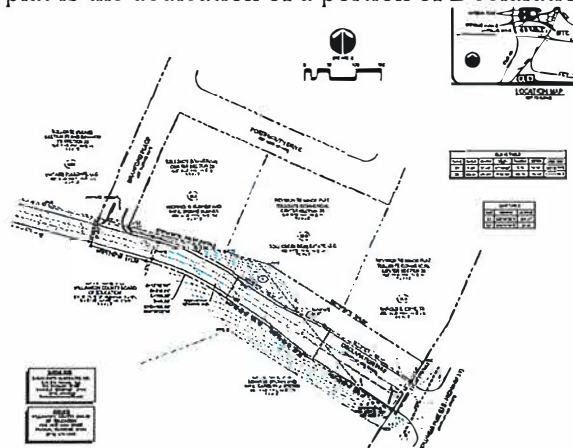
The Tollgate Village neighborhood was originally approved with three access points along Columbia Pike: a northern entrance, the central or main entrance and a southern entrance with from the neighborhood to Declaration Way which also serves Independence High School. The site development plan was modified over the years; however, the access points have been incorporated with the revisions to the layout of the overall neighborhood. Currently two accesses along Columbia Pike are constructed and open; a northern entrance and the main entrance which is signalized. The Town has coordinated with the school district for approval to connect Branford Place to Declaration Way.

On March 26, 2018, the Planning Commission approved the preliminary plat with the contingency that “prior to the recordation of the final plat, Declaration Way be accepted by the Board of Mayor and Aldermen.” In addition, the construction drawings are reviewed and approved for the completion of the construction of Branford Place to Declaration Way.

**ANALYSIS**

**Final Plat**

The purpose of the final plat is to provide a legal instrument where the transfer of ownership of lots is allowed and shall constitute a way where streets and other infrastructure can be accepted (LDO Section 5.2.7). This purpose of this plat is the dedication of a portion of Declaration Way to the Town.



Declaration Way currently provides access to Independence High School. Branford Place is partially constructed and will be completed with a connection to Declaration Way as part of the approvals for the neighborhood. The plat also contains a remainder parcel which will remain under the ownership of the Williamson County School district. In addition, the school district will be responsible for the maintenance of the landscape median and the signage for Independence High School.

**RECOMMENDATION**

Staff recommends the Planning Commission approve the final plat with the following contingency:

1. Prior to the recordation of the final plat, Declaration Way shall be accepted by the Board of Mayor and Aldermen.

**ATTACHMENTS**

Preliminary Plat

August 9th, 2019

Wendy Deats  
Town Planner  
Town of Thompson's Station, Tn

RE: Branford Place Extension/Declaration Way Access

Dear Wendy:

The purpose of this letter is to analyze the possible extension of Branford Place between Declaration Way and Portsmouth Drive, in the town of Thompson's Station, Tennessee. The following analysis compares three potential scenarios for the proposed intersection of Branford Place and Declaration Way. The scenarios considered are:

- Existing conditions
- Stop control
- Right-in right-out

The following intersections were analyzed in this analysis:

- Columbia Pike (US 31) and Declaration Way (unsignalized)
- US 31 and Tollgate Blvd (signalized)
- Tollgate Blvd and Branford Place (roundabout)
- Village Tollgate Dr/Portsmouth Dr and Branford Place (unsignalized)
- Tollgate Blvd and Elliston Way (unsignalized)
- Declaration Way and Proposed Access (unsignalized)

US 31 serves as a major north-south corridor in the Nashville Metro area, serving the city of Nashville to the north and the town of Thompson's Station and cities of Spring Hill and Columbia to the south. Tollgate Boulevard serves as the primary access to the Tollgate neighborhood, a large residential development, located approximately 2500 feet north of Interstate 840. Declaration Way serves as the single access to Independence High School.

Peak hour turning movement count data was collected on Wednesday, September 5, 2018, while local schools were in session, at the following locations:

- US 31 and Declaration Way
- US 31 and Tollgate Blvd
- Tollgate Blvd and Clear Haven Drive
- Village Tollgate Dr/Portsmouth Dr and Branford Place
- Tollgate Blvd and Elliston Way

These existing counts were used to calculate existing counts for all study intersections. The peak hours were found to be the following:

- AM: 6:45 – 7:45 AM
- SCHOOL: 2:45 – 3:45 PM
- PM: 4:45 – 5:45 PM

Intersections were analyzed using methodology found in the *Highway Capacity Manual*, Transportation Research Board, 2010, using Synchro traffic modeling software. The analysis



calculates a Level of Service (LOS) for each study intersection. Level of Service is a point of reference that allows comparison between different stages of delay, from LOS A (best) to LOS F (failure). Table 1 shows criteria of LOS for intersections.

**Table 1. Level of Service Criteria**

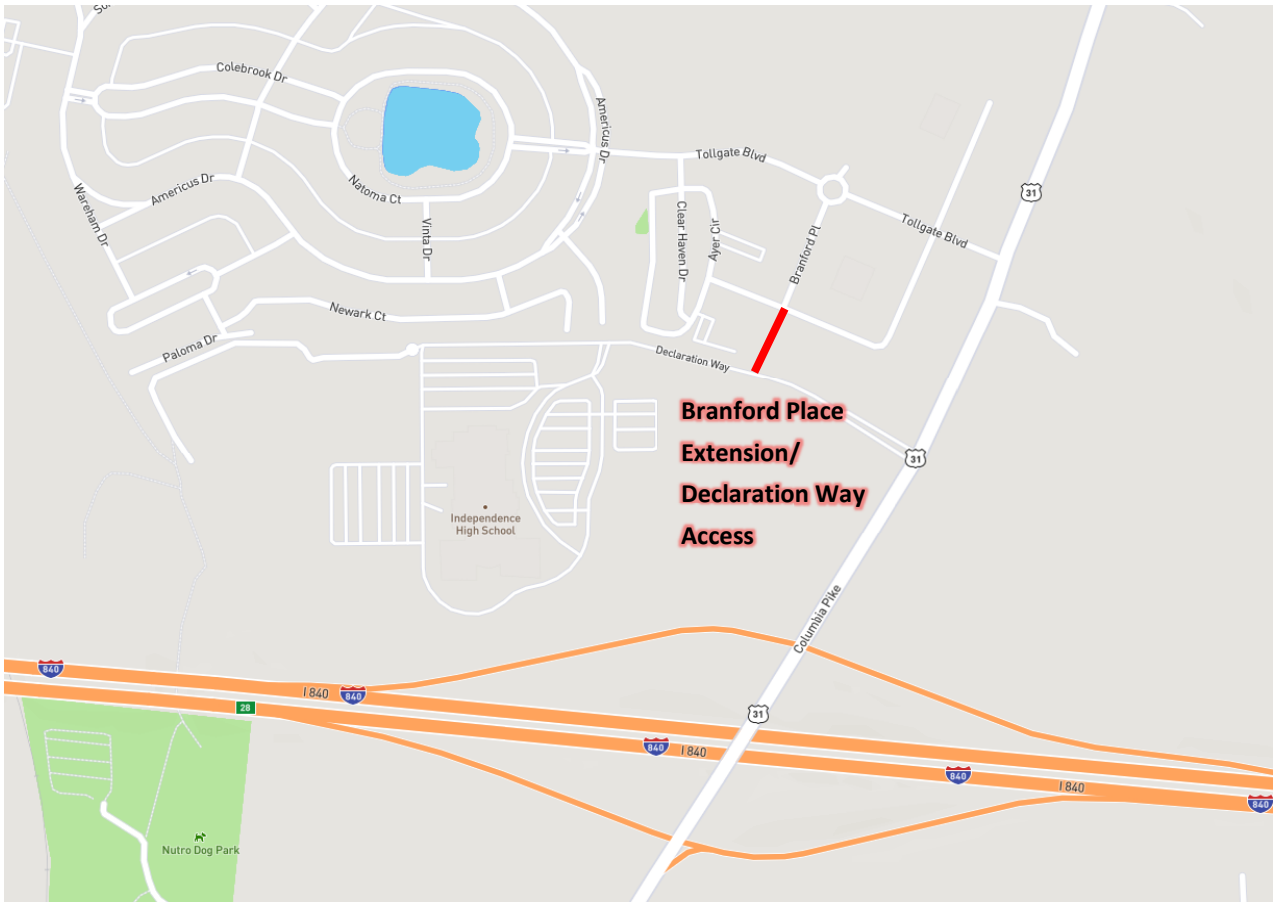
Level of Service	Description	Average Control Delay sec/vehicle		
		Signalized	Roundabout	Unsignalized
<b>A</b>	<i>Free Flow</i>	≤ 10	≤ 10	≤ 10
<b>B</b>	<i>Stable Flow - Slight Delay</i>	> 10 – 20	> 10 – 20	> 10 – 15
<b>C</b>	<i>Stable Flow - Acceptable Delay</i>	> 20 – 35	> 20 – 35	> 15 – 25
<b>D</b>	<i>Near-Unstable Flow – Tolerable Delay</i>	> 35 – 55	> 35 – 50	> 25 – 35
<b>E</b>	<i>Unstable Flow – Intolerable Delay</i>	> 55 – 80	> 50 – 70	> 35 – 50
<b>F</b>	<i>Forced Flow – Failure</i>	> 80	> 70	> 50

*Highway Capacity Manual, Transportation Research Board, 2010*

The results of Existing analysis are shown in Table 2, in addition to the analysis results for the proposed access.

The approximate location of the proposed access is shown in Figure 1.

**Figure 1. Branford Place Extension**



The following scenarios were considered for the access on Declaration Way:

1. **Full Access** – Declaration Way includes eastbound left turn lane and southbound Branford Place is stop-controlled with one exiting and one entering lane.
2. **Right-In/Right-Out** – Southbound Branford Place stop-controlled with one exiting right-turn-only lane and one entering lane for westbound right turns.
3. **Emergency Gate** – Same configuration as Full Access with a gate that blocks access except during emergencies.

The future intersection of Branford Place/Access and Vintage Tollgate Drive/Portsmouth Drive is expected to be stop-controlled for east and westbound approaches.

Existing traffic was redistributed accordingly:

1. **Full Access** – 20% of eastbound Declaration Way left-turning vehicles at US 31 distributed to use new access to eastbound Tollgate Boulevard left turn at US 31. 20% of southbound

US 31 right-turning vehicles at Declaration way distributed to use new access with right turn at Tollgate Boulevard.

2. **Right-In/Right-Out** – 20% of southbound US 31 right-turning vehicles at Declaration way distributed to use new access with right turn at Tollgate Boulevard.
3. **Emergency Gate** – If closed, same as Existing, if open same as Full Access.

These scenarios were analyzed with the proposed traffic volumes and configurations using the same methodology as the Existing conditions. The results of analysis are shown in Table 2.

Analysis does not consider the use of traffic officers during the SCHOOL peak hour. The Emergency Gate scenario is expected to operate the same as Full Access when open, and Existing when closed.

Figure 2 includes all analysis results. Green highlighted results indicate better performance than Existing, and yellow highlighted results indicate worse performance than Existing. Numbers and letters in red indicate poor LOS of E or F.

As shown in Figure 2, the proposed access has little impact on performance in all scenarios. The greatest impact is on the eastbound approach of Tollgate Boulevard at US 31, which adds approximately 5 seconds of delay to the left turn during the SCHOOL peak hour. Slight decreases and increases in delay result from redistributed traffic but have minimal impact on LOS.

The following recommendations are based on this analysis:

- Construct Branford Place Extension between the existing intersection of Branford Place and Portsmouth Drive and Declaration Way. Install sidewalk on both sides of the extension.
- Install full access intersection at Branford Place Extension and Declaration Way. Branford Place to be stop controlled. Restripe Declaration Way to include one eastbound left turn lane with 200 feet of storage. Install pedestrian crossing pavement markings, speed table, and pushbutton-activated pedestrian crossing signs at intersection, coordinating with proposed sidewalk.
- Install sidewalk on Declaration Way from Branford Place Extension to Independence High School. Although this may be installed on either side of Declaration Way (on the county school property and is assumed to be constructed by WCS), it is assumed it will be installed on the south side due to existing grading.

This proposed extension would allow a second access for more efficient traffic flow and additional access in the event of an emergency at Independence High School. The proposed recommendations are presented conceptually in Figure 2. All recommendations are subject to school and town coordination. Please contact me if you have any questions.

Sincerely,

**Barge Design Solutions, Inc.**



Jonathan W. Smith, P.E., IMSA TS II

Enclosures

Table 2. Branford Place Extension Analysis

Figure 2. Proposed Improvements

3672714

Table 2. Branford Place Extension Analysis

Intersection	Control	Lane Group	Storage Length	Existing Conditions									Option #1 - Full									Option #2 - RIRO								
				AM			SCHOOL			PM			AM			SCHOOL			PM			AM			SCHOOL			PM		
				Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue	Delay	LOS	Queue
1. US 31 & Declaration Way	TWSC	Overall		32.4	D		20.4	C		3.0	A		18.2	C		12.9	B		2.5	A		27.6	D		20.3	C		2.9	A	
		Eastbound		192.4	F		60.5	F		24.2	C		99.8	F		39.4	E		21.6	C		158.2	F		59.6	F		24.1	C	
		EB L	800' (32 veh)	585.3	F	288'	113.0	F	275'	39.3	E	50'	337.4	F	200'	63.7	F	170'	34.4	D	38'	477.7	F	11'	111.6	F	273'	38.6	E	50'
		EB R	275' (11 veh)	16.2	C	60'	27.9	D	168'	15.9	C	30'	15.0	C	55'	27.3	D	165'	15.8	C	30'	15.0	C	2'	27.3	D	165'	15.8	C	30'
		Northbound		8.6	A		1.7	A		1.2	A		7.2	A		1.7	A		1.2	A		7.2	A		1.7	A		1.2	A	
		NB L	560' (22 veh)	21.9	C	180'	10.2	B	10'	11.8	B	13'	18.2	C	150'	10.2	B	10'	11.7	B	13'	18.2	C	6'	10.2	B	10'	11.7	B	13'
		NB T	999' (40 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'
Southbound		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A			
SB T	999' (40 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'		
SB RT	150' (6 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'		
2. US 31 & Tollgate Blvd	Signal	Overall		12.8	B		11.1	B		10.7	B		13.5	B		13.3	B		11.1	B		12.7	B		11.1	B		10.7	B	
		Eastbound		49.3	D		60.2	E		59.9	E		49.8	D		61.0	E		60.1	E		49.3	D		60.2	E		59.9	E	
		EB LT	200' (8 veh)	48.1	D	154'	56.1	E	115'	54.5	D	105'	51.6	D	177'	63.5	E	170'	56.1	E	121'	48.1	D	154'	56.1	E	115'	54.5	D	105'
		EB RT	200' (8 veh)	50.7	D	0'	63.6	E	0'	63.6	E	0'	47.6	D	0'	57.8	E	0'	63.4	E	0'	50.7	D	0'	63.6	E	0'	63.6	E	0'
		Northbound		4.7	A		3.2	A		3.4	A		4.9	A		3.5	A		3.4	A		4.7	A		3.2	A		3.4	A	
		NB LT	800' (32 veh)	5.5	A	35'	4.4	A	33'	5.3	A	28'	5.6	A	35'	4.8	A	37'	5.2	A	29'	5.3	A	35'	4.4	A	33'	5.2	A	28'
		NB T	999' (40 veh)	4.6	A	157'	3.0	A	86'	3.1	A	92'	4.9	A	157'	3.3	A	87'	3.2	A	98'	4.6	A	157'	3.0	A	86'	3.1	A	92'
Southbound		8.8	A		7.0	A		4.9	A		8.9	A		7.6	A		7.9	A		8.5	A		7.0	A		7.9	A			
SB T	580' (23 veh)	8.9	A	164'	7.2	A	164'	8.2	A	234'	9.0	A	141'	7.7	A	173'	8.2	A	239'	8.6	A	141'	7.1	A	162'	8.1	A	230'		
SB RT	280' (11 veh)	7.2	A	15'	6.0	A	20'	6.5	A	25'	8.2	A	27'	6.5	A	23'	6.6	A	26'	7.8	A	27'	6.0	A	21'	6.6	A	25'		
3. Portsmouth Dr & Tollgate Blvd	Roundabout	Overall		5.0	A		4.6	A		4.9	A		5.4	A		4.6	A		5.0	A		5.4	A		4.6	A		5.0	A	
		Eastbound		5.4	A		4.4	A		4.3	A		6.1	A		4.5	A		4.4	A		6.1	A		4.5	A		4.4	A	
		EB L/T/R	285' (11 veh)	5.4	A	25'	4.4	A	0'	4.3	A	0'	6.1	A	25'	4.5	A	0'	4.4	A	0'	6.1	A	25'	4.5	A	0'	4.4	A	0'
		Westbound		3.9	A		4.7	A		5.3	A		4.6	A		4.8	A		5.4	A		4.6	A		4.8	A		5.4	A	
		WB L/T/R	320' (12 veh)	3.9	A	0'	4.7	A	25'	5.3	A	25'	4.6	A	25'	4.8	A	25'	5.4	A	25'	4.6	A	25'	4.8	A	25'	5.4	A	25'
		Northbound		4.7	A		3.8	A		4.0	A		4.9	A		4.4	A		4.1	A		4.7	A		3.8	A		4.0	A	
NB L/T/R	100' (4 veh)	4.7	A	0'	3.8	A	0'	4.0	A	0'	4.9	A	0'	4.4	A	0'	4.1	A	0'	4.7	A	0'	3.8	A	0'	4.0	A	0'		
Southbound		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A			
SB L/T/R	100' (4 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'		
4. Village Tollgate & Portsmouth Dr	TWSC	Overall		7.6	A		4.8	A		3.2	A		2.0	A		2.0	A		3.2	A		0.0	A		0.0	A		0.0	A	
		Eastbound		8.6	A		8.6	A		8.6	A		9.6	A		9.2	A		9.1	A		0.0	A		0.0	A		0.0	A	
		E L/T/R	(0 veh)	8.6	A	3'	8.6	A	0'	8.6	A	0'	9.6	A	3'	9.2	A	0'	9.1	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'
		Westbound		0.0	A		0.0	A		0.0	A		9.7	A		9.4	A		9.1	A		0.0	A		0.0	A		0.0	A	
		WB L/T/R	(0 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	9.7	A	0'	9.4	A	0'	9.1	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'
Northbound		--	--		--	--		--	--		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A			
NB L/T/R	(0 veh)	--	--		--	--		--	--		0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'		
Southbound		0.0	A		0.0	A		0.0	A		7.3	A		0.4	A		0.0	A		0.0	A		0.0	A		0.0	A			
SB L/R	(0 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	7.3	A	0'	7.3	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'		
5. Tollgate Blvd & Elliston Way	TWSC	Overall		0.9	A		1.5	A		1.3	A		0.7	A		1.4	A		1.2	A		0.7	A		1.5	A		1.2	A	
		Eastbound		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A		0.0	A	
		EB L/T/R	(0 veh)	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'
		Westbound		1.4	A		0.8	A		0.5	A		0.9	A		0.8	A		0.4	A		0.9	A		0.8	A		0.4	A	
		WB L/T/R	(0 veh)	7.9	A	3'	0.8	A	0'	7.5	A	0'	8.0	A	3'	7.7	A	3'	7.6	A	0'	0.9	A	3'	7.6	A	0'	7.5	A	0'
Northbound		10.2	B		9.4	A		9.5	A		10.5	B		9.7	A		9.6	A		10.3	B		9.4	A		9.5	A			
NB L/T/R	(0 veh)	10.2	B	3'	9.4	A	3'	9.5	A	3'	10.5	B	3'	9.7	A	3'	9.6	A	3'	10.3	B	3'	9.4	A	3'	9.5	A	3'		
Southbound		12.1	B		11.7	B		12.2	B		13.4	B		12.5	B		12.5	B		13.1	B		11.9	B		12.3	B			
SB L/T/R	(0 veh)	0.0	A	0'	11.7	B	3'	12.2	B	3'	13.4	B	0'	12.5	B	3'	12.5	B	3'	13.1	B	0'	11.9	B	0'	12.3	B	3'		
6. Declaration Way & Access	TWSC	Overall		--	--		--	--		--	--		1.4	A		0.6	A		0.7	A		1.2	A		0.1	A		0.3	A	
		Eastbound		--	--		--	--		--	--		0.6	A		0.6	A		0.6	A		0.0	A		0.0	A		0.0	A	
		EB L	(0 veh)	--	--		--	--		--	--		10.2	B	3'	7.6	A	3'	7.5	A	0'	--	--		--	--		--	--	
		EB T		--	--		--	--		--	--		0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'
		Westbound		--	--		--	--		--	--		0.0	A		9.0	A		0.0	A		0.0	A		0.0	A		0.0	A	
WB T/R	(0 veh)	--	--		--	--		--	--		0.0	A	0'	9.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'	0.0	A	0'		
Southbound		--	--		--	--		--	--		20.8	C		9.0	A		9.0	A		20.8	C		9.0	A		9.0	A			
SB L/T/R	(0 veh)	--	--		--	--		--	--		20.8	C	28'	9.0	A	0'	9.0	A	0'	20.8	C	28'	0.0	A	0'	0.0	A	0'		







**RESOLUTION NO. 2019-012**

**A RESOLUTION OF THE TOWN OF THOMPSON'S STATION, TENNESSEE  
TO ACCEPT A RIGHT-OF-WAY DEDICATION OF A PORTION OF DECLARATION  
WAY FROM WILLIAMSON COUNTY SCHOOLS**

WHEREAS, the development of Tollgate Village has been approved over the years with the understanding that a right-of-way connection between Tollgate Village and Declaration Way would be made to provide additional connectivity between the development and the Independence High School property; and

WHEREAS, Williamson County Schools ("WCS") has offered to dedicate a portion of Declaration Way to the Town to complete this connection between Tollgate Village and Independence High School; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to accept the public right-of-way described herein.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

The Town hereby accepts the right-of-way known as Declaration Way from the western right-of-way of Columbia Pike to the intersection with Branford Place as shown on the Final Plat for Declaration Way Right-of-Way Dedication, approved by the Planning Commission on April 23, 2019. A copy of said plat is attached hereto and incorporated herein by reference.

RESOLVED AND ADOPTED this \_\_\_\_\_ day of October, 2019.

\_\_\_\_\_  
Corey Napier, Mayor

ATTEST:

\_\_\_\_\_  
Regina Fowler, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

\_\_\_\_\_  
Andrew Mills, Town Attorney

**GENERAL NOTES**

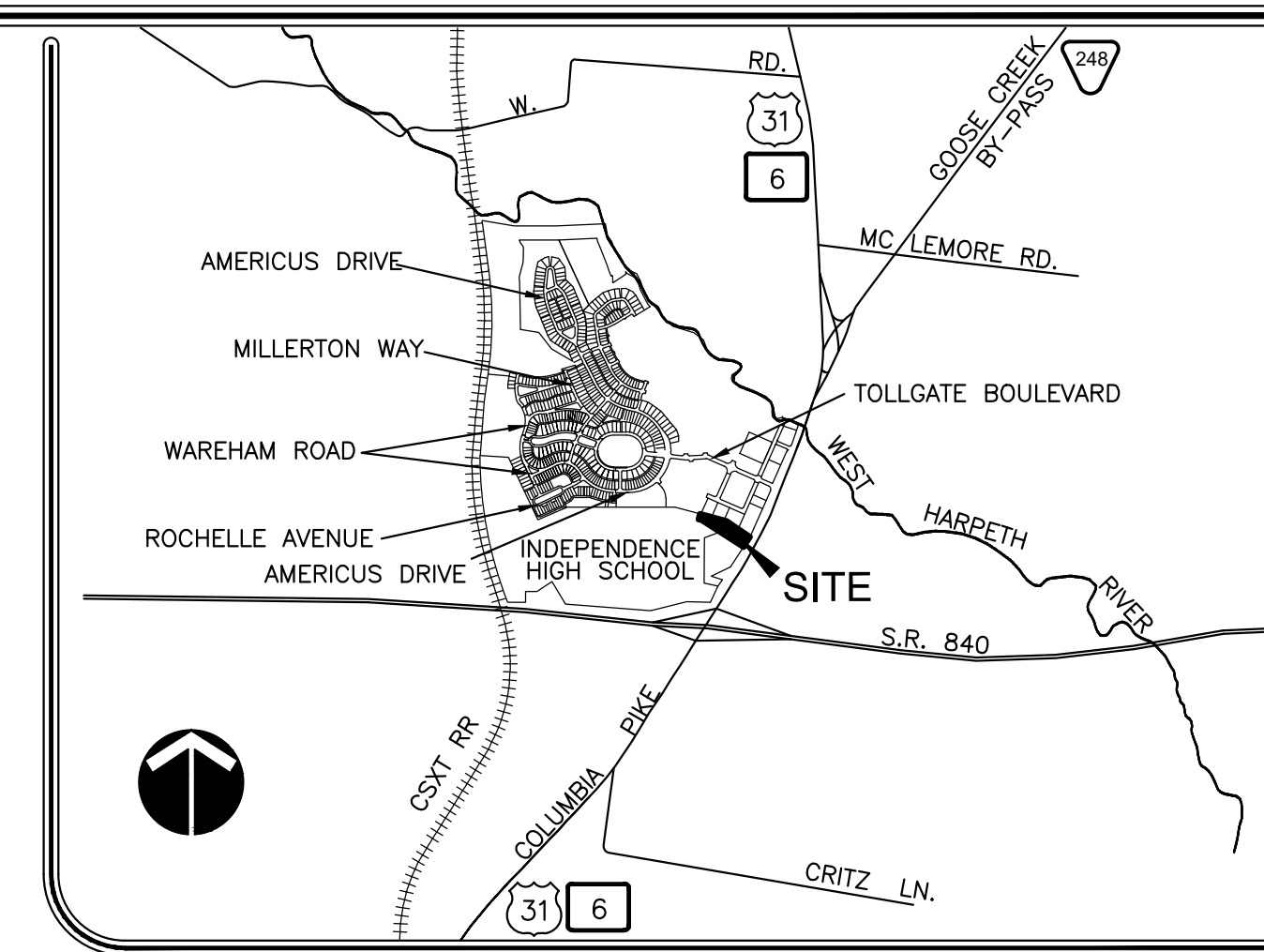
- THE PURPOSE OF THIS PLAN IS TO DEDICATE RIGHT OF WAY.
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED DURING THE COURSE OF THE SURVEY ON THE SITE TO DETERMINE THE POSITION OF TWO CONTROL POINTS FOR ESTABLISHING THE BEARING BASE. TYPE OF EQUIPMENT USED: TRIMBLE MODEL R10, DUAL FREQUENCY RECEIVER. THE TYPE OF SURVEY: NETWORK ADJUSTED REAL TIME KINEMATIC. CONTROL POINTS FOR BEARING BASE FOR PROJECT AND ROAD LOCATION IMPROVEMENTS.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
- THIS PROPERTY IS CURRENTLY ZONED D3 (HIGH DENSITY RESIDENTIAL).
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONES "X" AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. 47187C0335F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NO. 0335, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- ALL STREETS ARE DESIGNATED PUBLIC AND AS SUCH ARE PUBLIC UTILITY, ACCESS AND DRAINAGE EASEMENTS.
- ALL PUBLIC STREETS AND DRAINAGE STRUCTURES WITHIN THE RIGHTS-OF-WAY WILL BE MAINTAINED BY THE TOWN OF THOMPSON'S STATION. THE "INDEPENDENCE HIGH SCHOOL" SIGN AND LANDSCAPING WITHIN THE RIGHT-OF-WAY WILL BE MAINTAINED BY THE WILLIAMSON COUNTY BOARD OF EDUCATION.
- LOT 1 WILL BE RETAINED BY THE WILLIAMSON COUNTY BOARD OF EDUCATION.
- I HEREBY STATE THAT THIS SURVEY WAS DONE IN COMPLIANCE WITH THE CURRENT TENNESSEE MINIMUM STANDARDS OF PRACTICE AND THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS 1:43,595.

**DEED REFERENCE**

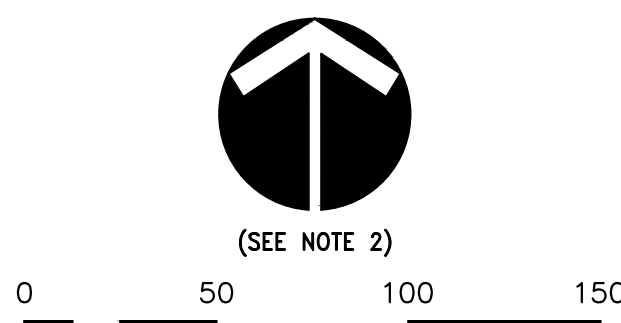
BEING A PORTION OF THE SAME PROPERTY CONVEYED TO WILLIAMSON COUNTY BOARD OF EDUCATION OF RECORD IN DOCKET NUMBER 01699, CIRCUIT COURT OF WILLIAMSON COUNTY, TENNESSEE.

**PROPERTY MAP REFERENCE**

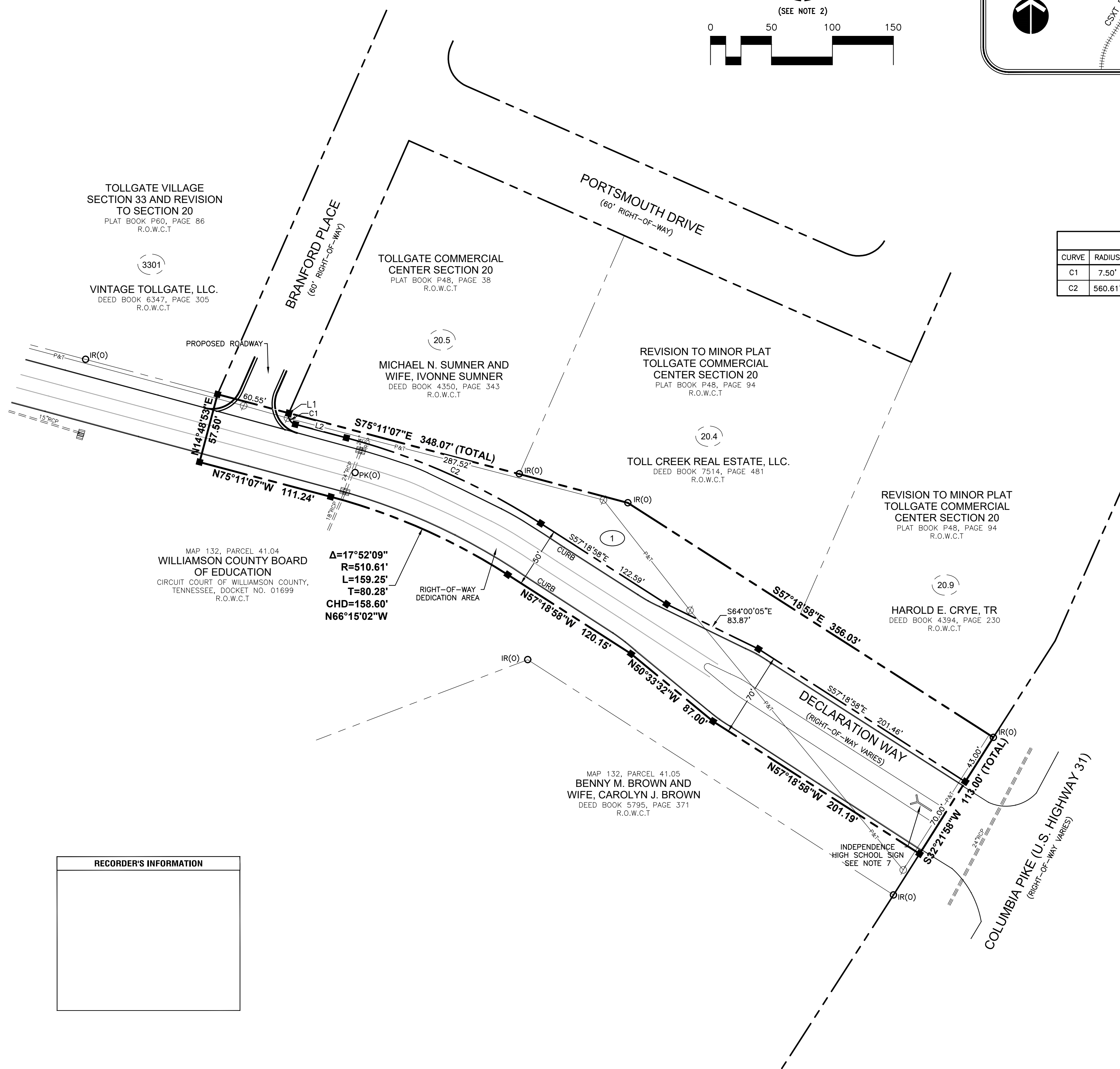
BEING A PORTION OF PARCEL 41.04 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP 132.



**LOCATION MAP**  
NOT TO SCALE



(SEE NOTE 2)



**CURVE TABLE**

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C1	7.50'	11.43'	87°18'02"	7.15	10.35'	S31°32'06"E
C2	560.61'	174.84'	17°52'09"	88.14	174.13'	S66°15'02"E

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S23°46'29"W	244.41'
L2	S75°11'07"E	43.26'

**LOT AREA TABLE**

LOT	SQ. FT.±	ACRES±
1	22,080	0.51

**RIGHT OF WAY AREA TABLE**

SQ. FT.±	ACRES±
39,632	0.91

**SITE DATA TABLE**

TOTAL LOT 1 AREA	- 0.51 ACRES±
TOTAL R.O.W. DEDICATION AREA	- 0.91 ACRES±
TOTAL SITE AREA	- 1.42 ACRES±

Δ=17°52'09"  
R=510.61'  
L=159.25'  
T=80.28'  
CHD=158.60'  
N66°15'02"W

**RECORDER'S INFORMATION**

**LEGEND**

- CONCRETE MONUMENT (NEW) (4" DIAMETER ALUMINUM DISC W/ 1/2" IRON ROD MARKED "RAGAN-SMITH ASSOCIATES")
- (R) IRON ROD (OLD)
- (PK) PK NAIL (OLD)
- ∅ UTILITY POLE
- P&T- OVERHEAD POWER AND TELEPHONE LINES
- CATCH BASIN/CURB INLET
- RCP REINFORCED CONCRETE PIPE
- R.O.W. RIGHT OF WAY
- Ⓛ LOT NUMBER
- R.O.W.C.T. REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE

TOTAL AREA = 61,713 SQUARE FEET OR 1.42 ACRES ±

**CERTIFICATE OF OWNERSHIP & DEDICATION**

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS INDICATED IN DOCKET NUMBER 01699, CIRCUIT COURT OF WILLIAMSON COUNTY, TENNESSEE, AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: 4/4/19  
WILLIAMSON COUNTY BOARD OF EDUCATION  
TITLE:

**CERTIFICATE OF ACCURACY**

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE THOMPSON'S STATION MUNICIPAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE SUBDIVISION REGULATIONS, AS APPROVED BY THE TOWN ENGINEER. THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:43,595 AS SHOWN HEREON.

RAGAN - SMITH - ASSOCIATES, INC.  
DATE: 4/4/19  
JOHN T. DARNALL, RLS NO. 1571

**CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS**

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE PLAN SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 3-108 OF THE THOMPSON'S STATION SUBDIVISION REGULATIONS HAVE BEEN MET.

WATER SYSTEM: HB&B'S UTILITY DISTRICT GENERAL MANAGER  
SEWER SYSTEM: HB&B'S UTILITY DISTRICT GENERAL MANAGER  
DATE: 4/4/19

**CERTIFICATION OF THE APPROVAL OF STREETS**

I HEREBY CERTIFY: (1) THAT ALL STREETS DESIGNATED ON THIS FINAL SUBDIVISION PLAN HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THOMPSON'S STATION'S SUBDIVISION REGULATIONS, OR (2) THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: 4/4/19  
TOWN ENGINEER

**CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION**

I HEREBY CERTIFY THAT THE REQUIREMENTS SET FORTH IN RULES, REGULATIONS, BY-LAWS, POLICY AND OPERATIONAL BULLETINS, PLAT APPROVAL CHECKLIST AND TREE PLANTING GUIDELINES HAVE BEEN MET FOR MTEMC. ANY APPROVAL IS AT ALL TIMES CONTINGENT UPON CONTINUING COMPLIANCE WITH THE AFORESAID REQUIREMENTS.

DATE: 4/4/19  
MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

**CERTIFICATE OF APPROVAL FOR RECORDING**

I HEREBY CERTIFY THAT THE SUBDIVISION PLAN SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THOMPSON'S STATION SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: 4/4/19  
SECRETARY OF PLANNING COMMISSION

**CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES**

I DO HEREBY CERTIFY THAT THE SUBDIVISION NAME AND STREET NAMES DESIGNATED ON THIS FINAL PLAN HAVE BEEN APPROVED BY THE WILLIAMSON COUNTY EMERGENCY COMMUNICATIONS AGENCY.

DATE: 4/4/19  
WILLIAMSON COUNTY PUBLIC SAFETY

**CERTIFICATE FOR ADDRESSES**

I DO HEREBY CERTIFY THAT THE ADDRESSES DESIGNATED ON THIS FINAL PLAN ARE THOSE ASSIGNED BY DEPARTMENT OF INFORMATION TECHNOLOGY (IT).

DATE: 4/4/19  
IT DEPT. E-911 ADDRESSING COORDINATOR

**FINAL PLAT**

**DECLARATION WAY**  
**RIGHT OF WAY DEDICATION**

4TH CIVIL DISTRICT OF WILLIAMSON COUNTY, TOWN OF THOMPSON'S STATION, TENNESSEE

DRAWN BY: C. KILGORE  
REVISED: APRIL 5, 2019  
REVISED: MARCH 13, 2019  
DATE: MARCH 5, 2019  
JOB NO. 10-081

SCALE: 1"= 50'  
W.O. 9260

**OWNER**  
WILLIAMSON COUNTY BOARD OF EDUCATION  
1320 WEST MAIN STREET  
FRANKLIN, TENNESSEE 37064  
(615) 472-4000

**RAGAN • SMITH**

LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS

315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN. 37206  
(615) 244-8591 FAX (615) 244-6739 tdarnall@ragansmith.com  
CONTACT: TOM DARNALL, RLS

SHEET 1 OF 1

G:\0108152626\1\SURVEY\PLATS\DECLARATION WAY\DECLARATION WAY FINAL PLAT.DWG PLOTTED BY: AMANDA REED ON: 4/6/2019 4:40:37 PM LAST UPDATED BY: RAGAN-SMITH ASSOCIATES



**RESOLUTION NO. 2019 -021**

**A RESOLUTION OF THE TOWN OF THOMPSON'S STATION, TENNESSEE  
AMENDING RESOLUTION 2018-10 AUTHORIZING THE ACQUISITION OF PROPERTY FOR  
THE WIDENING AND IMPROVEMENTS TO CRITZ LANE**

WHEREAS, the Town approved Resolution 2018-10 and an estimate of costs related to the acquisition of ROW was attached and made part of said Resolution; and

WHEREAS, the Town has received actual costs related to the acquisition of said ROW for the project that are higher than the original estimate; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to approve the revised costs.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

A list of all parcels and property owners has been compiled and is attached to this Resolution as Exhibit A and becomes part of said Resolution. The Mayor is hereby authorized to execute all documents necessary to acquire such property, right-of-way and easements. In addition the Town Attorney is authorized to initiate condemnation proceedings, if necessary, to acquire such property, right-of-way and easement.

RESOLVED AND ADOPTED this 8th day of October 2019.

\_\_\_\_\_  
**Corey Napier, Mayor**

ATTEST:

\_\_\_\_\_  
Town Recorder

APPROVED AS TO LEGALITY AND FORM:

\_\_\_\_\_  
Town Attorney

# MEMORANDUM

**TO:** Kenneth McLawhon, Town Administrator  
**FROM:** Caryn Miller  
**CC:**  
**DATE:** 10-3-2019  
**RE:** Resolution 2019-21: Critz Lane Project Acquisitions and Appraisals

---

## PRIOR HISTORY

This project was approved by BOMA and a contract was signed with Barge to do the design as one project but because of the cost of the project the construction of it was contemplated to be completed in three phases. Then the Participation Agreement came into play and became Phase I of the project overall, there were discrepancies between the plans Ragan Smith prepared for Encompass and those that Barge prepared for the Town. Those discrepancies have since been resolved thus clarifying ROW needed for the project as a whole.

## Resolution 2018-10

This Resolution was passed by BOMA for the acquisition of ROW for the Critz Lane project. Attached to the Resolution was only an estimate of costs related to said acquisitions. The actual costs of the acquisitions have changed due to actual appraised values in 2019. Therefore a new Resolution 2019-21 is being introduced to BOMA to amend the amount that will be expended for the ROW.

## APPRAISALS

In 2018 R & D Enterprises was contracted by the Town to perform the appraisals and negotiate offers with the property owners based on the approval of their contract in Resolution 2018-02. Resolution 2018-10 authorized the Mayor to sign acquisition documents.

Money was budgeted in FY 2018-2019 to pay for the appraisals and acquisitions. All appraisals have been invoiced and paid for with the exception of tract 12. The total paid last year for appraisals is \$174,500. The Appraisal documents were signed by the Mayor and sent back to R & D so they could make offers to the property owners. No acquisitions actually took place in Fiscal Year 2018-2019.

Tract 12, Lamb property was not appraised because there were discrepancies between the plans submitted by Barge and those submitted by Ragan Smith for Encompass as it relates to the Participation Agreement. Just recently those discrepancies have been resolved and tract 12 will not be part of Phase I of the project but a portion of ROW will have to be purchased for Phase II of the project. The amount of acquisition in the table is a high estimate at this time. Appraisal costs of \$4,850 will also have to be paid and are reflected in the table attached.

## **OFFERS**

R&D negotiated with the property owners and sent back signed offers so the Town could pay them. Those offers were sent to the Attorneys so they could do the closing paperwork. The offers started coming in in April of 2019. No property has been actually acquired to date and is waiting for the revised costs to be approved by BOMA in Resolution 2019-21.

### **Negotiations on certain tracts necessary**

Tract 2, the Affitto property wanted the appraisal value to match that of his neighbor (\$5 per acre instead of \$4 an acre appraised). R& D negotiated that down and it is reflected on the sheet as \$66,063, a difference of approximately \$10,000 above the original appraised value but the same amount less than what they wanted.

Tract 25, Edwards, needs to replace an electric fence at the cost of \$8,300 and that price is included in the acquisition table.

Tract 23, LeVan requested an addition \$500 and that is also reflected in the totals.

## **PROPERTY OWNER CONCERNS**

Several property owners are concerned that even they have signed the offers they have not been paid yet. Two particular properties are under contract for purchase and need their acquisitions resolved so they can close on their sales. Staff is aware of them and has placed them as a priority if BOMA approves Resolution 2019-21.

Other concerns such as slope changes and other accommodations have been made by changes to the overall plans for the project.

## **TOTAL ACQUISITION COSTS**

Current total cost for the necessary ROW for the entire project acquisition is \$575,263.00. The estimate prepared for the 2018 Resolution was \$344,456.00 at the time Resolution 2018-10 was passed by BOMA. This is a difference of approximately \$240,000. There is enough money budgeted at this time to cover the acquisitions for the project in this year's budget. However, once it goes to construction an amendment to the budget will have to be made.

## **CONCERNS**

Appraisals have been accepted by the property owners. If the acquisition increase is not passed by BOMA we may have to start all over again and costs of acquisition and new appraisals will likely go up.

## **RECOMMENDATIONS**

It is recommended that BOMA pass Resolution 2019-21 and that the property owners are paid for the ROW necessary to complete the project.

## **ATTACHMENTS**

Appraisals  
Offers  
Resolutions 2018-02 and 2018-10  
Table of costs incurred thus far and costs needed to be paid for  
Resolution 2019-21

R D Enterprises  
Critz Lane project by tract summary

Barge Phase No	Tract	Title Fee	Acq	Appraisal Fee	Review Fee	Canceled Tracts	Total Fees Pd	Sum of Appraised Value	Appraisal Fees Left to be Paid
2	7			\$3,200.00	\$1,750.00		\$ 4,950.00		
	8		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 4,100.00	
	9								
	10					\$1,600.00	\$ 1,600.00		
	11								
	12					\$1,600.00	\$ 1,600.00	\$ 21,400.00	\$ 4,850.00
	13								
	14				\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 20,800.00
	15								
	16		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 11,700.00
	17		\$ 1,400.00					\$ 1,400.00	
	18		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 28,800.00
	20		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 9,850.00
	22		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 24,500.00
	24		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 4,800.00
26		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 33,800.00	
28		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 11,050.00	
30		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00		
<b>2 Total</b>			<b>\$ 14,000.00</b>	<b>\$35,200.00</b>	<b>\$18,250.00</b>	<b>\$3,200.00</b>	<b>\$ 70,650.00</b>	<b>\$ 170,800.00</b>	
1	1			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 55,400.00	
	2			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 66,063.00	
	3								
	4								
	6			\$3,200.00	\$1,750.00		\$ 4,950.00		
	7							\$ 33,300.00	
	30							\$ 12,300.00	
	9,11,13			\$3,200.00	\$1,650.00		\$ 4,850.00		
<b>1 Total</b>				<b>\$12,800.00</b>	<b>\$6,700.00</b>		<b>\$ 19,500.00</b>	<b>\$ 167,063.00</b>	
3	17			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 28,800.00	
	19		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 12,600.00	
	21								
	23			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 2,000.00	
	25			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 22,750.00	
	27		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 11,800.00	
	29			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 6,100.00	
	31			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 28,700.00	
	32		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 31,600.00	
	33								
	34		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 48,100.00
	35				\$3,200.00	\$1,650.00		\$ 4,850.00	\$ -
	36		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 6,700.00
	37		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 3,900.00
38		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 5,300.00	
39		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 20,100.00	
40				\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 4,100.00	
<b>3 Total</b>			<b>\$ 11,200.00</b>	<b>\$48,000.00</b>	<b>\$24,750.00</b>		<b>\$ 83,950.00</b>	<b>\$ 232,550.00</b>	
(blank)			\$400.00				\$ 400.00		
<b>Grand Total</b>		<b>\$400.00</b>	<b>\$ 25,200.00</b>	<b>\$96,000.00</b>	<b>\$49,700.00</b>	<b>\$3,200.00</b>	<b>\$ 174,500.00</b>	<b>\$ 570,413.00</b>	<b>\$ 4,850.00</b>

Total to be expended \*\*

\$ 575,263.00

Already paid in FY 2018-2019

To be paid per Resolution 2019-21

\*\* closing costs to be determined

**CRITZ LANE PROJECT**

	<u>Total Costs</u>	<u>Paid</u>	<u>Balance</u>
<b>Property cost:</b>			
Properties Acquisition Cost	\$ 570,413	\$ -	\$ 570,413
Appraisal Fees	\$ 179,350	\$ 174,500	\$ 4,850
Est. Closing costs	\$ 45,000	\$ -	\$ 45,000
<b>Total cost for Properties **</b>	<b>\$ 794,763</b>	<b>\$ 174,500</b>	<b>\$ 620,263</b>
<b>Construction Phase 1:</b>			
Barge est. const. Phase 1	\$ 1,653,038	\$ -	\$ 1,653,038
Est. Project Mgmt Fee	\$ 107,447	\$ -	\$ 107,447
<b>Sub-Total Const Exp</b>	<b>\$ 1,760,485</b>	<b>\$ -</b>	<b>\$ 1,760,485</b>
<b>Utility costs Phase 1:</b>			
Electric - Middle Tn Elec.	\$ 80,000	\$ -	\$ 80,000
Water - HB&TS	\$ 73,100	\$ -	\$ 73,100
Sewer - Town (estimated)	\$ 50,000	\$ -	\$ 50,000
Cable - (estimated)	\$ 50,000	\$ -	\$ 50,000
Telephone - (estimated)	\$ 50,000	\$ -	\$ 50,000
<b>Sub-Total for Utilities</b>	<b>\$ 303,100</b>	<b>\$ -</b>	<b>\$ 303,100</b>
<hr/>			
Total Phase 1	\$ 2,063,585	\$ 174,500	\$ 1,889,085
Est Total Phase 2	\$ 2,736,940	\$ -	\$ 2,736,940
Est Total Phase 3	\$ 1,654,060	\$ -	\$ 1,654,060
Total Properties	\$ 794,763	\$ -	\$ 794,763
<b>TOTAL CRITZ LANE PROJECT</b>	<b>\$ 7,249,348</b>	<b>\$ 174,500</b>	<b>\$ 7,074,848</b>

\*\*Pending participation agreement

*estimates are in italics*

RESOLUTION NO. 2018-002

**A RESOLUTION OF THE TOWN OF THOMPSON'S STATION, TENNESSEE  
TO APPROVE A CONTRACT WITH R & D ENTERPRISES, INC. FOR RIGHT-OF-  
WAY ACQUISITION AND NEGOTIATION SERVICES AND TO AUTHORIZE THE  
MAYOR TO SIGN THE CONTRACT**

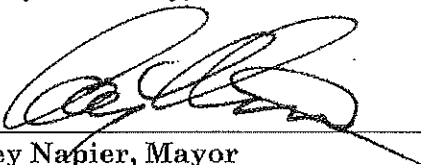
WHEREAS, the Town has publicly advertised and solicited a request for qualifications of services related to the acquisition of right-of-way along Critz Lane (the "Project"); and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to approve a contract with R & D Enterprises, Inc. to perform certain services related to acquisition of right-of-way for the Project.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

That the Mayor is authorized to execute the attached contract with R & D Enterprises, Inc.

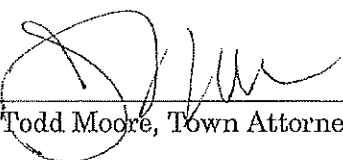
RESOLVED AND ADOPTED this 9<sup>th</sup> day of January, 2018.

  
\_\_\_\_\_  
Corey Napier, Mayor

ATTEST:

  
\_\_\_\_\_  
Jennifer Jones, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

  
\_\_\_\_\_  
Todd Moore, Town Attorney

**CONTRACT FOR RIGHT-OF-WAY ACQUISITION AND NEGOTIATION  
SERVICES FOR CRITZ LANE**

THIS CONTRACT made this \_\_\_\_ day of \_\_\_\_\_ 2018, by and between **R & D Enterprises, Inc.**, a Tennessee corporation (hereinafter "Contractor"), and the **Town of Thompson's Station**, a Tennessee municipal corporation (hereinafter "Town").

WHEREAS, the Town has advertised and received responses to Request for Qualifications ("RFQ") for a firm to provide right-of-way acquisition and negotiation services for improvements to Critz Lane (the "Project"); and

WHEREAS, the Town has selected Contractor for the Project.

NOW THEREFORE, the Contractor and the Town agree as follows:

**Section 1. Scope of Work** – The Contractor has been retained to provide services to the Town as set out in Exhibit A and incorporated herein by reference. The Contractor shall be responsible for coordinating with Town staff to perform the work.

**Section 2. Compensation** – The Contractor's fee for the Project is set out in Exhibit A. The Contractor is solely responsible for the payment of compensation to any subcontractors. In no event shall the Town be liable to any subcontractor related to this Project.

**Section 3. Time of Completion** – The work to be performed under this Contract shall be commenced as soon thereafter as reasonably possible and Contractor shall perform all work as expeditiously as is consistent with professional skill and care.

**Section 4. Insurance Requirements** – The Contractor shall procure and maintain for the duration of the Contract, at its own expense, insurance as set forth in Exhibit B attached hereto, said document to be incorporated in this Contract by reference. The Town shall be named as an additional named insured on all policies.

Specifically, the Contractor is responsible for work-related injuries of the Contractor's employees and subcontractors. The policies described herein shall be issued by insurance companies that are licensed to conduct business in the State of Tennessee. The Contractor must provide a thirty (30) day prior notice of cancellation, non-renewal, or material change in coverage.

**Section 5. Compliance with Laws** – The Contractor must comply with all applicable federal, state, and local laws.

**Section 6. Indemnity Requirement** – The Contractor agrees to protect, defend, and save the Town, its elected and appointed officials, agents, employees, and volunteers harmless from and against any and all claims, demands, and causes of action of any kind or character, including the cost of their defense, arising in favor of the Contractor's employees or third parties on account of bodily or personal injuries, death or damage to property arising out of or in any way resulting from the act or omissions of the Contractor and/or its agents, employees, subcontractors, representative or the Town under this Contract.

**Section 7. Independent Contractor** - The relationship of Contractor to the Town will be that of an independent contractor. Contractor will be solely and entirely responsible for its acts and for the acts of its agents, employees, servants and subcontractors done during the performance of the Contract.

**Section 8. Subcontract for specific services.** Contractor has proposed to subcontract certain persons/entities set forth in Exhibit A for specific services related to this Project. The Town agrees that the Contractor may use the services of these persons/entities, provided that Contractor shall be solely responsible for the supervision and direction of any work assigned, shall remain liable for the completion of the Project and for the payment of any compensation to these persons/entities or any other subcontractors and their employees.

**Section 9. Assignment** - Except as expressly permitted above, under no circumstances may the Contractor assign or transfer its interest in this Contract, including assigning work to subcontractor except as provided herein, without prior written consent of the Town.

**Section 10. Term; Termination** - The Term of this Contract shall begin on the date it is executed and shall continue until completion unless terminated as follows:

(a) *Convenience.* The Town may terminate this Contract at the Town's convenience upon seven (7) days written notice to the Contractor.

(b) *Breach; Default.* The Town or Contractor may terminate or cancel this Contract for any breach of the terms herein.

*Notice and compensation in event of Termination.* Upon receipt of notice of termination, Contractor shall immediately discontinue all work and services hereunder and upon payment for work performed, deliver to the Town all documents, data, reports, plans, computer files and other information accumulated in performing this Contract, whether complete or incomplete. The Town shall pay the Contractor for all work and services through the time of notice of termination and for any work necessary to compile and deliver the above documents to the



Town.

**Section 11. Miscellaneous.** (a) *Applicable laws; jurisdiction; venue.* The laws of the State of Tennessee will govern this Contract and the Chancery Court for Williamson County, Tennessee, shall have jurisdiction and be the appropriate venue for any action arising out of this Contract.

(b) *Severability.* If any provision of this Contract is held unenforceable, the remaining portions shall remain in full force and effect.

(c) *Entire agreement.* This Contract represents the entire agreement between the parties, and expressly replaces, supersedes, and cancels any prior oral or written agreement or communications on this subject matter. In the event of any conflicts between the Contract terms and any attachments or exhibits hereto, the Contract terms shall be controlling, even if the attachments or exhibits are more specific.

(d) *Amendments; Waiver.* Other than as specified herein, this Contract may only be supplemented, modified, or waived in a writing signed by all parties. The waiver by a party of any performance by the other party, or of any of a party's rights hereunder, shall not be, and shall not be deemed to be, a waiver of any subsequent obligation of performance, default, or right of the same or similar kind.

(e) *Force Majeure.* Neither party shall be responsible to the other for any delay in performance or non-performance due to any cause such as flood, fire, explosion, natural disaster, act of God, act of terror, or any other cause beyond its control, providing such delay or non-performance could not be avoided by the reasonable endeavors of the party seeking relief by reason thereof.

(f) *Attorneys' fees.* In the event it is necessary for the Town to file suit to enforce the terms of this Contract, it shall be entitled to recover all costs of enforcement, including reasonable attorneys' fees.

(g) *No Collusion.* Contractor warrants that it has not employed or retained any person or company other than a bona fide employee, to solicit or secure this Contract and has not paid or agreed to pay any person, company, or other entity a fee or commission resulting from the award of this Contract.

(h) *No Conflict of Interest.* Any work performed by the Contractor's employees, sub-consultants or contractors, on this project shall prohibit said persons from contracting with, working for, or otherwise assisting any potential bidder to do any project-related work for the bidder. It is the responsibility of the Contractor to inform the Town of any business relationship which may be construed as a conflict of interest. Any conflict of interest may be a cause for immediate termination of the Contract.

(i) *Standard of care.* Contractor shall at all times exercise at least reasonable care, skill, diligence and professional competency for the work and services provider under this Contract.

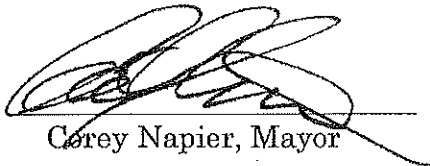
(j) *Non-discrimination.* The Town is an equal opportunity affirmative action employer, drug-free workplace, with policies of nondiscrimination on the basis of race, sex religion, color, national or ethnic origin, age disability, or military service. Contractor agrees that it does not and shall not, in the performance of its duties herein, discriminate against any employee or applicant for employment because of age, race, sex, national origin, ancestry or disability as defined by federal or state law.

IN WITNESS WHEREOF, the parties hereto have executed this Contract, the day and year first above written.

**Town of Thompson's Station**

**R & D Enterprises, Inc.**

BY



Corey Napier, Mayor

BY \_\_\_\_\_

**EXHIBIT "A"**  
**SCOPE OF WORK**

## EXHIBIT "B"

The Contractor shall procure and maintain for the duration of the Contract, at its own expense, insurance as follows:

- a. Workers' Compensation/Employer's Liability –
  - 1) Each Accident: \$ 100,000.00
  - 2) Disease, Policy Limit: \$ 500,000.00
  - 3) Disease, Each Employee: \$ 100,000.00
  
- b. General Liability –
  - 1) Each Occurrence  
(Bodily Injury and Property Damage): \$ 1,000,000.00
  - 2) General Aggregate: \$ 2,000,000.00
  
- c. Excess or Umbrella Liability –
  - 1) Each Occurrence: \$ 1,000,000.00
  - 2) General Aggregate: \$ 1,000,000.00
  
- d. Automobile Liability –
  - 1) Combined Single Limit  
(Bodily Injury and Property Damage):  
Each Accident \$ 1,000,000.00
  
- e. Professional Liability –
  - 1) Each Claim Made: \$ 2,000,000.00
  - 2) Annual Aggregate: \$ 2,000,000.00

# R & D ENTERPRISES, INC.

P.O. Box 3186  
Clarksville, TN 37043

(931) 249-1281 (931) 980-5962

December 29, 2017

Town Administrator  
Town of Thompson's Station  
P. O. Box 100  
Thompson's Station, TN 37179

**RE: Right of Way Acquisition Services Proposal**

TO: TOWN ADMINISTRATOR:

R & D Enterprises, Inc. was started in 1999 and was incorporated as an S-corporation in the State of Tennessee in 2005. Our focus that brought our company to experience the growth in the past 12 years has been our dedication to hard work and the details for acquiring Right of Way including Relocation Advisory Services that we offer. We are committed to assist all Local Public Agencies and /or Federal /State governments requiring our services.

Our experience includes managing the services and acquiring Right of Way and Relocation for road expansion and design projects including utility easements for City, Towns, and State government in Tennessee and Kentucky following the Federal Uniform Act of 1970; Regulations 49 CFR Part 24 Including MAP 21 and all guidelines for Local Public Agencies.

Our commitment to our clients for the services needed will be available as required utilizing experienced personal and sub-contractors as listed included in this Proposal.

If you have any questions or concerns, please contact as follows:

Debra G. Rhemann, Administrator  
P. O. Box 3186  
Clarksville, TN 37043  
Phone: (931) 249-1281  
Email: [rdenteedebra@gmail.com](mailto:rdenteedebra@gmail.com)

Sincerely,



Debra G. Rhemann  
Administrator / ROW-Relocation Consultant

## R & D ENTERPRISES, INC. TEAM ORGANIZATION CHART

### TITLE REPORTS:

Benjamin W. Weigel, Attorney  
Williamson County Escrow & Title, Inc.  
P.O. Box 681346  
Franklin, TN 37068-1346

**Experience:** provides a full range of title, escrow and closing services throughout Middle Tennessee for 33 years. Staffed by attorneys. Wes Weigel and William Yost located in the offices of Yost Robertson Weigel, PLLC.

**Project Work Description:** Will Prepare a preliminary title report to confirm current property owners, liens, mortgages and property tax. Completion of Title Reports 30 to 60 days from receipt of Notice to Proceed.

### APPRAISALS:

R. Rhett Turner, MAI, SR/WA  
P. O. BOX 2191  
Mt. Juliet, TN 37121

**Experience:** State certified Real Estate Appraiser experienced in complete real estate appraisals and reviews for various Eminent Domain projects for local, state and federal government agencies, private and public utilities. Has over 12 years work experience as a real estate appraiser and prior to becoming self-employed, he was a chief appraiser for TDOT. Resume for work experience, certifications and education is attached.

**Project Work Description:** Responsible for appraised value of properties affected by the acquisition for easements and right of way according to a partial acquisition (Formal Part Affected) or complete appraisals (Formal Appraisal Report). Estimated time to complete appraisal reports is 90 to 120 days from receipt of final right of way plans, title reports, other necessary documentation and Notice to Proceed from the Town of Thompson's Station.

### REVIEW APPRAISALS:

Ted Boozer  
Boozer & Company, P.C.  
106 Mission Court, Suite 1001  
Franklin, TN 37067

**Experience:** Ted Boozer is a Tennessee state certified appraiser with over 26 years of experience in real estate appraisals. He is co-owner / Vice President of Boozer & Company since January 1996. His real estate and consulting firm specializes in the valuation of all types of properties with special emphasis on residential subdivision development appraisals and eminent domain appraisals. He regularly conducts review appraisals and have provided expert witness testimony regarding real estate valuation on multiple occasions. Resume for work experience, certifications and education is attached.

**Project Work Description:** Responsible for Reviewing all appraisals for corrections and valuations used to determine an appraised value of the property affected by the road project. Will provide an Appraisal Review Report and an LPA form with the breakdown of values from the appraisal 15 to 30 days from receipt of the Appraisal to be reviewed.

## R & D ENTERPRISES, INC. TEAM ORGANIZATION CHART

### ACQUISITION / NEGOTIATIONS

R & D Enterprises, Inc.  
Ralph Rhemann, RWA  
P. O. Box 3186  
Clarksville, TN 37043

**Experience:** Over 21 years of comprehensive experience in Personnel Management, Sales, Operations Management and Independent Business Development. Co-Owner and President of R & D Enterprises, Inc. - Right of Way Consulting Services. Right of Way Consultant since 1999 and certified by the State in 2000 for acquisition and relocation for State / Federal and local road projects. Property Title Research and negotiations to acquire Right of Way. Highly experienced and knowledgeable of guidelines required by the Federal Highway Administration 49 CFR Part 24 including MAP 21 for TDOT Right of Way Division, KDOT and TN City and Local public agent projects. Resume for work experience, certifications and education is attached.

**Project Work Description:** Responsible for preparing Offer documents, meeting with property owners, delivering the approved Offers, negotiating until agreement is reached. Preparing file to return to agency.

### ACQUISITION / NEGOTIATIONS / ACQUISITION PROJECT MANAGEMENT

R & D Enterprises, Inc.  
Debra Rhemann, RWA  
P. O. Box 3186  
Clarksville, TN 37043

**Experience:** Over 20 years of experience in abstracting title for property, oil and gas interests, Right of Way Acquisition, Relocation assistance and consultant for ROW real estate closings for City, Local and State government agencies. Extensive experience in management of personal, sales, customer service and training. Co-Owner and President of R & D Enterprises, Inc. - Right of Way Consulting Services. Right of Way Consultant since 1997. Highly experienced and knowledgeable of guidelines required by the Federal Highway Administration 49 CFR Part 24 for TDOT Right of Way Division, KDOT and TN City and Local public agent projects. Trained other Right of Way agents in Right of Way acquisition and relocation. Resume for work experience, certifications and education is attached.

**Project Work Description:** Responsible for project coordination for acquisition, time schedules for project, project report to Agency, and submitting and addressing concerns of property owners to progress project completion. Will prepare Offer documents, meeting with property owners, delivering the approved Offers, negotiating until agreement is reached. Preparing file to return to agency.

## SCOPE OF WORK

**PROJECT NAME:** Town of Thompson's Station Improvements to Critz Lane to serve an East/West connection of Columbia Pike and Lewisburg Pike.

### SCOPE of CONSULTANT SERVICES:

- 1) Provide Title Search services to confirm current property owners, liens, mortgages, and taxes for each property affected.
- 2) Provide appraisal services by a certified appraiser to determine Fair Market Value for property being affected and assess value of area being acquired.
- 3) Provide a review appraisal report by a certified Review appraiser to review determination on property values and assessed value for each tract, and review calculation of total Offer to the property owners.
- 4) Provide documentation and negotiator to contact property owners regarding valuation and acquisition of affected area.
- 5) Provide coordination of acquisition services as described above following the Federal Regulations 49-CFR Part 24 "Uniform Relocation Assistance and Real Property Acquisition for Federal and Federally-Assisted Programs" and Tennessee Department of Transportation's Right of Way Procedures Manual until completion of project from a scheduled timeline.

## SCHEDULE

Once a Notice to Proceed has been issued and upon receiving the final Right of Way plans, the **CONSULTANT** shall complete the **SERVICES** within a timely manner providing a report of schedule for each process until completed.

## CONSULTANT SERVICE FEES

- 1) Title Services Per Title Report \_\_\_\_\_ \$400.00
- 2) Acquisition, Appraisal and Appraisal Review Services Per Tract \_\_\_\_\_ \$6,250.00

**NOTE:** Hourly rates are not applicable for services requested. Consultants for Acquisition Services work on a per Tract rate and includes all expenses incurred to complete the project, except for the Review Appraiser for subsequent revisions to the reviews and Valuation Form due to Town's request for plan changes shall be billed at a rate of \$300.00 per hour.

**NOTE:** An additional fee of \$2,100.00 will be required for any Tracts requiring a Formal Appraisal Report.



**SUB-CONTRACTORS**

**Benjamin W. Weigel, Attorney**  
Williamson County Escrow & Title, Inc.  
P.O. Box 681346  
Franklin, TN 37068-1346

**PARTNERS:** Benjamin "Wes" Weigel  
William "Bill" J. Yost

**Experience:** provides a full range of title, escrow and closing services throughout Middle Tennessee for 33 years. Staffed by attorneys. Wes Weigel and William Yost located in the offices of Yost Robertson Weigel, PLLC.

**Project Work Description:** Will Prepare a preliminary title report to confirm current property owners, liens, mortgages and property tax.

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**R. Rhett Turner, MAI, SR/WA**  
P. O. BOX 2191  
Mt. Juliet, TN 37121

**OWNER:** R. Rhett Turner

**Experience:** State certified Real Estate Appraiser experienced in complete real estate appraisals and reviews for various Eminent Domain projects for local, state and federal government agencies, private and public utilities. Has over 12 years work experience as a real estate appraiser and prior to becoming self-employed, he was a chief appraiser for TDOT. Resume for work experience, certifications and education is attached.

**Project Work Description:** Responsible for appraised value of properties affected by the acquisition for easements and right of way according to a partial acquisition (Formal Part Affected) or complete appraisals (Formal Appraisal Report). Estimated time to complete appraisal reports is 90 to 120 days from receipt of final right of way plans, title reports, other necessary documentation and Notice to Proceed from the Town of Thompson's Station.

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**Ted Boozer**  
**Boozer & Company, P.C.**  
106 Mission Court, Suite 1001  
Franklin, TN 37067

**OWNER:** Ted Boozer

**Experience:** Ted Boozer is a Tennessee state certified appraiser with over 26 years of experience in real estate appraisals. He is co-owner / Vice President of Boozer & Company since January 1996. His real estate and consulting firm specializes in the valuation of all types of properties with special emphasis on residential subdivision development appraisals and eminent domain appraisals. He regularly conducts review appraisals and have provided expert witness testimony regarding real estate valuation on multiple occasions. Resume for work experience, certifications and education is attached.

**Project Work Description:** Responsible for Reviewing all appraisals for corrections and valuations used to determine an appraised value of the property affected by the road project. Will provide an Appraisal Review Report and an LPA form with the breakdown of values from the appraisal.

RESOLUTION NO. 2018-010

**A RESOLUTION OF THE TOWN OF THOMPSON'S STATION, TENNESSEE  
AUTHORIZING THE ACQUISITION OF PROPERTY BY NEGOTIATION OR  
CONDEMNATION FOR THE WIDENING AND IMPROVEMENTS TO CRITZ LANE**

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to widen and make other improvements to Critz Lane ("the Project"); and

WHEREAS, it is necessary to acquire real property, right-of-way and easements from several property owners along Critz Lane to complete the Project; and

WHEREAS, the Town has entered into an agreement the R&D Enterprises, Inc. for property, right-of-way and easement acquisition and negotiation services for the Project; and

WHEREAS, the Town has the power of eminent domain to extend public infrastructure and roads and to acquire easements and right-of-way necessary for such improvements and that the above uses are public uses and will benefit the health, safety and welfare of the residents of the Town; and

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

THAT, the Town Administrator and R&D Enterprises, Inc. are authorized to negotiate for the acquisition of the necessary property, right-of-way and easements for the Project and may enter into agreements with property owners with respect to the compensation to be paid for such property, right-of-way and easements, so long as such amounts are supported by a qualified appraisal. A list of all parcels and property owners from which property, right-of-way or easements are needed have been provided by Barge Design Solution and are attached hereto by reference as Exhibit A. If necessary, the Town Attorney is authorized to initiate condemnation proceedings to acquire the necessary property, right-of-way and easements. The Mayor is hereby authorized to execute all documents necessary to acquire such property, right-of-way and easements.

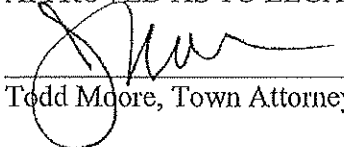
RESOLVED AND ADOPTED this 8th day of May, 2018.

  
Corey Napier, Mayor

ATTEST:

  
Jennifer Jones, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

  
Todd Moore, Town Attorney

<u>Name</u>	<u>Map</u>	<u>Parcel</u>	<u>ROW</u>	<u>SQFT</u>	<u>TCE</u>	<u>SQFT</u>
Ferrari Partners L.P.	145	3.00	0.11	4,595	0.26	11,196
Hood Development, LLC	145	3.01	1.39	60,418	0.48	21,123
Affito, LLC	145	3.02	0.09	4,105	0.42	18,121
Thomas M. Evans, Jr.	145	6.00	0.32	14,156	0.51	22,013
Byrd D. Cain, Jr	145	6.01	0.29	12,442	1.35	59,163
Byrd D. Cain, Jr	145	6.02	0.1	4,453	0.08	3,495
Byrd D. Cain, Jr	145	6.03	0.13	5,677	0.08	3,498
Byrd D. Cain, Jr	145	6.04	0.49	21,530	1.25	54,286
Cynthia P Giles, ET.AL.	145	17.01	0.3	13,172	0.2	8,579
Richard & Joyce N. Roberts	145	17.04	0	0	0.06	2,806
Jeffrey Michael & Casey Prince	145	17.05	0	6	0.09	3,977
William David & Helen C. Dozier	145	17.06	0.03	1,231	0.11	5,005
Heathier Kennie	145	17.07	0.05	2,108	0.11	5,000
Richard Scott & Linda Marie Emeott	145	17.08	0.05	2,192	0.13	5,525
Wayne Scott & Cynthia P. Giles	145	17.09	0.05	2,026	0.13	5,625
Michael M. & Susan McClanahan	145	17.10	0.04	1,703	0.12	5,249
Richard A. & Darlene H. Lopez	145	17.11	0.21	9,096	0.04	1,903
Kyle D. & Sheena M. Weaver	145	17.12	0.19	8,183	0.09	3,951
Roger & Mary B. Batey	145	17.13	0.31	13,715	0.23	9,916
Elisa Marie Rucker & Robert Baughman	145	17.20	0.12	5,017	0.09	3,969
Troy Batey	145	17.21	0.05	1,960	0.13	5,631
Teddy K. Peay	145	19.00	0.05	2,356	0.1	4,429
Betty Ann Phair	145	19.01	0.6	26,064	0.49	21,223
Kevin M & Shelli A. Dennis	145	20.00	0.03	1,146	0.08	3,286
Raymond & Shirley McCord	145	20.01	0.03	1,142	0.1	4,396
George E. & Gale E. Ross	145	20.02	0.02	904	0.02	1,014
Jonathan Lewis & Rebecca Pascoe	145	22.01	0.03	1,308	0.05	2,280
Paul A. & Vicky C Egli	145	32.00	0.02	902	0.14	6,279
Darren and Sonya Morris	145	32.05	0	58	0.02	680
Sara Elliott	145	32.08	0.05	2,252	0.37	16,225
Paul & Stormie Sheldon Newman	145	33.00	0.04	1,747	0.05	2,317
James L. Valentine, Jr.	145	34.02	0.01	529	0.06	2,724
William H. & Mattie Lou Marlin	145	35.00	0.01	560	0.14	5,830
Walter W. Edwards, Jr. & Sandra M. Edwa	145	35.02	0	19	0.1	4,359
Frances A. Larson	145	35.03	0.21	9,243	0.19	8,692
Stephanie K. & Kelly T. Davis	145	35.04	0	0	0.02	691
<b>TOTAL</b>			<b>5.42</b>	<b>236,015</b>	<b>7.89</b>	<b>344,456</b>

R D Enterprises  
Critz Lane project by tract summary

Barge Phase No	Tract	Title Fee	Acq	Appraisal Fee	Review Fee	Canceled Tracts	Total Fees Pd	Sum of Appraised Value	Appraisal Fees Left to be Paid
2	7			\$3,200.00	\$1,750.00		\$ 4,950.00		
	8		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 4,100.00	
	9								
	10					\$1,600.00	\$ 1,600.00		
	11								
	12					\$1,600.00	\$ 1,600.00	\$ 21,400.00	\$ 4,850.00
	13								
	14				\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 20,800.00
	15								
	16		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 11,700.00
	17		\$ 1,400.00					\$ 1,400.00	
	18		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 28,800.00
	20		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 9,850.00
	22		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 24,500.00
	24		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 4,800.00
26		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 33,800.00	
28		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 11,050.00	
30		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00		
<b>2 Total</b>			\$ 14,000.00	\$35,200.00	\$18,250.00	\$3,200.00	\$ 70,650.00	\$ 170,800.00	
1	1			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 55,400.00	
	2			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 66,063.00	
	3								
	4								
	6			\$3,200.00	\$1,750.00		\$ 4,950.00		
	7							\$ 33,300.00	
	30							\$ 12,300.00	
	9,11,13			\$3,200.00	\$1,650.00		\$ 4,850.00		
<b>1 Total</b>				\$12,800.00	\$6,700.00		\$ 19,500.00	\$ 167,063.00	
3	17			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 28,800.00	
	19		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 12,600.00	
	21								
	23			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 2,000.00	
	25			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 22,750.00	
	27		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 11,800.00	
	29			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 6,100.00	
	31			\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 28,700.00	
	32		\$ 1,400.00	\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 31,600.00	
	33								
	34		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 48,100.00
	35				\$3,200.00	\$1,650.00		\$ 4,850.00	\$ -
	36		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 6,700.00
	37		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 3,900.00
	38		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 5,300.00
39		\$ 1,400.00		\$3,200.00	\$1,650.00		\$ 6,250.00	\$ 20,100.00	
40				\$3,200.00	\$1,650.00		\$ 4,850.00	\$ 4,100.00	
<b>3 Total</b>			\$ 11,200.00	\$48,000.00	\$24,750.00		\$ 83,950.00	\$ 232,550.00	
(blank)			\$400.00				\$ 400.00		
<b>Grand Total</b>		\$400.00	\$ 25,200.00	\$96,000.00	\$49,700.00	\$3,200.00	\$ 174,500.00	\$ 570,413.00	\$ 4,850.00

Total to be expended \*\*

**\$ 575,263.00**

Already paid in FY 2018-2019

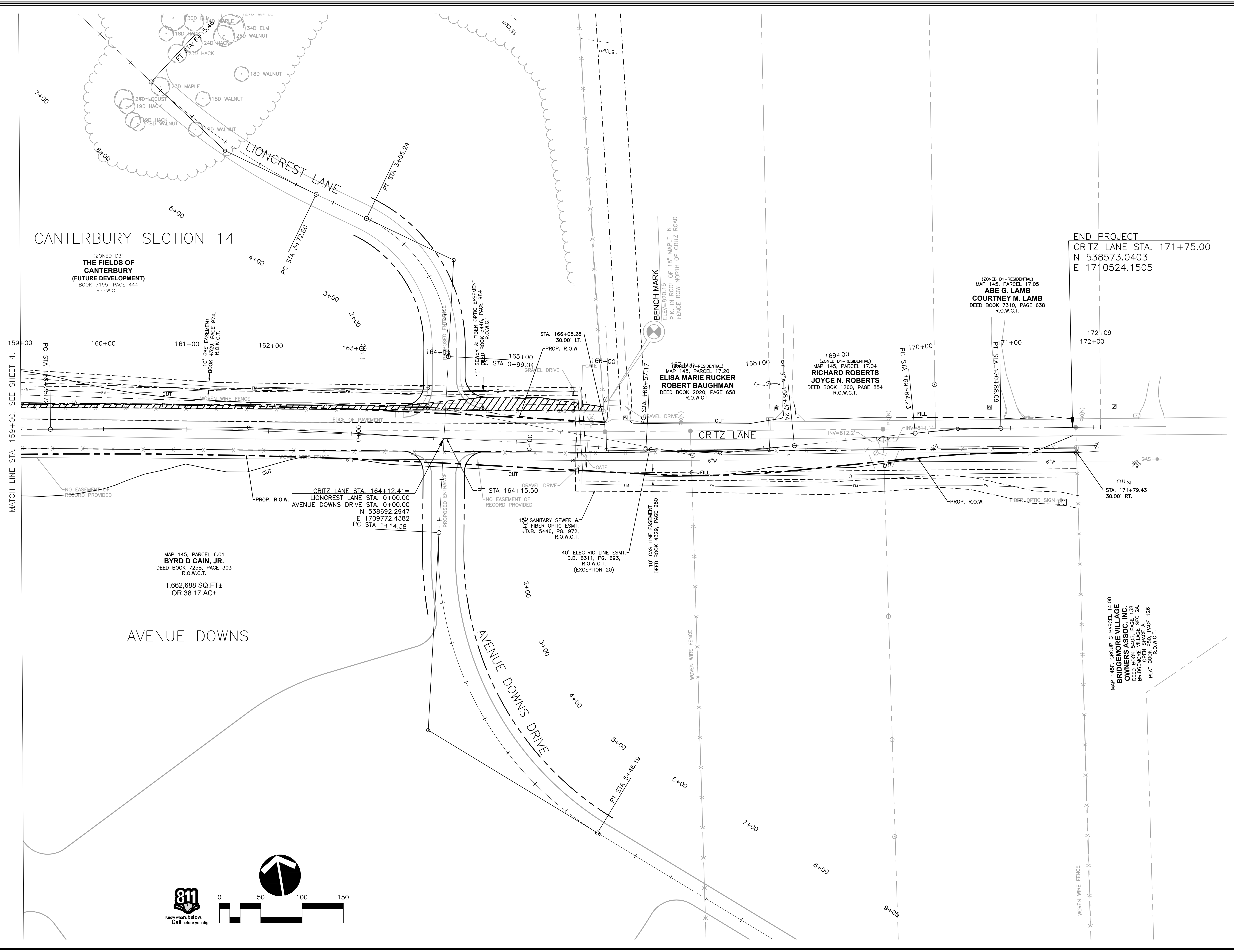
To be paid per Resolution 2019-21

\*\* closing costs to be determined

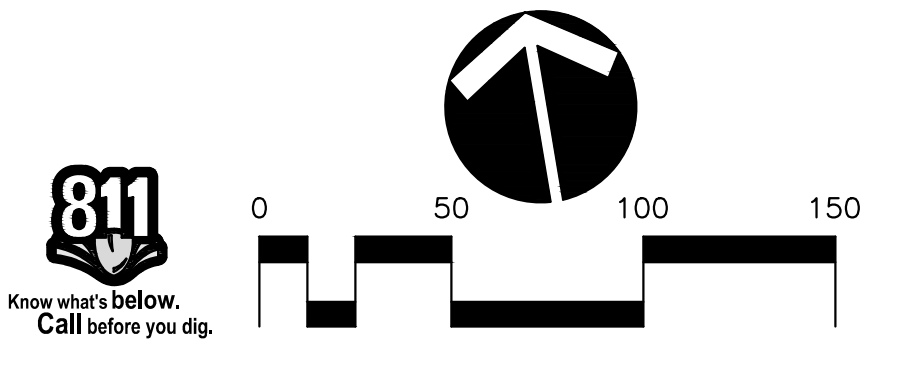


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	1"=50'	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
WK. ORDER	1349										



CLING AND TRANSDUCATIONAL HARDWARE, A. PRELIMINARY LAYOUT  
 PLOTTED BY CDM/REDD ON 01/20/19 4:43 PM. LAST UPDATED BY GREGSON 1/16/19 3:28 PM





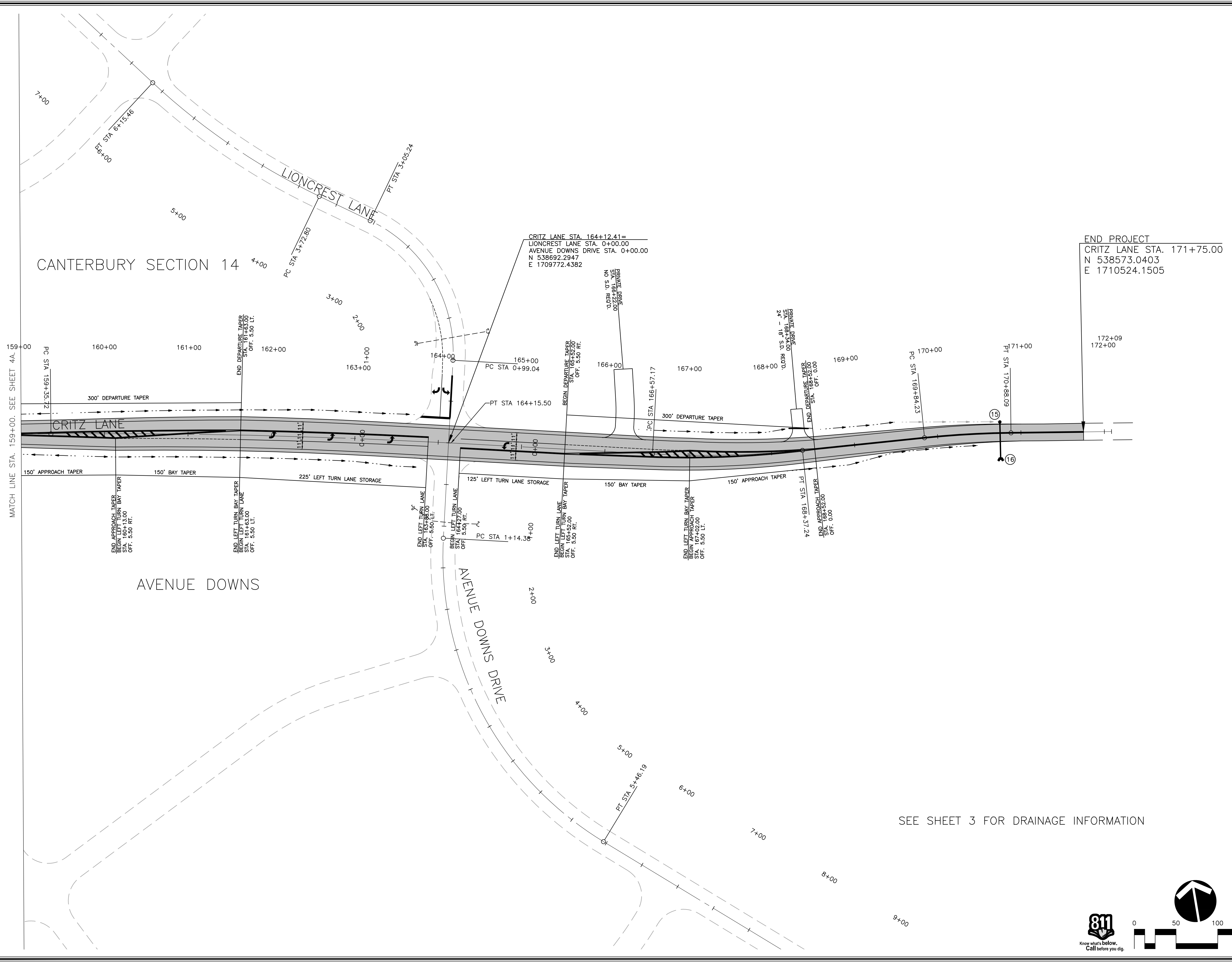
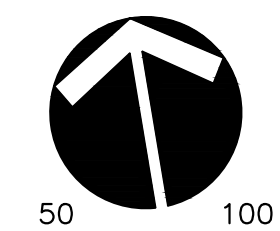
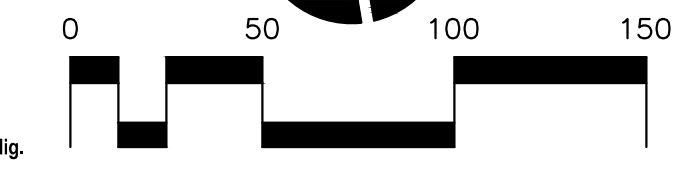
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

**PROPOSED LAYOUT**  
**5A**

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	1"=50'	DATE:	JANUARY 14, 2019
WK. ORDER	1349								

SEE SHEET 3 FOR DRAINAGE INFORMATION



CRITZ LANE IMPROVEMENTS AND AVENUE DOWNS DRIVE, WILLIAMSON COUNTY, TN. PROJECT NO. 18190. DATE: 01/14/19. PLOTTED BY: GREGORY W. HARRIS. PLOT DATE: 01/14/19. PLOT TIME: 10:00 AM. PLOT SCALE: 1"=50'. PLOT SHEET: 5A OF 5.

# ROADWAY PLANS FOR CRITZ LANE IMPROVEMENTS TOWN OF THOMPSON'S STATION, TN

## CONTACTS

### OWNER/DEVELOPER

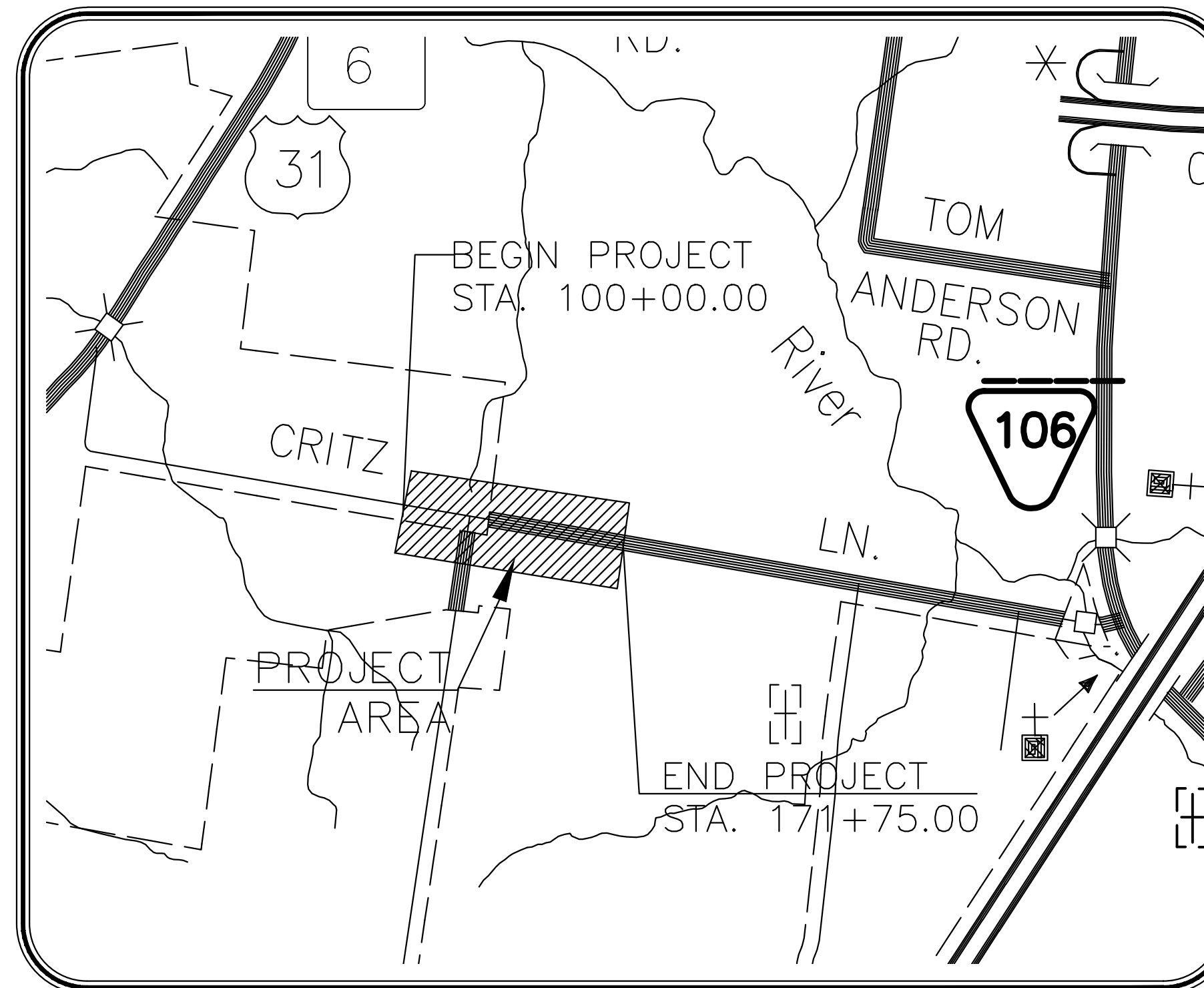
ENCOMPASS LAND GROUP  
RYAN MANNERS  
121 FIRST AVENUE SOUTH, SUITE 220  
FRANKLIN, TN 37064  
(615) 806-2796  
RYAN@ELG-TN.COM

### OWNER/DEVELOPER

AMBER LANE DEVELOPMENT  
JORDAN CLARK  
1804 WILLIAMSON COURT, SUITE 107  
BRENTWOOD, TN 37027  
JORDAN@BARLOWBUILDERS.COM

### CIVL ENGINEER

RAGAN-SMITH ASSOCIATES  
BRANDON BAXTER, P.E., PTOE  
315 WOODLAND STREET  
NASHVILLE, TN 37206  
(615) 244-8591  
BBAXTER@RAGANSMITH.COM



LOCATION MAP  
SCALE: 1"=1500'

## INDEX OF SHEETS

SHEET	DESCRIPTION
1	TITLE SHEET
2-2B	TYPICAL SECTIONS
2C-2D	GENERAL NOTES
3	DRAINAGE DETAILS
3A	STANDARD DRAWINGS
4-5	PRESENT LAYOUT
4A-5A	PROPOSED LAYOUT
4B-5B	GEOMETRIC LAYOUT
4C-5C	PROFILES
6	ROUNDBOUT LAYOUT
7	ROUNDBOUT SIGNING AND PAVEMENT MARKING PLAN
8	ROUNDBOUT GEOMETRIC LAYOUT
9	ROUNDBOUT PROFILE
10	QUADRANT PROFILES
11	SIDE ROAD PROFILES
12	PRIVATE DRIVE PROFILES
13-18	EROSION PREVENTION & SEDIMENT CONTROL PLANS
19	TRAFFIC CONTROL DROP-OFF NOTES
20	TRAFFIC CONTROL PHASING NOTES
21-24	TRAFFIC CONTROL PLANS
25-26	SIGNING AND PAVEMENT MARKING PLANS
X1-X26	CROSS SECTIONS

## TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

**RAGAN SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 Chattanooga 423-890-9400  
 Nashville 615-244-8591  
 Murfreesboro 615-546-6050  
 ragan@smith.com



JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
WK. ORDER	1349										

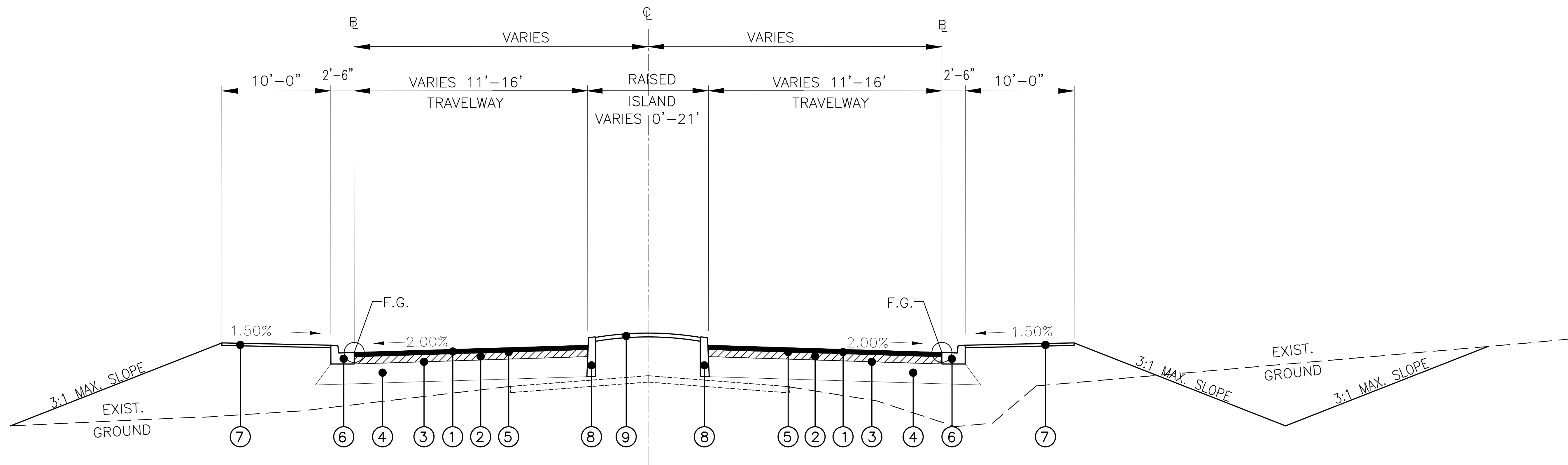
TITLE SHEET

# 1



CIVIL AND LANDSCAPE ARCHITECTURE AND SURVEYING  
 PLOTTED BY: GANWEN ON 1/15/2019 3:51 PM LAST UPDATED BY: GANWEN ON 1/15/2019 3:51 PM

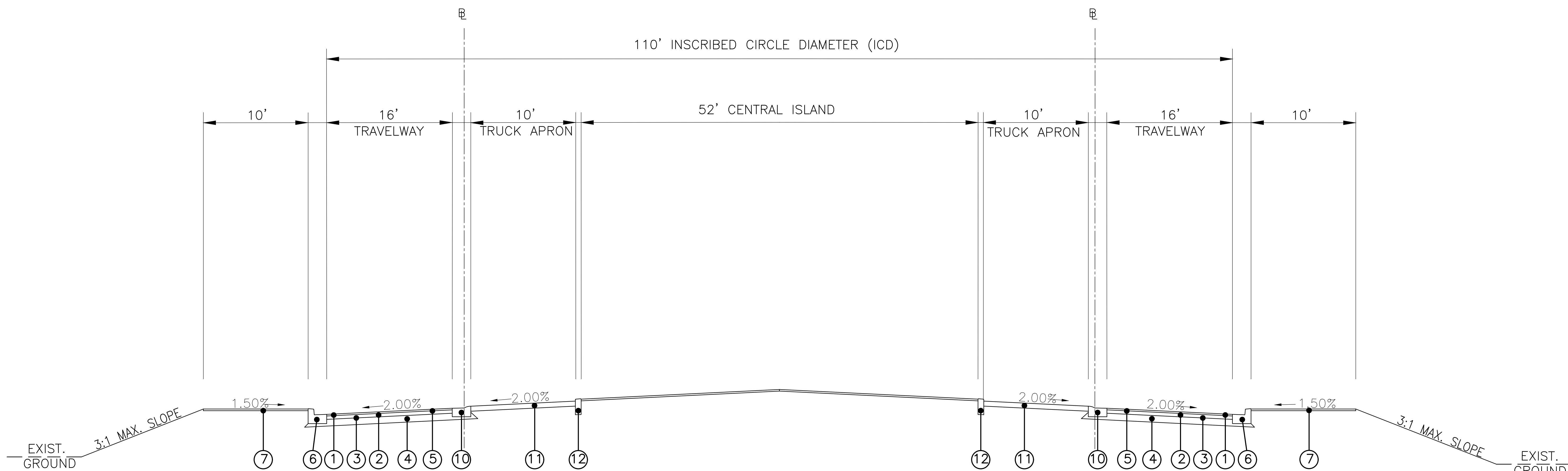




TYPICAL ROUNDABOUT APPROACH  
WITH SPLITTER ISLAND NEAR ROUNDABOUT  
NOT TO SCALE

NOTE: SEE SHEET 7 FOR ROUNDABOUT GEOMETRY

STA. 102+93.00 TO 104+64.03 (CRITZ LANE)  
 STA. 150+28.50 TO 152+47.00 (CRITZ LANE)  
 STA. 203+31.00 TO 204+34.32 (CLAYTON ARNOLD ROAD)  
 STA. 300+28.50 TO 301+40.00 (PADDOCK PARK DRIVE)



TYPICAL ROUNDABOUT SECTION

NOT TO SCALE  
 STA. 60+00.00 TO STA. 62+32.48



CRITZ LANE IMPROVEMENTS  
 FOR  
 TOWN OF THOMPSON'S STATION, TN  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

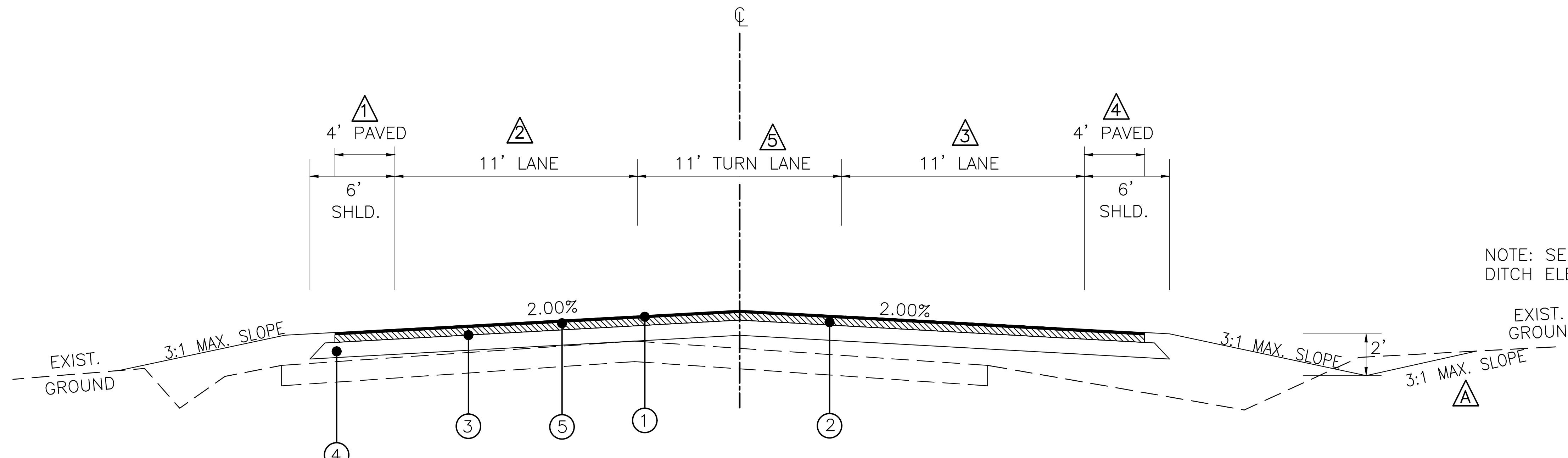
REV. #	DATE	DESCRIPTION

WK. ORDER	1349
DESIGNED:	FLR
DRAWN:	FLR
SCALE:	N.T.S.
JOB NO.	18190
DATE	JANUARY 14, 2019

TYPICAL SECTIONS

CRITZ LANE IMPROVEMENTS AND ROUNDABOUTS, TYPICAL SECTIONS DRAWN BY: J. W. HARRIS, DATE: 1/14/19, PLOTTED BY: J. W. HARRIS, DATE: 1/14/19, LAST UPDATED BY: J. W. HARRIS, DATE: 1/14/19



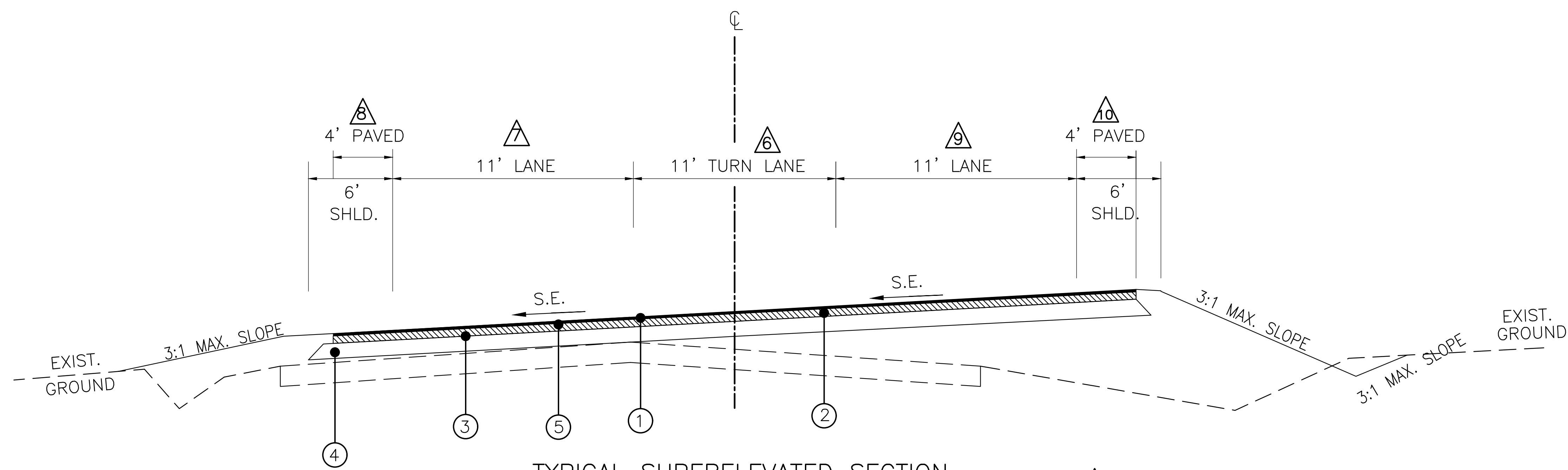


TYPICAL TANGENT SECTION  
CRITZ LANE  
NOT TO SCALE  
STA. 100+00.00 TO STA. 102+93.00  
STA. 152+47.00 TO STA. 165+94.67  
STA. 168+99.74 TO STA. 169+11.16

NOTE: SEE PROFILE SHEETS FOR SPECIAL DITCH ELEVATIONS

▲ 2:1 BACKSLOPES RT. FROM STA. 100+00.00 TO 102+93.00

- ▲ 1 VARIES FROM 0'-5" STA. 100+00.00 TO 4'-0" STA. 100+75.00
- ▲ 2 VARIES FROM 9'-10" STA. 100+00.00 TO 11'-0" STA. 100+75.00
- ▲ 3 VARIES FROM 9'-9" STA. 100+00.00 TO 11'-0" STA. 100+75.00
- ▲ 4 VARIES FROM 0'-9" STA. 100+00.00 TO 4'-0" STA. 100+75.00
- ▲ 5 VARIES FROM 0'-0" STA. 158+63.00 TO 11'-0" STA. 161+63.00  
VARIES FROM 11'-0" STA. 165+52.00 TO 0'-0" STA. 168+52.00



TYPICAL SUPERELEVATED SECTION  
CRITZ LANE  
NOT TO SCALE  
STA. 165+94.67 TO STA. 168+99.74  
STA. 169+11.16 TO STA. 171+61.16

- ▲ 6 VARIES FOR 11'-0" STA. 165+52.00 TO 0'-0" STA. 168+52.00
- ▲ 7 VARIES FROM 11'-0" STA. 169+00.00 TO 9'-11" STA. 171+00.00
- ▲ 8 VARIES FROM 4'-0" STA. 169+00.00 TO 0'-0" STA. 171+00.00
- ▲ 9 VARIES FROM 11'-0" STA. 169+00.00 TO 10'-4" STA. 171+00.00
- ▲ 10 VARIES FROM 4'-0" STA. 169+00.00 TO 0'-0" STA. 171+00.00

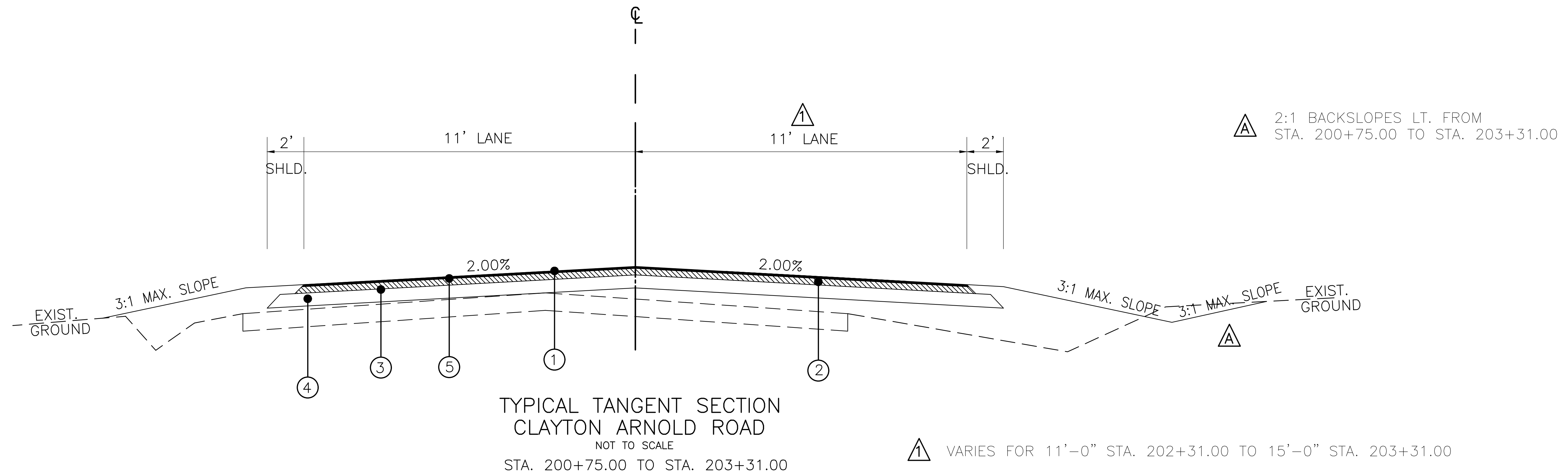


**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**  
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DESCRIPTION:
18190	1349	FLR	FLR	N.T.S.	JANUARY 14, 2019		

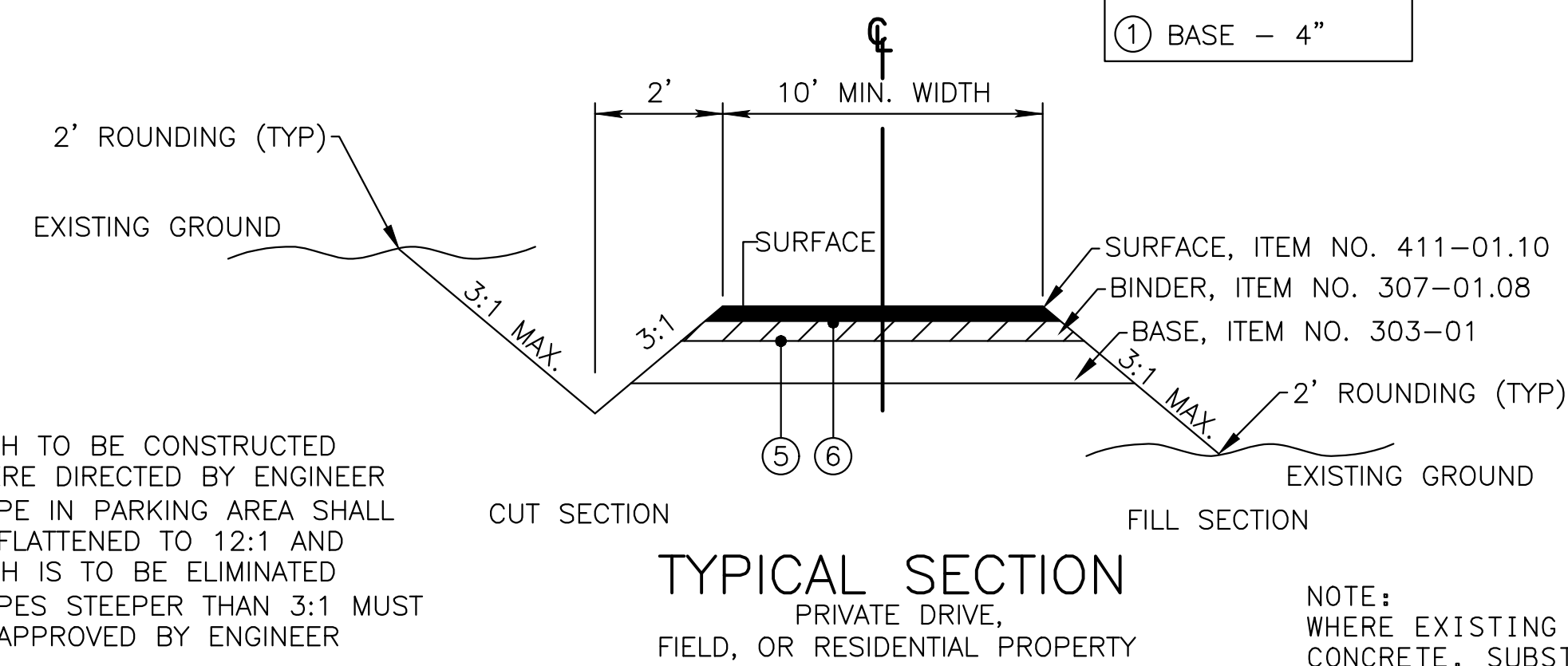
TYPICAL SECTIONS

CRITZ LANE IMPROVEMENTS AND STATIONING. TYPICAL SECTIONS FOR  
 PLOTTED BY: GARDNER ON 11/07/19 10:58 AM. LAST UPDATED BY: GARDNER 11/08/19 8:58 AM



**FIELD OR RESIDENTIAL**

⑤ SURFACE - 1.5"  
BINDER - NONE  
① BASE - 4"



- NOTES:
- (1) DITCH TO BE CONSTRUCTED WHERE DIRECTED BY ENGINEER
  - (2) SLOPE IN PARKING AREA SHALL BE FLATTENED TO 12:1 AND DITCH IS TO BE ELIMINATED
  - (3) SLOPES STEEPER THAN 3:1 MUST BE APPROVED BY ENGINEER

**PROPOSED PAVEMENT SCHEDULE**

① BITUMINOUS SURFACE - 1.50" 411-01.10 ACS MIX (PG64-22) GRADING "D" (APPROXIMATELY 132.5 LBS./S.Y.)	⑥ 6" CONCRETE COMBINED CURB AND GUTTER TYPE 6-30 702-03 CONCRETE COMBINED CURB AND GUTTER STD. DWG. RP-VC-10	① 5" TRUCK APRON CONCRETE BASE 701-03 CONCRETE MEDIAN PAVEMENT STD. DWG. RP-R-2
② BITUMINOUS BINDER - 2.00" 307-01.08 ASPHALT CONCRETE MIX (PG64-22)(BPMB-HM), GRADING "B-M2" (APPROXIMATELY 226 LBS./S.Y.)	⑦ 4" CONCRETE SIDEWALK 701-01.01 CONCRETE SIDEWALK (4") STD. DWG. RP-5-7	② 6" CONCRETE CURB TYPE A 702-01 CONCRETE CURB STD. DWG. RP-R-2
③ PRIME COAT 402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC), 0.31-0.35 GAL./S.Y. 402-02 AGGREGATE FOR COVER MATERIAL (PC) AT 8-12 LBS./S.Y.	⑧ 6" DETACHED CONCRETE CURB 702-01 CONCRETE CURB STD. DWG. RP-VC-10	
④ MINERAL AGGREGATE BASE - 10.00" ROADWAY 303-01 MINERAL AGGREGATE TYPE "A" BASE, GRADING "D"	⑨ 4" RAISED MEDIAN 701-03 CONCRETE MEDIAN PAVEMENT	
⑤ TACK COAT 403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) AT 0.07 GAL./S.Y.	⑩ 4" SLOPING CONCRETE COMBINED CURB AND GUTTER TYPE 4-30R 702-03 CONCRETE COMBINED CURB AND GUTTER STD. DWG. RP-R-2	

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
Chattanooga 423-890-9000  
Nashville 615-244-8591  
Murfreesboro 615-546-6650  
ragansmith.com



**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV.	DATE	DESCRIPTION

WK. ORDER 1349  
JOB NO. 18190  
DESIGNED: FLR  
DRAWN: FLR  
SCALE: N.T.S.  
DATE: JANUARY 14, 2019

TYPICAL SECTIONS

**2B**



# GENERAL NOTE

## GRADING

- (1) ANY AREA THAT IS DISTURBED OUTSIDE LIMITS OF CONSTRUCTION DURING THE LIFE OF THIS PROJECT SHALL BE REPAIRED BY THE CONTRACTOR AT HIS EXPENSE.
- (2) CERTIFICATION FOR ALL BORROW PITS MUST BE OBTAINED IN ACCORDANCE WITH SUBSECTION 107.06 OF THE STANDARD SPECIFICATIONS.
- (3) THE CONTRACTOR SHALL NOT DISPOSE OF ANY MATERIAL EITHER ON OR OFF STATE-OWNED R.O.W. IN A REGULATORY FLOOD WAY AS DEFINED BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) WITHOUT APPROVAL BY FEMA. ALL MATERIAL SHALL BE DISPOSED OF IN UPLAND (NON-WETLAND) AREAS AND ABOVE ORDINARY HIGH WATER OF ANY ADJACENT WATERCOURSE. THIS DOES NOT ELIMINATE THE NEED TO OBTAIN ANY OTHER LICENSES OR PERMITS THAT MAY BE REQUIRED BY ANY OTHER FEDERAL, STATE OR LOCAL AGENCY.

## SEEDING AND SODDING

- (4) ALL EXISTING ROADS WITHIN THE RIGHT-OF-WAY AND NOT IN THE GRADED AREA THAT ARE TO BE ABANDONED SHALL BE SCARIFIED, OBLITERATED, TOPSOILED AND SEEDED. SCARIFYING AND OBLITERATING THE PAVEMENT WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT THE COST WILL BE INCLUDED IN THE COST OF OTHER ITEMS. TOPSOIL, IN ACCORDANCE WITH SECTION 203 OF THE STANDARD SPECIFICATIONS, WILL BE MEASURED AND PAID FOR UNDER ITEMS 203-04. SEEDING, IN ACCORDANCE WITH SECTION 801 OF THE STANDARD SPECIFICATIONS, WILL BE MEASURED AND PAID FOR UNDER ITEM 801-01.
- (5) SOD SHALL BE PLACED AT LOCATIONS SHOWN ON THE PLANS TO PREVENT DAMAGE TO ADJACENT FACILITIES AND PROPERTY DUE TO EROSION ON ALL NEWLY GRADED CUT AND FILL SLOPES AS WORK PROGRESSES.
- (6) ITEM NO. 805-12.02 SHALL BE USED ON SLOPES 3:1 OR STEEPER AND OTHER AREAS AS INDICATED IN THE PLANS THAT ARE INACCESSIBLE FOR MOWING.
- (7) ITEM NO. 801-01, SEEDING (WITH MULCH), SHALL BE USED WHERE EROSION CONTROL BLANKET OR SOD ARE NOT APPLIED.

## DRAINAGE

- (1) THE CONTRACTOR SHALL SHAPE DITCHES TO THE SPECIFIED DESIGN. THIS WORK WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT THE COST WILL BE INCLUDED IN THE COST OF OTHER ITEMS.
- (2) EXCAVATION FOR PIPE CULVERT AND STORM SEWERS WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT WILL BE INCLUDED IN THE PRICE BID PER LINEAR FOOT OF PIPE.
- (3) THE CUTTING OF INLET AND OUTLET DITCHES WHERE SHOWN ON PLANS OR AS DIRECTED BY THE ENGINEER WILL BE MEASURED AND PAID FOR AS ITEM NO. 203-01 ROAD AND DRAINAGE EXCAVATION (UNCLASSIFIED).
- (4) WHERE A CULVERT (PIPE, SLAB OR BOX) IS MOVED TO A NEW LOCATION OTHER THAN THAT SHOWN ON THE PLANS, INCREASING OR DECREASING THE AMOUNT OF CULVERT EXCAVATION, NO INCREASE OR DECREASE IN THE AMOUNT OF PAYMENT WILL BE MADE DUE TO SUCH CHANGE.
- (5) DURING CONSTRUCTION OF DRAINAGE STRUCTURES ALL COST ASSOCIATED WITH MAINTAINING THE FLOW OF WATER AND TRAFFIC, AT THESE STRUCTURES, DURING THE PHASED CONSTRUCTION OF THIS PROJECT ARE TO BE INCLUDED IN THE UNIT PRICE OF THE DRAINAGE STRUCTURES AND TRAFFIC CONTROL ITEMS.

## MISCELLANEOUS

- (6) ALL DETOUR, ACCESS, SERVICE AND FRONTAGE ROADS SHALL BE CONSTRUCTED WITH A MINIMUM OF ONE (1) COURSE OF BASE MATERIAL BEFORE TRAFFIC IS INTERRUPTED ON EXISTING ROADS.
- (7) THE CONTRACTOR SHALL BE REQUIRED TO REMOVE AND RESET MAILBOXES AND POSTS WHERE AND AS DIRECTED BY THE ENGINEER. COST TO BE INCLUDED IN PRICE BID FOR OTHER CONSTRUCTION ITEMS.
- (8) NOTHING IN THE GENERAL NOTES OR SPECIAL PROVISIONS SHALL RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TOWARD THE SAFETY AND CONVENIENCE OF THE GENERAL PUBLIC AND THE RESIDENTS ALONG THE PROPOSED CONSTRUCTION AREA.

## ROAD CLOSURE

- (9) NO LESS THAN SEVEN (7) DAYS PRIOR TO THE CLOSURE OF THE ROAD, THE CONTRACTOR SHALL NOTIFY THE FOLLOWING INDIVIDUALS OR AGENCIES COMPLETELY DESCRIBING THE AFFECTED ROADS AND THE APPROXIMATE DURATION OF THE CONSTRUCTION: THESE PARTIES INCLUDE, BUT ARE NOT LIMITED TO: (1) LOCAL LAW ENFORCEMENT OFFICE, (2) LOCAL FIRE DEPARTMENT, (3) AMBULANCE SERVICE, (4) LOCAL SCHOOL SUPERINTENDENT, (5) UNITED STATES POSTAL SERVICE, AND (6) LOCAL ROAD SUPERINTENDENT.

## PAVEMENT MARKINGS

### TEMPORARY PAVEMENT MARKINGS ON INTERMEDIATE LAYERS

- (10) TEMPORARY PAVEMENT LINE MARKINGS ON INTERMEDIATE LAYERS OF PAVEMENT SHALL BE REFLECTIVE TAPE OR REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS AT THE END OF EACH DAYS WORK. SHORT, UNMARKED SECTIONS SHALL NOT BE ALLOWED. THESE MARKINGS WILL BE MEASURED AND PAID FOR UNDER ITEM NO. 716-05.01, PAINTED PAVEMENT MARKING (4" LINE), L.M.

### FINAL PAVEMENT MARKING

- (11) PERMANENT PAVEMENT LINE MARKINGS SHALL BE 4" SPRAY THERMOPLASTIC (60 mil) INSTALLED TO PERMANENT STANDARDS AT THE END OF EACH DAY'S WORK. SHORT UNMARKED SECTIONS SHALL NOT BE ALLOWED. PAVEMENT MARKINGS WILL BE MEASURED AND PAID FOR UNDER ITEM NO. 716-13.01, SPRAY THERMO PVTM MRKNG (60 mil) (4IN LINE), L.M. THE CONTRACTOR SHALL HAVE THE OPTION OF USING REFLECTORIZED PAINT INSTALLED TO PERMANENT STANDARDS AT THE END OF EACH DAY'S WORK AND THEN INSTALLING THE PERMANENT MARKINGS AFTER THE PAVING OPERATION IS COMPLETED. THE TEMPORARY MARKINGS FOR THE FINAL SURFACE WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT THE COSTS ARE TO BE INCLUDED IN THE PRICE BID FOR THE PERMANENT MARKINGS.

### DETOURS, LANE SHIFTS AND MEDIAN CROSS-OVERS

- (12) THE PAVEMENT MARKING ON THE DETOUR FOR CENTERLINE, EDGE LINES, AND LANE LINES WILL BE INSTALLED AND MAINTAINED TO THE SAME STANDARDS AS FOR PERMANENT MARKINGS ON THE MAIN ROADWAY. THESE MARKINGS SHALL BE IN PLACE PRIOR TO ALLOWING TRAFFIC ONTO THE PAVEMENT. THESE PAVEMENT MARKINGS WILL BE MEASURED AND PAID FOR UNDER ITEM NO. 716-05.01 PAINTED PAVEMENT MARKING (4IN LINE), L.M.
- (13) BEFORE OPENING THE DETOUR TO TRAFFIC, THE TRANSITIONAL MARKINGS ON THE EXISTING ROADWAY MUST BE IN PLACE. ALL EXISTING MARKINGS IN THE AREA OF THESE TRANSITIONAL MARKINGS SHALL BE OBLITERATED AND ALL EXISTING RAISED PAVEMENT MARKERS SHALL BE REMOVED TO ELIMINATE CONFLICTING MARKINGS. REMOVAL OF THE EXISTING CONFLICTING MARKINGS AND RAISED PAVEMENT MARKERS WILL NOT BE MEASURED AND PAID FOR DIRECTLY, BUT THE COST WILL BE INCLUDED IN ITEM NO. 712-01, TRAFFIC CONTROL, LUMP SUM.

## PAVEMENT

### PAVING

- (14) THE CONTRACTOR SHALL BE REQUIRED TO PAVE IN THE DIRECTION OF TRAFFIC.
- (15) THE CONTRACTOR SHALL BE REQUIRED TO COLD PLANE AND PAVE IN THE DIRECTION OF TRAFFIC.
- (16) THE CONTRACTOR SHALL ATTACH A DEVICE TO THE SCREEED OF THE PAVER SUCH THAT MATERIAL IS CONFINED AT THE END GATE AND EXTRUDES THE ASPHALT MATERIAL IN SUCH A WAY THAT RESULTS IN A CONSOLIDATED WEDGE-SHAPE PAVEMENT EDGE OF APPROXIMATELY 25 TO 30 DEGREES AS IT LEAVES THE PAVER (MEASURED FROM A LINE PARALLEL TO THE PAVEMENT SURFACE.) THE DEVICE SHALL MEET THE REQUIREMENTS THAT ARE CURRENTLY SET FORTH IN SPECIAL PROVISION 407SE.

### SIGNING

- (17) THE LENGTHS OF ALL SIGN SUPPORTS SHOWN ON THE SIGN SCHEDULE ARE APPROXIMATE AND ARE FOR ESTIMATING PURPOSES ONLY. THE LENGTHS WERE COMPUTED FROM THE CROSS-SECTIONS CONTAINED IN THE CONSTRUCTION PLANS. IN THE EVENT THE SUPPORT LENGTHS ARE 2 FEET SHORTER OR LONGER THAN SHOWN ON THE PLANS, THE ENGINEER

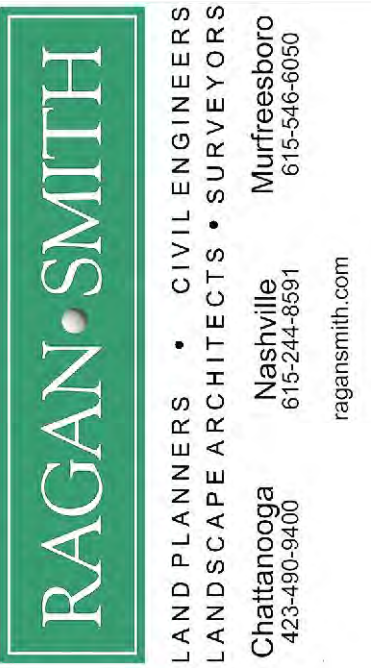
SHALL VERIFY THE SUPPORT TYPE WITH THE TOWN OF THOMPSON'S STATION. THE CONTRACTOR SHALL VERIFY ALL SUPPORT LENGTHS AT THE SITE PRIOR TO ORDERING MATERIAL.

- (18) THE TOP OF THE SIGN FOOTINGS SHALL BE PLACED LEVEL WITH THE GROUND LINE.
- (19) AFTER THE SIGN LOCATIONS HAVE BEEN STAKED, BUT PRIOR TO ORDERING ANY MATERIAL FOR THE SUPPORTS, THERE SHALL BE A FIELD INSPECTION AND APPROVAL BY THE TOWN OF THOMPSON'S STATION.
- (20) ALL SIGNS MARKED "TO BE REMOVED" ARE TO BE REMOVED BY THE CONTRACTOR AND PAID FOR UNDER ITEM 713-15 AND BECOME THE PROPERTY OF THE CONTRACTOR.
- (21) THE EXISTING FOOTINGS ARE TO BE REMOVED 6 INCHES BELOW GROUND LINE.
- (22) THE LETTERS, DIGITS, ARROWS, BORDERS, AND ALPHABET ACCESSORIES ON ALL FLAT SHEET SIGNS SHALL BE APPLIED BY SILK SCREENING PROCESS, EXCEPT THAT CUT-OUT DIRECT APPLIED COPY SHALL BE USED ON ALL FLAT SHEET SIGNS WITH A GREEN BACKGROUND, OR BROWN BACKGROUND.
- (23) THE LENGTHS OF ALL SIGN SUPPORTS SHOWN ON THE SIGN SCHEDULE ARE APPROXIMATE AND ARE FOR ESTIMATING PURPOSES ONLY. THE CONTRACTOR SHALL VERIFY ALL SUPPORT LENGTHS AT THE SITE PRIOR TO ERECTION.
- (24) THE LETTERS, DIGITS, ARROWS, BORDERS, AND ALPHABET ACCESSORIES ON ALL FLAT SHEET SIGNS SHALL BE APPLIED BY SILK SCREENING PROCESS.

### WORK ZONE & TRAFFIC CONTROL

- (25) ADVANCED WARNING SIGNS SHALL NOT BE DISPLAYED MORE THAN FORTY-EIGHT (48) HOURS BEFORE PHYSICAL CONSTRUCTION BEGINS. SIGNS MAY BE ERECTED UP TO ONE WEEK BEFORE NEEDED, IF THE SIGN FACE IS FULLY COVERED.
- (26) IF THE CONTRACTOR MOVES OFF THE PROJECT, HE SHALL COVER OR REMOVE ALL UNNEEDED SIGNS AS DIRECTED BY THE ENGINEER. COSTS OF REMOVAL, COVERING, AND REINSTALLING SIGNS SHALL NOT BE MEASURED AND PAID FOR SEPARATELY, BUT ALL COSTS SHALL BE INCLUDED IN THE ORIGINAL UNIT PRICE BID FOR ITEM NO 712-06, SIGNS (CONSTRUCTION) PER SQUARE FOOT.
- (27) A LONG TERM BUT SPORADIC USE WARNING SIGN, SUCH AS A FLAGGER SIGN, MAY REMAIN IN PLACE WHEN NOT REQUIRED PROVIDED THE SIGN FACE IS FULLY COVERED.
- (28) TRAFFIC CONTROL DEVICES SHALL NOT BE DISPLAYED OR ERECTED UNLESS RELATED CONDITIONS ARE PRESENT NECESSITATING WARNING.
- (29) USE OF BARRICADES, PORTABLE BARRIER RAILS, AND DRUMS SHALL BE LIMITED TO THE IMMEDIATE AREAS OF CONSTRUCTION WHERE A HAZARD IS PRESENT. THESE DEVICES SHALL NOT BE STORED ALONG THE ROADWAY WITHIN THIRTY (30) FEET OF THE EDGE OF THE TRAVELED WAY BEFORE OR AFTER USE UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES FOR ROADWAYS WITH CURRENT ADT'S LESS THAN 1500 AND DESIGN SPEED OF LESS THAN 60 MPH. THIS DISTANCE SHALL INCREASE TO FORTY-FIVE (45) FEET FOR ROADWAYS WITH CURRENT ADT'S OF 1500 OR GREATER AND DESIGN SPEED OF 60 MPH OR GREATER OR ON THE OUTSIDE OF A HORIZONTAL CURVE. THESE DEVICES SHALL BE REMOVED FROM THE CONSTRUCTION WORK ZONE WHEN THE ENGINEER DETERMINES THEY ARE NO LONGER NEEDED. WHERE THERE IS INSUFFICIENT RIGHT-OF-WAY TO PROVIDE FOR THIS REQUIRED SETBACK, THE CONTRACTOR SHALL DETERMINE THE ALTERNATE LOCATIONS AND REQUEST THE ENGINEER'S APPROVAL TO USE THEM.

THE CONTRACTOR SHALL NOT BE PERMITTED TO PARK ANY VEHICLES OR CONSTRUCTION EQUIPMENT DURING PERIODS OF INACTIVITY, WITHIN THIRTY (30) FEET OF THE EDGE OF PAVEMENT WHEN THE LANE IS OPEN TO TRAFFIC UNLESS PROTECTED BY GUARDRAIL, BRIDGE RAIL, AND/OR BARRIERS INSTALLED FOR OTHER PURPOSES FOR ROADWAYS WITH CURRENT ADT'S LESS THAN 1500 AND DESIGN SPEED OF LESS THAN 60 MPH. THIS DISTANCE SHALL BE INCREASED TO FORTY-FIVE (45) FEET FOR ROADWAYS WITH CURRENT ADT'S OF 1500 OR GREATER AND DESIGN SPEED OF 60 MPH OR GREATER OR ON THE OUTSIDE OF A HORIZONTAL CURVE. PRIVATELY OWNED VEHICLES SHALL NOT BE ALLOWED TO PARK WITHIN THIRTY (30) FEET OF AN OPEN TRAFFIC LANE AT ANY TIME UNLESS



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WKS. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	N.T.S.	DATE	REV. #	DESCRIPTION
18190	1349							JANUARY 14, 2019		

NOTES

2C



- (1) LESS THAN 1500 AND DESIGN SPEED OF LESS THAN 60 MPH. THIS DISTANCE SHALL BE INCREASED TO FORTY-FIVE (45) FEET FOR ROADWAYS WITH CURRENT ADT'S OF 1500 OR GREATER AND DESIGN SPEED OF 60 MPH OR GREATER OR ON THE OUTSIDE OF A HORIZONTAL CURVE. WHERE THERE IS INSUFFICIENT RIGHT-OF-WAY TO PROVIDE FOR THIS REQUIRED SETBACK, THE CONTRACTOR SHALL DETERMINE THE ALTERNATE LOCATIONS AND REQUEST THE ENGINEER'S APPROVAL TO USE THEM.
- (2) ALL DETOUR AND CONSTRUCTION SIGNING SHALL BE IN STRICT ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
- (3) ALL DETOURS SHALL BE PAVED, STRIPED, SIGNED, AND FLEXIBLE DRUMS ARE TO BE IN PLACE BEFORE IT IS OPENED TO TRAFFIC.

**EROSION PREVENTION AND SEDIMENT CONTROL**

- (1) REFER TO THE STORM WATER POLLUTION AND PREVENTION PLAN SHEETS (S-1) FOR SWPPP, PERMITS, AND RECORDS NOTES.

**RAGAN SMITH**  
 LAND PLANNERS • CIVIL ENGINEERS  
 LANDSCAPE ARCHITECTS • SURVEYORS  
 Chattanooga 423-890-9400    Nashville 615-244-8591    Murfreesboro 615-546-9050  
 ragan-smith.com

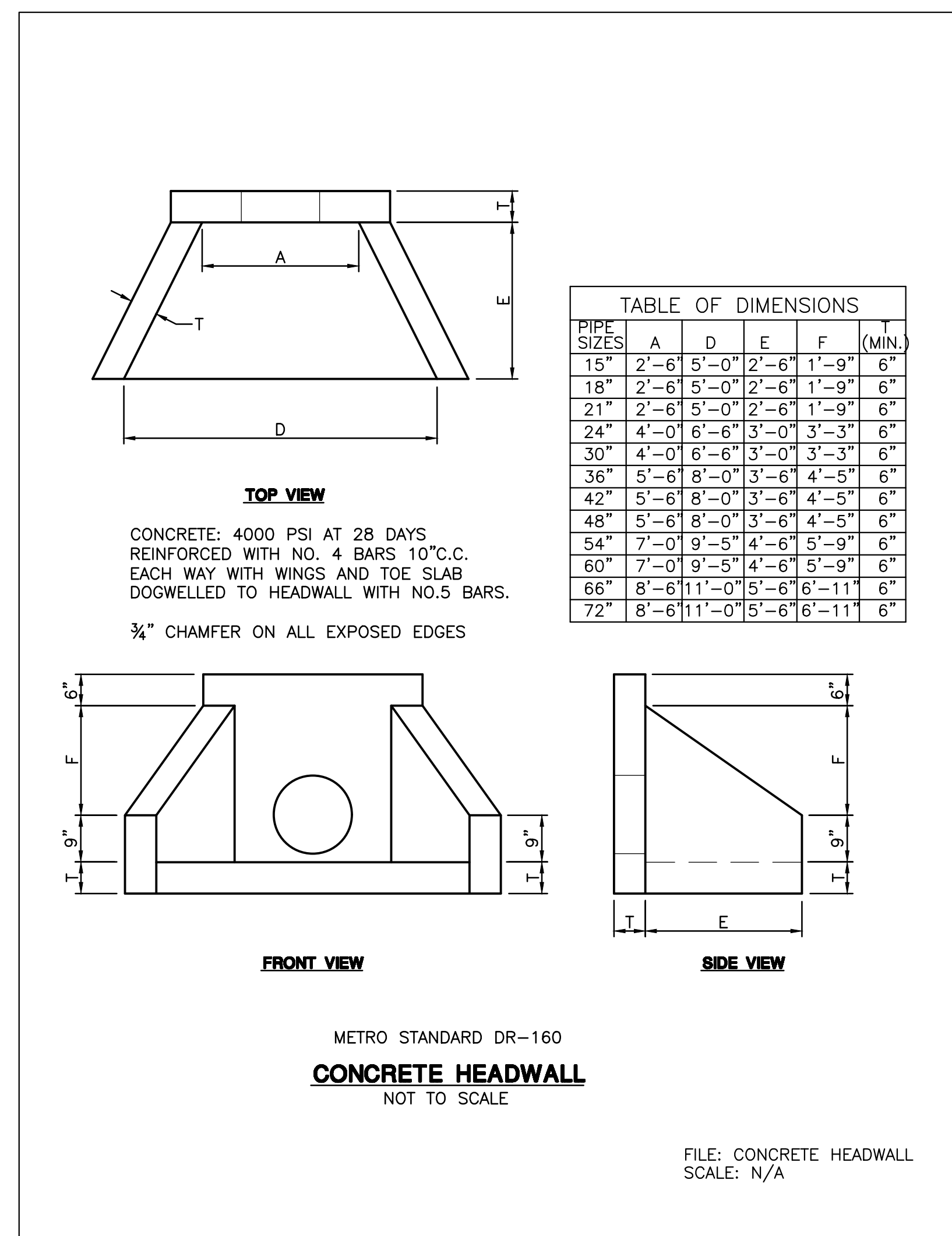
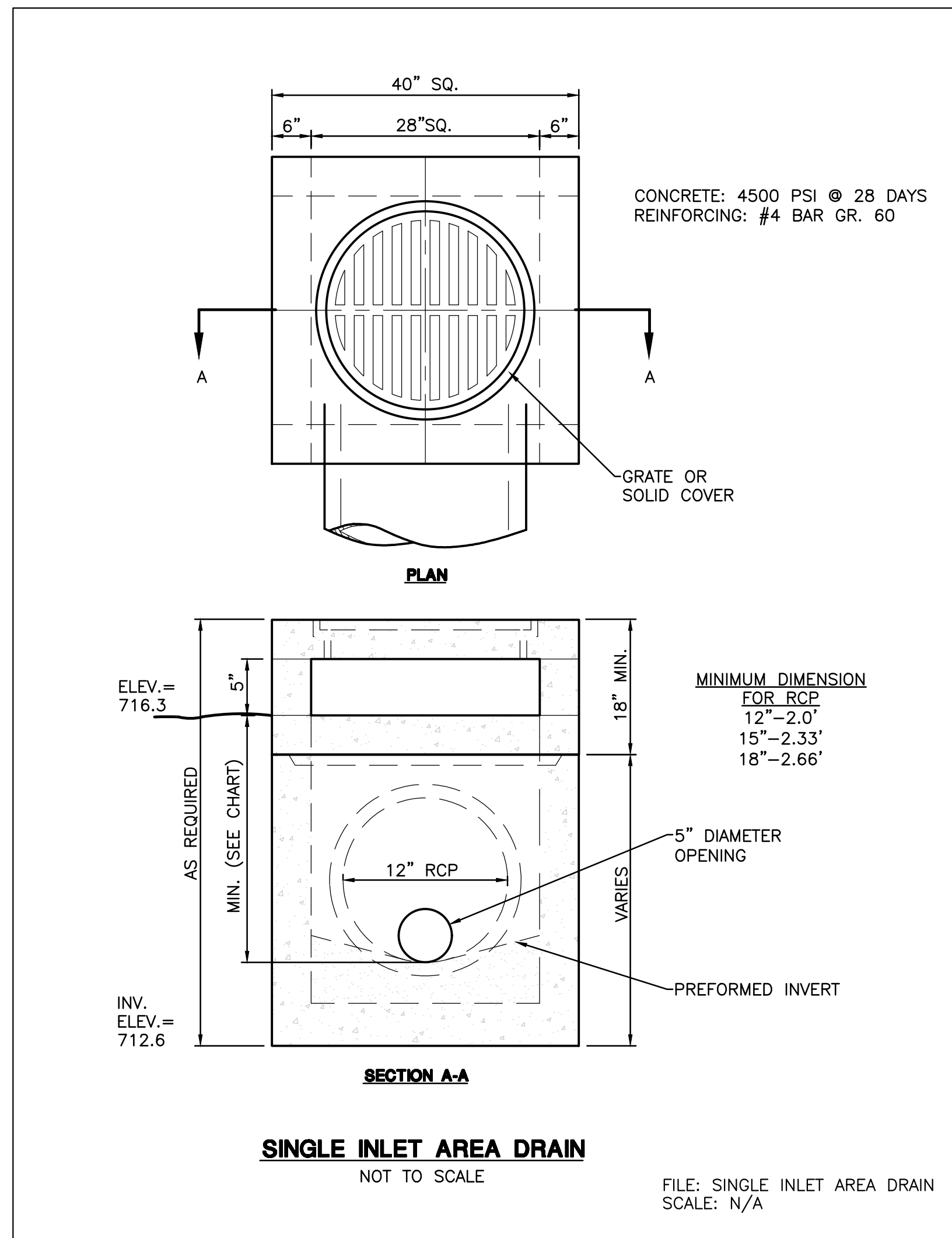


**CRITZ LANE IMPROVEMENTS**  
 FOR  
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 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	N.T.S.	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
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NOTES

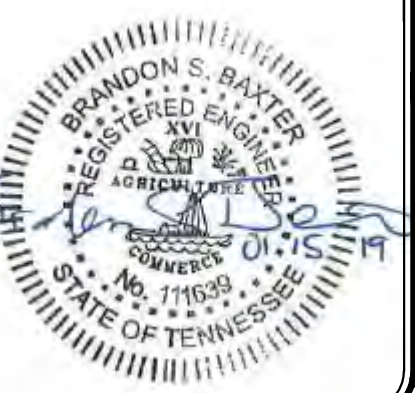
**2D**



PIPES						
FROM		TO		SIZE	LENGTH (FT.)	SLOPE (%)
CODE	OUTLET ELEV.	CODE	INLET ELEV.			
1	803.00	2	796.71	18" RCP	140	4.49
2	796.59	3	796.40	18" RCP	38	0.50
3	796.28	4	796.18	18" RCP	20	0.50
5	802.50	6	800.09	18" RCP	52	4.63
6	799.97	7	799.80	18" RCP	34	0.50
7	799.68	8	799.60	18" RCP	16	0.50
9	793.97	10	793.86	36" RCP	22	0.50
10	793.74	11	793.58	36" RCP	32	0.50
11	793.46	12	793.34	36" RCP	24	0.50
13	795.62	14	795.10	24" RCP	104	0.50
15	804.61	16	804.39	18" RCP	44	0.50

STRUCTURES								
CODE	LOCATION	STATION	OFFSET (FT.)	RT/LT	STRUCT TYPE	ELEVATIONS		
						T.C.	IN F.L.	OUT F.L.
1	CRITZ LANE	102+75.00	24.41	RT	EW	-	803.00	-
2	CRITZ LANE	104+13.50	19.30	RT	12	801.64	796.71	796.59
3	CRITZ LANE	104+07.50	18.50	LT	12	801.76	796.40	796.28
4	CRITZ LANE	104+06.50	37.89	LT	EW	-	-	796.18
5	CLAYTON ARNOLD ROAD	203+25.00	19.00	LT	EW	-	802.50	-
6	CLAYTON ARNOLD ROAD	203+78.00	17.24	LT	12	803.87	800.09	799.97
7	CLAYTON ARNOLD ROAD	203+75.50	15.78	RT	12	803.88	799.80	799.68
8	CLAYTON ARNOLD ROAD	203+75.00	31.17	RT	EW	-	-	799.60
9	CRITZ LANE	151+64.00	37.42	RT	EW	-	793.97	-
10	CRITZ LANE	151+64.00	16.76	RT	12	801.50	793.86	793.74
11	CRITZ LANE	151+59.50	15.00	LT	12	801.55	793.58	793.46
12	CRITZ LANE	151+59.50	37.62	LT	EW	-	-	793.34
13	PADDOCK PARK DRIVE	300+60.00	37.63	LT	EW	-	795.62	-
14	PADDOCK PARK DRIVE	300+60.00	65.61	RT	EW	-	-	795.10
15	CRITZ LANE	170+75.00	13.12	LT	AD	807.92	-	804.61
16	CRITZ LANE	170+75.00	30.67	RT	EW	-	-	804.39

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CRITZ LANE IMPROVEMENTS  
 FOR  
 TOWN OF THOMPSON'S STATION, TN

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	N.T.S.	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
WK. ORDER	1349										

DRAINAGE DETAILS

CLAYTON ARNOLD ROAD IMPROVEMENTS AND STATION 3, DETAILS Dwg.  
 PLOTTED BY COMMERCE ON 1/15/2019 8:53 AM. LAST UPDATED BY ADEEN ON 1/15/2019 8:53 AM.



# STANDARD ROADWAY DRAWINGS

DWG. NO.	REV.	DESCRIPTION
<b>ROADWAY DESIGN STANDARDS</b>		
RD-TP-1	09-26-16	STANDARD ROADWAY DRAWINGS TITLE SHEET
RD-A-1	12-18-99	STANDARD ABBREVIATIONS
RD-L-1	10-26-94	STANDARD LEGEND
RD-L-2	09-05-01	STANDARD LEGEND FOR UTILITY INSTALLATIONS
RD-L-5	05-01-08	STANDARD LEGEND FOR EROSION PREVENTION AND SEDIMENT CONTROL
RD-L-6	03-30-10	STANDARD LEGEND FOR EROSION PREVENTION AND SEDIMENT CONTROL
RD-L-7	05-24-12	STANDARD LEGEND FOR EROSION PREVENTION AND SEDIMENT CONTROL
RD01-TS-9	06-15-12	DESIGN STANDARDS FOR SINGLE LANE URBAN AND RURAL ROUNDABOUTS
RD01-SE-2	10-15-02	URBAN SUPERELEVATION DETAILS
MM-TS-2		PEDESTRIAN FACILITY DESIGN GUIDANCE
RD01-S-11	04-04-03	DESIGN AND CONSTRUCTION DETAILS FOR ROADSIDE SLOPE DEVELOPMENT
RD01-S-11A	10-15-02	ROADSIDE DITCH DETAILS FOR DESIGN AND CONSTRUCTION
RD01-SD-1		INTERSECTION SIGHT DISTANCE DESIGN AND GENERAL NOTES
RD01-SD-2		INTERSECTION SIGHT DISTANCE LANDSCAPE AND OBSTRUCTION
RD01-SD-3		INTERSECTION SIGHT DISTANCE 2-LANE ROADWAYS
<b>PIPE CULVERTS AND ENDWALLS</b>		
D-FLU-1		FLUME DETAILS
D-PB-1	03-16-17	STANDARD DETAILS FOR CONCRETE PIPE INSTALLATION
D-PB-2	01-29-14	STANDARD DETAILS FOR FLEXIBLE PIPE INSTALLATION
D-PE-18A	01-06-15	18" CONCRETE ENDWALL CROSS DRAIN (FOR 3:1, 4:1 & 6:1 SLOPES)
D-PE-18B		18" CONCRETE ENDWALL CROSS DRAIN (FOR 3:1, 4:1 & 6:1 SLOPES)
D-PE-24A	07-05-17	24" CONCRETE ENDWALL CROSS DRAIN (FOR 3:1, 4:1 & 6:1 SLOPES)
D-PE-24B		24" CONCRETE ENDWALL CROSS DRAIN (FOR 3:1, 4:1 & 6:1 SLOPES)
D-PE-4	10-10-16	STRAIGHT CONCRETE ENDWALL
<b>CATCH BASINS AND MANHOLES</b>		
D-CB-12LP	08-01-12	LOW PROFILE 32" X 32" SQUARE CONCRETE NO. 12LP CATCH BASIN (FOR USE WITH 6" NON-MOUNTABLE CURB)
D-CB-12P	03-11-14	STANDARD PRECAST RECTANGULAR CONCRETE NO.12 CATCH BASIN
D-CB-12RA	03-11-14	STANDARD PRECAST 48" CIRCULAR NO. 12 CATCH BASIN (FOR USE WITH 6" NONMOUNTABLE CURB)
D-CB-12RB	03-11-14	STANDARD PRECAST 60" AND 72" CIRCULAR NO. 12 CATCH BASIN (FOR USE WITH 6" NONMOUNTABLE CURB)
D-CB-12RC	03-11-14	STANDARD PRECAST 84" THRU 120" CIRCULAR NO. 12 CATCH BASIN (FOR USE WITH 6" NONMOUNTABLE CURB)

DWG. NO.	REV.	DESCRIPTION
D-CB-12S	03-11-14	STANDARD RECTANGULAR CONCRETE NO. 12 CATCH BASIN
D-CB-12SB	03-11-14	STANDARD 4' X 4' SQUARE CONCRETE NO. 12 CATCH BASIN
D-CB-12SC	03-11-14	STANDARD 5' 2" X 5' 2" SQUARE CONCRETE NO. 12 CATCH BASIN
D-CB-12SD	03-11-14	STANDARD 7' X 7' SQUARE CONCRETE NO. 12 CATCH BASIN
D-CB-12SE	03-11-14	STANDARD 9' X 9' SQUARE CONCRETE NO. 12 CATCH BASIN
D-CB-42RB	03-11-14	STANDARD PRECAST CIRCULAR NO. 42 CATCH BASIN
D-CB-42S	08-01-12	STANDARD 32" X 32" SQUARE CONCRETE NO. 42 CATCH BASIN
D-CB-42SB	03-11-14	STANDARD 4' X 4' SQUARE CONCRETE NO. 42 CATCH BASIN
D-CB-42SC	03-11-14	STANDARD 5' 2" X 5' 2" SQUARE CONCRETE NO. 42 CATCH BASIN
D-CB-42SD	03-11-14	STANDARD 7' X 7' SQUARE CONCRETE NO. 42 CATCH BASIN
D-CBB-12A	05-27-01	TYPE 'B' CAST IRON FRAME, GRATE & NONMOUNTABLE INLET DETAILS FOR NOS. 10, 12, 14, 16 & 17 TYPE CATCH BASINS
D-CBB-42	05-27-01	CAST IRON GRATE DETAILS FOR NOS. 42, 43 & 44 TYPE CATCH BASINS

## ROADWAY AND PAVEMENT APPURTENANCES

RP-R-1	05-27-01	STANDARD RAMPS TO SIDE ROADS
RP-NMC-10	07-29-03	STANDARD VERTICAL (NONMOUNTABLE) CONCRETE CURBS AND CONCRETE CURBS AND GUTTERS
RP-R-2		STANDARD CONSTRUCTION DETAILS FOR ROUNDABOUTS
RP-H-3	10-10-16	CURB RAMP AND TRUNCATED DOME SURFACE DETAIL
RP-H-4	10-10-16	PERPENDICULAR CURB RAMP
RP-H-5	10-10-16	PARALLEL CURB RAMP
RP-H-6	10-10-16	PEDESTRIAN REFUGE
RP-H-7	10-10-16	PERPENDICULAR CURB RAMP IN CURVE
RP-H-8	10-10-16	PERPENDICULAR CURB RAMP PLACED OUTSIDE CURVE
RP-H-9	10-10-16	PARALLEL CURB RAMP IN CURVE
RP-S-7	07-05-17	DETAILS FOR CONCRETE SIDEWALKS

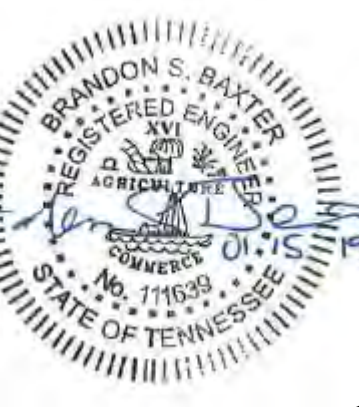
## SAFETY DESIGN AND FENCES

S-CZ-1		CLEAR ZONE CRITERIA
S-PL-1		SAFETY PLAN AT ROADSIDE HAZARDS
S-PL-2	10-10-16	SAFETY PLAN AT SIDEROADS OR PRIVATE DRIVES

## DESIGN - TRAFFIC CONTROL

T-M-1	07-05-17	DETAILS OF PAVEMENT MARKINGS FOR CONVENTIONAL ROADS AND MARKING ABBREVIATIONS
T-M-2	07-05-17	DETAILS OF PAVEMENT MARKINGS FOR CONVENTIONAL ROADS
T-M-3	07-24-14	MARKING STANDARDS FOR TRAFFIC ISLANDS, MEDIANS & PAVED SHOULDERS ON CONVENTIONAL ROADS
T-M-4	10-10-16	STANDARD INTERSECTION PAVEMENT MARKINGS

DWG. NO.	REV.	DESCRIPTION
T-M-17	02-20-14	PAVEMENT MARKING DETAILS FOR ROUNDABOUTS
T-WZ-36	03-05-17	LANE CLOSURE ON LOW-VOLUME 2-LANE HIGHWAY
<b>EROSION PREVENTION AND SEDIMENT CONTROL</b>		
EC-STR-3B	03-16-17	SILT FENCE
EC-STR-34	08-01-12	EROSION CONTROL BLANKET FOR SLOPE INSTALLATION
EC-STR-37	06-10-14	SEDIMENT TUBE
EC-STR-6	05-06-16	ROCK CHECK DAM
EC-STR-6A	05-06-16	ENHANCED ROCK CHECK DAM
EC-STR-11	03-16-17	CULVERT PROTECTION TYPE 1
EC-STR-19	04-01-08	CATCH BASIN PROTECTION
EC-STR-39A	08-01-12	CURB INLET PROTECTION TYPE 3 & 4
EC-STR-25	08-01-12	TEMPORARY CULVERT CROSSING, CONSTRUCTION EXIT, CONSTRUCTION FORD



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

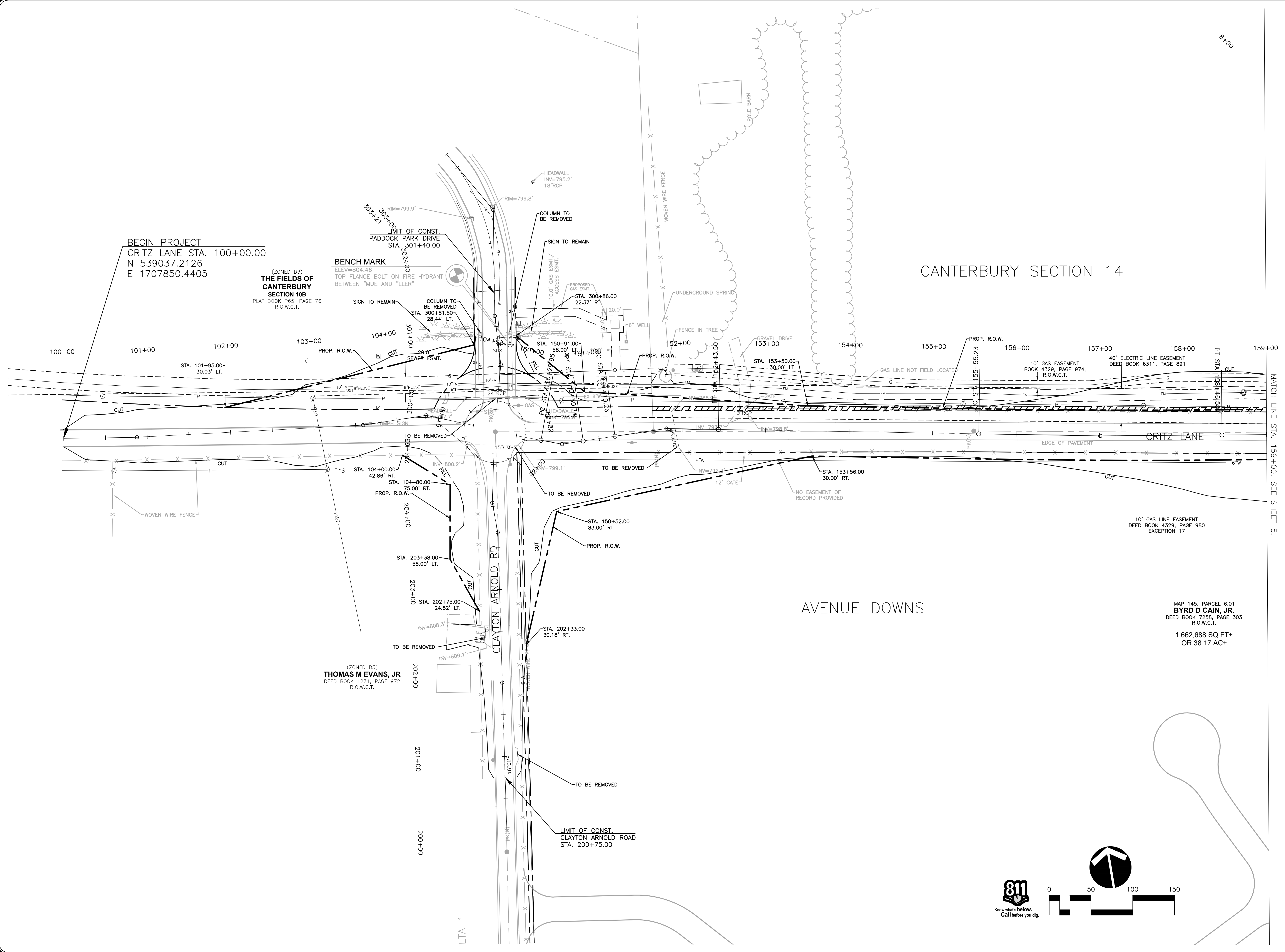
JOB NO. 18190	DESIGNED: FLR	DATE: JANUARY 14, 2019
WK. ORDER 1349	DRAWN: FLR	SCALE: N.T.S.

STANDARD DRAWINGS

3A



CLAYTON ARNOLD ROAD IMPROVEMENTS AND CRITZ LANE IMPROVEMENTS, TOWN OF THOMPSON, WILLIAMSON COUNTY, TENNESSEE  
PLOTTED BY: GREGORY W. HARRIS, DATE: 1/14/2019 11:23 AM, LAST UPDATED BY: GREGORY W. HARRIS, DATE: 1/14/2019 11:23 AM



BEGIN PROJECT  
CRITZ LANE STA. 100+00.00  
N 539037.2126  
E 1707850.4405

(ZONED D3)  
**THE FIELDS OF  
CANTERBURY  
SECTION 10B**  
PLAT BOOK P65, PAGE 76  
R.O.W.C.T.

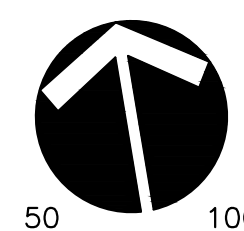
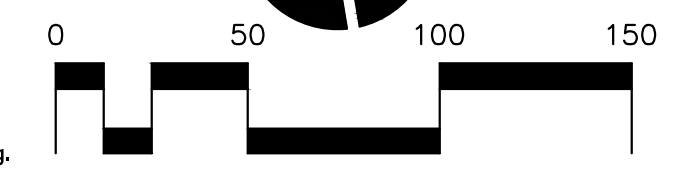
**BENCH MARK**  
ELEV=804.46  
TOP FLANGE BOLT ON FIRE HYDRANT  
BETWEEN "MUE AND "LLER"

(ZONED D3)  
**THOMAS M EVANS, JR**  
DEED BOOK 1271, PAGE 972  
R.O.W.C.T.

CANTERBURY SECTION 14

AVENUE DOWNS

MAP 145, PARCEL 6.01  
**BYRD D CAIN, JR.**  
DEED BOOK 7258, PAGE 303  
R.O.W.C.T.  
1,662,688 SQ.FT±  
OR 38.17 AC±



**RAGAN SMITH**  
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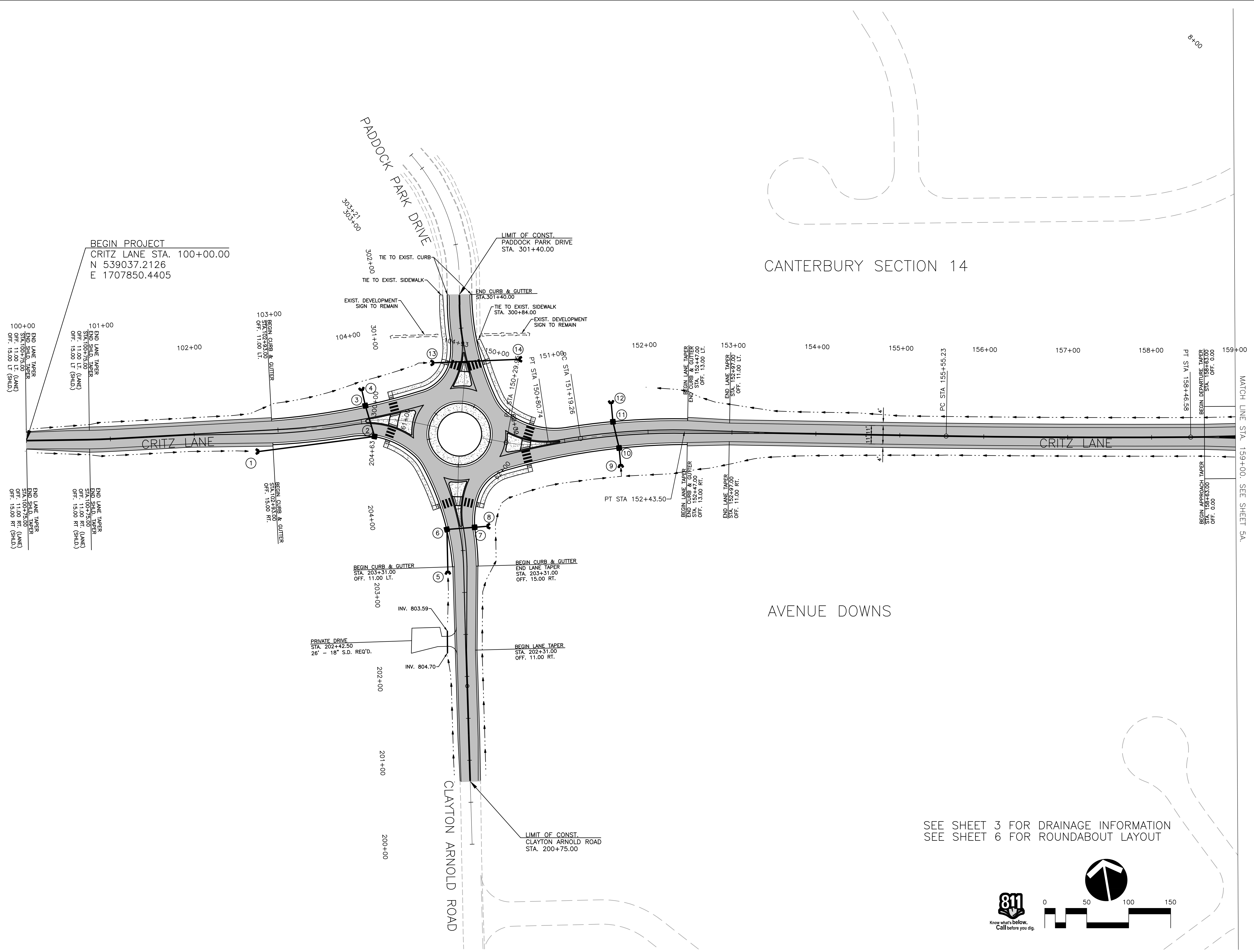


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DATE:	DESCRIPTION:
18190	1349	FLR	FLR	1"=50'	JANUARY 14, 2019			

PRESENT LAYOUT





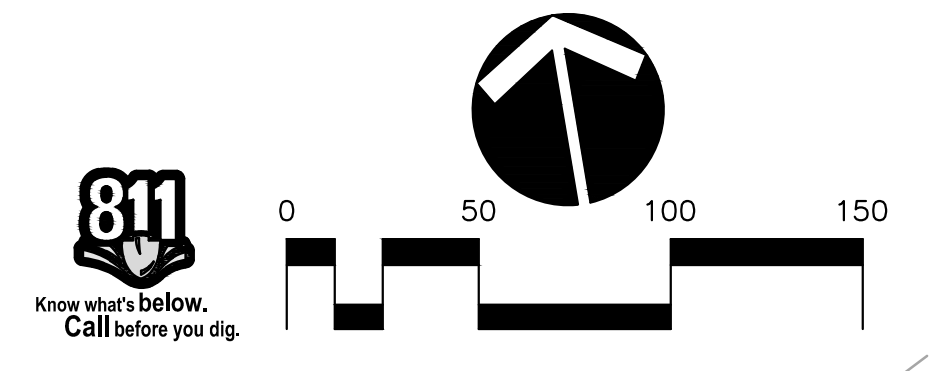
BEGIN PROJECT  
 CRITZ LANE STA. 100+00.00  
 N 539037.2126  
 E 1707850.4405

CANTERBURY SECTION 14

AVENUE DOWNS

MATCH LINE STA. 159+00.00; SEE SHEET 5A.

SEE SHEET 3 FOR DRAINAGE INFORMATION  
 SEE SHEET 6 FOR ROUNDABOUT LAYOUT



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 Nashville 615-244-8591  
 Murfreesboro 615-546-6650  
 ragan@smith.com



FOR  
**CRITZ LANE IMPROVEMENTS**  
 TOWN OF THOMPSON'S STATION, TN  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE	REV.	DATE	DESCRIPTION
18190	1349	FLR	FLR	1"=50'	JANUARY 14, 2019			

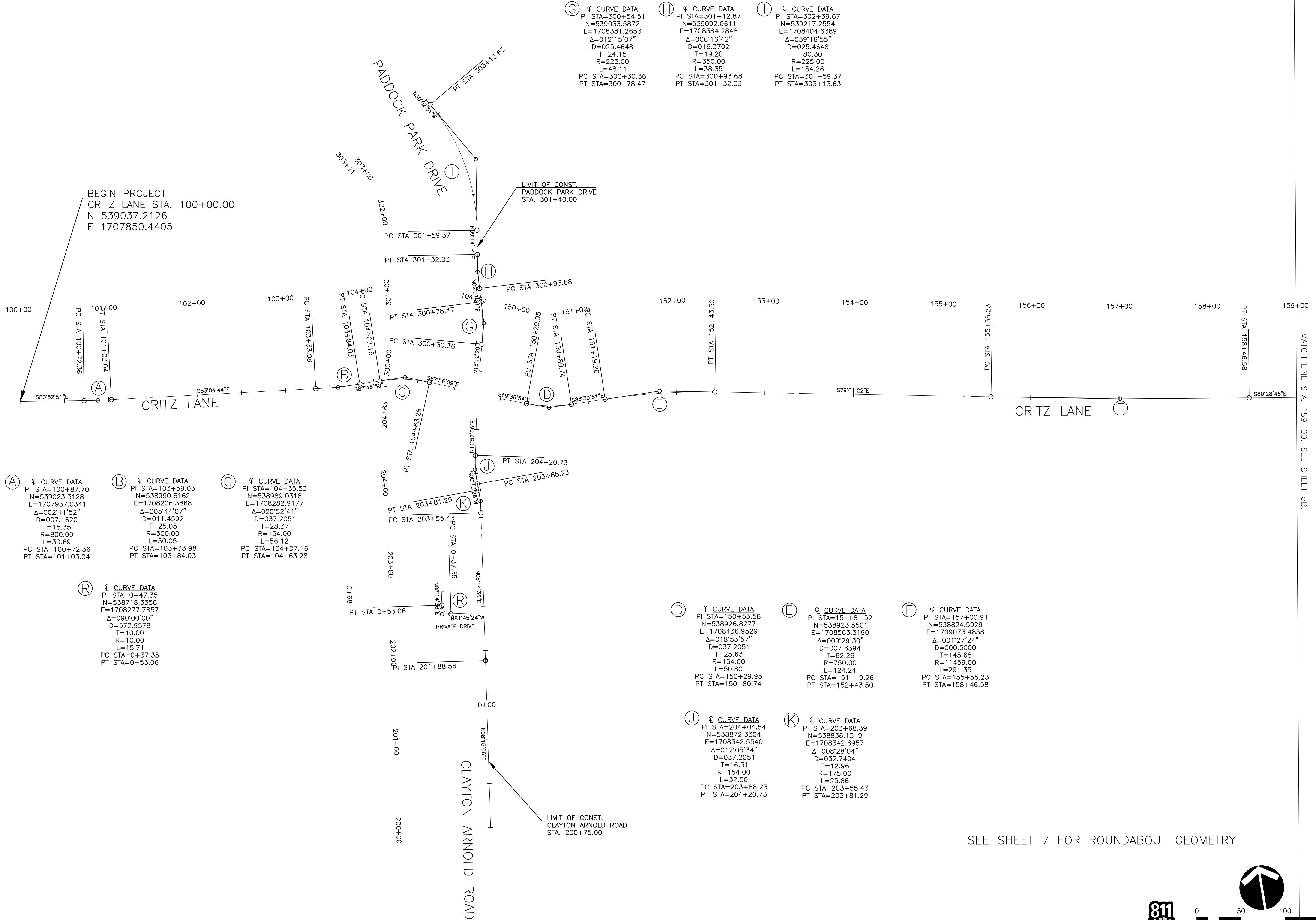
PROPOSED LAYOUT

4A

CRITZ LANE IMPROVEMENTS AND ROUNDABOUT LAYOUT, AS PROPOSED AND SHOWN, IS THE PROPERTY OF RAGAN SMITH & ASSOCIATES, INC. ALL RIGHTS RESERVED. PLOTTED BY: GREGORY D. WOODRUFF, 1/15/19 10:17 AM. LAST UPDATED BY: GREGORY D. WOODRUFF, 1/15/19 10:17 AM.



CRITZ LANE IMPROVEMENTS AND ROUNDABOUT GEOMETRY, TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY W. BARNUM DATE: 1/14/2019 10:58 AM



**G** @ CURVE DATA  
 PI STA=300+54.51  
 N=539033.5872  
 E=1708381.2653  
 $\Delta=012^{\circ}15'07''$   
 D=025.4648  
 T=24.15  
 R=225.00  
 L=48.11  
 PC STA=300+30.36  
 PT STA=300+78.47

**H** @ CURVE DATA  
 PI STA=301+12.87  
 N=539092.0611  
 E=1708384.2848  
 $\Delta=006^{\circ}16'42''$   
 D=016.3702  
 T=19.20  
 R=350.00  
 L=38.35  
 PC STA=300+93.68  
 PT STA=301+32.03

**I** @ CURVE DATA  
 PI STA=302+39.67  
 N=539217.2554  
 E=1708404.6389  
 $\Delta=039^{\circ}16'55''$   
 D=025.4648  
 T=80.30  
 R=225.00  
 L=154.26  
 PC STA=301+59.37  
 PT STA=303+13.63

**A** @ CURVE DATA  
 PI STA=100+87.70  
 N=539023.3128  
 E=1707937.0341  
 $\Delta=002^{\circ}11'52''$   
 D=007.1620  
 T=15.35  
 R=800.00  
 L=30.89  
 PC STA=100+72.36  
 PT STA=101+03.04

**B** @ CURVE DATA  
 PI STA=103+59.03  
 N=538990.6162  
 E=1708206.3868  
 $\Delta=005^{\circ}44'07''$   
 D=011.4592  
 T=25.05  
 R=500.00  
 L=50.05  
 PC STA=103+33.98  
 PT STA=103+84.03

**C** @ CURVE DATA  
 PI STA=104+35.53  
 N=538989.0318  
 E=1708282.9177  
 $\Delta=020^{\circ}52'41''$   
 D=037.2051  
 T=28.37  
 R=154.00  
 L=56.12  
 PC STA=104+07.16  
 PT STA=104+63.28

**R** @ CURVE DATA  
 PI STA=0+47.35  
 N=538718.3356  
 E=1708277.7857  
 $\Delta=090^{\circ}00'00''$   
 D=572.9578  
 T=10.00  
 R=15.71  
 PC STA=0+37.35  
 PT STA=0+53.06

**D** @ CURVE DATA  
 PI STA=150+55.58  
 N=538926.8277  
 E=1708436.9529  
 $\Delta=018^{\circ}53'57''$   
 D=037.2051  
 T=25.63  
 R=154.00  
 L=50.80  
 PC STA=150+29.95  
 PT STA=150+80.74

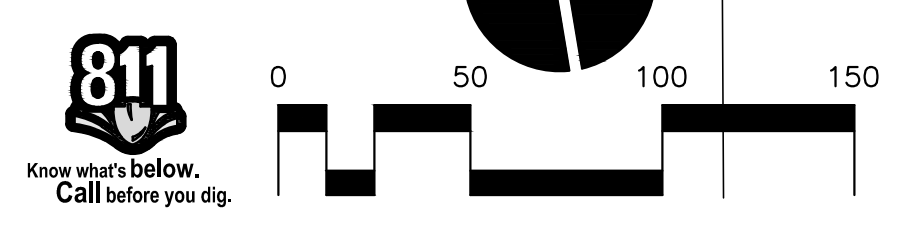
**E** @ CURVE DATA  
 PI STA=151+81.52  
 N=538923.5501  
 E=1708563.3190  
 $\Delta=009^{\circ}29'30''$   
 D=007.6394  
 T=62.26  
 R=750.00  
 L=124.24  
 PC STA=151+19.26  
 PT STA=152+43.50

**F** @ CURVE DATA  
 PI STA=157+00.91  
 N=538824.5929  
 E=1709073.4858  
 $\Delta=001^{\circ}27'24''$   
 D=000.5000  
 T=145.68  
 R=11459.00  
 L=291.35  
 PC STA=155+55.23  
 PT STA=158+46.58

**J** @ CURVE DATA  
 PI STA=204+04.54  
 N=538872.3304  
 E=1708342.5540  
 $\Delta=012^{\circ}05'34''$   
 D=037.2051  
 T=16.31  
 R=154.00  
 L=32.50  
 PC STA=203+88.23  
 PT STA=204+20.73

**K** @ CURVE DATA  
 PI STA=203+68.39  
 N=538836.1319  
 E=1708342.6957  
 $\Delta=008^{\circ}28'04''$   
 T=12.96  
 R=175.00  
 L=25.86  
 PC STA=203+55.43  
 PT STA=203+81.29

SEE SHEET 7 FOR ROUNDABOUT GEOMETRY



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 615-546-9050  
 ragan@smith.com

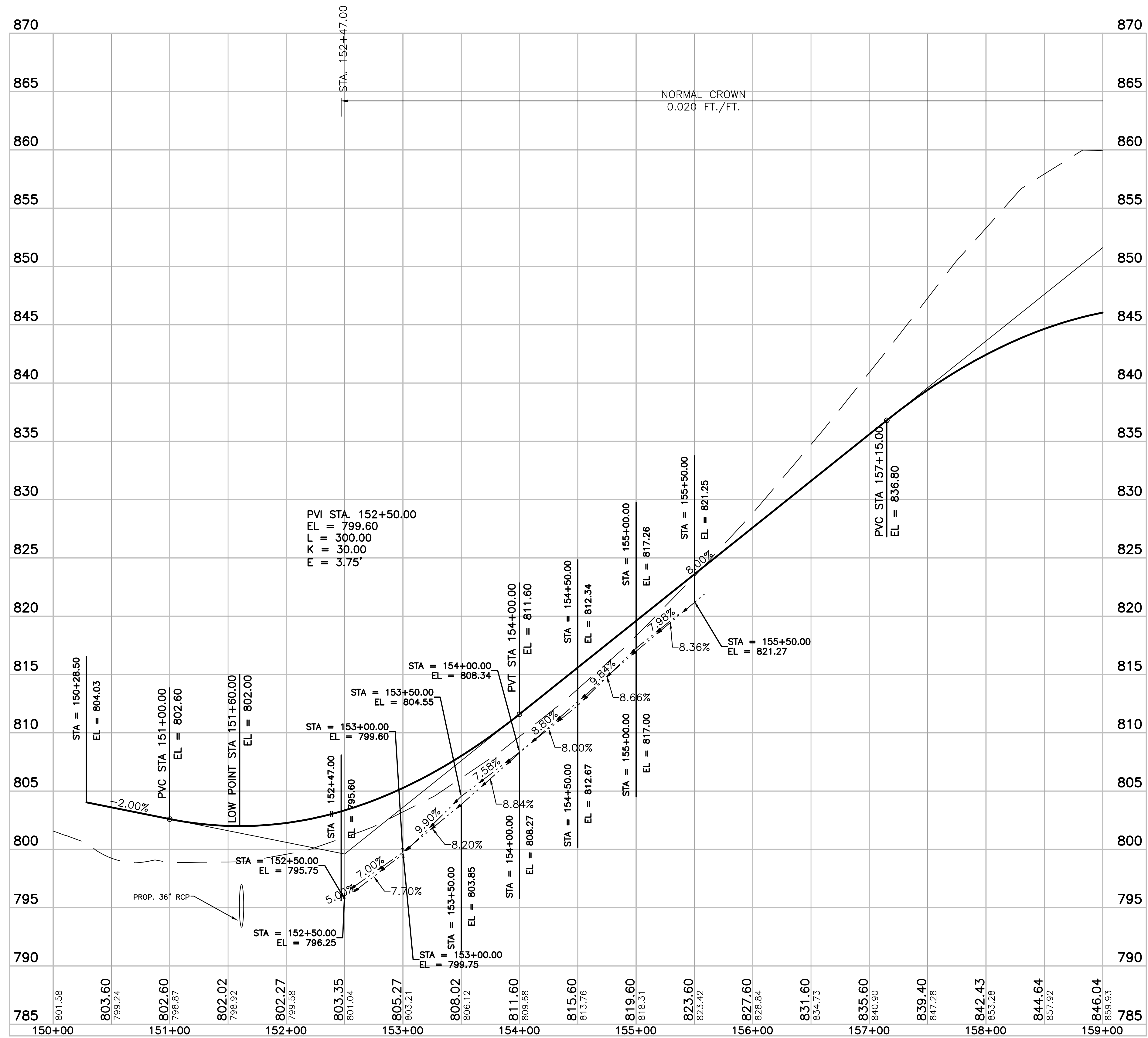
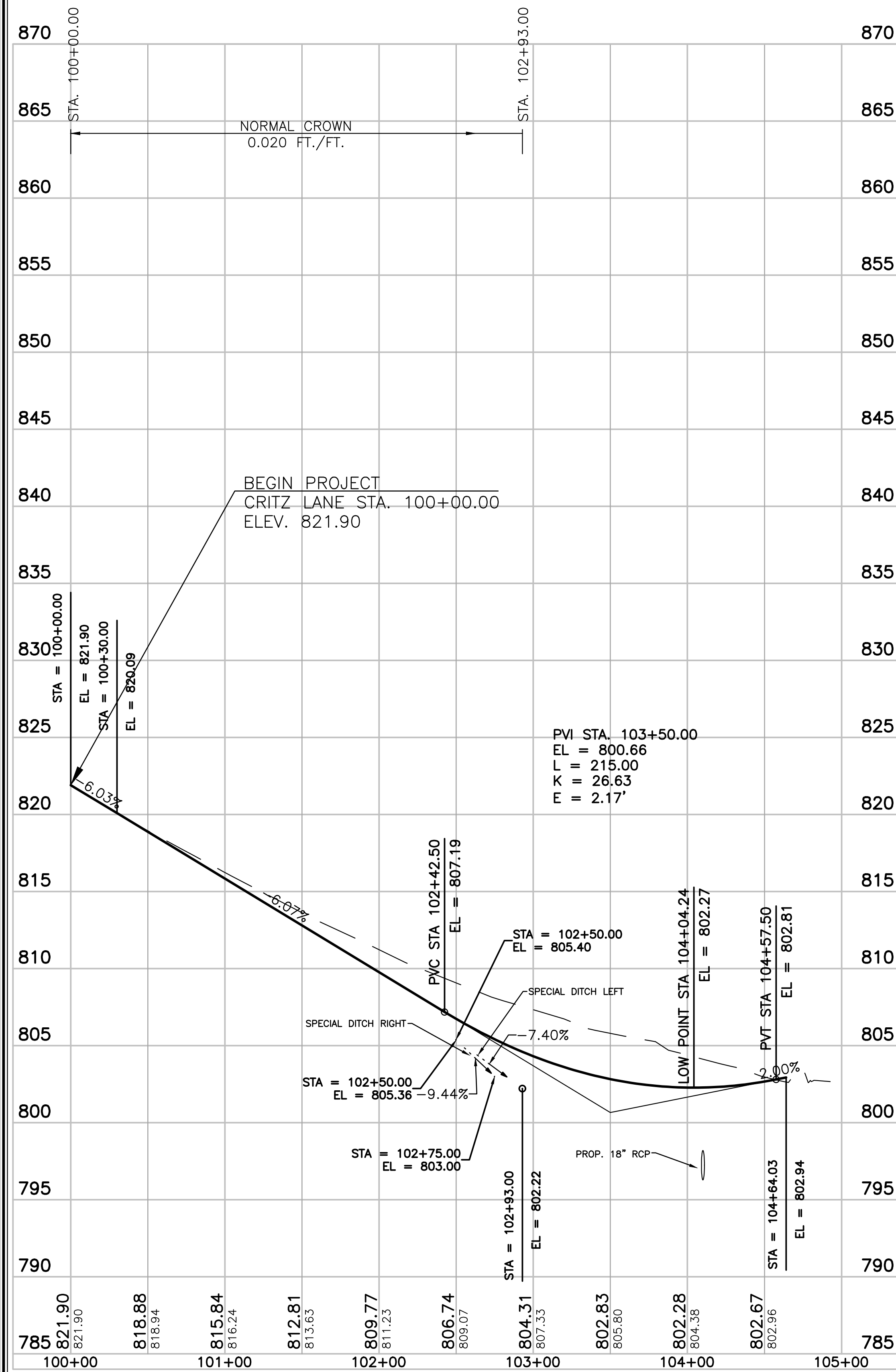


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	DESCRIPTION:
18190	1349	FLR	FLR	1"=50'	JANUARY 14, 2019	

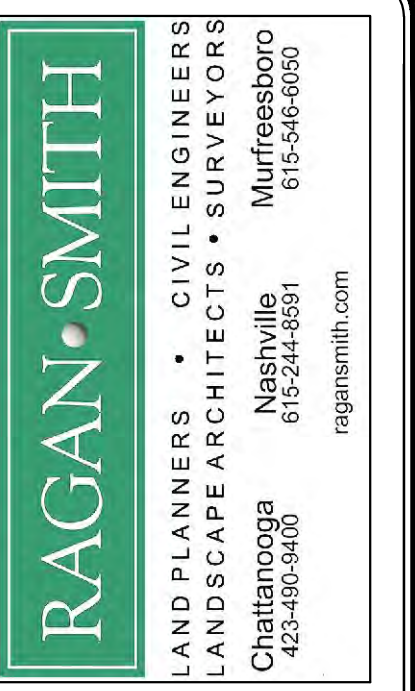
**GEOMETRIC LAYOUT**  
**4B**





SCALE:  
 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL

# CRITZ LANE



## CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN

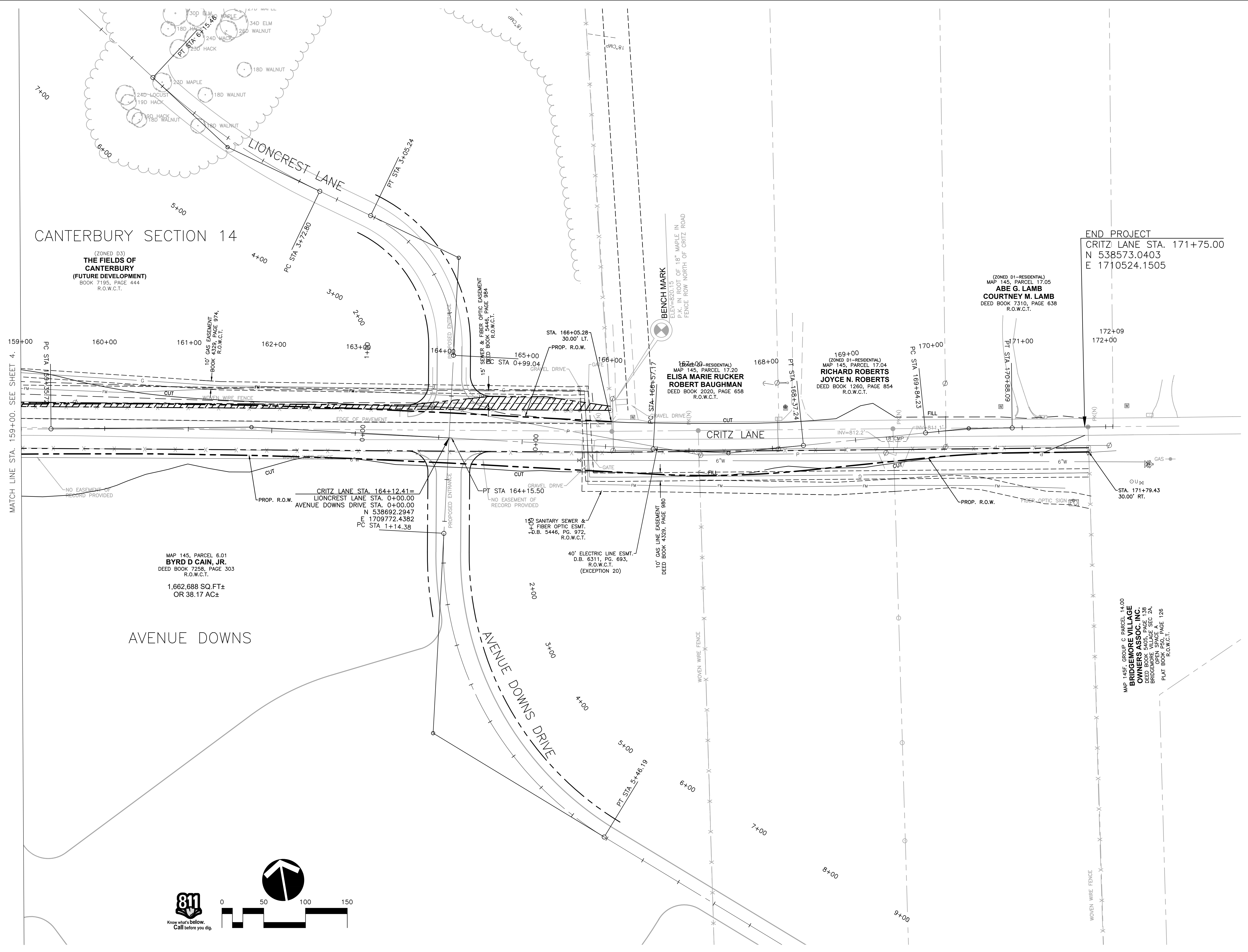
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019	

CIVIL AND LANDSCAPE ARCHITECTS, INC. PROJECT NO. 18190  
 PLOTTED BY: GIBSON, 1/16/19 11:47 AM. LAST UPDATED BY: GIBSON, 1/16/19 11:47 AM



CIVIL AND LAND SURVEYING ENGINEERS AND ARCHITECTS, INC. A PROFESSIONAL CORPORATION  
 PLOTTED BY: GREGORY D. WILSON 1/14/2019 11:28 AM LAST UPDATED BY: GREGORY D. WILSON 1/14/2019 11:28 AM



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 615-546-9050  
 ragansmith.com



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349	FLR	FLR	1"=50'	JANUARY 14, 2019		

**PRESENT LAYOUT**  
5





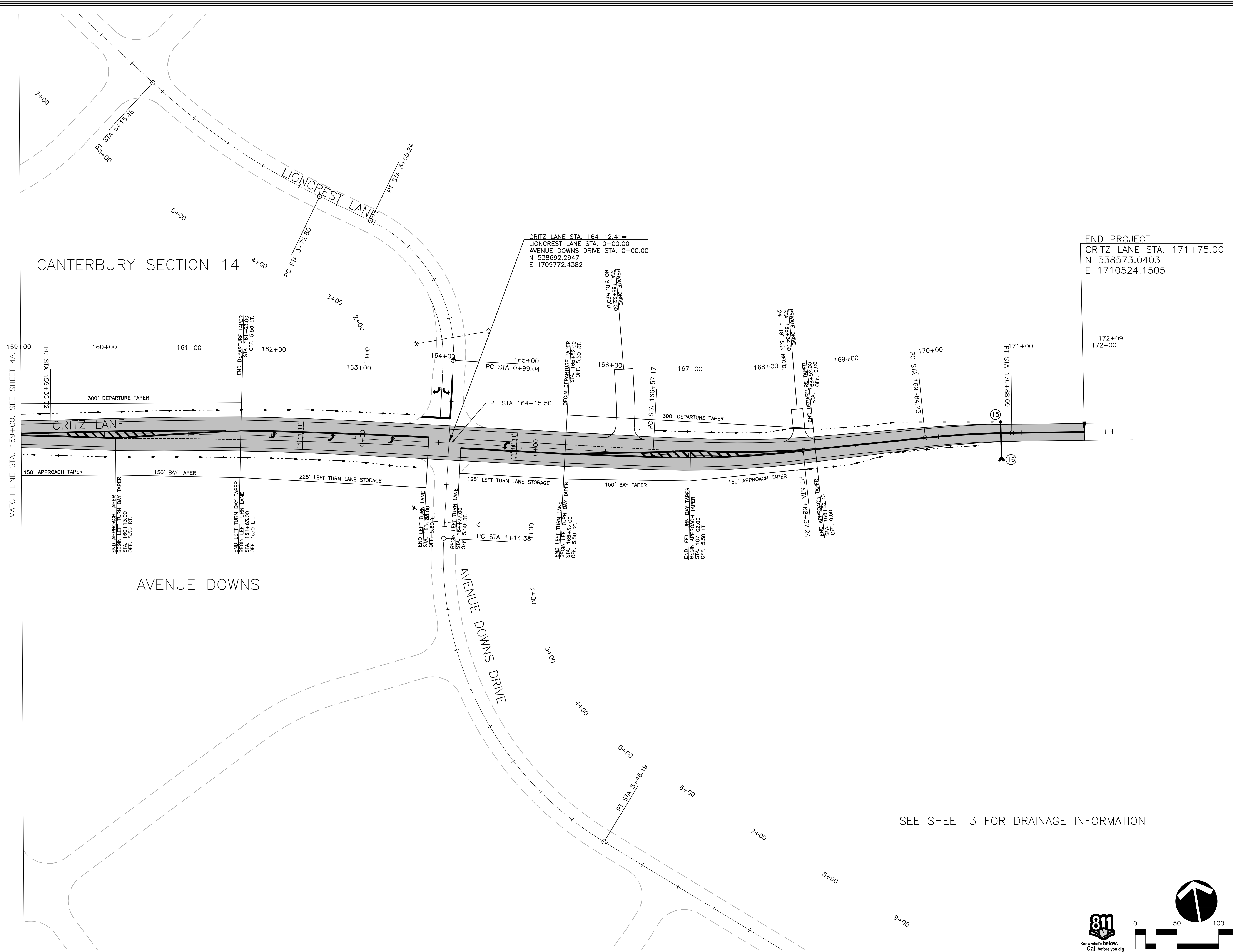
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	REV.	DATE	DESCRIPTION
1349			

JOB NO. 18190  
 DESIGNED: FLR  
 DRAWN: FLR  
 SCALE: 1"=50'  
 DATE: JANUARY 14, 2019

**PROPOSED LAYOUT**

**5A**



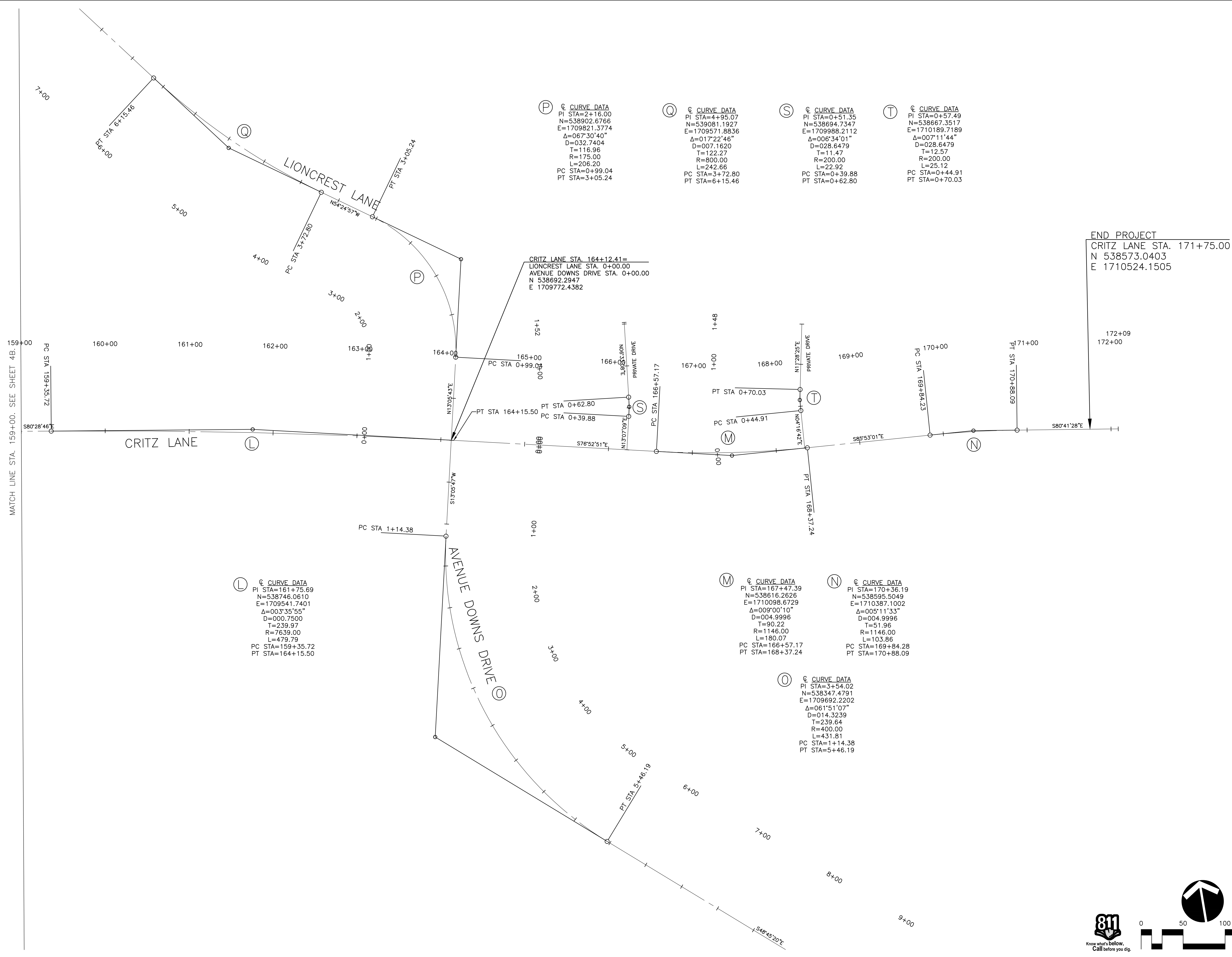
SEE SHEET 3 FOR DRAINAGE INFORMATION

CRITZ LANE IMPROVEMENTS AND DRAINAGE PLAN, AS PROPOSED AND SHOWN, PLOTTED BY COMPREHENSIVE DESIGN, INC. ON 1/14/2019 11:58 AM. LAST UPDATED BY WEDON 1/15/2019 11:58 AM.

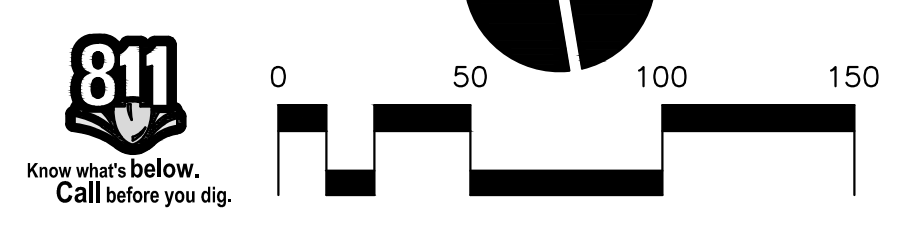


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

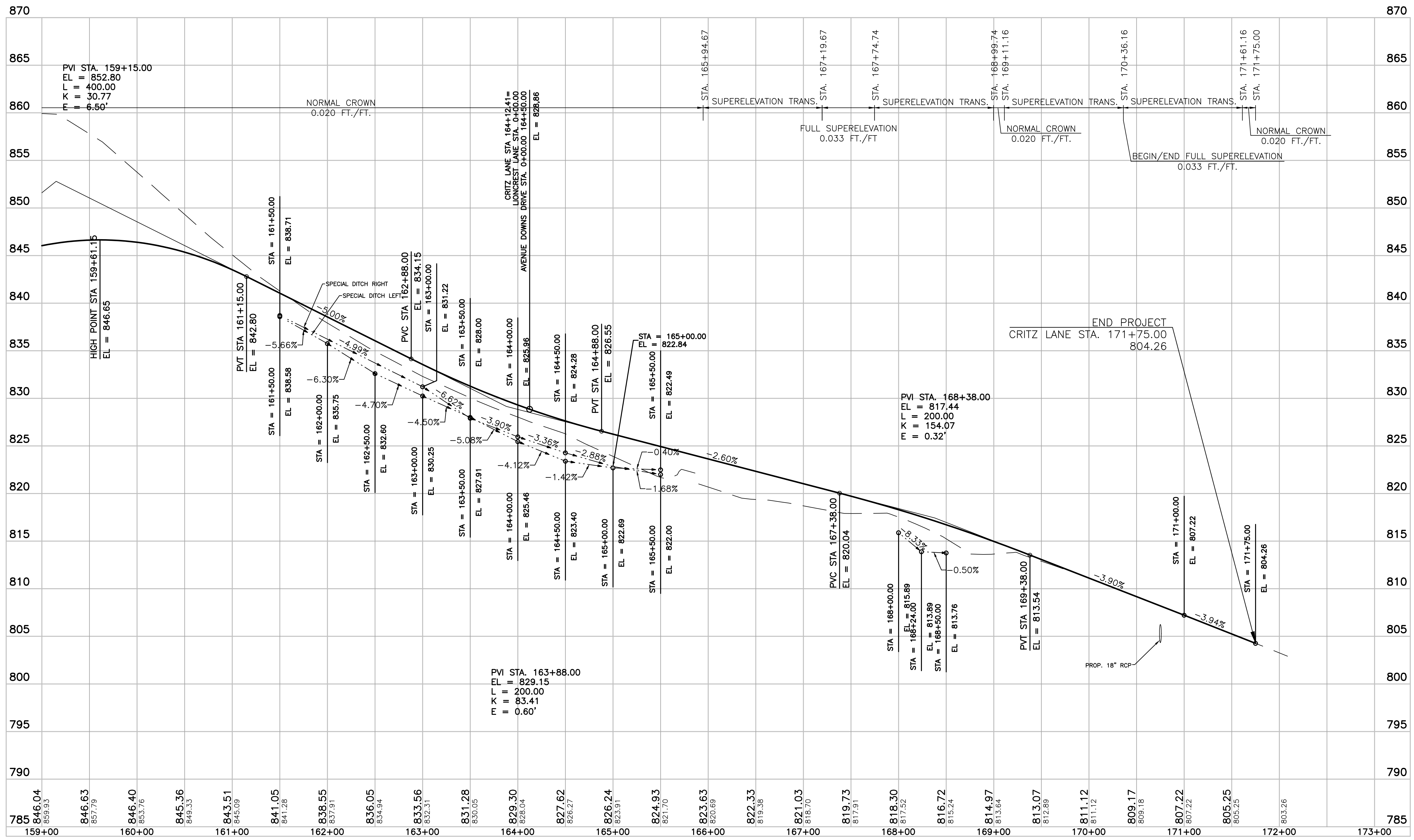
WK. ORDER	1349	FLR	FLR	FLR	1"=50'	DATE	JANUARY 14, 2019	REV.	#	DESCRIPTION
JOB NO.	18190	DESIGNED:		DRAWN:		SCALE:		DATE		
<b>GEOMETRIC LAYOUT</b>										
<b>5B</b>										



CRITZ LANE IMPROVEMENTS AND TOWN OF THOMPSON'S STATION, TN, GEOMETRIC LAYOUT  
 PLOTTED BY: GREGORY W. BARNETT, DATE: 1/14/2019, 11:02:18 AM, LAST UPDATED BY: GREGORY W. BARNETT, 1/14/2019, 11:02:18 AM

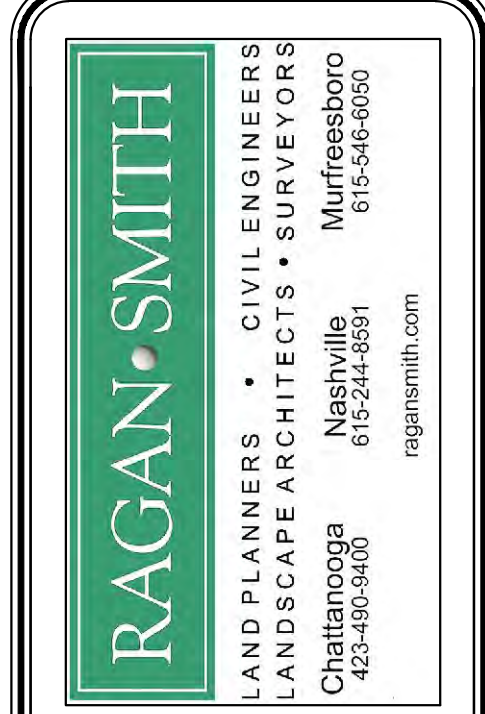






CRITZ LANE IMPROVEMENTS PROJECT  
 PLOTTED BY: GREGORY W. HARRIS  
 DATE: 1/14/2019 10:50 AM

**SCALE:**  
 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL



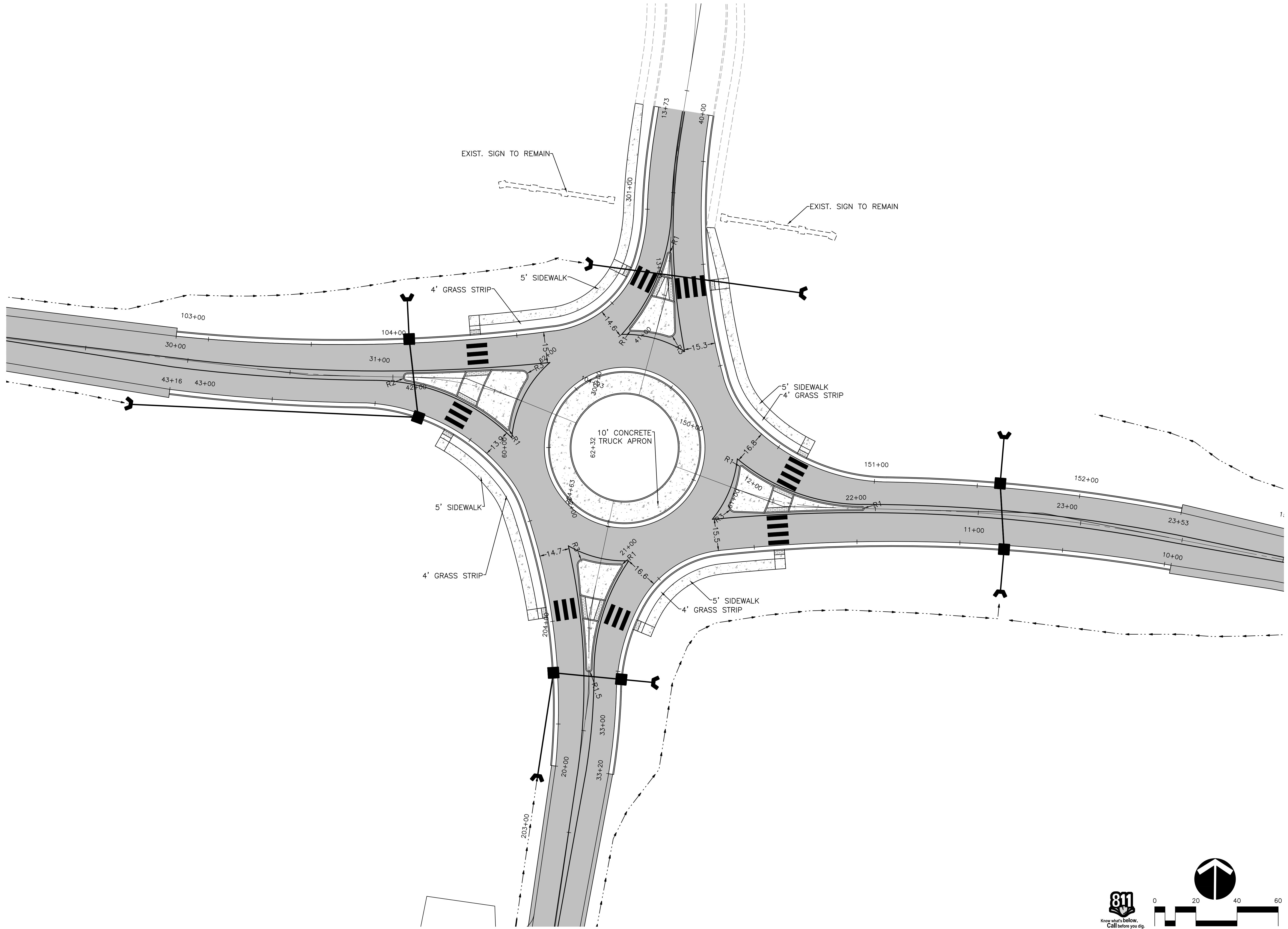
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE	REV.	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019	#	

**PROFILES**  
**5C**



CLIP: 18190-1411-THOMPSONS STATION IMPROVEMENTS - 11/14/2019 11:23 AM  
 PLOTTED BY: GREGORY W. HARRIS  
 DATE: 1/14/2019 11:23 AM



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 Murfreesboro 615-546-9050  
 ragan@smith.com

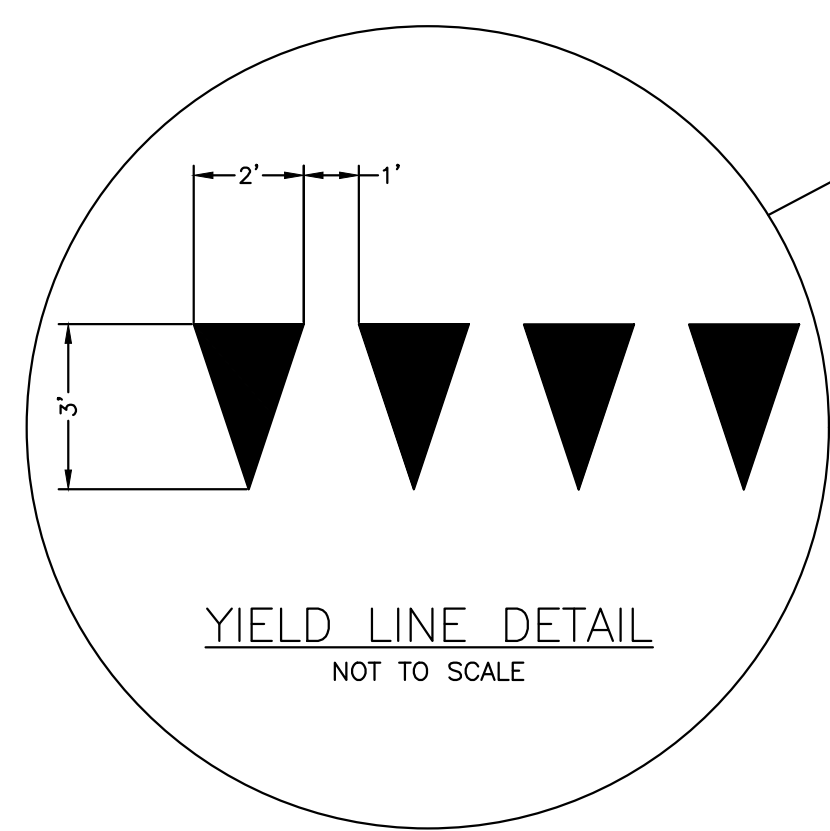
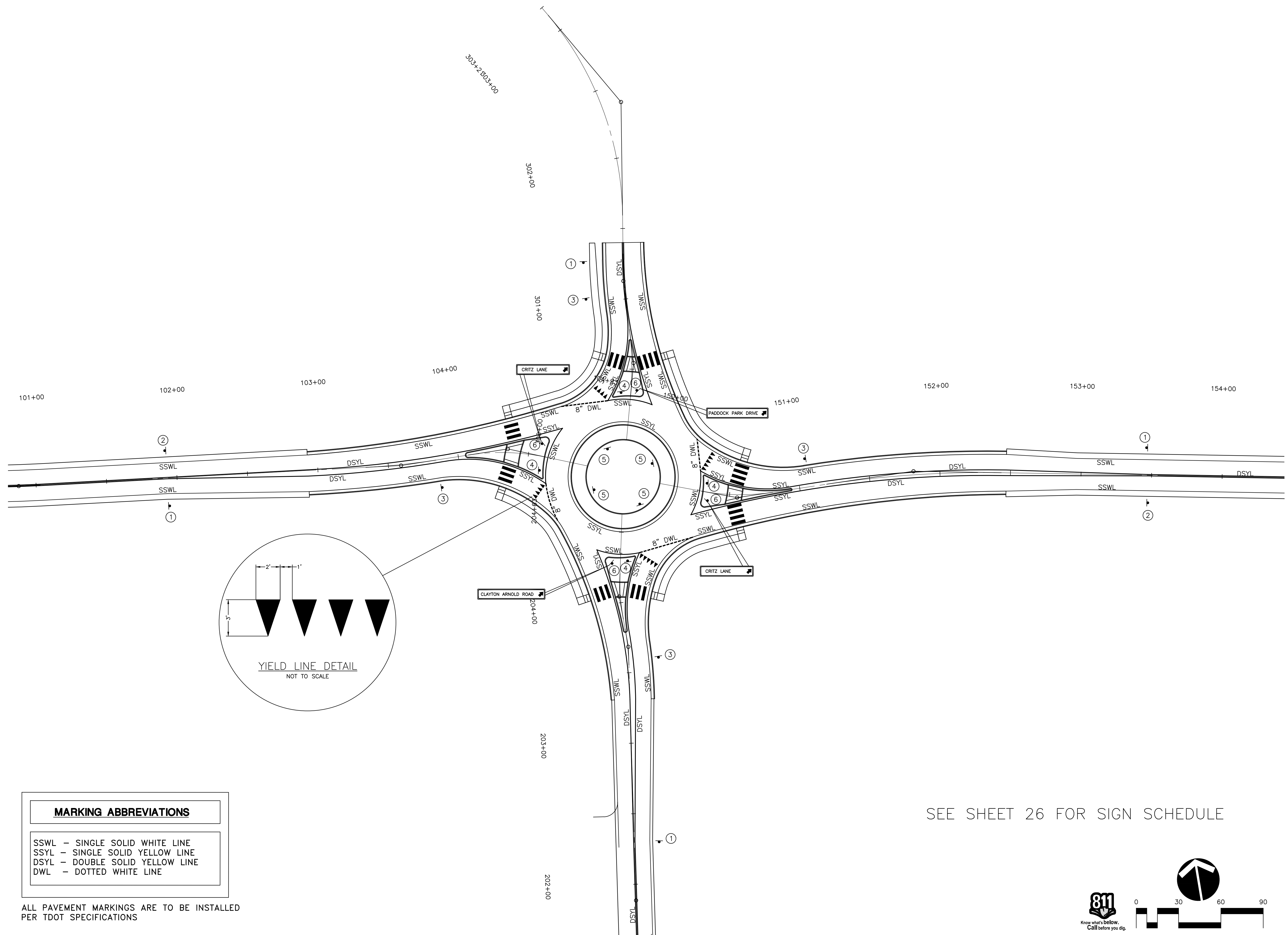


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DESCRIPTION:
18190	1349	FLR	FLR	1"=20'	JANUARY 14, 2019		

**ROUNDABOUT LAYOUT**

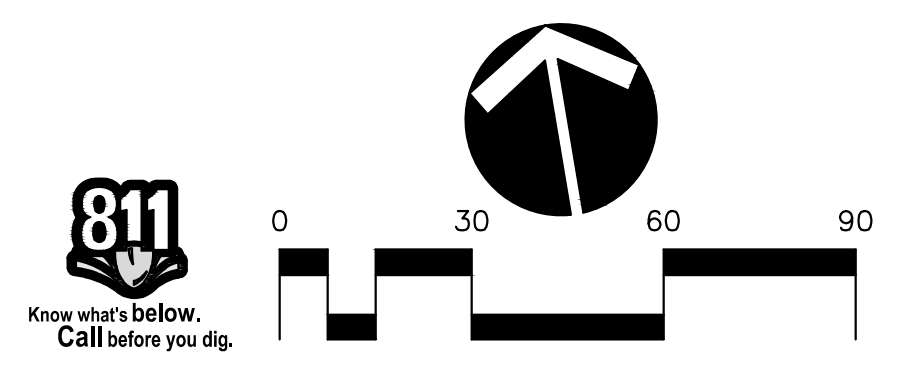




MARKING ABBREVIATIONS	
SSWL	- SINGLE SOLID WHITE LINE
SSYL	- SINGLE SOLID YELLOW LINE
DSYL	- DOUBLE SOLID YELLOW LINE
DWL	- DOTTED WHITE LINE

ALL PAVEMENT MARKINGS ARE TO BE INSTALLED PER TDOT SPECIFICATIONS

SEE SHEET 26 FOR SIGN SCHEDULE



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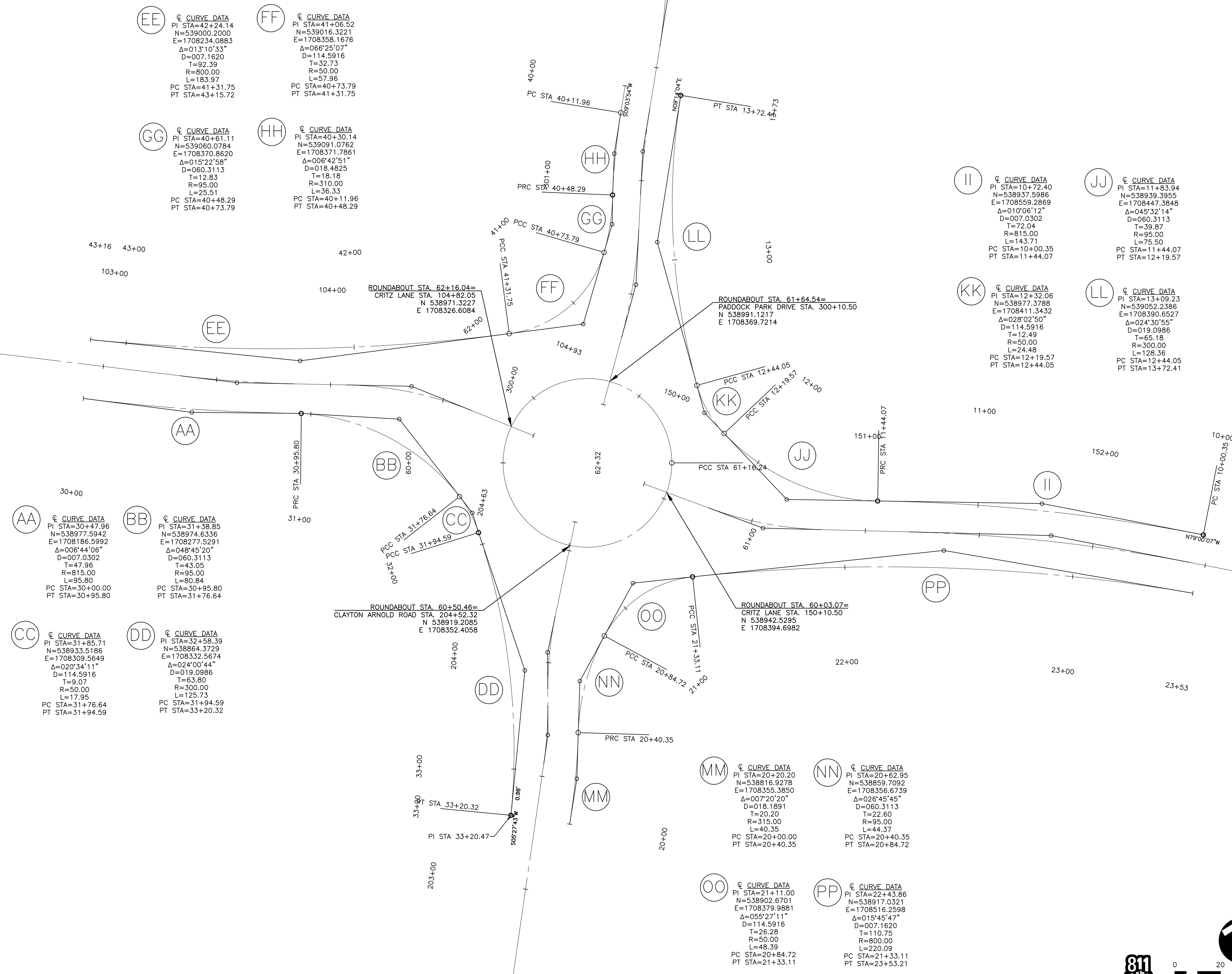
**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**  
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	1349	FLR	FLR	FLR	1"=30'	DATE	JANUARY 14, 2019	REV.	DESCRIPTION:
JOB NO.	18190	DESIGNED:	DRAWN:	SCALE:	DATE	ROUNDABOUT SIGNING AND PAVEMENT MARKING PLAN			
7									

CLAYTON ARNOLD ROAD IMPROVEMENTS AND SIGNAGE, SEE PLANS AND SPECIFICATIONS FOR MARKING AND SIGNAGE. PLOTTED BY: GARDNER, 11/07/19 10:28 AM. LAST UPDATED BY: GARDNER, 11/07/19 10:28 AM.



CURVE DATA TRANSMISSIONS AND RECORDS SHALL BE MAINTAINED IN ACCORDANCE WITH THE TYPICAL SPECIFICATIONS FOR ROADWAY CONSTRUCTION, LATEST EDITION, AS PUBLISHED BY THE TOWN OF THOMPSON. THIS PLAN WAS UPDATED BY GREENE ENGINEERING, INC.



**EE**  $\odot$  CURVE DATA  
 PI STA=42+24.14  
 N=539000.2000  
 E=1708234.0883  
 $\Delta=013^{\circ}10'33''$   
 D=007.1620  
 T=92.39  
 R=800.00  
 L=83.97  
 PC STA=41+31.75  
 PT STA=43+15.72

**FF**  $\odot$  CURVE DATA  
 PI STA=41+06.52  
 N=539016.3221  
 E=1708358.1676  
 $\Delta=066^{\circ}25'07''$   
 D=114.5916  
 T=32.73  
 R=50.00  
 L=57.96  
 PC STA=40+73.79  
 PT STA=41+31.75

**GG**  $\odot$  CURVE DATA  
 PI STA=40+61.11  
 N=539060.0784  
 E=1708370.8620  
 $\Delta=015^{\circ}22'58''$   
 D=060.3113  
 T=12.83  
 R=95.00  
 L=25.51  
 PC STA=40+48.29  
 PT STA=40+73.79

**HH**  $\odot$  CURVE DATA  
 PI STA=40+30.14  
 N=539091.0762  
 E=1708371.7861  
 $\Delta=006^{\circ}42'51''$   
 D=018.4825  
 T=18.18  
 R=310.00  
 L=36.33  
 PC STA=40+11.96  
 PT STA=40+48.29

**II**  $\odot$  CURVE DATA  
 PI STA=10+72.40  
 N=538937.5986  
 E=1708559.2869  
 $\Delta=010^{\circ}06'12''$   
 D=007.0302  
 T=72.04  
 R=815.00  
 L=143.71  
 PC STA=10+00.35  
 PT STA=11+44.07

**JJ**  $\odot$  CURVE DATA  
 PI STA=11+83.94  
 N=538939.3955  
 E=1708447.3848  
 $\Delta=045^{\circ}32'14''$   
 D=060.3113  
 T=39.87  
 R=95.00  
 L=75.50  
 PC STA=11+44.07  
 PT STA=12+19.57

**KK**  $\odot$  CURVE DATA  
 PI STA=12+32.06  
 N=538977.3788  
 E=1708411.3432  
 $\Delta=028^{\circ}02'50''$   
 D=114.5916  
 T=12.49  
 R=50.00  
 L=24.48  
 PC STA=12+19.57  
 PT STA=12+44.05

**LL**  $\odot$  CURVE DATA  
 PI STA=13+09.23  
 N=539052.2386  
 E=1708390.6527  
 $\Delta=024^{\circ}30'55''$   
 D=019.0986  
 T=65.18  
 R=300.00  
 L=128.36  
 PC STA=12+44.05  
 PT STA=13+72.41

**AA**  $\odot$  CURVE DATA  
 PI STA=30+47.96  
 N=538977.5942  
 E=1708186.5992  
 $\Delta=006^{\circ}44'06''$   
 D=007.0302  
 T=47.96  
 R=815.00  
 L=95.80  
 PC STA=30+00.00  
 PT STA=30+95.80

**BB**  $\odot$  CURVE DATA  
 PI STA=31+38.85  
 N=538974.6336  
 E=1708277.5291  
 $\Delta=048^{\circ}45'20''$   
 D=060.3113  
 T=43.05  
 R=95.00  
 L=80.84  
 PC STA=30+95.80  
 PT STA=31+76.64

**CC**  $\odot$  CURVE DATA  
 PI STA=31+85.71  
 N=538933.5186  
 E=1708309.5649  
 $\Delta=020^{\circ}34'11''$   
 D=114.5916  
 T=9.07  
 R=50.00  
 L=17.95  
 PC STA=31+76.64  
 PT STA=31+94.59

**DD**  $\odot$  CURVE DATA  
 PI STA=32+58.39  
 N=538864.3729  
 E=1708332.5674  
 $\Delta=024^{\circ}00'44''$   
 D=019.0986  
 T=63.80  
 R=300.00  
 L=125.73  
 PC STA=31+94.59  
 PT STA=33+20.32

**MM**  $\odot$  CURVE DATA  
 PI STA=20+20.20  
 N=538816.9278  
 E=1708355.3850  
 $\Delta=007^{\circ}20'20''$   
 D=018.1891  
 T=20.20  
 R=315.00  
 L=40.35  
 PC STA=20+00.00  
 PT STA=20+40.35

**NN**  $\odot$  CURVE DATA  
 PI STA=20+62.95  
 N=538859.7092  
 E=1708356.6739  
 $\Delta=026^{\circ}45'45''$   
 D=060.3113  
 T=22.60  
 R=95.00  
 L=44.37  
 PC STA=20+40.35  
 PT STA=20+84.72

**OO**  $\odot$  CURVE DATA  
 PI STA=21+11.00  
 N=538902.6701  
 E=1708379.9881  
 $\Delta=055^{\circ}27'11''$   
 D=114.5916  
 T=26.28  
 R=50.00  
 L=48.39  
 PC STA=20+84.72  
 PT STA=21+33.11

**PP**  $\odot$  CURVE DATA  
 PI STA=22+43.86  
 N=538917.0321  
 E=1708516.2598  
 $\Delta=015^{\circ}45'47''$   
 D=007.1620  
 T=110.75  
 R=800.00  
 L=220.09  
 PC STA=21+33.11  
 PT STA=23+53.21

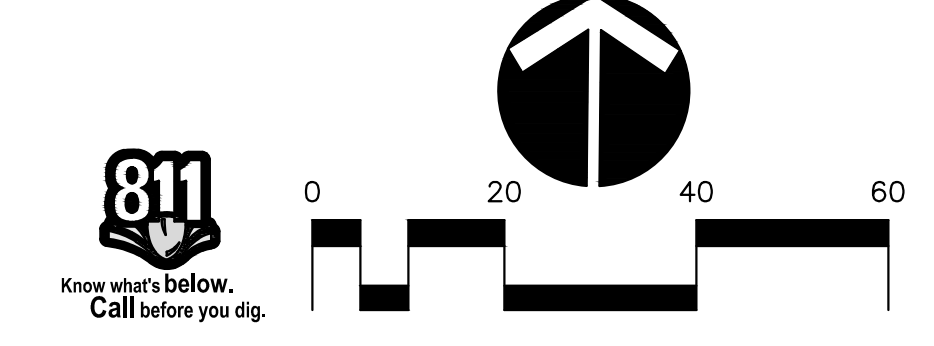
**RAGAN SMITH**  
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 Nashville, TN  
 Chattanooga, TN  
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 ragan@smith.com



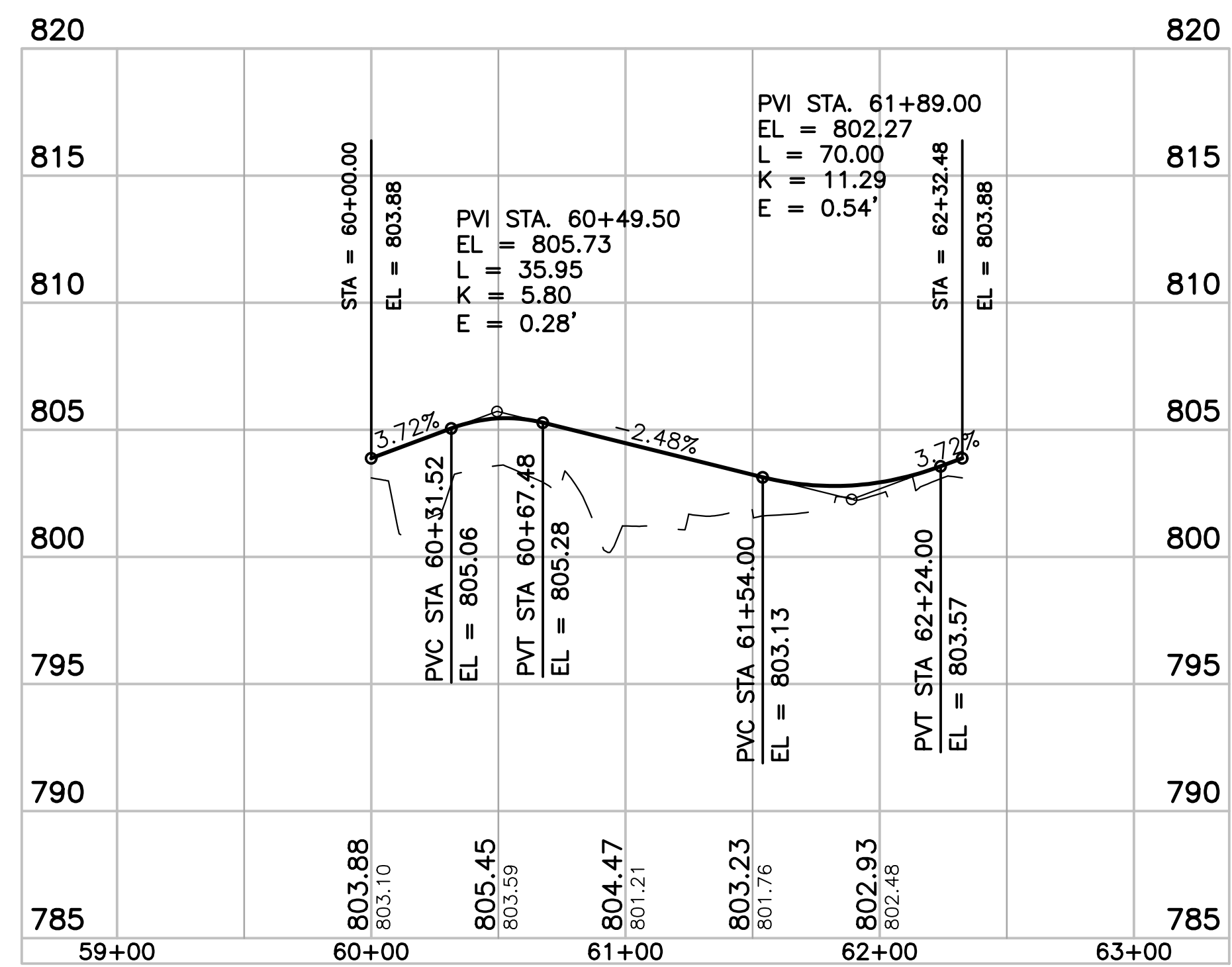
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DATE:	DESCRIPTION:
18190	1349			JANUARY 14, 2019	
		DRAWN:	FLR		
		SCALE:	1"=20'		

**ROUNDABOUT GEOMETRIC LAYOUT**  
**8**



CIVIL AND TRANSPORTATION ENGINEERING & ARCHITECTURE  
 PLOTTED BY: GARDNER ON 1/15/2019 10:27 AM LAST UPDATED BY: GARDNER ON 1/15/2019 10:27 AM



**ROUNDABOUT**  
 STA. 60+00.00 TO STA. 62+32.48

**SCALE:**  
 1" = 50' HORIZONTAL  
 1" = 5' VERTICAL

**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

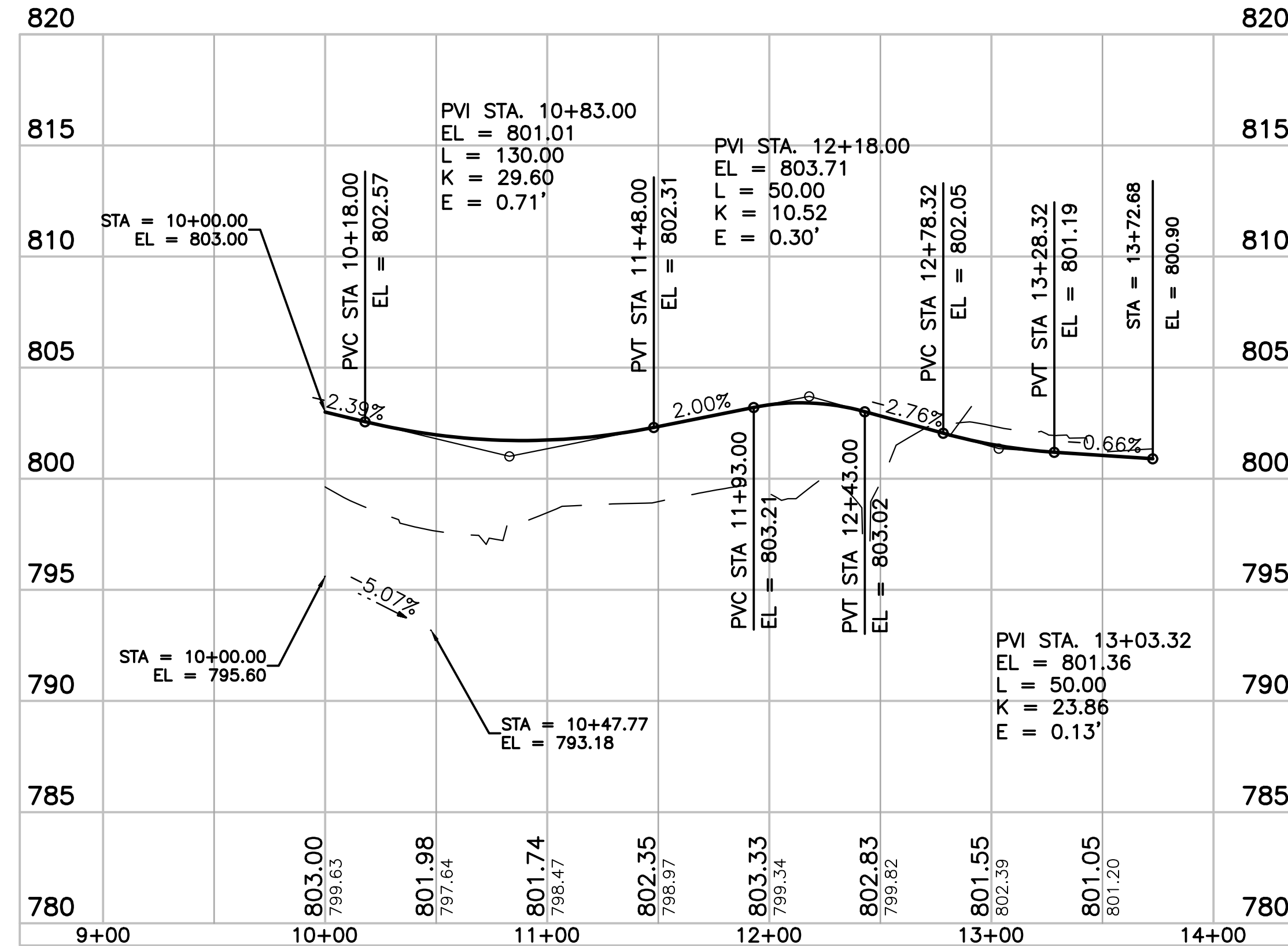
JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019		

**ROUNDABOUT**  
**PROFILE**

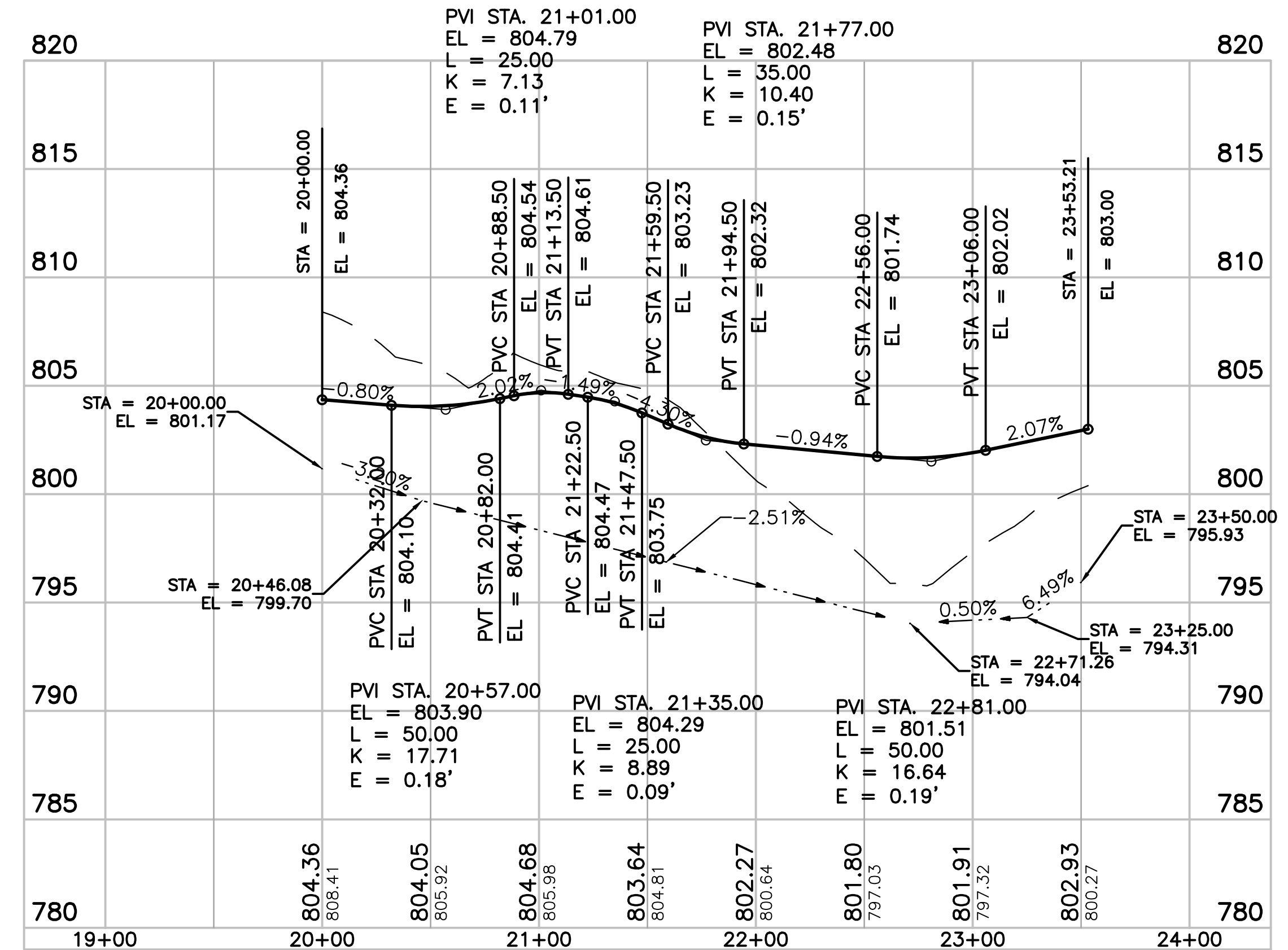


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 ragan@smith.com

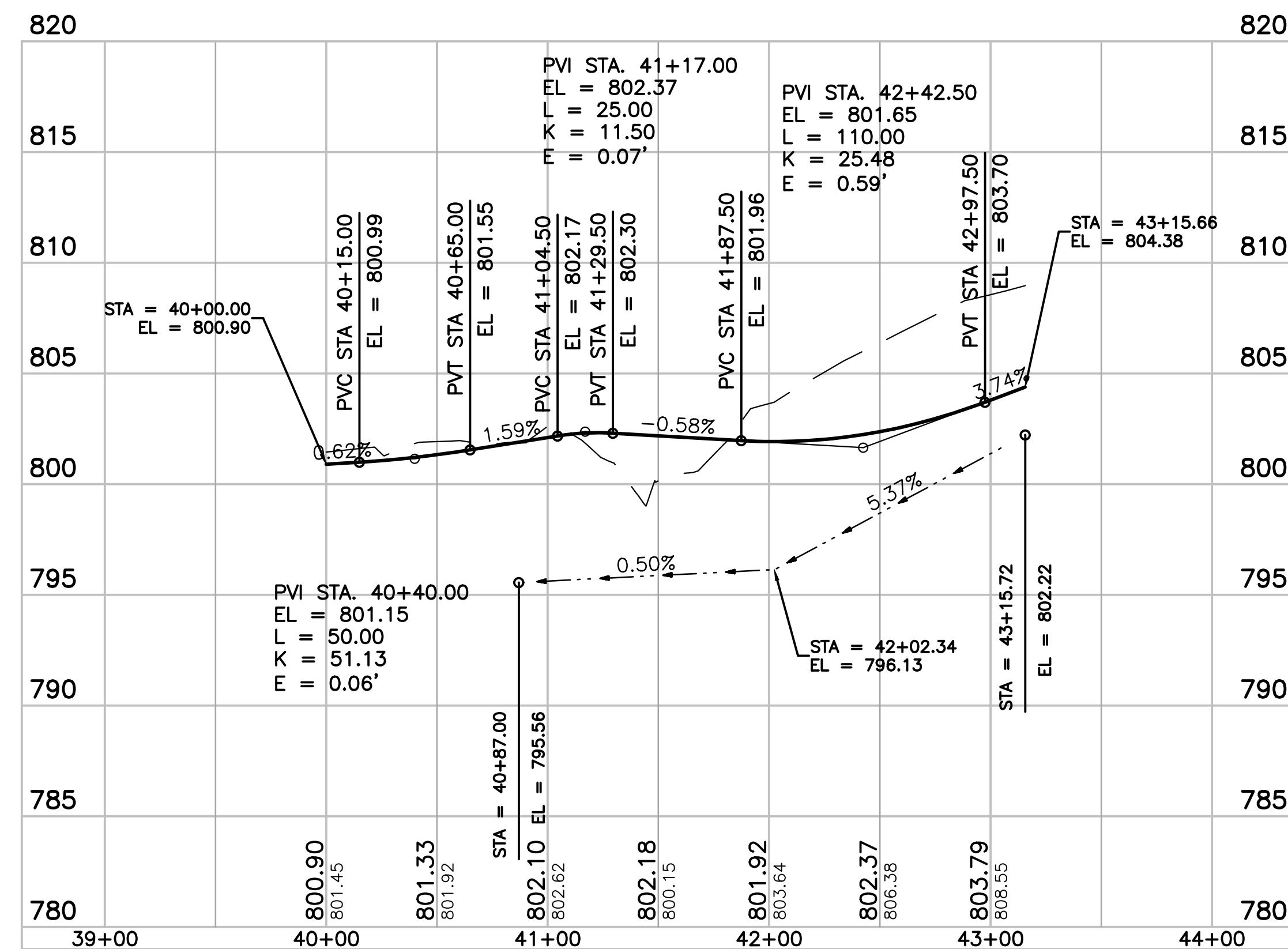




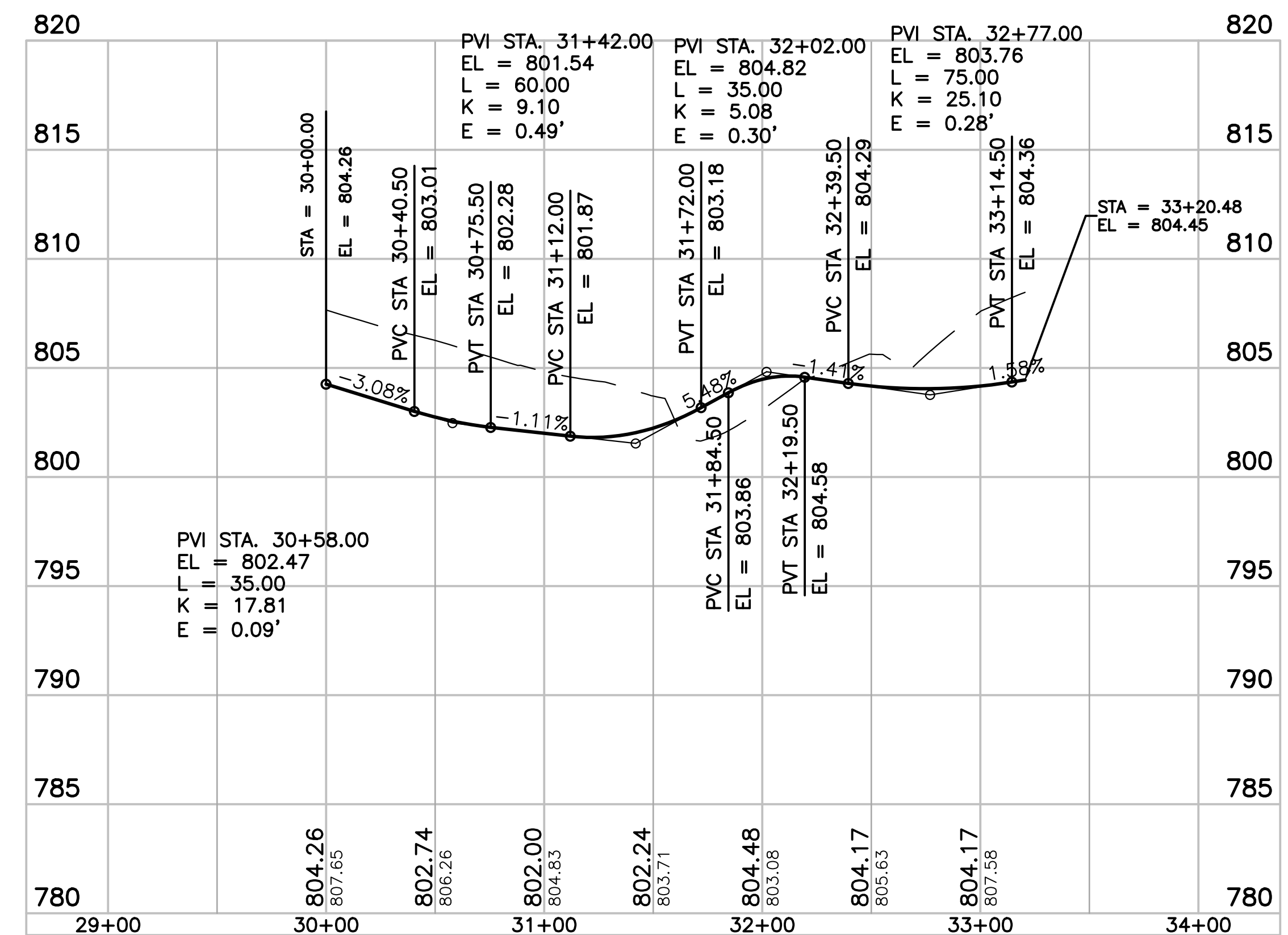
**NE QUADRANT**  
STA. 10+00.00 TO STA. 13+72.68



**SE QUADRANT**  
STA. 20+00.00 TO STA. 23+53.21



**NW QUADRANT**  
STA. 40+00.00 TO STA. 43+15.66



**SW QUADRANT**  
STA. 30+00.00 TO STA. 33+20.48

SCALE:  
1" = 50' HORIZONTAL  
1" = 5' VERTICAL



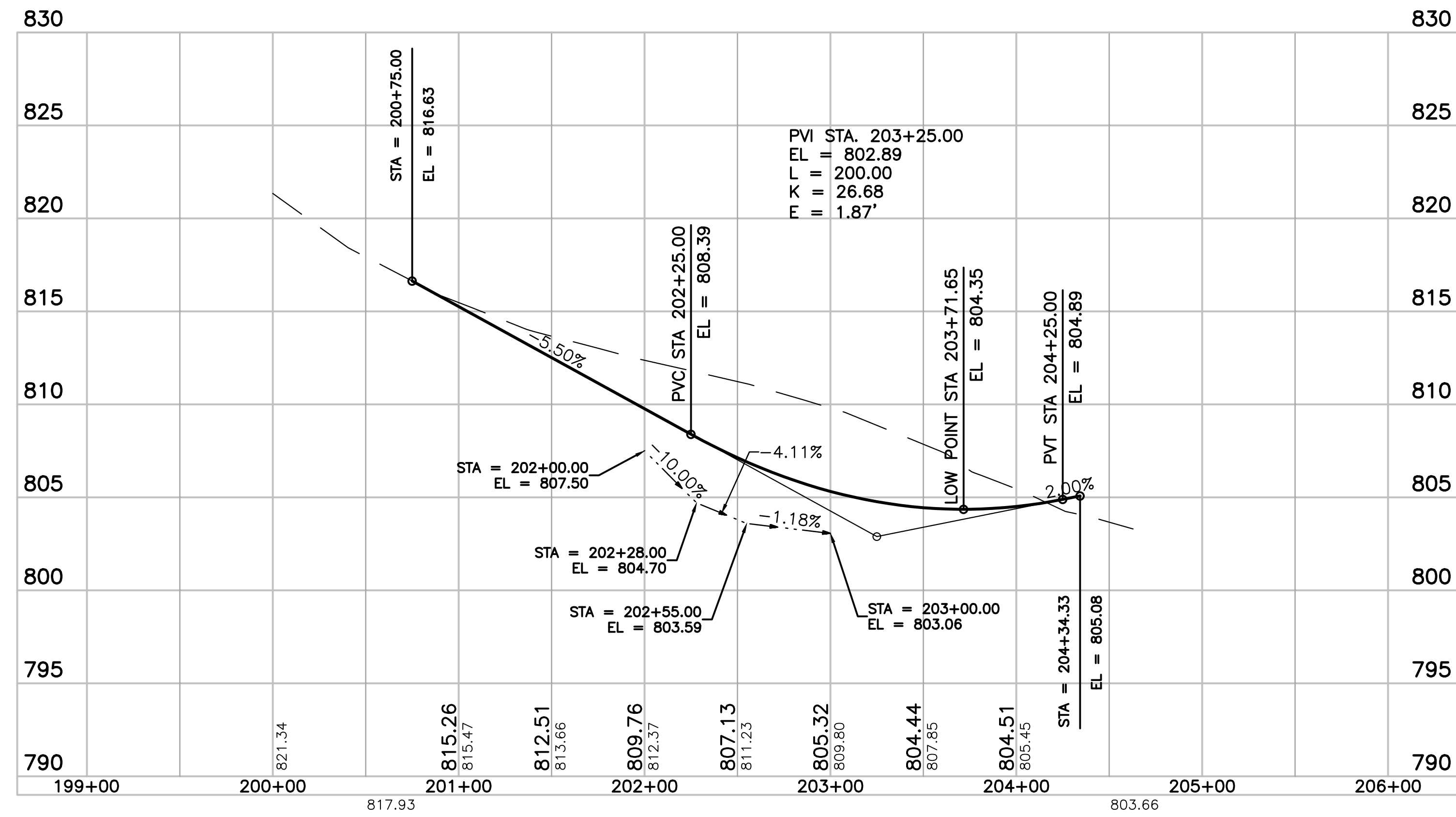
**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

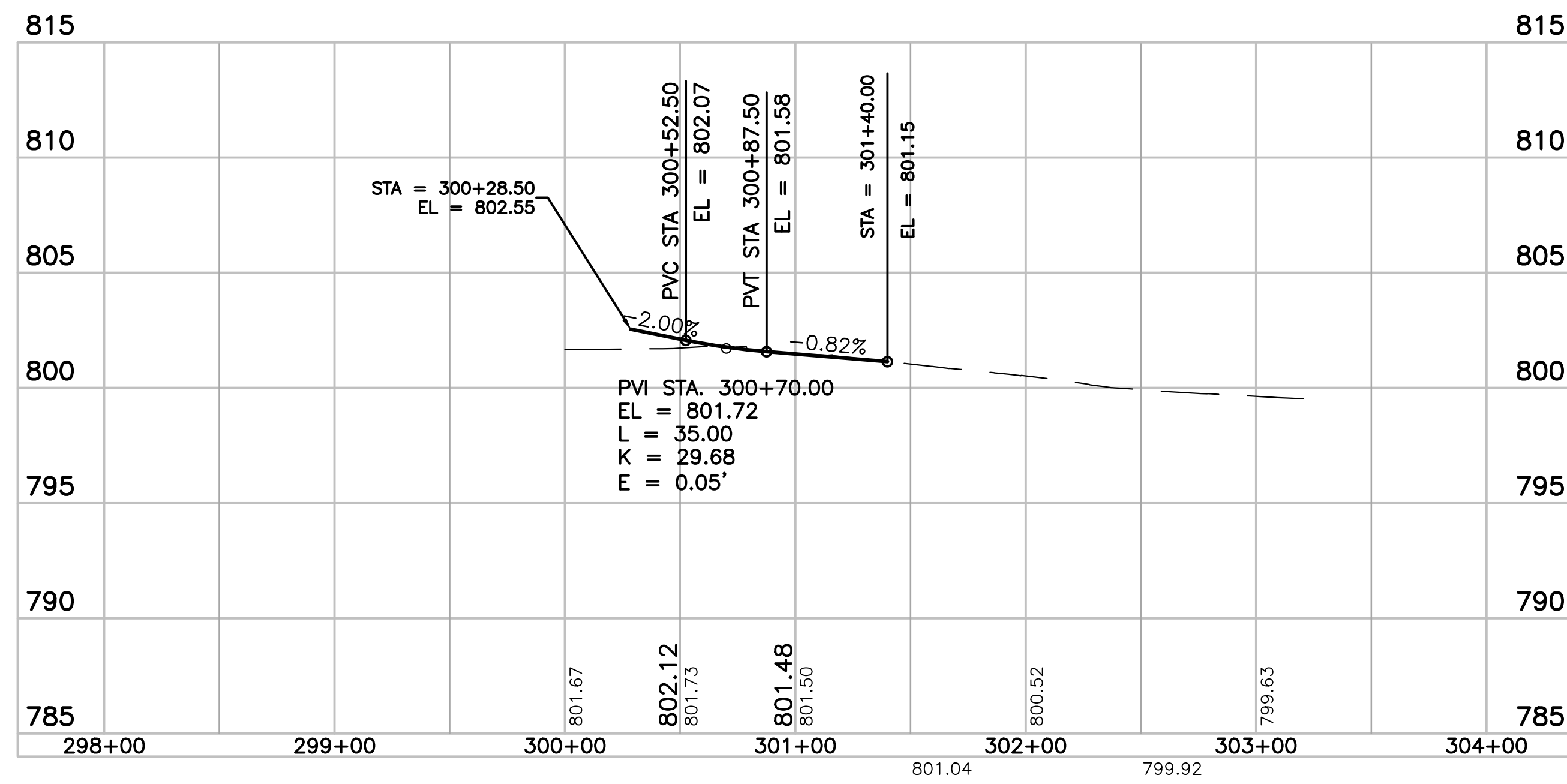
REV.	DATE	DESCRIPTION

QUADRANT PROFILES

CRITZ LANE IMPROVEMENTS AND TOWN OF THOMPSON'S STATION, TN  
PLOTTED BY: G. W. B. DATE: 1/14/2019 10:00 AM LAST UPDATED BY: G. W. B. DATE: 1/14/2019 10:00 AM



**CLAYTON ARNOLD ROAD**  
STA. 200+00.00 TO STA. 204+34.33



**PADDOCK PARK DRIVE**  
STA. 300+00.00 TO STA. 301+40.00

SCALE:  
1" = 50' HORIZONTAL  
1" = 5' VERTICAL



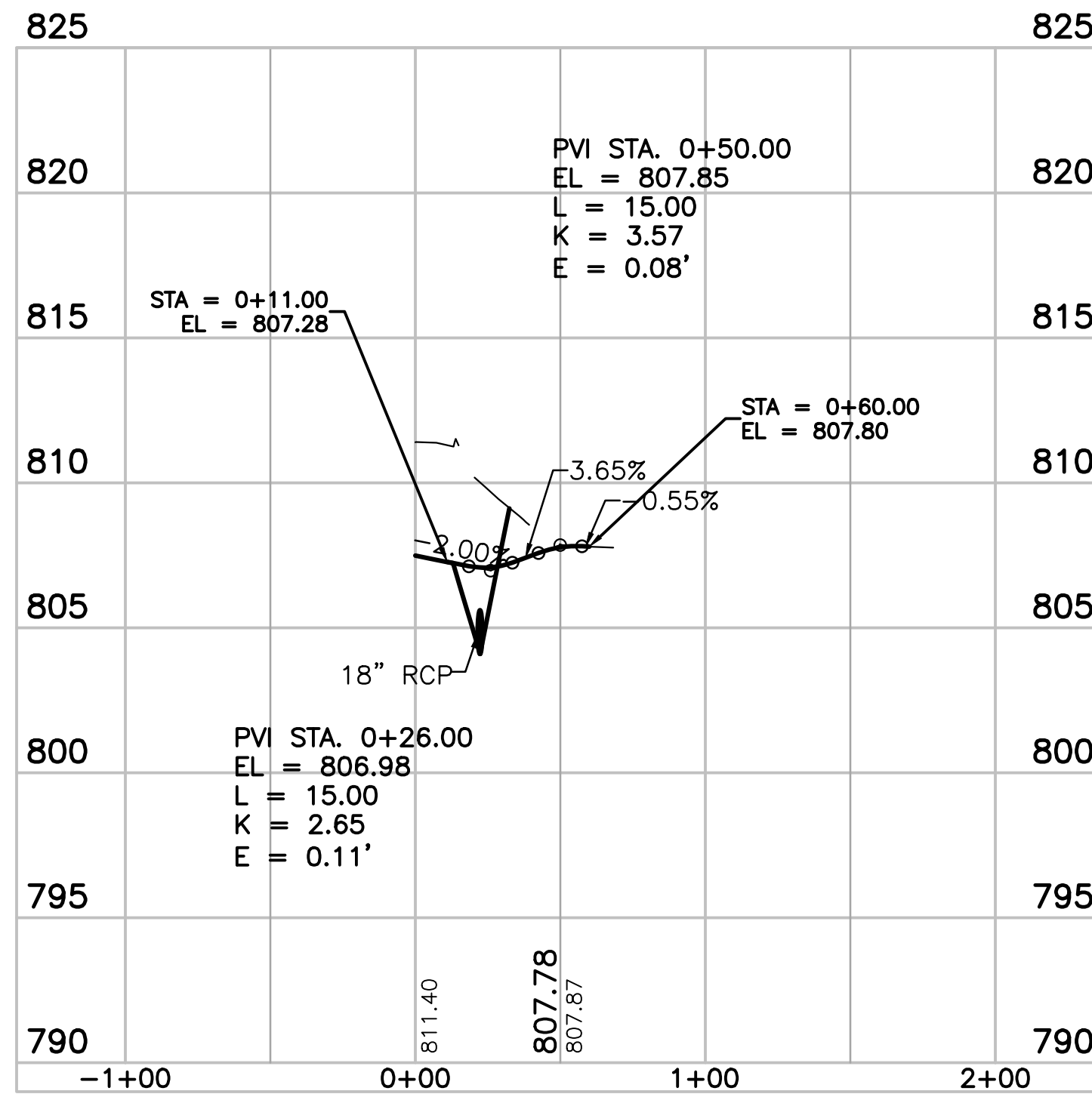
**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

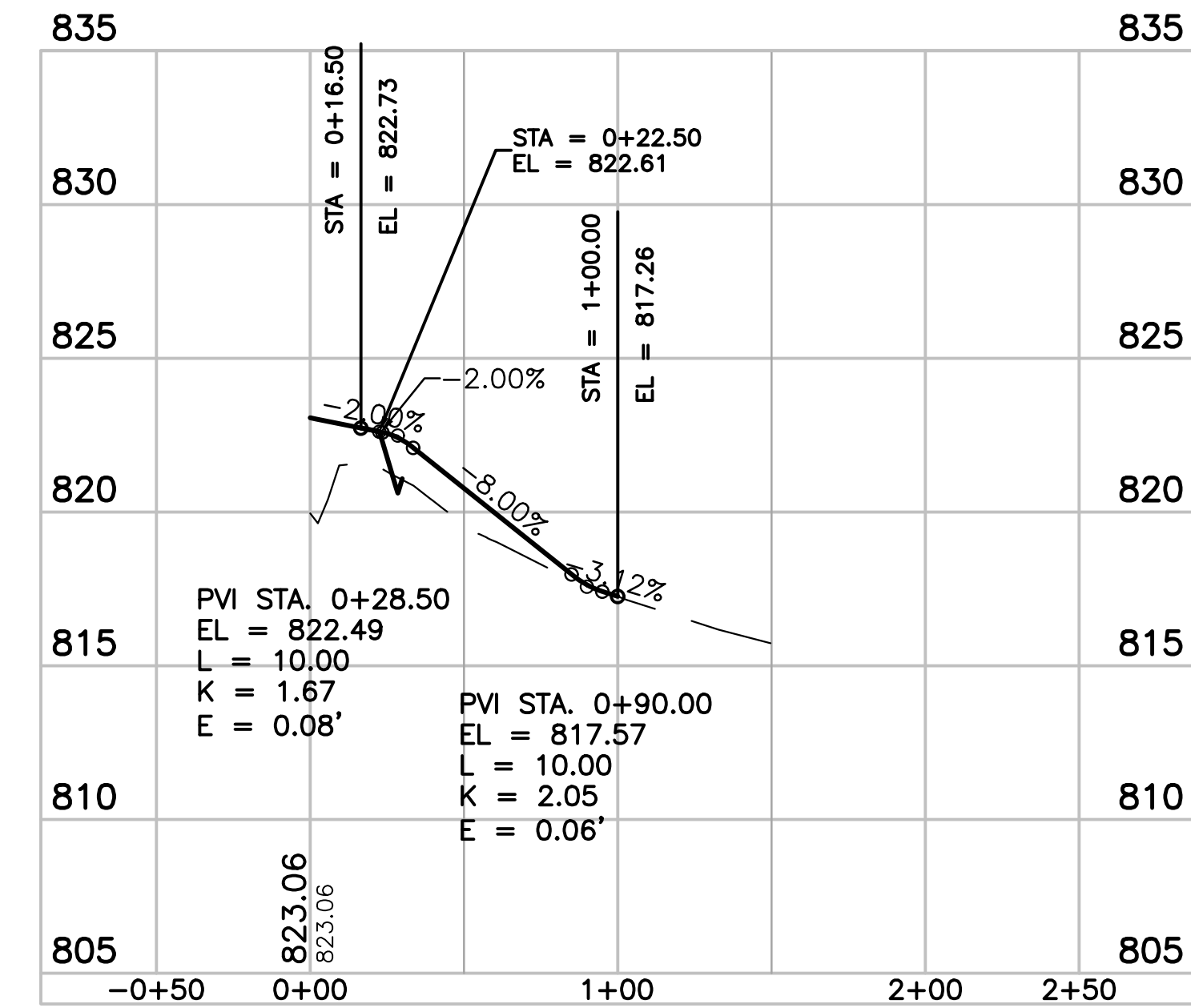
JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019	#	

SIDE ROAD  
PROFILES

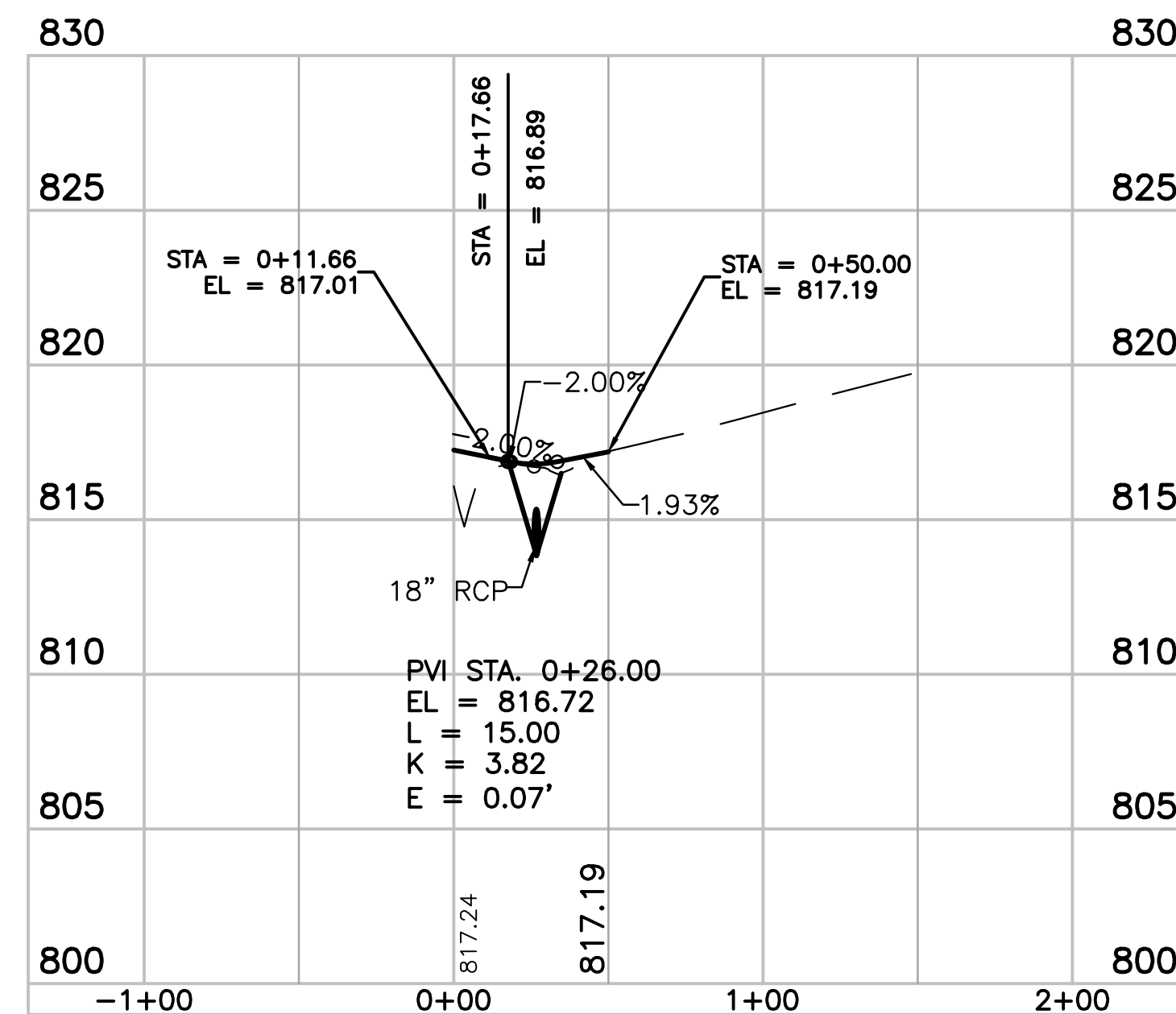




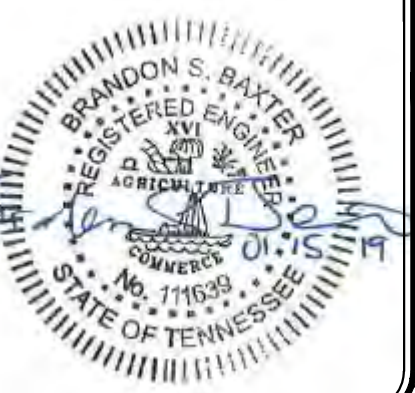
STA. 202+42.50 CLAYTON ARNOLD ROAD  
PVT. DR. LT.



STA. 166+22.00 CRITZ LANE  
PVT. DR. LT.



STA. 168+34.00 CRITZ LANE  
PVT. DR. LT.



**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019	#	

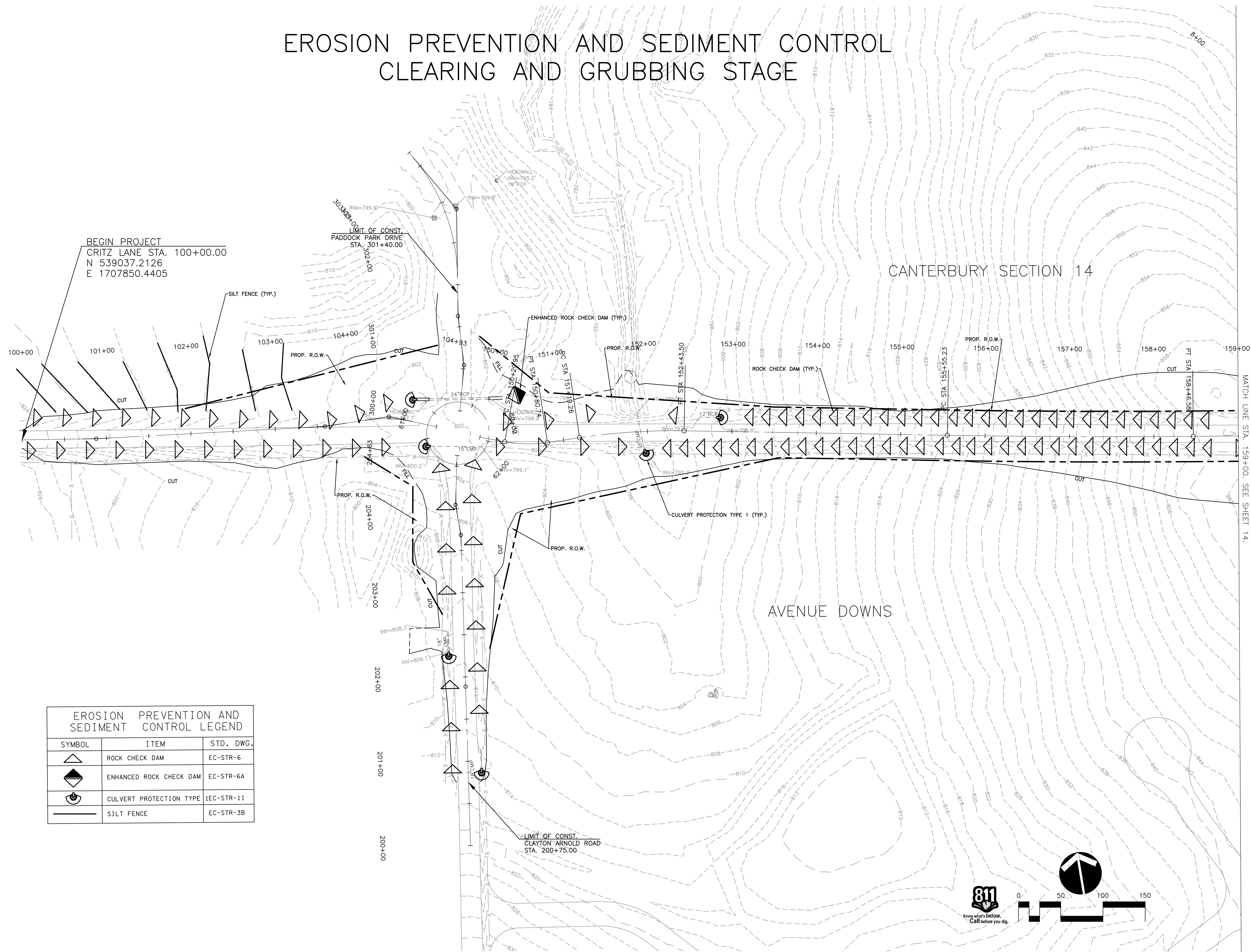
PRIVATE DRIVE  
PROFILES

PROFILE VIEW  
1" = 50' HORIZONTAL  
1" = 5' VERTICAL

CLAYTON ARNOLD ROAD IMPROVEMENTS AND CRITZ LANE, PVT. DRIVE IMPROVEMENTS  
PLOTTED BY: GUNNARSON ON 1/15/2019 8:53 AM. LAST UPDATED BY: GUNNARSON ON 1/15/2019 8:53 AM



# EROSION PREVENTION AND SEDIMENT CONTROL CLEARING AND GRUBBING STAGE



EROSION PREVENTION AND SEDIMENT CONTROL LEGEND		
SYMBOL	ITEM	STD. DWG.
	ROCK CHECK DAM	EC-STR-6
	ENHANCED ROCK CHECK DAM	EC-STR-6A
	CULVERT PROTECTION TYPE 1	1EC-STR-11
	SILT FENCE	EC-STR-3B

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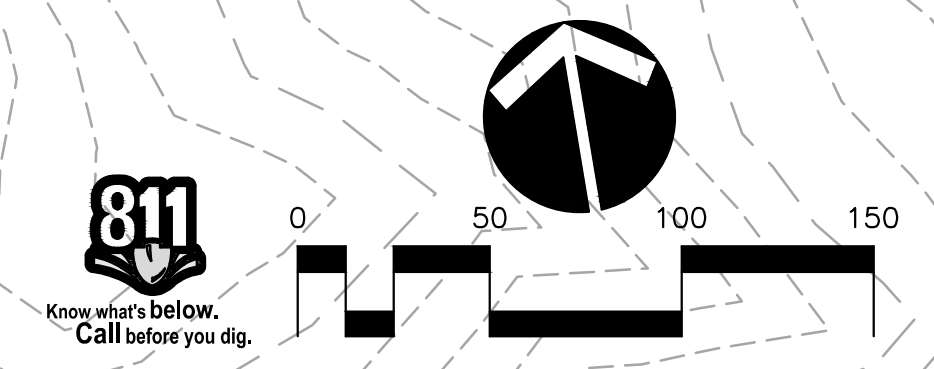
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349					1"=50'	JANUARY 14, 2019		

**EROSION PREVENTION & SEDIMENT CONTROL PLANS**

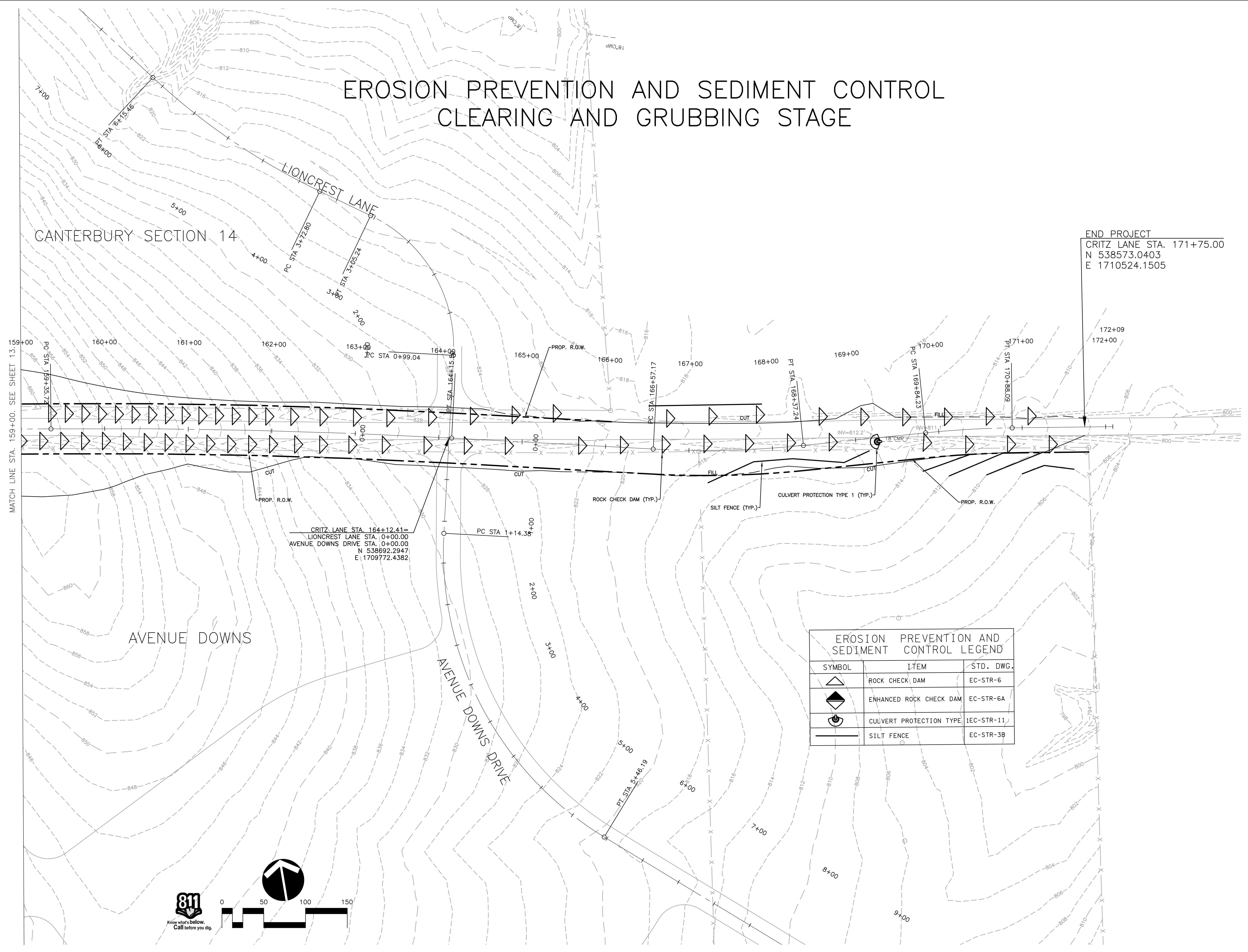
## 13

CLAWSON AND TRANSDIGITAL ENGINEERS, P.A. PREPARED  
 PLOTTED BY: GANERSON, 1/10/19 11:17 AM. LAST UPDATED BY: GANERSON, 1/10/19 11:17 AM





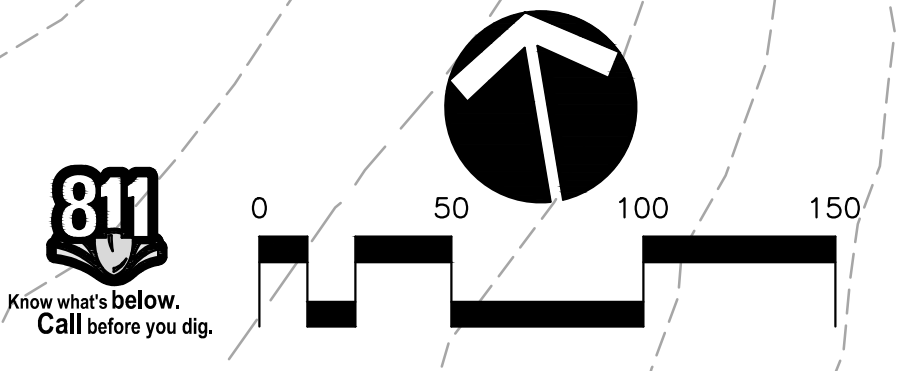
# EROSION PREVENTION AND SEDIMENT CONTROL CLEARING AND GRUBBING STAGE



END PROJECT  
CRITZ LANE STA. 171+75.00  
N 538573.0403  
E 1710524.1505

CRITZ LANE STA. 164+12.41 =  
LIONCREST LANE STA. 0+00.00  
AVENUE DOWNS DRIVE STA. 0+00.00  
N 538692.2947  
E 1709772.4382

EROSION PREVENTION AND SEDIMENT CONTROL LEGEND		
SYMBOL	ITEM	STD. DWG.
	ROCK CHECK DAM	EC-STR-6
	ENHANCED ROCK CHECK DAM	EC-STR-6A
	CULVERT PROTECTION TYPE	IEC-STR-11
	SILT FENCE	EC-STR-3B



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**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**  
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

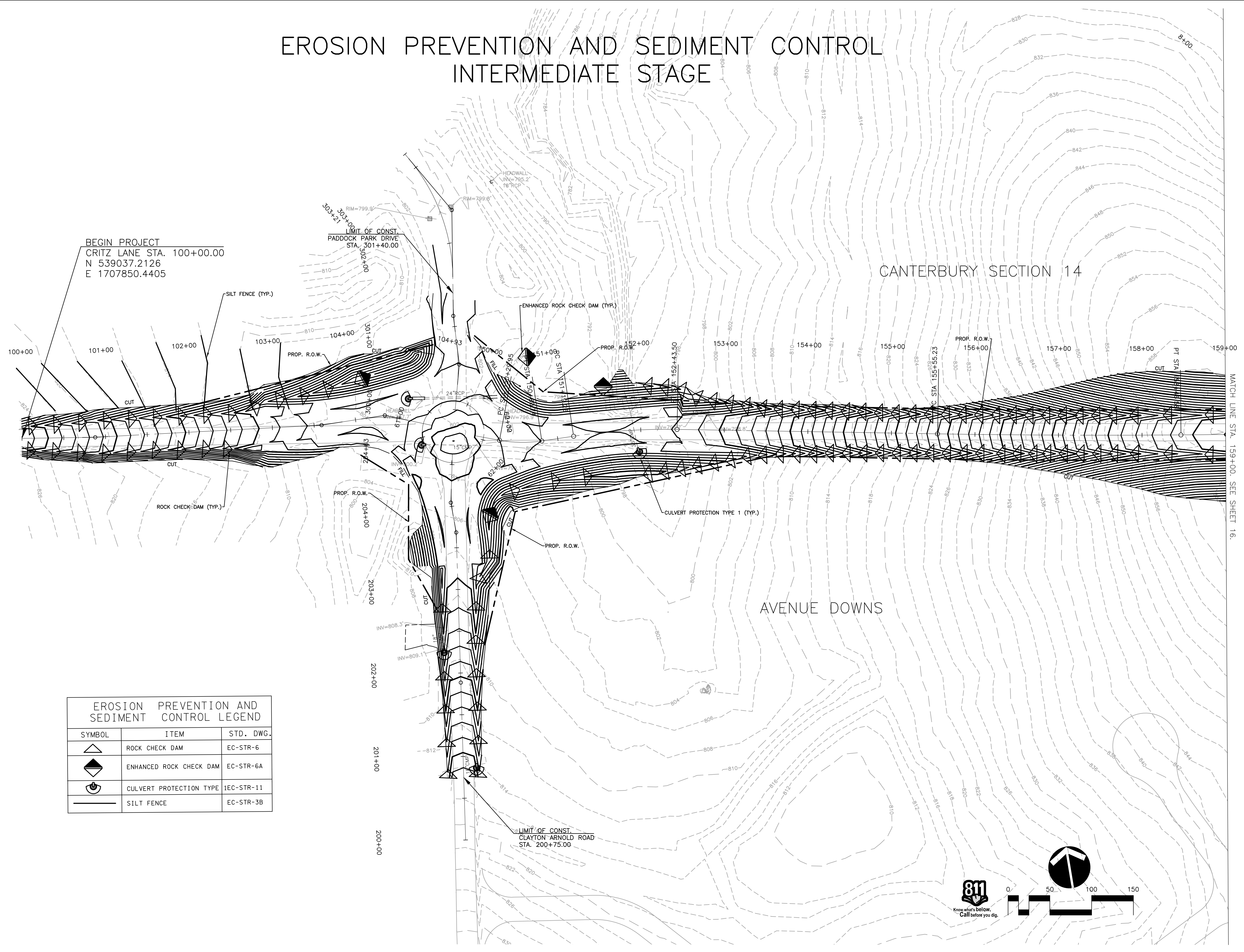
WK. ORDER	1349	FLR	FLR	FLR	1"=50'	DATE	JANUARY 14, 2019	REV.		DESCRIPTION
JOB NO.	18190	DESIGNED:		DRAWN:		SCALE:		DATE:		

**EROSION PREVENTION & SEDIMENT CONTROL PLANS**

CIVIL AND LANDSCAPE ARCHITECTS AND ENGINEERS, P.A.  
 REGISTERED PROFESSIONAL ENGINEERS IN THE STATE OF TENNESSEE  
 LICENSE NO. 11659  
 11/15/18



# EROSION PREVENTION AND SEDIMENT CONTROL INTERMEDIATE STAGE



BEGIN PROJECT  
CRITZ LANE STA. 100+00.00  
N 539037.2126  
E 1707850.4405

LIMIT OF CONST.  
PADDOCK PARK DRIVE  
STA. 301+40.00

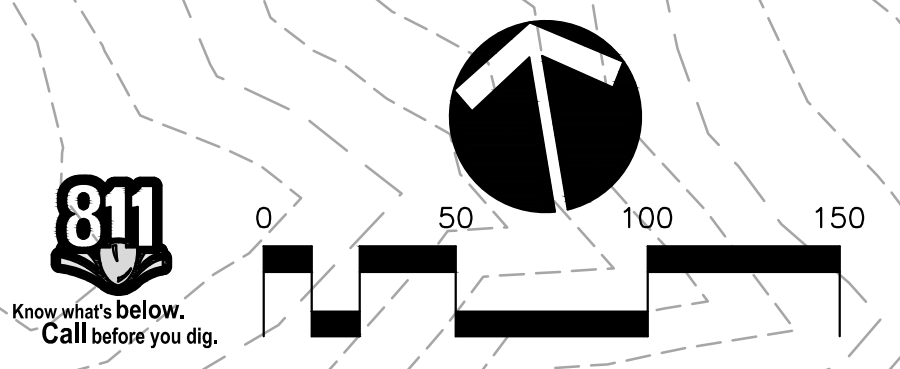
LIMIT OF CONST.  
CLAYTON ARNOLD ROAD  
STA. 200+75.00

CANTERBURY SECTION 14

AVENUE DOWNS

MATCH LINE STA. 159+00.00. SEE SHEET 16.

EROSION PREVENTION AND SEDIMENT CONTROL LEGEND		
SYMBOL	ITEM	STD. DWG.
	ROCK CHECK DAM	EC-STR-6
	ENHANCED ROCK CHECK DAM	EC-STR-6A
	CULVERT PROTECTION TYPE	IEC-STR-11
	SILT FENCE	EC-STR-3B



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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

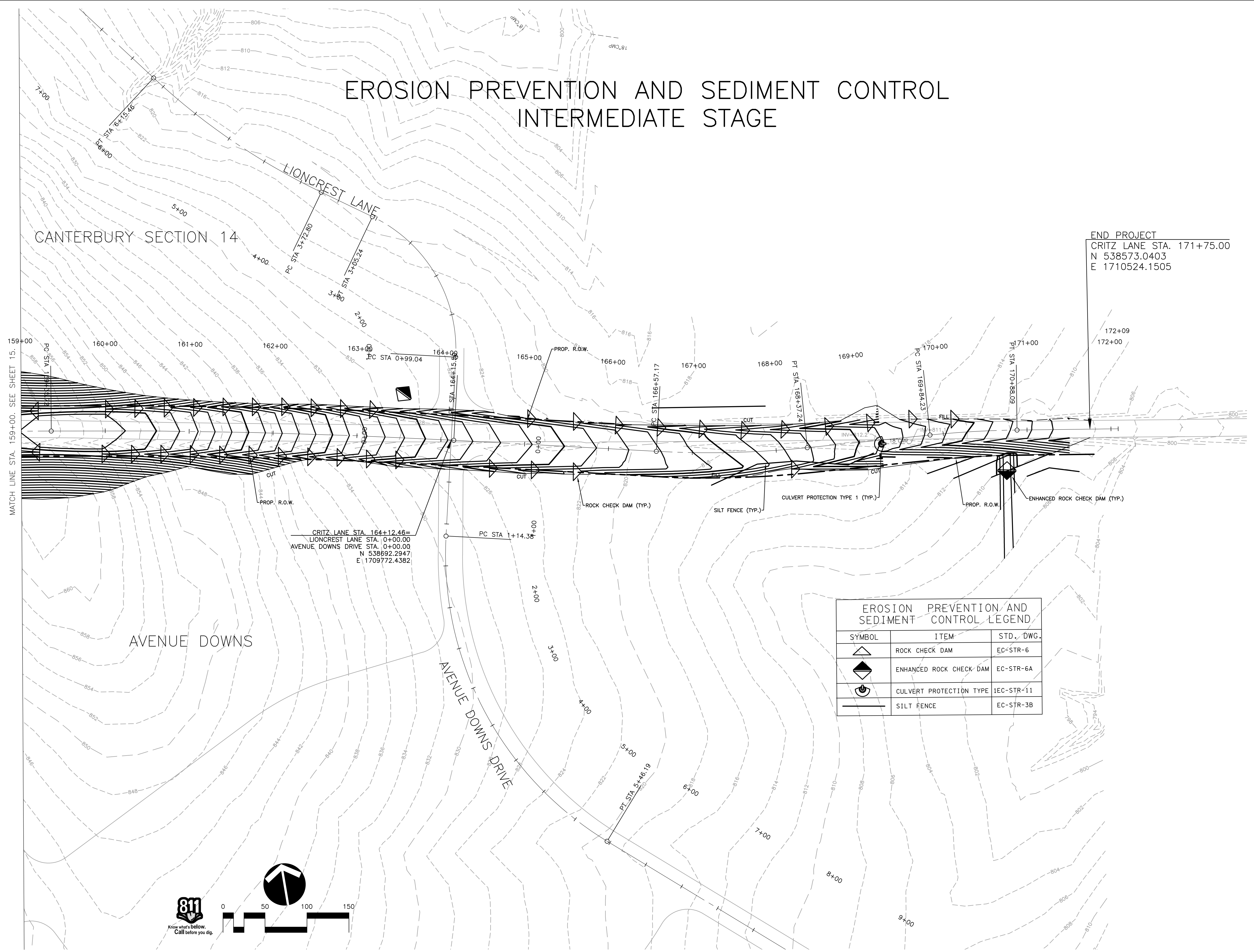
WK. ORDER	1349	FLR	FLR	FLR	1"=50'	DATE	JANUARY 14, 2019	REV.	#	DESCRIPTION
JOB NO.	18190	DESIGNED:	DRAWN:	SCALE:						

**EROSION PREVENTION & SEDIMENT CONTROL PLANS**

PLOTTED BY: G. W. HARRIS ON 11/07/18 10:51 AM. LAST UPDATED BY: G. W. HARRIS ON 11/07/18 10:51 AM.



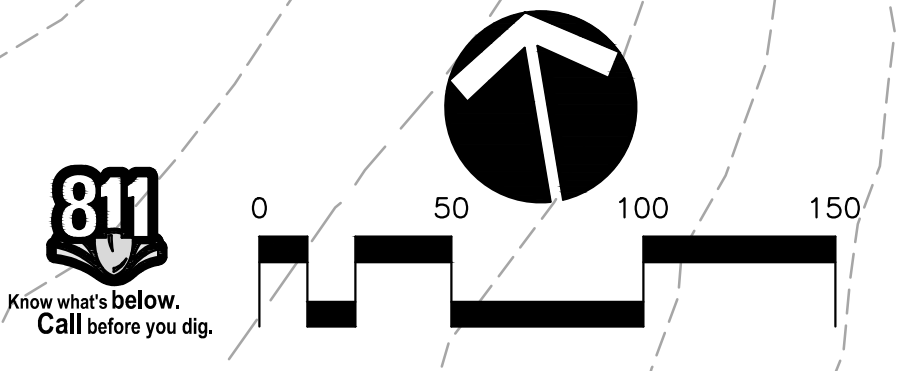
# EROSION PREVENTION AND SEDIMENT CONTROL INTERMEDIATE STAGE



END PROJECT  
CRITZ LANE STA. 171+75.00  
N 538573.0403  
E 1710524.1505

CRITZ LANE STA. 164+12.46=  
LIONCREST LANE STA. 0+00.00  
AVENUE DOWNS DRIVE STA. 0+00.00  
N 538692.2947  
E 1709772.4382

EROSION PREVENTION AND SEDIMENT CONTROL LEGEND		
SYMBOL	ITEM	STD. DWG.
	ROCK CHECK DAM	EC-STR-6
	ENHANCED ROCK CHECK DAM	EC-STR-6A
	CULVERT PROTECTION TYPE	IEC-STR-11
	SILT FENCE	EC-STR-3B



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**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**  
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

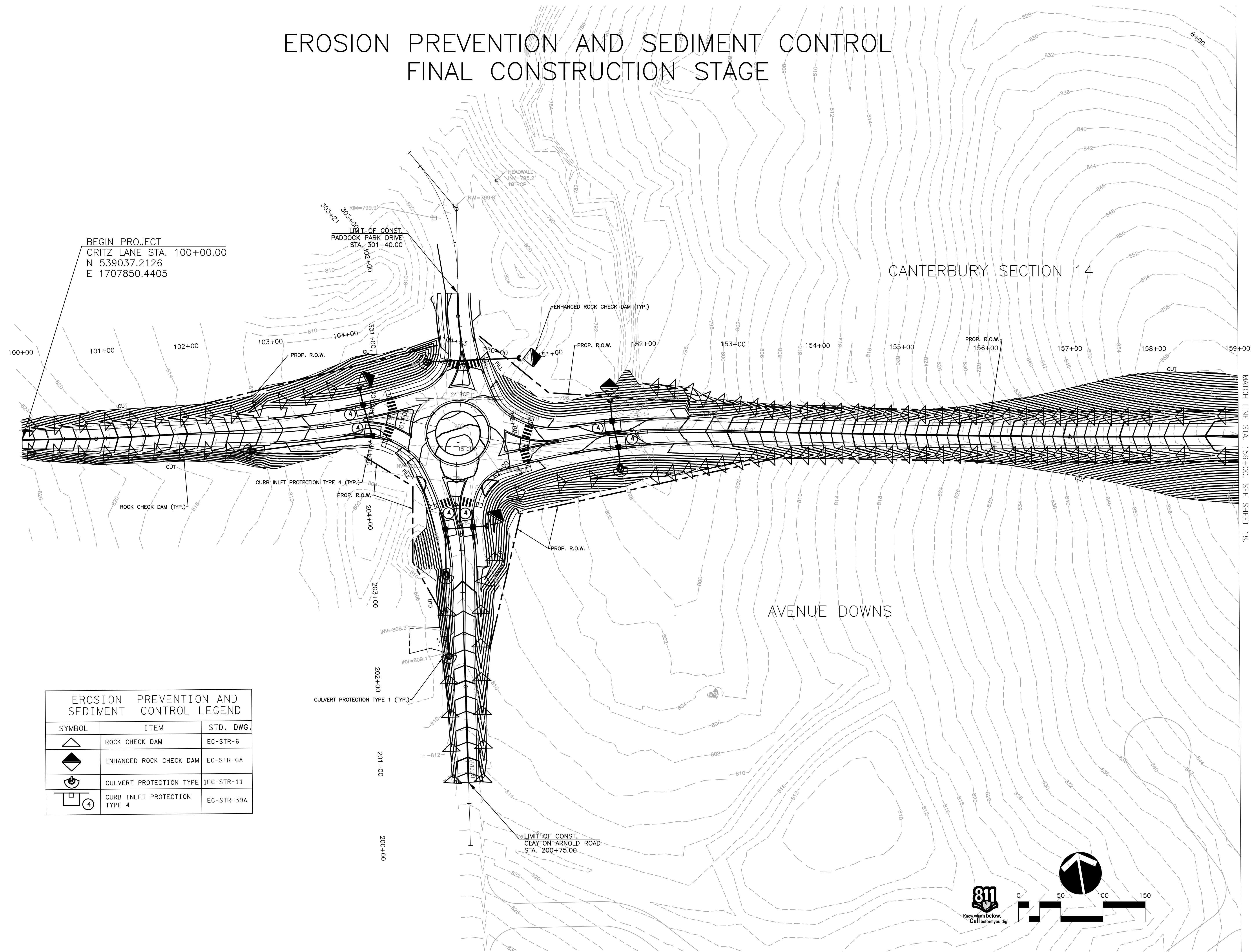
JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349					1"=50'	JANUARY 14, 2019		

**EROSION PREVENTION & SEDIMENT CONTROL PLANS**

CIVIL AND LANDSCAPE ARCHITECTS AND ENGINEERS, P.A.  
 REGISTERED PROFESSIONAL ENGINEERS AND SURVEYORS  
 PLANNING AND DESIGN SERVICES  
 PLOTTED BY: GARDNER ON 1/10/19 11:51 AM. LAST UPDATED BY: GARDNER ON 1/10/19 11:51 AM



# EROSION PREVENTION AND SEDIMENT CONTROL FINAL CONSTRUCTION STAGE



BEGIN PROJECT  
CRITZ LANE STA. 100+00.00  
N 539037.2126  
E 1707850.4405

LIMIT OF CONST.  
PADDOCK PARK DRIVE  
STA. 301+40.00

LIMIT OF CONST.  
CLAYTON ARNOLD ROAD  
STA. 200+75.00

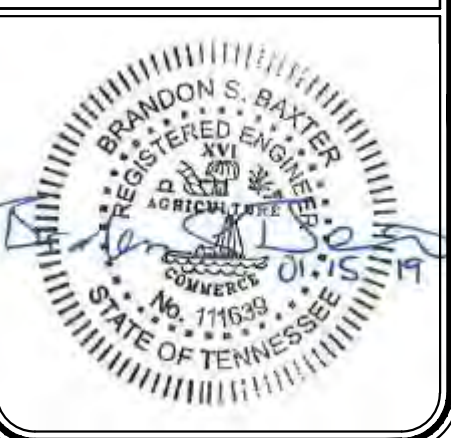
CANTERBURY SECTION 14

AVENUE DOWNS

MATCH LINE STA. 159+00.00. SEE SHEET 18.

EROSION PREVENTION AND SEDIMENT CONTROL LEGEND		
SYMBOL	ITEM	STD. DWG.
	ROCK CHECK DAM	EC-STR-6
	ENHANCED ROCK CHECK DAM	EC-STR-6A
	CULVERT PROTECTION TYPE 1	1EC-STR-11
	CURB INLET PROTECTION TYPE 4	EC-STR-39A

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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	DATE	REV.	DESCRIPTION
18190	1349					1"=50'	JANUARY 14, 2019		

EROSION PREVENTION & SEDIMENT CONTROL PLANS  
**17**

CLAYTON ARNOLD ROAD IMPROVEMENTS AND SEDIMENT CONTROL PLAN, 10/20/18, 11/20/18, 12/10/18, 1/10/19, 2/10/19, 3/10/19, 4/10/19, 5/10/19, 6/10/19, 7/10/19, 8/10/19, 9/10/19, 10/10/19, 11/10/19, 12/10/19, 1/10/20, 2/10/20, 3/10/20, 4/10/20, 5/10/20, 6/10/20, 7/10/20, 8/10/20, 9/10/20, 10/10/20, 11/10/20, 12/10/20, 1/10/21, 2/10/21, 3/10/21, 4/10/21, 5/10/21, 6/10/21, 7/10/21, 8/10/21, 9/10/21, 10/10/21, 11/10/21, 12/10/21, 1/10/22, 2/10/22, 3/10/22, 4/10/22, 5/10/22, 6/10/22, 7/10/22, 8/10/22, 9/10/22, 10/10/22, 11/10/22, 12/10/22, 1/10/23, 2/10/23, 3/10/23, 4/10/23, 5/10/23, 6/10/23, 7/10/23, 8/10/23, 9/10/23, 10/10/23, 11/10/23, 12/10/23, 1/10/24, 2/10/24, 3/10/24, 4/10/24, 5/10/24, 6/10/24, 7/10/24, 8/10/24, 9/10/24, 10/10/24, 11/10/24, 12/10/24, 1/10/25, 2/10/25, 3/10/25, 4/10/25, 5/10/25, 6/10/25, 7/10/25, 8/10/25, 9/10/25, 10/10/25, 11/10/25, 12/10/25, 1/10/26, 2/10/26, 3/10/26, 4/10/26, 5/10/26, 6/10/26, 7/10/26, 8/10/26, 9/10/26, 10/10/26, 11/10/26, 12/10/26, 1/10/27, 2/10/27, 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# PAVEMENT EDGE DROP-OFF TRAFFIC CONTROL NOTES

A. DIFFERENCES IN ELEVATION BETWEEN ADJACENT TRAFFIC LANES OR TRAFFIC LANE AND SHOULDER WHERE THE TRAFFIC LANE IS BEING USED BY TRAFFIC, CAUSED BY BASE, PAVING OR RESURFACING:

1. DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 0.75 INCH AND NOT EXCEEDING 1.75 INCHES:
  - a. WARNING SIGNS, UNEVEN LANES (W8-11) AND/OR SHOULDER DROP-OFF WITH PLAQUE (W8-17 AND W8-17P), SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 2,000 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.
  - b. DIFFERENCES IN ELEVATION BETWEEN ADJACENT TRAFFIC LANES BEING UTILIZED BY TRAFFIC CAUSED BY ADDED PAVEMENT SHALL BE ELIMINATED WITHIN THREE WORKDAYS.
  - c. DIFFERENCES IN ELEVATION BETWEEN ADJACENT TRAFFIC LANES BEING UTILIZED BY TRAFFIC CAUSED BY COLD PLANING SHALL BE ELIMINATED WITHIN THREE WORKDAYS.
  - d. WHEN THE DIFFERENCE IN ELEVATION IS BETWEEN THE TRAFFIC LANE BEING UTILIZED BY TRAFFIC AND SHOULDER THE DIFFERENCE IN ELEVATION SHALL BE ELIMINATED WITHIN SEVEN WORKDAYS AFTER THE CONDITION IS CREATED.
2. DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 1.75 INCHES AND NOT EXCEEDING 6 INCHES, TRAFFIC IS NOT TO BE ALLOWED TO TRAVERSE THIS DIFFERENCE IN ELEVATION.
  - a. SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
    - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
    - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACING OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
  - b. IF THE DIFFERENCE IN ELEVATION IS ELIMINATED OR DECREASED TO 2 INCHES OR LESS BY THE END OF EACH WORKDAY, CONES MAY BE USED DURING DAYLIGHT HOURS IN LIEU OF DRUMS, BARRICADES OR OTHER APPROVED PROTECTIVE DEVICES MENTIONED IN PARAGRAPH a, PROVIDED WARNING SIGNS ARE ERECTED. WARNING SIGNS (UNEVEN LANES AND/OR SHOULDER DROP-OFF) SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 2,000 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.
  - c. WHEN THE DIFFERENCE IN ELEVATION IS BETWEEN THE THROUGH TRAFFIC LANE AND THE SHOULDER AND THE ELEVATION DIFFERENCE IS LESS THAN 3.5 INCHES, THE CONTRACTOR MAY USE WARNING SIGNS AND/OR PROTECTIVE DEVICES AS APPLICABLE AND APPROVED BY THE ENGINEER. SEE PARAGRAPH a REGARDING USE OF DRUMS, BARRICADES OR OTHER APPROVED PROTECTIVE DEVICES. WARNING SIGNS (UNEVEN LANES AND/OR SHOULDER DROP-OFF) WILL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 2,000 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.

IN THESE SITUATIONS, THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO ONE WORK ZONE NOT EXCEEDING 2 MILES IN LENGTH UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE ENGINEER. ONCE THE CONTRACTOR BEGINS WORK IN A WORK ZONE, A CONTINUOUS OPERATION SHALL BE MAINTAINED UNTIL THE DIFFERENCE IN ELEVATION IS ELIMINATED. SIMULTANEOUS WORK ON SEPARATE ROADWAYS OF DIVIDED HIGHWAYS WILL BE CONSIDERED INDEPENDENTLY IN REGARD TO RESTRICTION OF WORK ZONE ACTIVITY.

3. DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 6 INCHES BUT NOT EXCEEDING 18 INCHES, THE CONTRACTOR, WITH THE ENGINEER'S APPROVAL, MAY UTILIZE ONE OF THE FOLLOWING:

- a. THE CONTRACTOR SHALL ACCOMPLISH SEPARATION BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
  - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
  - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACING OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.

IN ORDER TO USE THIS METHOD, THE CONTRACTOR MUST REDUCE THE DIFFERENCE IN ELEVATION TO 6 INCHES OR LESS BY THE END OF THE WORKDAY THAT THE CONDITION IS CREATED.

- b. THE CONTRACTOR SHALL PROVIDE DRUMS, BARRICADES OR OTHER APPROVED SEPARATION DEVICES AS SPECIFIED IN PARAGRAPH a, AND CONSTRUCT A STONE WEDGE WITH A 4:1 SLOPE, OR FLATTER, TO ELIMINATE THE VERTICAL OFFSET IF THE LOWER ELEVATION IS AT OR BELOW SUBGRADE AT THE END OF EACH DAY.
- c. THE CONTRACTOR SHALL PROVIDE DRUMS, BARRICADES OR OTHER APPROVED SEPARATION DEVICES AS SPECIFIED IN PARAGRAPH a AND IF THE LOWER ELEVATION IS BASE STONE OR ASPHALT PAVEMENT, PLACEMENT OF SUBSEQUENT LAYERS OF PAVEMENT MUST BEGIN THE NEXT WORK DAY AND PROGRESS CONTINUOUSLY UNTIL THE DIFFERENCE IN ELEVATION IS ELIMINATED OR REDUCED TO SIX INCHES OR LESS.
- d. THE CONTRACTOR SHALL PROVIDE SEPARATION BY PORTABLE BARRIER RAIL.

FOR PRECEDING CONDITIONS a, b, AND c, THE CONTRACTOR SHALL USE THE SHOULDER DROP-OFF WARNING SIGN WITH PLAQUE (W8-17 AND W8-17P). IT SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN THE SIGNS SHALL BE 2,000 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. IN THESE SITUATIONS, THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO ONE WORK ZONE NOT EXCEEDING 1 MILE IN LENGTH UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE ENGINEER. ONCE THE CONTRACTOR BEGINS WORK IN A WORK ZONE, A CONTINUOUS OPERATION SHALL BE MAINTAINED UNTIL THE DIFFERENCE IS ELIMINATED. SIMULTANEOUS WORK ON SEPARATE ROADWAYS OF DIVIDED HIGHWAYS WILL BE CONSIDERED INDEPENDENTLY IN REGARD TO RESTRICTION OF WORK ZONE ACTIVITY.

4. FOR DIFFERENCES IN ELEVATION BETWEEN ADJACENT ROADWAY ELEMENTS GREATER THAN 18 INCHES.

SEPARATION WILL BE PROVIDED BY USE OF PORTABLE BARRIER RAIL.

IN THIS SITUATION THE CONTRACTOR SHALL LIMIT HIS OPERATIONS TO ONE WORK ZONE NOT EXCEEDING 1 MILE IN LENGTH UNLESS OTHERWISE NOTED ON THE PLANS OR APPROVED BY THE ENGINEER. ONCE THE CONTRACTOR BEGINS WORK IN A WORK ZONE, A CONTINUOUS OPERATION SHALL BE MAINTAINED UNTIL THE DIFFERENCE IN ELEVATION IS ELIMINATED. SIMULTANEOUS WORK ON SEPARATE ROADWAYS OF DIVIDED HIGHWAYS WILL BE CONSIDERED INDEPENDENTLY IN REGARD TO RESTRICTION OF WORK ZONE ACTIVITY.

B. IF THE DIFFERENCE IN ELEVATION IS WITHIN 30 FEET OF THE NEAREST TRAFFIC LANE BEING USED BY TRAFFIC CAUSED BY GRADING, EXCAVATION FOR UTILITIES, DRAINAGE STRUCTURES, UNDERCUTTING, ETC.:

1. IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 3/4 INCH AND NOT EXCEEDING 2 INCHES.
  - a. WARNING SIGNS (UNEVEN LANES AND/OR SHOULDER DROP-OFF) SHALL BE PLACED IN ADVANCE OF AND THROUGHOUT THE EXPOSED AREA. MAXIMUM SPACING BETWEEN SIGNS SHALL BE 2,000 FEET WITH A MINIMUM OF 2 SIGNS PER EXPOSED AREA. WHERE UNEVEN PAVEMENT IS ENCOUNTERED, SIGNS SHALL BE PLACED ON EACH SIDE OF THE ROADWAY.

2. IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 2 INCHES AND NOT EXCEEDING 6 INCHES:

- a. SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
  - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
  - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH THE MAXIMUM SPACING OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.

3. IF THE DIFFERENCE IN ELEVATION IS WITHIN 8 FEET OF THE NEAREST TRAFFIC LANE WITH DIFFERENCE IN ELEVATION GREATER THAN 6 INCHES:

- a. SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:
  - (1) WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
  - (2) WHERE POSTED SPEEDS ARE LESS THAN 50 MPH THE MAXIMUM SPACING OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.
- b. ELIMINATE VERTICAL OFFSET BY CONSTRUCTING A STONE WEDGE OR GRADING TO A 4:1 SLOPE, OR FLATTER, OR USE PORTABLE BARRIER RAIL.

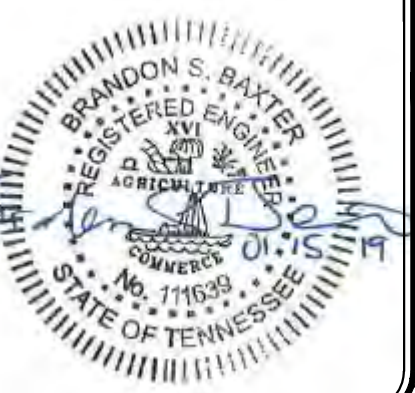
THE CONTRACTOR SHALL SCHEDULE THE WORK SO AS TO MINIMIZE THE TIME TRAFFIC IS EXPOSED TO AN ELEVATION DIFFERENCE. ONCE THE CONTRACTOR BEGINS AN ACTIVITY THAT CREATES AN ELEVATION DIFFERENCE WITHIN 8 FEET OF A TRAFFIC LANE, THE ACTIVITY SHALL BE PURSUED AS A CONTINUOUS OPERATION UNTIL THE ELEVATION DIFFERENCE IS ELIMINATED.

C. IF THE DIFFERENCE IN ELEVATION IS FARTHER THAN 8 FEET FROM THE NEAREST TRAFFIC LANE BUT NOT MORE THAN 30 FEET FROM THE NEAREST TRAFFIC LANE:

SEPARATION SHALL BE ACCOMPLISHED BY DRUMS, BARRICADES OR OTHER APPROVED DEVICES IN ACCORDANCE WITH THE FOLLOWING:

1. WHERE POSTED SPEEDS ARE 50 MPH OR GREATER, SPACING OF THE PROTECTIVE DEVICES SHALL NOT EXCEED 100 FEET.
2. WHERE POSTED SPEEDS ARE LESS THAN 50 MPH, THE MAXIMUM SPACING OF THE PROTECTIVE DEVICES IN FEET SHALL NOT EXCEED TWICE THE POSTED SPEED IN MILES PER HOUR OR 50 FEET, WHICHEVER SPACING IS GREATER.

THE CONTRACTOR SHALL SCHEDULE THE WORK SO AS TO MINIMIZE THE TIME TRAFFIC IS EXPOSED TO AN ELEVATION DIFFERENCE. ONCE THE CONTRACTOR BEGINS AN ACTIVITY THAT CREATES AN ELEVATION DIFFERENCE, THE ACTIVITY SHALL BE PURSUED AS A CONTINUOUS OPERATION UNTIL THE ELEVATION DIFFERENCE IS ELIMINATED.



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

JOB NO. 18190	WK. ORDER 1349	DESIGNED: FLR	DATE: JANUARY 14, 2019
DRAWN: FLR	N.T.S.	SCALE:	

TRAFFIC CONTROL DROP-OFF NOTES

CIVIL AND LAND SURVEYING PROFESSIONAL ENGINEER, STATE OF TENNESSEE, LICENSE NO. 11659  
 PRINTED BY: RAGAN SMITH, 11001 W. 10TH ST., SUITE 100, MURFREESBORO, TN 37132



**Special Notes**

- (1) THIS SET OF PLANS IS NOT INTENDED TO SUPERSEDE OR RELIEVE THE CONTRACTOR OF ANY RESPONSIBILITY TOWARD MOTORIST OR PROPERTY OWNERS WITHIN THE CONSTRUCTION LIMITS.
- (2) THE CONSTRUCTION SIGNING PLAN IS TO SERVE AS A GUIDE ONLY. OTHER SIGNS MAY BE REQUIRED DURING VARIOUS PHASES OF CONSTRUCTION
- (3) THE TRAFFIC CONTROL PLAN DOES NOT RELIEVE THE CONTRACTOR OF THE RESPONSIBILITY OF INSTALLING TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE CURRENT EDITION OF THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES."
- (4) THE APPROPRIATE TRAFFIC CONTROL SHALL BE INSTALLED AT THE INCEPTION OF EACH PHASE OF CONSTRUCTION AND SHALL BE PROPERLY MAINTAINED AND/OR OPERATED DURING THE TIME SUCH SPECIAL CONDITIONS EXIST. THEY SHALL REMAIN IN PLACE AS LONG AS THEY ARE NEEDED AND SHALL BE IMMEDIATELY REMOVED THEREAFTER.
- (5) WHILE MAINTAINING TRAFFIC, THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE INGRESS AND EGRESS TO PROPERTY OWNERS AT ALL TIMES DURING THE COURSE OF THE CONSTRUCTION.
- (6) AT ALL TIMES THE ROADWAY MUST BE MAINTAINED IN A CONDITION TO ALLOW THE PASSAGE OF EMERGENCY VEHICLES AND THEIR ACCESS TO RESIDENCES AND BUSINESSES THROUGH THE CONSTRUCTION.
- (7) LANE CLOSURES OTHER THAN SHOWN ON THE PLANS WILL BE PERMITTED ONLY DURING NON-PEAK HOURS. PEAK HOURS ARE MONDAY THROUGH FRIDAY FROM 6:00 A.M. TO 9:00 A.M. AND FROM 3:00 P.M. TO 6:00 P.M. NO LANE CLOSURES WILL BE PERMITTED DURING THE HOLIDAYS.
- (8) WHERE TRAFFIC IS SHIFTED OR DETOURED ON TO EXISTING SHOULDERS, THE CONTRACTOR WILL ENSURE THAT THE PAVED SHOULDERS ARE IN GOOD CONDITION PRIOR TO SHIFTING THE TRAFFIC. IF THE SHOULDERS NEED REPAIRING PRIOR TO, DURING OR AFTER ANY TRAFFIC HAS BEEN PLACED ON THEM, THEN THE SHOULDERS WILL BE REPAIRED AS DIRECTED BY THE ENGINEER. ALL COST TO BE PAID IN RESPECTIVE ITEMS.
- (9) EXISTING CONFLICTING MARKINGS SHALL BE REMOVED OR COVERED PRIOR TO SHIFTING OR DETOURING TRAFFIC. THIS WORK TO BE PAID FOR UNDER ITEM NO. 712-01, TRAFFIC CONTROL
- (10) IN CASES WHERE WALLS LIMIT DRIVEWAY SIGHT DISTANCE DURING CONSTRUCTION, THE CONTRACTOR SHALL PROVIDE THE APPROPRIATE WARNING SIGNAGE. THESE SIGNS ARE TO BE PAID FOR UNDER ITEM NO. 712-01, TRAFFIC CONTROL.

**PHASE 1 – CONSTRUCTION OF DETOUR ROUTES THROUGH CANTERBURY AND AVENUE DOWNS DEVELOPMENTS**

- (12) THE CONTRACTOR SHALL CONSTRUCT ALL ADVANCED WARNING SIGNS FOR PHASE 1 OF THE PROJECT. THE CONTRACTOR SHALL NOTIFY ALL PUBLIC AGENCIES ABOUT ROAD WORK ACTIVITIES AND TIME FRAMES.
- (13) THE CONTRACTOR SHALL INSTALL AND CONSTRUCT ALL PHASE 1 EPSC ITEMS IMMEDIATELY FOLLOWING THE RELOCATING OF TRAFFIC AND PRIOR TO ANY OTHER CONSTRUCTION.
- (14) THE CONTRACTOR SHALL MAINTAIN TWO WAY TRAFFIC ALONG EXISTING CRITZ LANE AND CLAYTON ARNOLD ROAD.
- (15) NORTH OF CRITZ LANE, THE CONTRACTOR SHALL CONSTRUCT PORTION OF LIONCREST LANE AND BRAMBLEWOOD LANE TO CONNECT TO SECTION 13 OF CANTERBURY DEVELOPMENT.
- (16) SOUTH OF CRITZ LANE, THE CONTRACTOR SHALL CONSTRUCT PORTION OF AVENUE DOWNS DRIVE AND OTTERHAM DRIVE TO CONNECT TO CLAYTON ARNOLD ROAD.
- (17) THE CONTRACTOR SHALL PREPARE THE ROUTES THROUGH CANTERBURY AND AVENUE DOWNS FOR PHASE 2 TRAFFIC OPERATIONS. CONTRACTOR SHALL INSTALL BASE STONE AND BITUMINOUS BASE AND BINDER PAVING AND TEMPORARY STRIPING FOR PHASE 2 TRAFFIC OPERATIONS ON BRAMBLEWOOD LANE, OTTERHAM DRIVE, PORTIONS OF LIONCREST LANE AND PORTIONS OF AVENUE DOWNS DRIVE. TEMPORARY STRIPING TO BE PAID FOR UNDER ITEM NO. 712-01, TRAFFIC CONTROL.
- (18) THE CONTRACTOR SHALL USE ONE LANE CLOSURES TO ACCOMPLISH TIE-IN CONSTRUCTION. TIE-IN AREAS SHALL BE COMPLETED SO AS TO ALLOW TWO-WAY TRAFFIC WITHOUT THE ASSISTANCE OF FLAGGERS. ALL PAVEMENT TIE-IN AREAS MAY BE COMPLETED PRIOR TO PHASE 2. ALL TEMPORARY TRAFFIC CONTROL ITEMS WITHIN THESE AREAS SHALL BE ADJUSTED AND OR RELOCATED TO ALLOW FOR TIE-IN CONSTRUCTION.
- (19) THE CONTRACTOR SHALL USE ONE-LANE CLOSURES TO CONSTRUCT CROSS-DRAINS AND STORM DRAINAGE AS NECESSARY DURING PHASE 1 CONSTRUCTION.

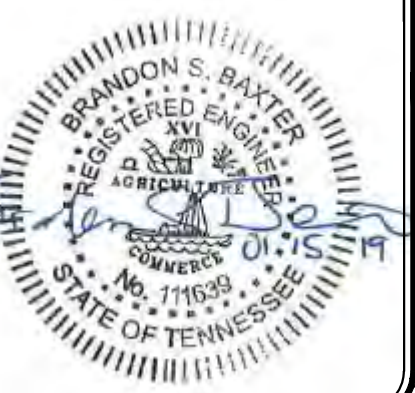
**PHASE 2 – CRITZ LANE CONSTRUCTION BETWEEN CLAYTON ARNOLD ROAD AND EASTERN LIMIT OF PROJECT**

- (20) THE CONTRACTOR SHALL ADJUST AND OR RELOCATE APPLICABLE ADVANCED WARNING SIGNS AND OTHER TEMPORARY TRAFFIC CONTROL ITEMS FOR PHASE 2 OF THE PROJECT. ALL PUBLIC AGENCIES SHALL BE NOTIFIED ABOUT ROAD WORK ACTIVITIES AND TIME FRAMES PRIOR TO SHIFTING TRAFFIC FOR PHASE 2 OPERATIONS.
- (21) THE CONTRACTOR SHALL MAINTAIN THE OPENING OF THE INTERSECTION OF CRITZ LANE AND CLAYTON ARNOLD ROAD. EXISTING CRITZ LANE WEST OF CLAYTON ARNOLD ROAD AND EAST PROJECT LIMIT SHALL REMAIN OPEN TO TRAFFIC.
- (22) THE CONTRACTOR SHALL INSTALL AND CONSTRUCT ALL PHASE 2 EPSC ITEMS IMMEDIATELY FOLLOWING THE RELOCATING OF TRAFFIC AND PRIOR TO ANY OTHER CONSTRUCTION.
- (23) THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED ROADWAY AND DRAINAGE STRUCTURES WITHIN WORK ZONE AREAS AS PER THE PLANS FOR PHASE 2 CONSTRUCTION. ALL MAJOR WORK ITEMS IN THIS WORK ZONE SHALL BE COMPLETED INCLUDING ALL PRIVATE DRIVE CONSTRUCTION, DITCHES, DRAINAGE STRUCTURE INSTALLATION, FINAL SLOPES AND FINE GRADING.

**PHASE 3 – CRITZ LANE CONSTRUCTION BETWEEN CLAYTON ARNOLD ROAD AND LIONCREST LANE, ROUNDABOUT CONSTRUCTION**

- (24) THE CONTRACTOR SHALL ADJUST AND OR RELOCATE APPLICABLE ADVANCED WARNING SIGNS AND OTHER TEMPORARY TRAFFIC CONTROL ITEMS FOR PHASE 3 OF THE PROJECT. ALL PUBLIC AGENCIES SHALL BE NOTIFIED ABOUT ROAD WORK ACTIVITIES AND TIME FRAMES PRIOR TO SHIFTING TRAFFIC FOR PHASE 3 OPERATIONS.
- (25) THE CONTRACTOR SHALL CONSTRUCT THE PROPOSED ROADWAY AND DRAINAGE STRUCTURES WITHIN WORK ZONE AREAS AS PER THE PLANS FOR PHASE 3 CONSTRUCTION. ALL MAJOR WORK ITEMS IN THIS WORK ZONE SHALL BE COMPLETED INCLUDING ALL PRIVATE DRIVE CONSTRUCTION, DITCHES, DRAINAGE STRUCTURE INSTALLATION, FINAL SLOPES AND FINE GRADING.
- (26) THE CONTRACTOR SHALL OPEN CRITZ LANE EAST OF THE INTERSECTION WITH LIONCREST LANE / AVENUE DOWNS DRIVE TO ALLOW DETOUR ACCESS AROUND THE CLOSURE OF THE CRITZ LANE AT CLAYTON ARNOLD ROAD INTERSECTION.
- (27) THE CONTRACTOR SHALL FINISH ALL FINAL PAVING, PROPOSED GUARDRAILS, STRIPING, PERMANENT SIGNING FOR THE PROJECT AND COMPLETE ALL REMAINING CONSTRUCTION.
- (28) THE CONTRACTOR SHALL OPEN ALL ROADWAYS TO TRAFFIC AND REMOVE UNNECESSARY TEMPORARY BARRICADES AND DETOUR SIGNING.
- (29) THE CONTRACTOR SHALL REMOVE ALL EPSC ITEMS FROM THE PROJECT AND ALL TEMPORARY CONSTRUCTION SIGNS.
- (30) THE CONTRACTOR SHALL REMOVE ALL REMAINING CONSTRUCTION MATERIALS AND EQUIPMENT FROM THE PROJECT.
- (31) THE CONTRACTOR SHALL STABILIZE AND COMPLETE FINAL DRESSING OF TEMPORARY STORAGE AND EQUIPMENT AREAS.

CIVIL AND LAND SURVEYING ENGINEERS, P.L.L.C. TRAFFIC CONTROL NOTES 2019  
 PLOTTED BY: GANESHWAR V. VISWANATHAN - LAST UPDATED BY: TOWN OF THOMPSON, TN 11/29/19 4:38 PM

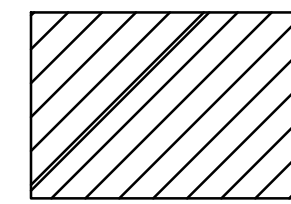


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	N.T.S.	DATE:	JANUARY 14, 2019
WK. ORDER	1349							REV. #	DESCRIPTION:

TRAFFIC CONTROL PHASING NOTES

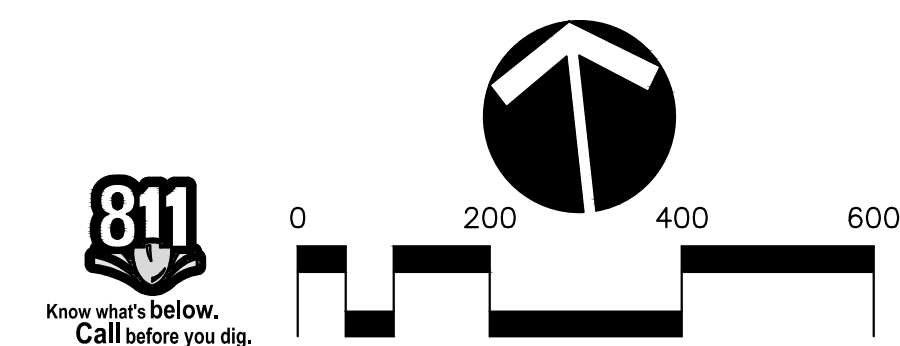




PHASE 1 CONSTRUCTION

NOTE: SEE AVENUE DOWNS AND CANTERBURY PLANS BY RAGAN SMITH FOR DETAILS ON ACCESS ROAD CONSTRUCTION

TRAFFIC CONTROL PLAN  
PHASE I



CLAYTON ARNOLD ROAD AND AVENUE DOWNS, PHASE I TRAFFIC CONTROL PLAN (CANTERBURY DEVELOPMENT)  
 PLOTTED BY: GUYTON W. WILSON, DATE: 1/14/2019, 11:58 AM, LAST UPDATED BY: TERRYANN WILSON, 1/14/2019, 11:58 AM

**RAGAN SMITH**  
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 LANDSCAPE ARCHITECTS • SURVEYORS  
 Chattanooga, TN 37403  
 Murfreesboro, TN 37132  
 Nashville, TN 37203  
 423-890-9400  
 615-244-8591  
 615-546-9050  
 ragan@smith.com



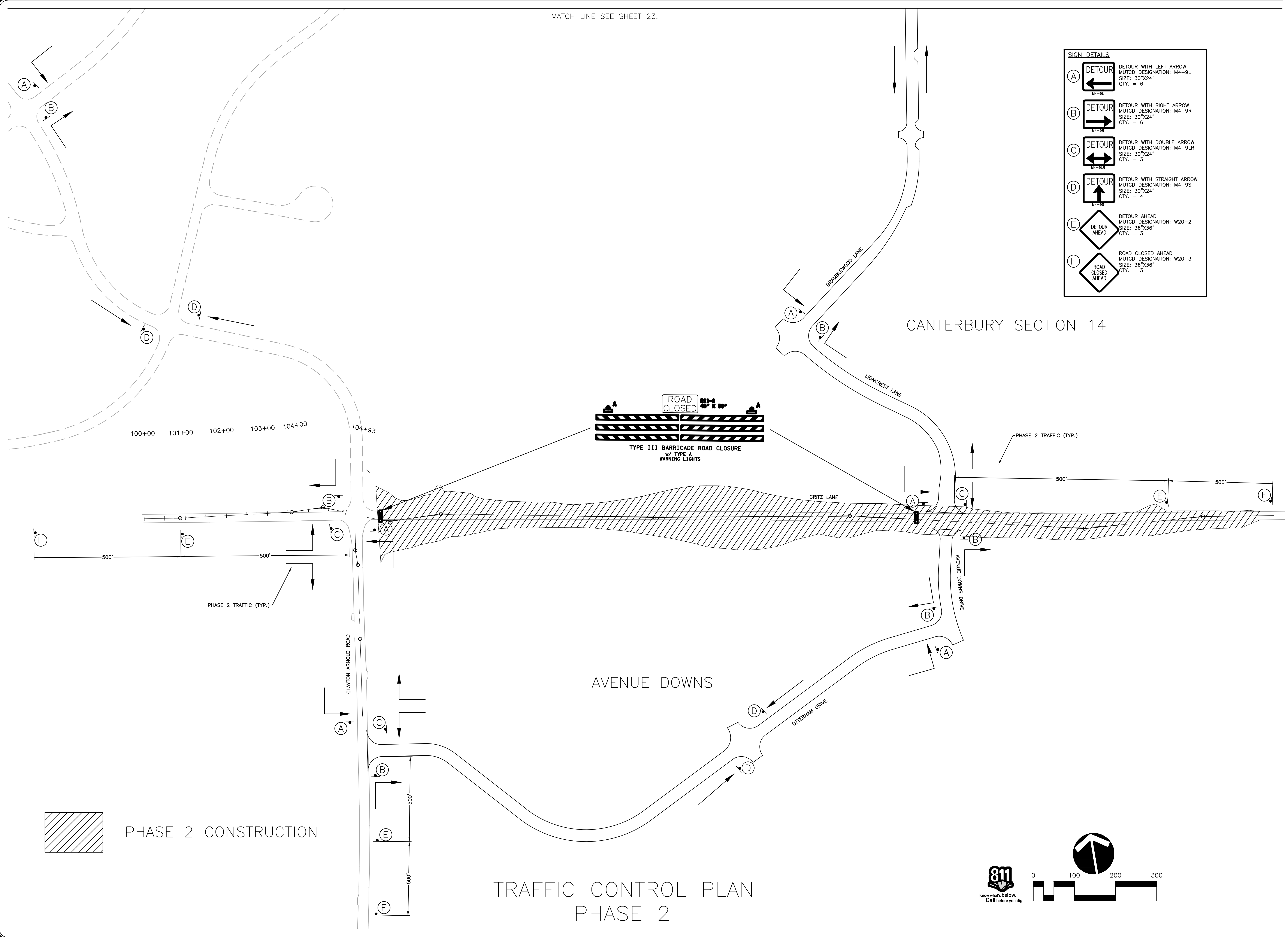
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

TRAFFIC CONTROL PLANS



MATCH LINE SEE SHEET 23.



**SIGN DETAILS**

(A)	DETOUR M4-9L	DETOUR WITH LEFT ARROW MUTCD DESIGNATION: M4-9L SIZE: 30"x24" QTY. = 6
(B)	DETOUR M4-9R	DETOUR WITH RIGHT ARROW MUTCD DESIGNATION: M4-9R SIZE: 30"x24" QTY. = 6
(C)	DETOUR M4-9LR	DETOUR WITH DOUBLE ARROW MUTCD DESIGNATION: M4-9LR SIZE: 30"x24" QTY. = 3
(D)	DETOUR M4-9S	DETOUR WITH STRAIGHT ARROW MUTCD DESIGNATION: M4-9S SIZE: 30"x24" QTY. = 4
(E)	DETOUR AHEAD	DETOUR AHEAD MUTCD DESIGNATION: W20-2 SIZE: 36"x36" QTY. = 3
(F)	ROAD CLOSED AHEAD	ROAD CLOSED AHEAD MUTCD DESIGNATION: W20-3 SIZE: 36"x36" QTY. = 3

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 LANDSCAPE ARCHITECTS • SURVEYORS  
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 Nashville, TN  
 Murfreesboro, TN  
 423-490-9400  
 615-546-9050  
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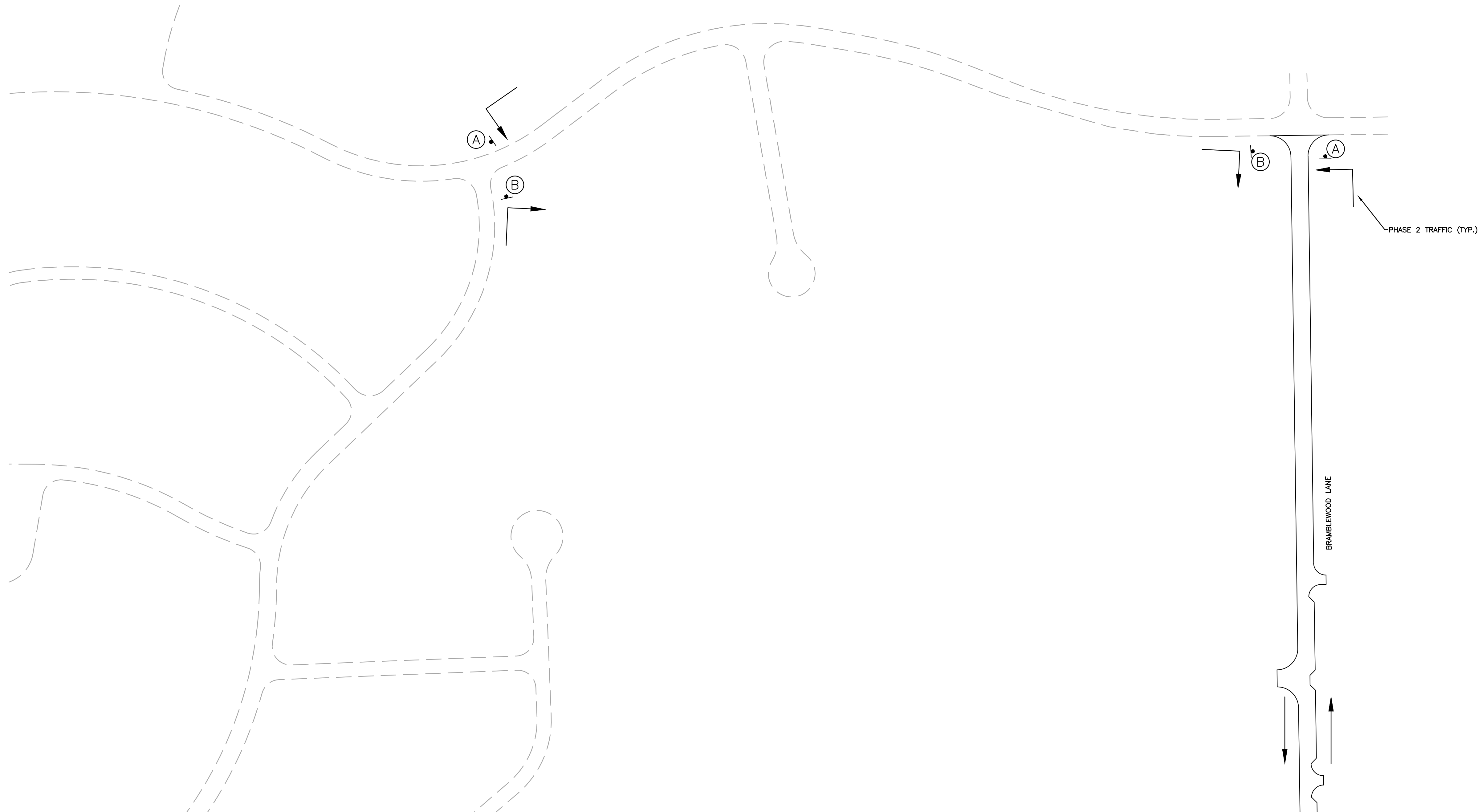
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	1349	FLR	FLR	FLR	REV.	DATE	DESCRIPTION
JOB NO.	18190	DESIGNED:	DRAWN:	SCALE:	1"=100'	DATE:	JANUARY 14, 2019

CLAYTON ARNOLD ROAD IMPROVEMENTS AND TRAFFIC CONTROL PLAN 2.000  
 PLOTTED BY GARDNER ON 1/15/19 11:18 AM. LAST UPDATED BY GARDNER 1/15/19 11:18 AM

**811**  
 Know what's below.  
 Call before you dig.

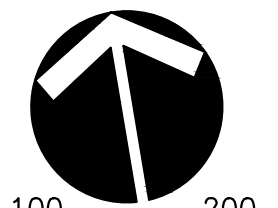
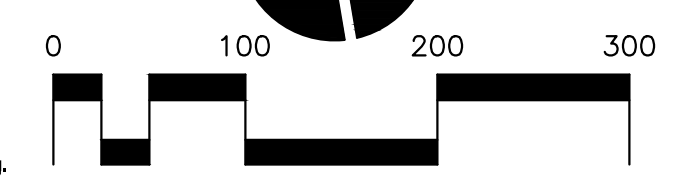
CLIPPING AND TRANSMISSIONS ARE PROHIBITED. ALL TRAFFIC CONTROL SIGNS & SIGNS  
PLOTTED BY COMPUTER ON 11/07/18 10:41 AM. LAST UPDATED BY TSP/AMC/ON 11/07/18 5:27 PM



**SIGN DETAILS**

**(A) DETOUR**  
MUTCD DESIGNATION: M4-9L  
SIZE: 30"x24"  
QTY. = 2

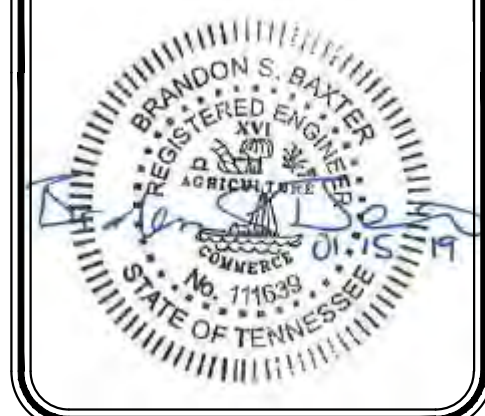
**(B) DETOUR**  
MUTCD DESIGNATION: M4-9R  
SIZE: 30"x24"  
QTY. = 2



MATCH LINE SEE SHEET 22.

# TRAFFIC CONTROL PLAN PHASE 2

**RAGAN SMITH**  
LAND PLANNERS • CIVIL ENGINEERS  
LANDSCAPE ARCHITECTS • SURVEYORS  
Chattanooga 423-890-9400  
Nashville 615-244-8591  
Murfreesboro 615-546-9050  
ragansmith.com



## CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN

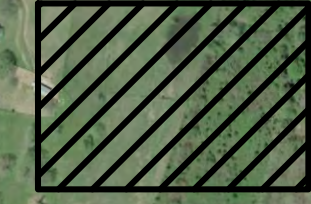
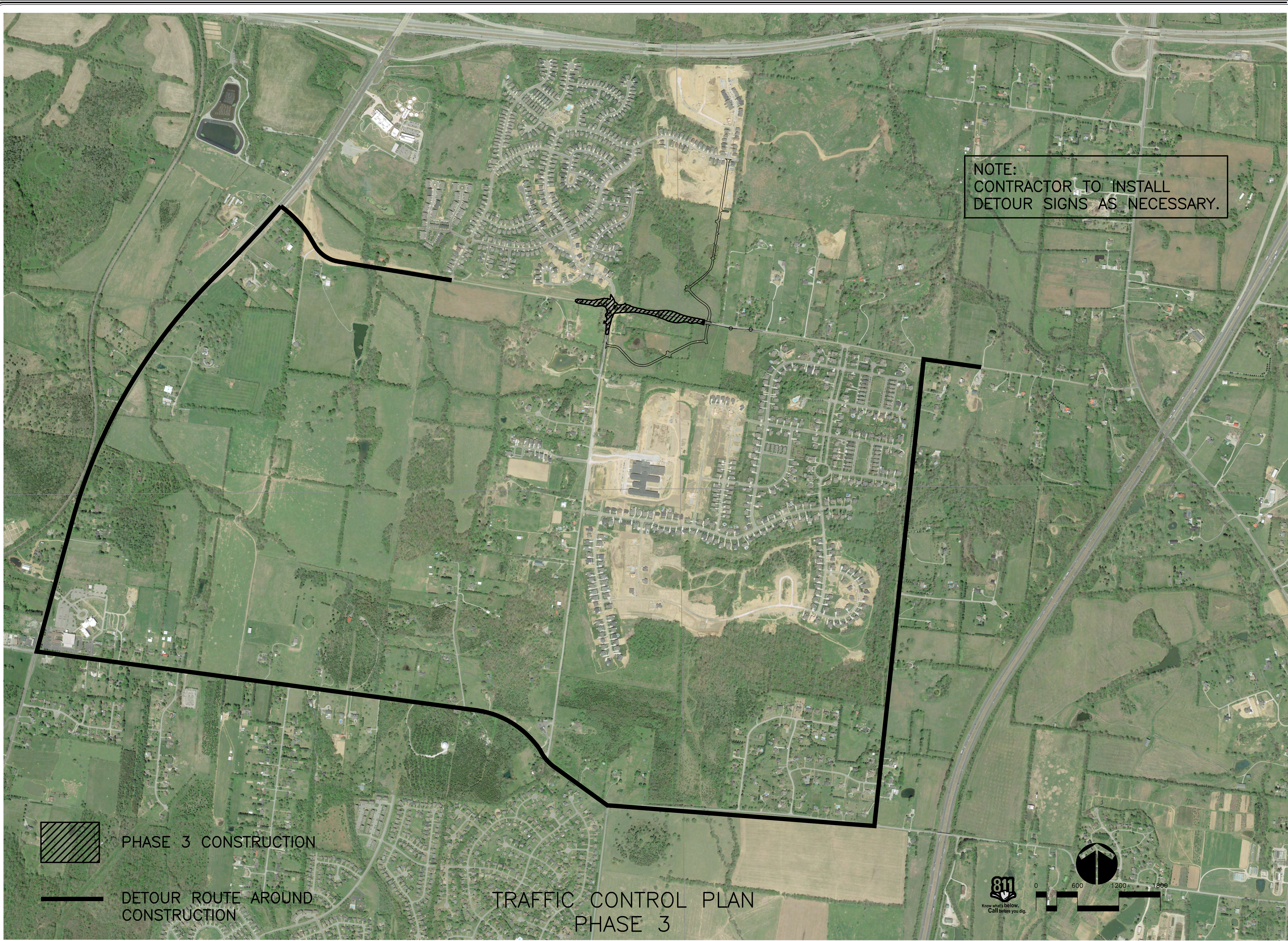
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	1349	FLR	FLR	FLR	REV.	DATE	DESCRIPTION
JOB NO.	18190	DESIGNED:	DRAWN:	SCALE:	DATE:	JANUARY 14, 2019	

### TRAFFIC CONTROL PLANS



CLIP AND MAIL TRANSMISSIONS ARE PROHIBITED. ALL PLANS AND SPECIFICATIONS SHALL BE PRINTED ON 24" X 36" ARCHIVAL QUALITY PAPER. PLOTTED BY COMPUTER ON 1/15/2019 11:17 AM. LAST UPDATED BY TSP/AMON ON 1/15/2019 10:48 AM



PHASE 3 CONSTRUCTION



DETOUR ROUTE AROUND CONSTRUCTION

### TRAFFIC CONTROL PLAN PHASE 3

NOTE:  
CONTRACTOR TO INSTALL  
DETOUR SIGNS AS NECESSARY.



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 ragan@smith.com



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DATE	REV. #	DESCRIPTION
18190	1349		FLR	JANUARY 14, 2019		
		DRAWN:	FLR			
		SCALE:	1"=600'			

TRAFFIC CONTROL PLANS





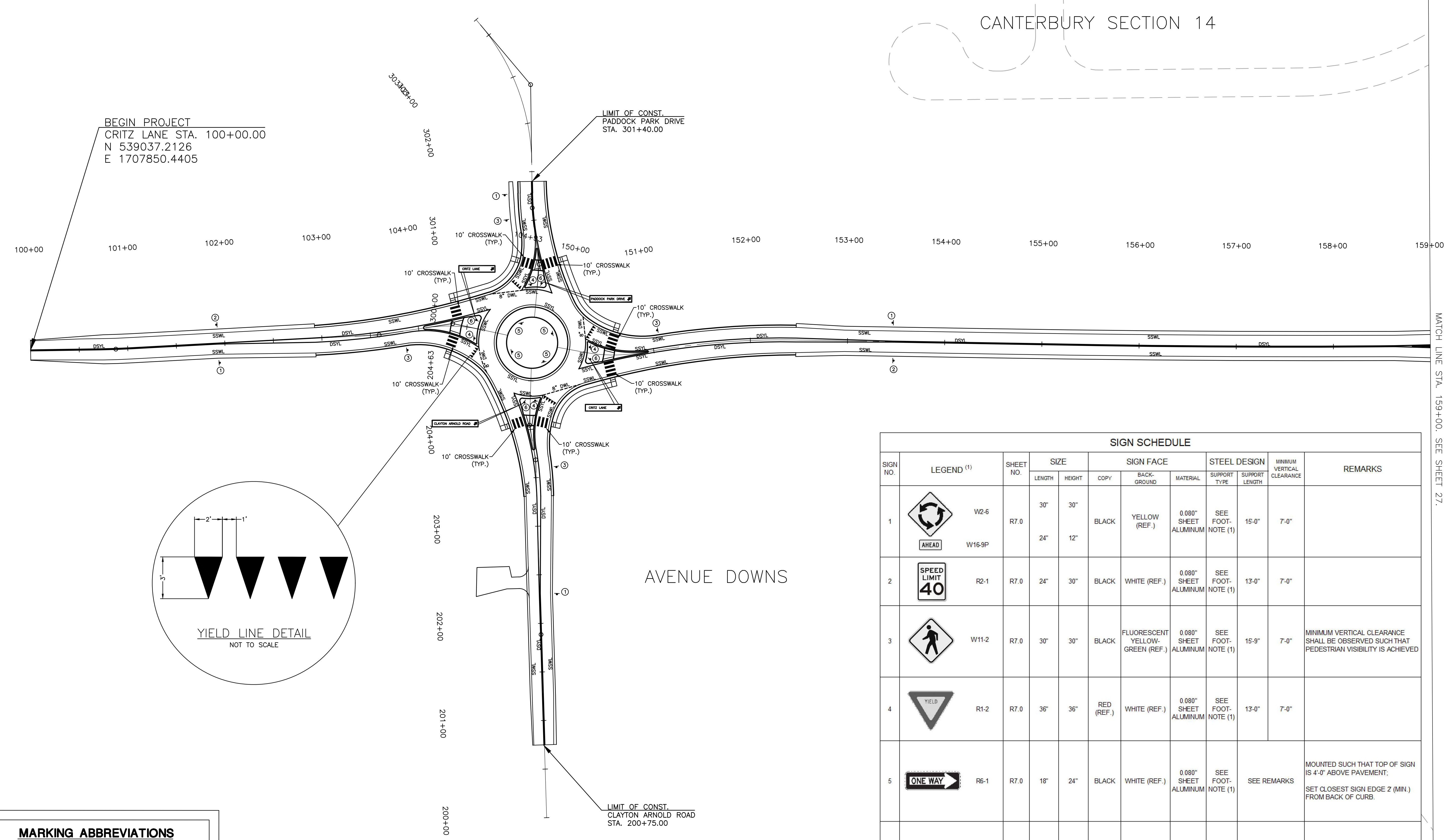
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

WK. ORDER	FLR	DATE	DESCRIPTION
1349	FLR		

JOB NO.	DESIGNED	DRAWN	SCALE	DATE	REV.	DESCRIPTION
18190	FLR	FLR	1"=50'	JANUARY 14, 2019		

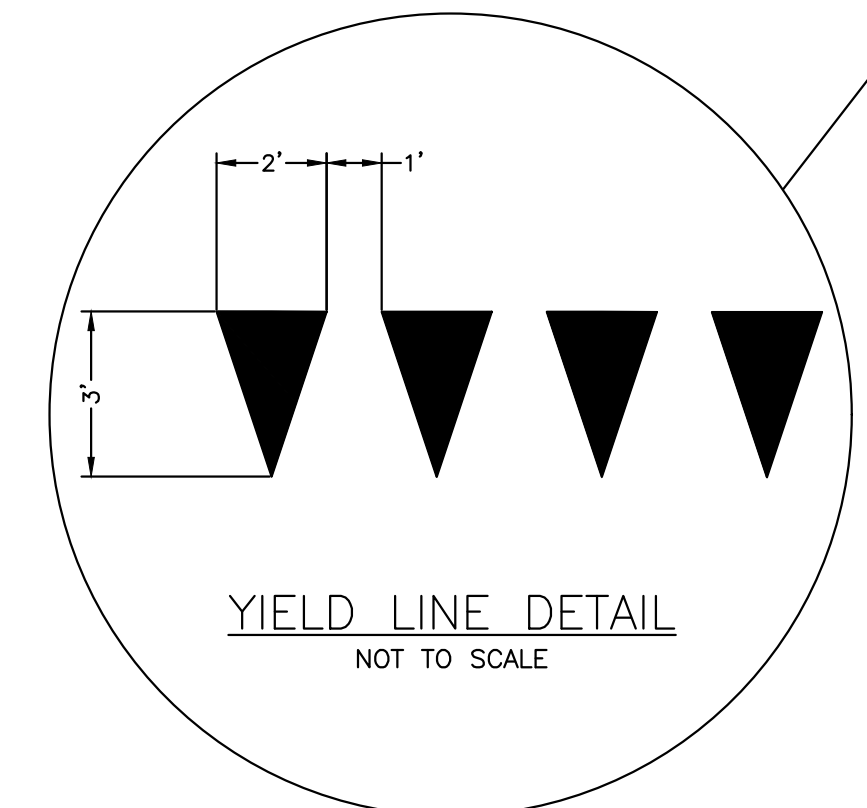
CANTERBURY SECTION 14



BEGIN PROJECT  
 CRITZ LANE STA. 100+00.00  
 N 539037.2126  
 E 1707850.4405

LIMIT OF CONST.  
 PADDOCK PARK DRIVE  
 STA. 301+40.00

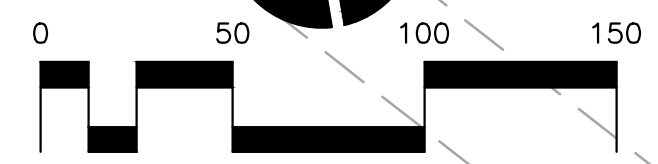
LIMIT OF CONST.  
 CLAYTON ARNOLD ROAD  
 STA. 200+75.00



**MARKING ABBREVIATIONS**

SSWL	- SINGLE SOLID WHITE LINE
SSYL	- SINGLE SOLID YELLOW LINE
DSYL	- DOUBLE SOLID YELLOW LINE
DWL	- DOTTED WHITE LINE

ALL PAVEMENT MARKINGS ARE TO BE INSTALLED PER TDOT SPECIFICATIONS

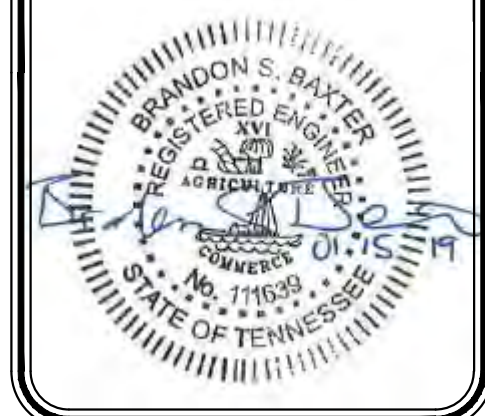


SIGN NO.	LEGEND (1)	SHEET NO.	SIZE		SIGN FACE			STEEL DESIGN		MINIMUM VERTICAL CLEARANCE	REMARKS
			LENGTH	HEIGHT	COPY	BACK-GROUND	MATERIAL	SUPPORT TYPE	SUPPORT LENGTH		
1		W2-6	30'	30"	BLACK	YELLOW (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	15-0"	7-0"	
			24'	12"							
2		R2-1	24'	30"	BLACK	WHITE (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	13-0"	7-0"	
3		W11-2	30'	30"	BLACK	FLUORESCENT YELLOW-GREEN (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	15-9"	7-0"	MINIMUM VERTICAL CLEARANCE SHALL BE OBSERVED SUCH THAT PEDESTRIAN VISIBILITY IS ACHIEVED
4		R1-2	36'	36"	RED (REF.)	WHITE (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	13-0"	7-0"	
5		R6-1	18'	24"	BLACK	WHITE (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	SEE REMARKS		MOUNTED SUCH THAT TOP OF SIGN IS 4'-0" ABOVE PAVEMENT. SET CLOSEST SIGN EDGE 2 (MIN.) FROM BACK OF CURB.
6		D1-1d	VARIES	18"	WHITE (REF.)	GREEN (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	SEE REMARKS		LOW GROUND MOUNTED SIGN TO BE INSTALLED BELOW DRIVE SIGHT LINE
7		R1-1	36'	36"	RED (REF.)	WHITE (REF.)	0.080" SHEET ALUMINUM	SEE FOOT-NOTE (1)	13-0"	7-0"	

FOOTNOTES:  
 (1) DECORATIVE SUPPORTS OR TDOT P8 SQUARE TUBE.  
 (2) ALL SIGNS SHOWN WITH DESIGNATIONS ARE TO BE FABRICATED AS DETAILED IN THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" (CURRENT EDITION).

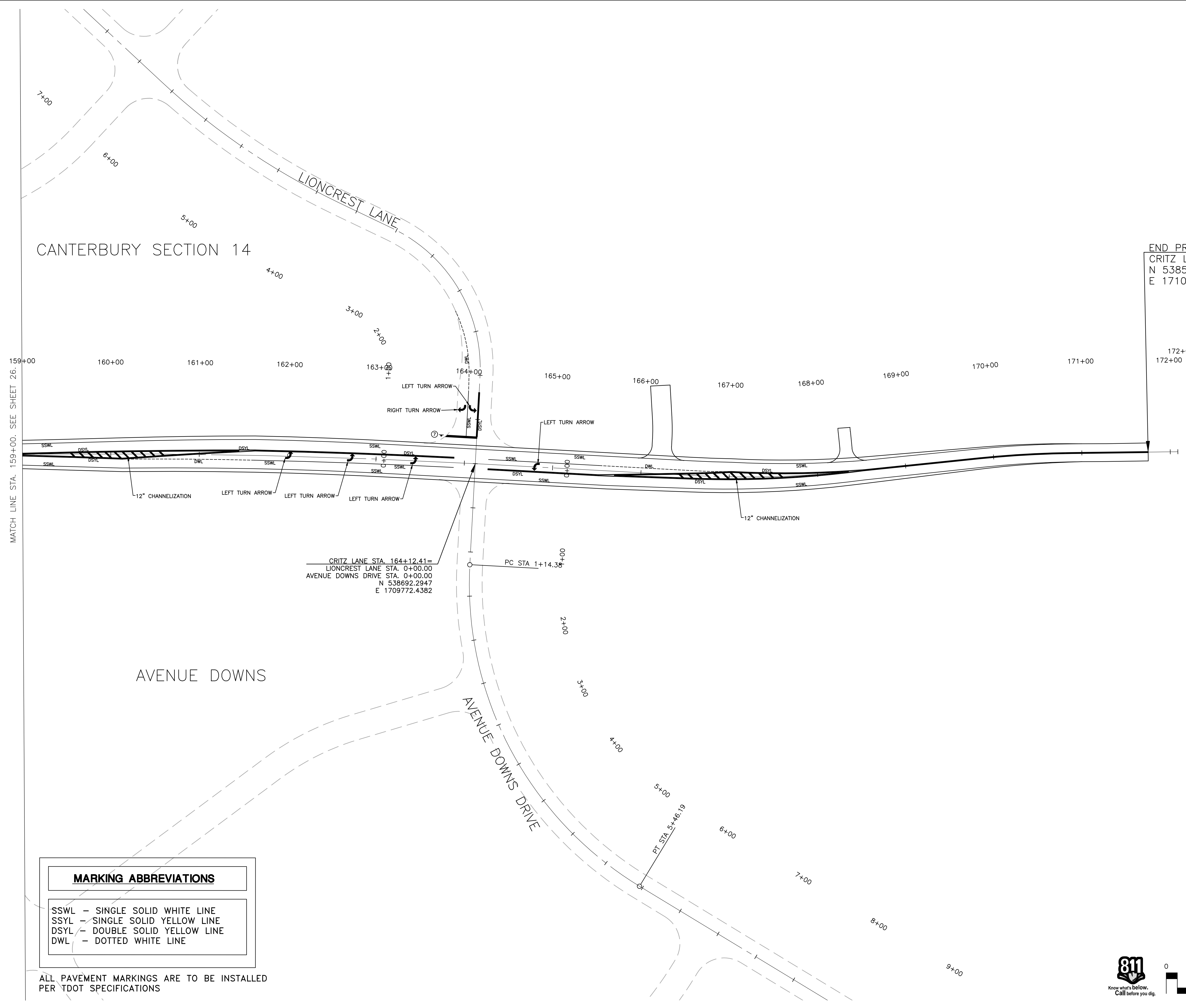
MATCH LINE STA. 159+00. SEE SHEET 27.





**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

END PROJECT  
 CRITZ LANE STA. 171+75.00  
 N 538573.0403  
 E 1710524.1505



CRITZ LANE STA. 164+12.41 =  
 LIONCREST LANE STA. 0+00.00  
 AVENUE DOWNS DRIVE STA. 0+00.00  
 N 538692.2947  
 E 1709772.4382

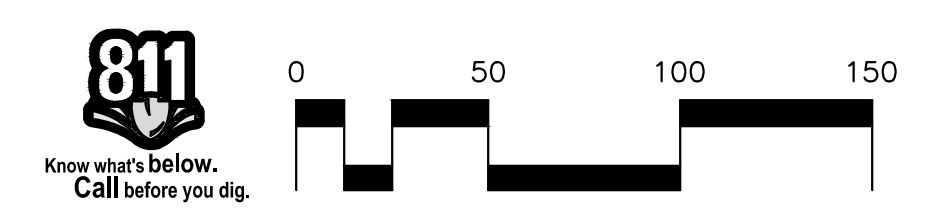
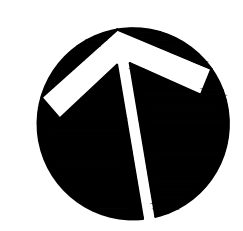
PC STA 1+14.38+00

PT STA 5+46.19

**MARKING ABBREVIATIONS**

SSWL	- SINGLE SOLID WHITE LINE
SSYL	- SINGLE SOLID YELLOW LINE
DSYL	- DOUBLE SOLID YELLOW LINE
DWL	- DOTTED WHITE LINE

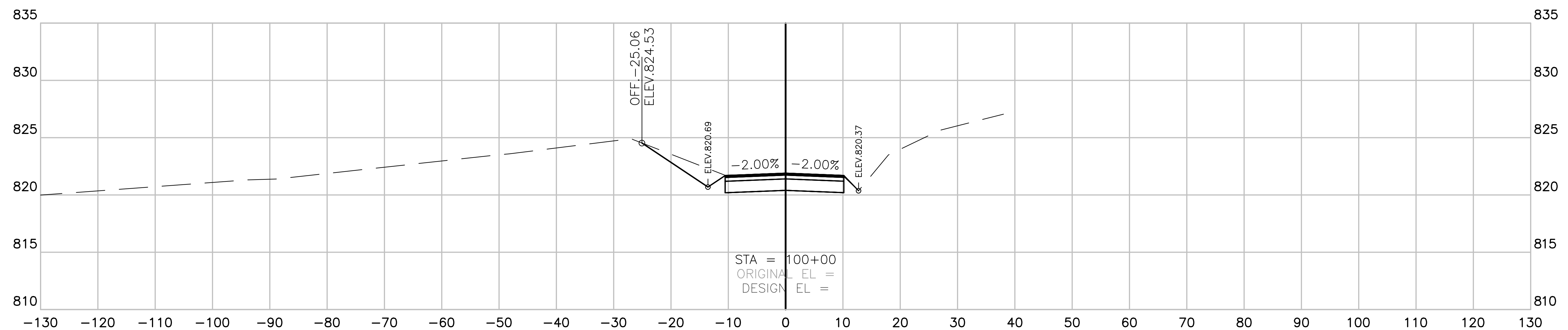
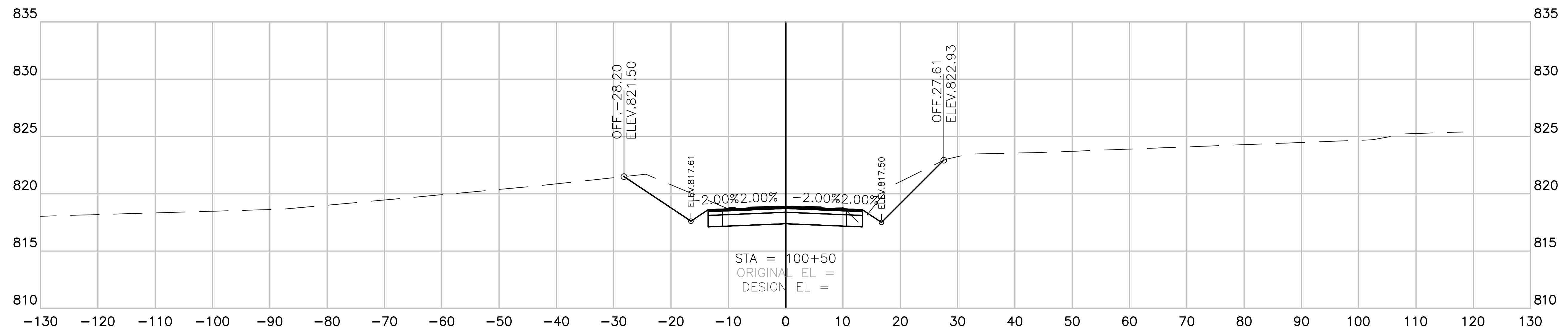
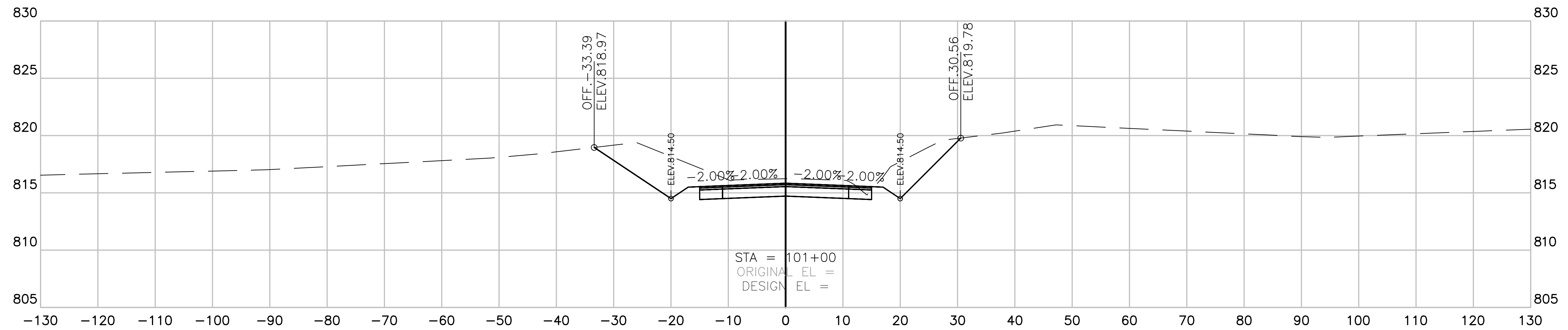
ALL PAVEMENT MARKINGS ARE TO BE INSTALLED PER TDOT SPECIFICATIONS



JOB NO.	W.K. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349					1"=50'	JANUARY 14, 2019		

**SIGNING AND PAVEMENT MARKING PLAN**

CRITZ LANE IMPROVEMENTS AND MARKING PLAN FOR THE TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GREGORY W. HARRIS ON 1/15/2019 10:08 AM. LAST UPDATED BY: GREGORY W. HARRIS ON 1/15/2019 10:08 AM



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

**RAGAN SMITH**  
 CIVIL ENGINEERS  
 LAND PLANNERS • SURVEYORS  
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 Nashville  
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 423-890-9400  
 615-244-8591  
 615-546-9050  
 ragansmith.com



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019
WK. ORDER	1349								

CROSS SECTIONS

**X1**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GARDNER ON 1/15/2019 11:51 AM. LAST UPDATED BY: GARDNER ON 1/15/2019 11:51 AM.





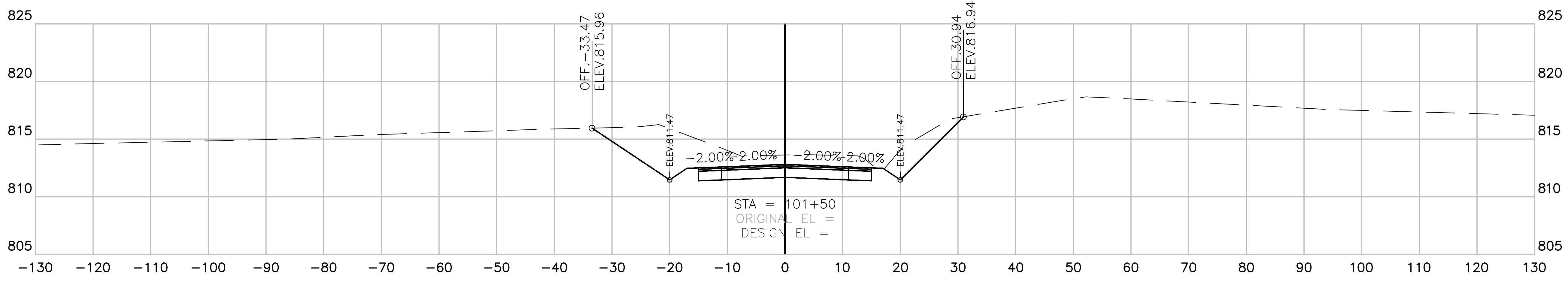
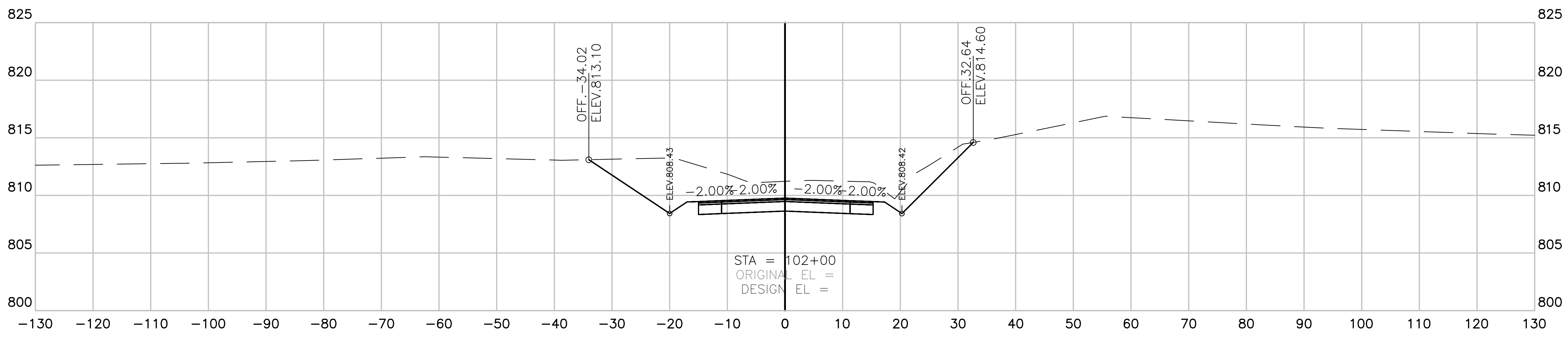
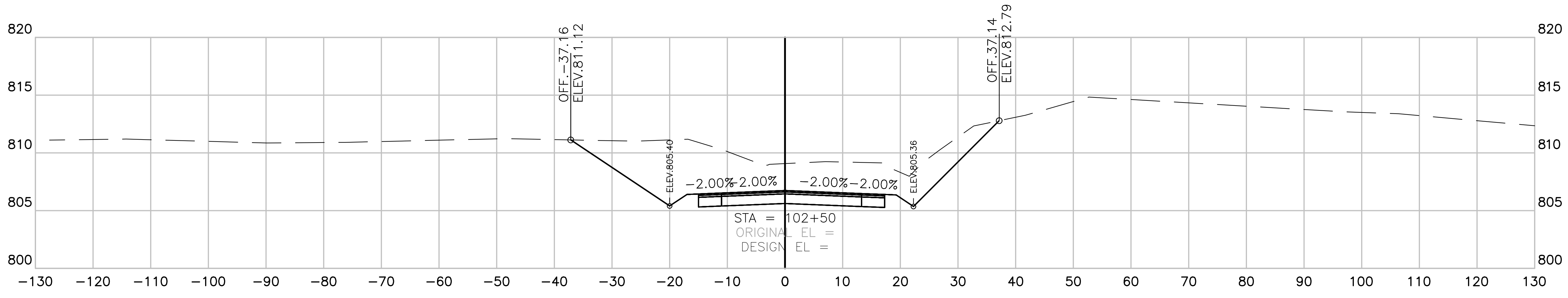
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

WK. ORDER	1349
JOB NO.	18190
DESIGNED:	FLR
DRAWN:	FLR
SCALE:	AS SHOWN
DATE:	JANUARY 14, 2019

CROSS SECTIONS

**X2**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

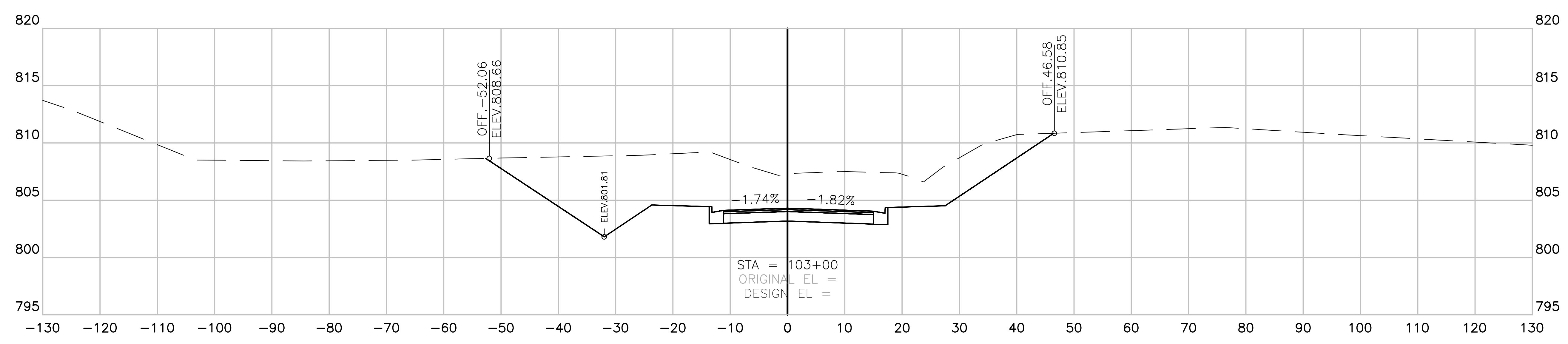
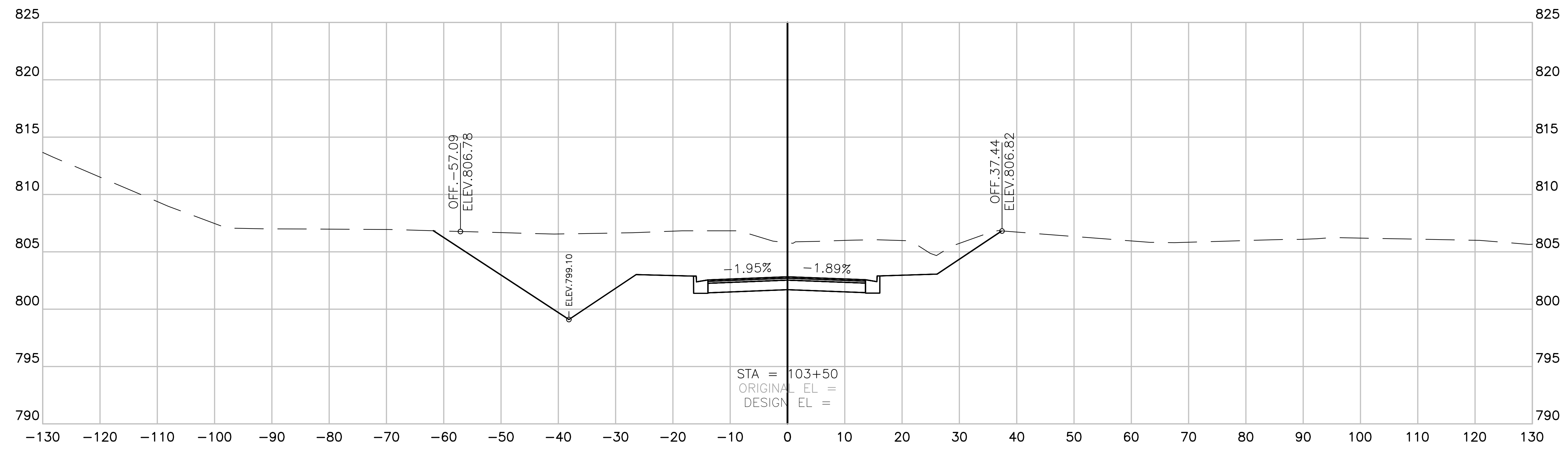




**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

**CROSS SECTIONS**  
**X3**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TN  
 PLOTTED BY: GARDNER ON 1/15/2019 11:51 AM. LAST UPDATED BY: GARDNER ON 1/15/2019 11:51 AM

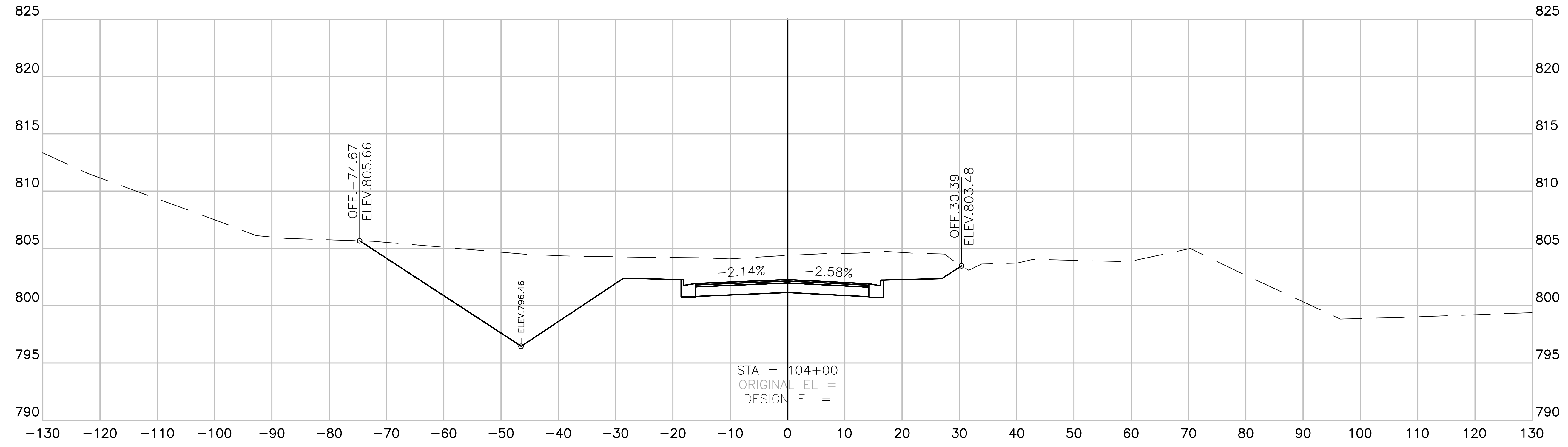
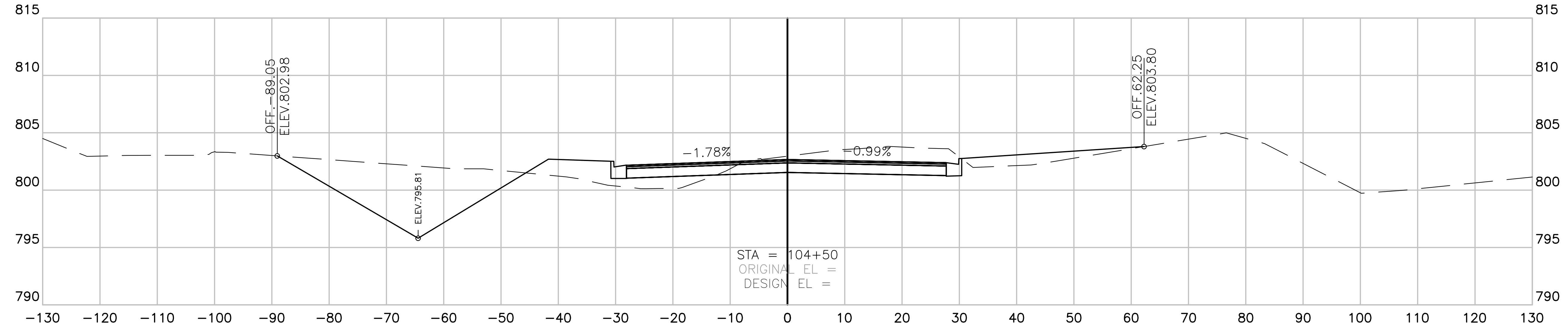




**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	W.K. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DATE	DESCRIPTION
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019			

CROSS SECTIONS  
**X4**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TN  
 PLOTTED BY: G. W. HARRIS ON 1/14/2019 11:51 AM. LAST UPDATED BY: G. W. HARRIS ON 1/14/2019 11:51 AM.

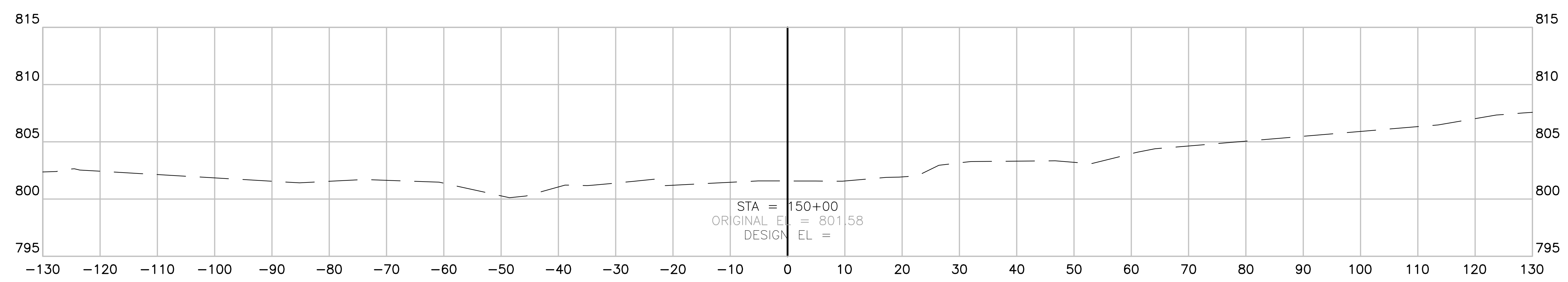
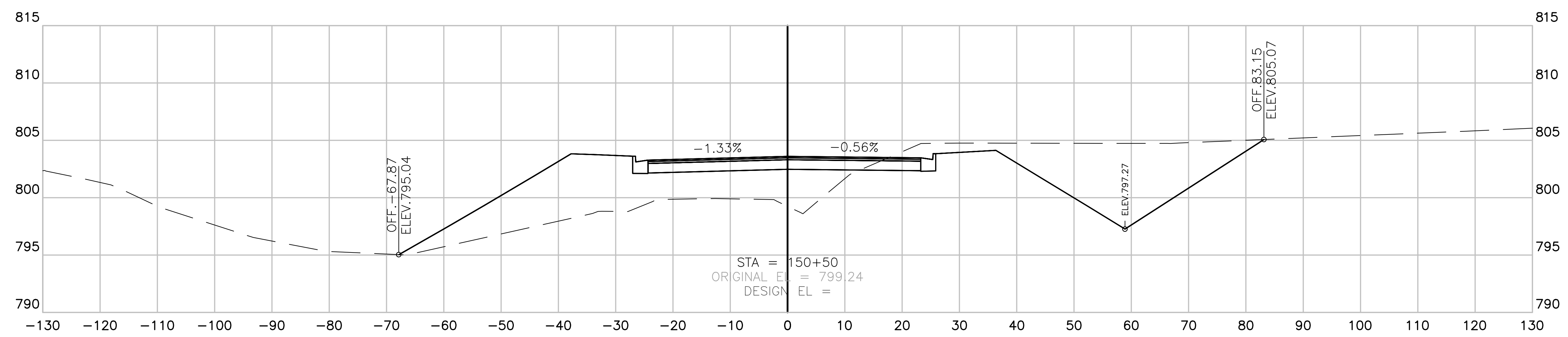
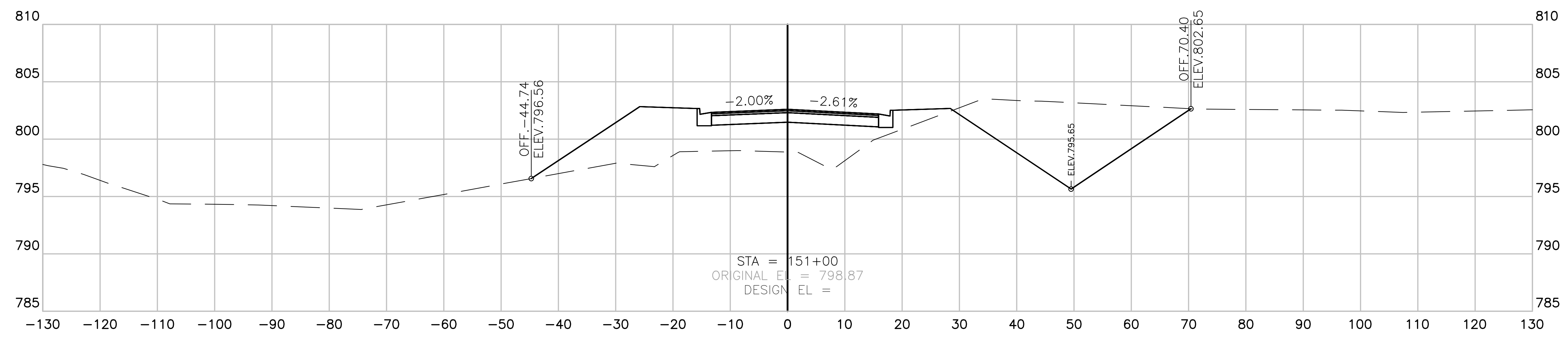


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	REV. #	DESCRIPTION:
18190	1349							JANUARY 14, 2019		

CROSS SECTIONS

**X5**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: G. W. HARRIS ON 1/15/2019 11:51 AM. LAST UPDATED BY: G. W. HARRIS ON 1/15/2019 11:51 AM.



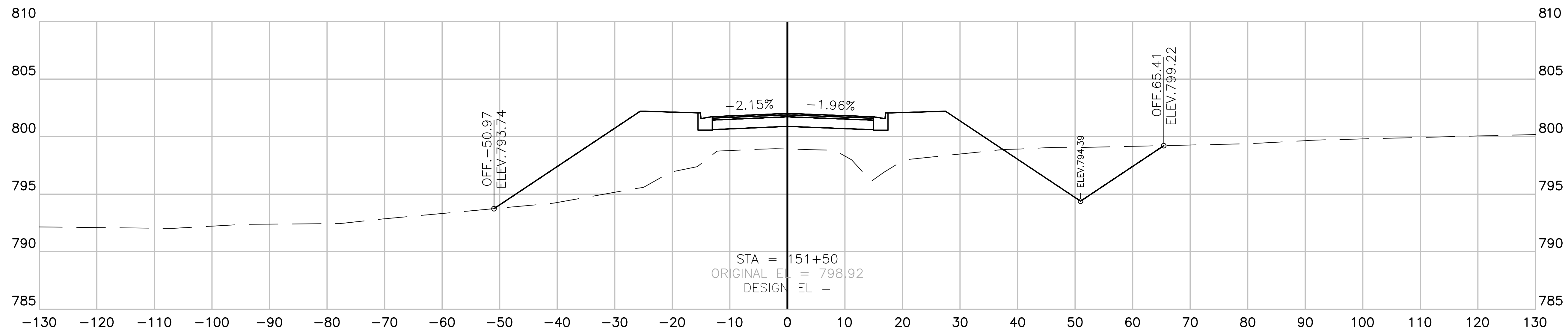
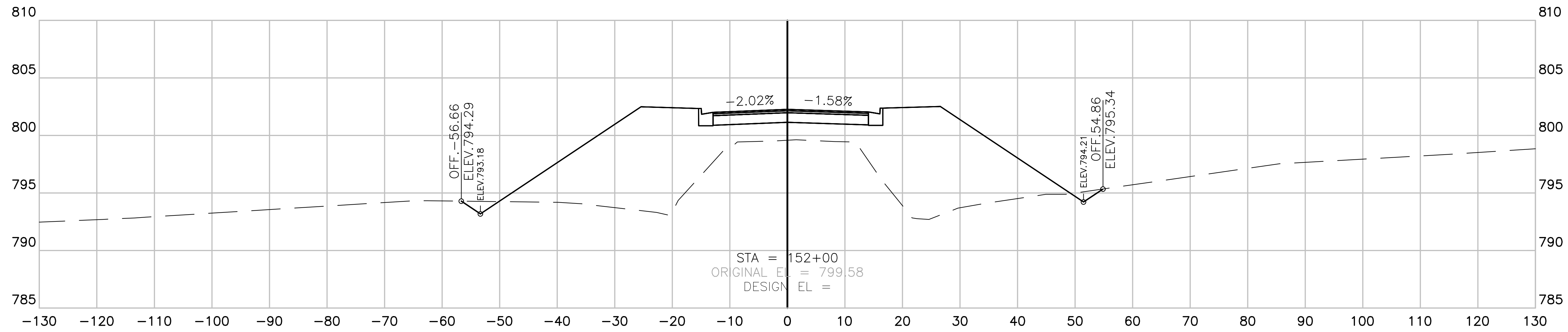
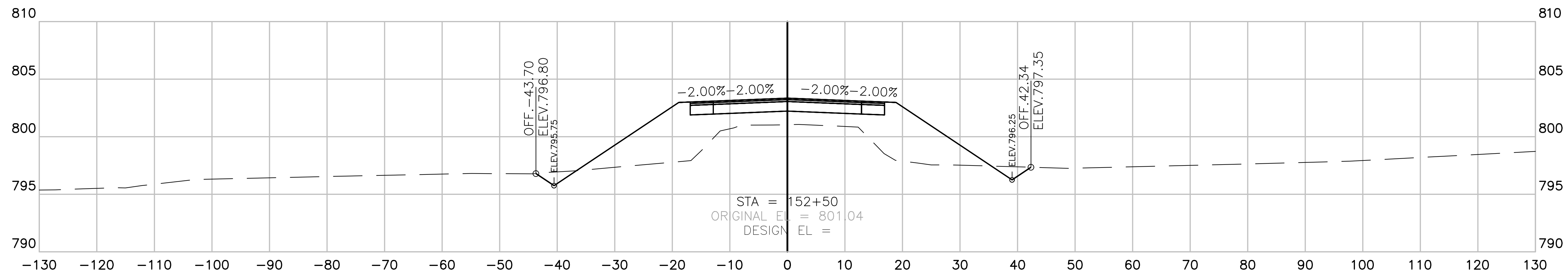


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

CROSS SECTIONS

**X6**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GREGORY M. HARRIS  
 DATE: JANUARY 14, 2019 11:51 AM  
 LAST UPDATED BY: GREGORY M. HARRIS  
 DATE: JANUARY 14, 2019 11:51 AM



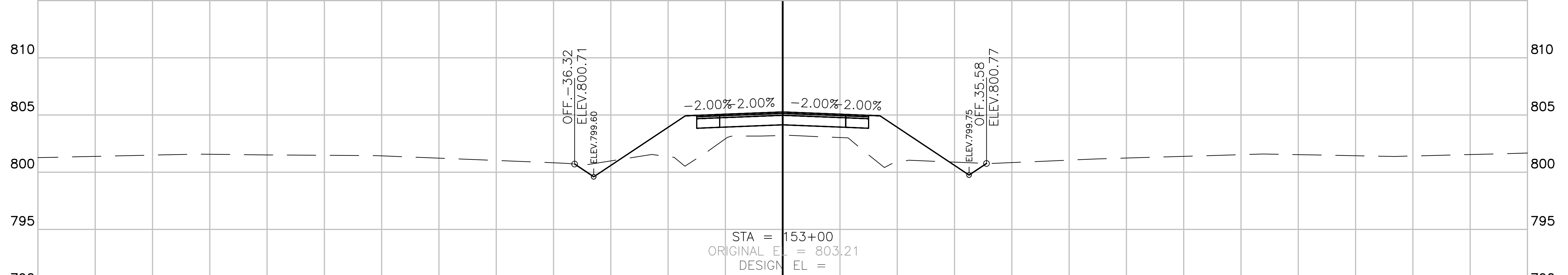
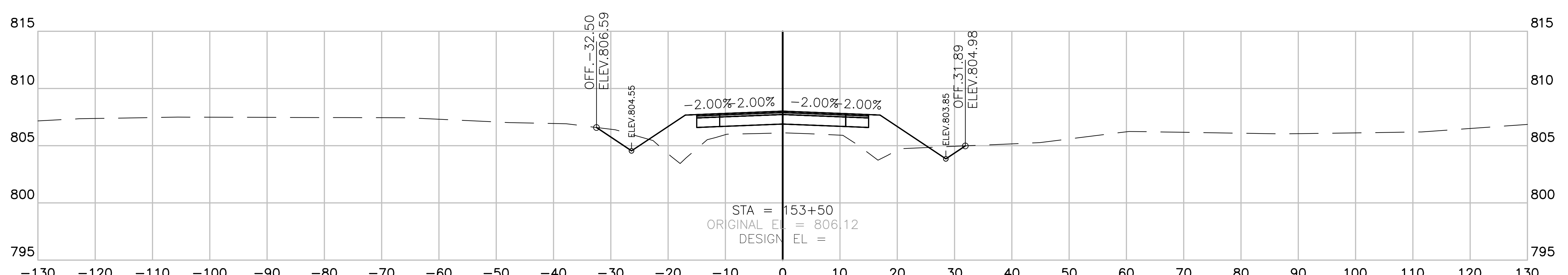
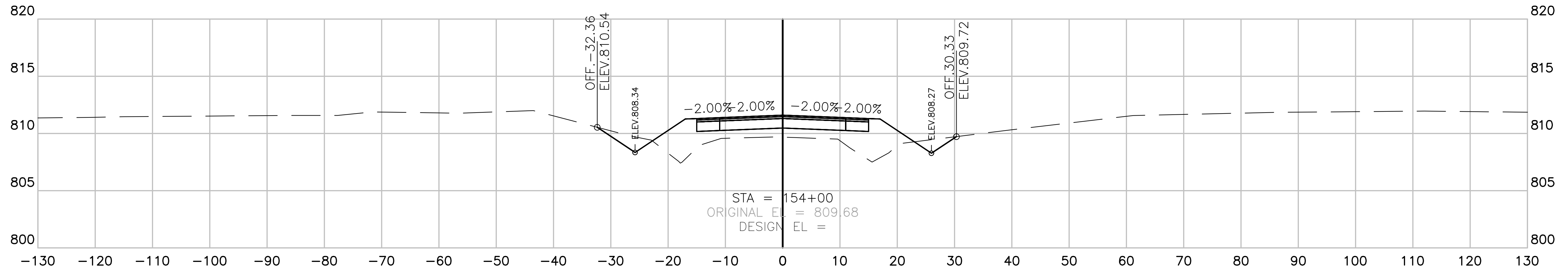
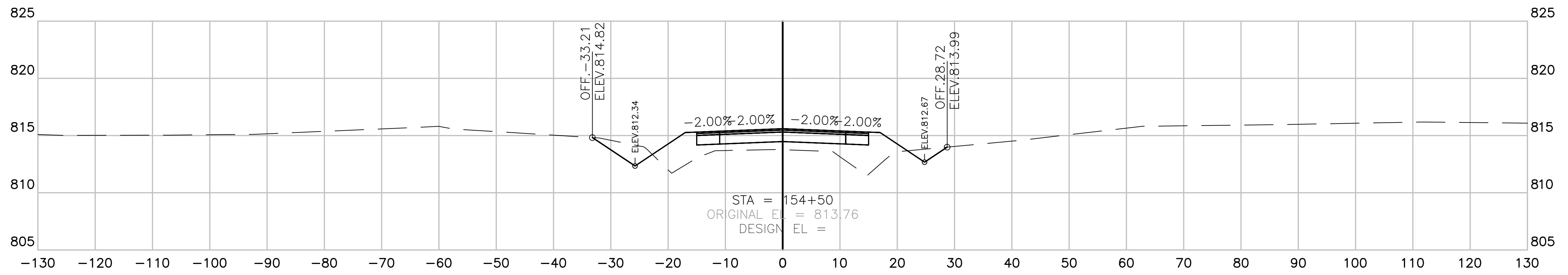
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

JOB NO.	18190	DESIGNED:	FLR
WK. ORDER	1349	DRAWN:	FLR
DATE	JANUARY 14, 2019	SCALE:	AS SHOWN

CROSS SECTIONS

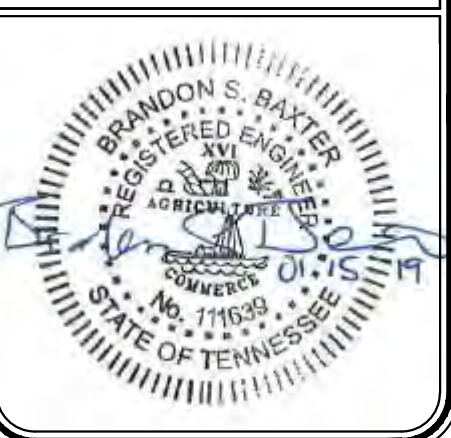
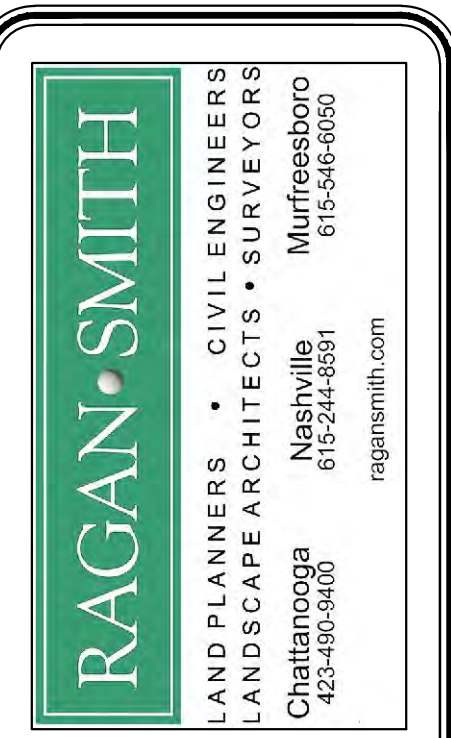
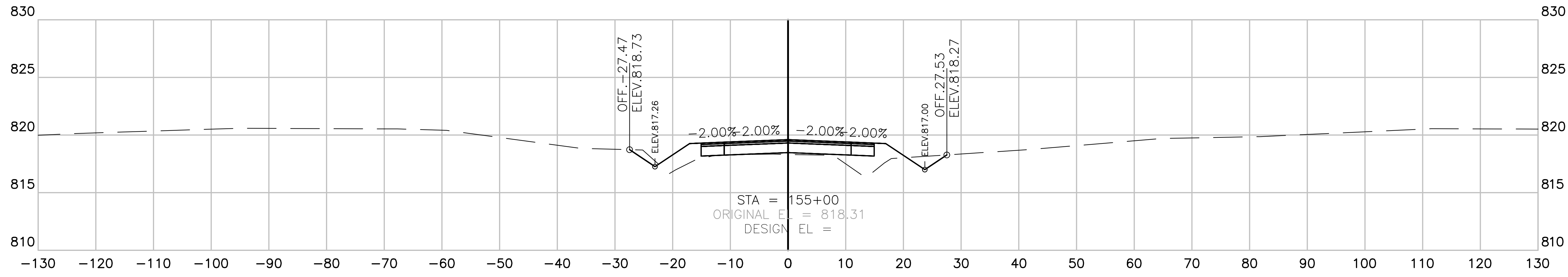
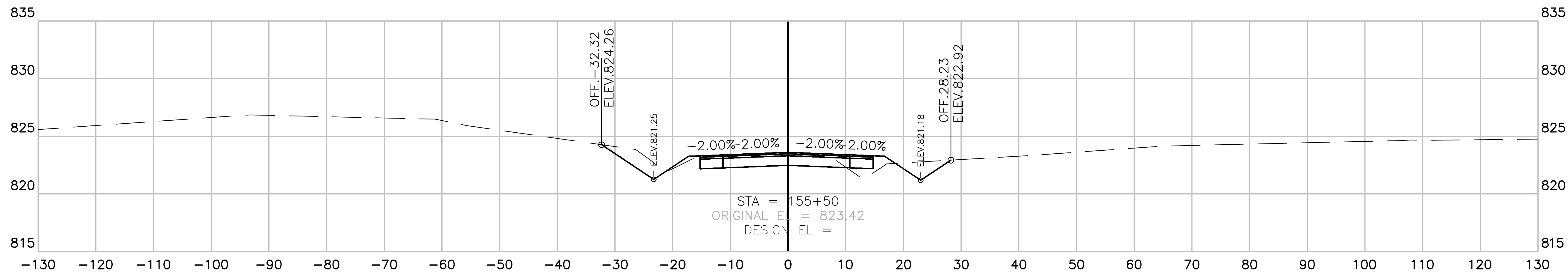
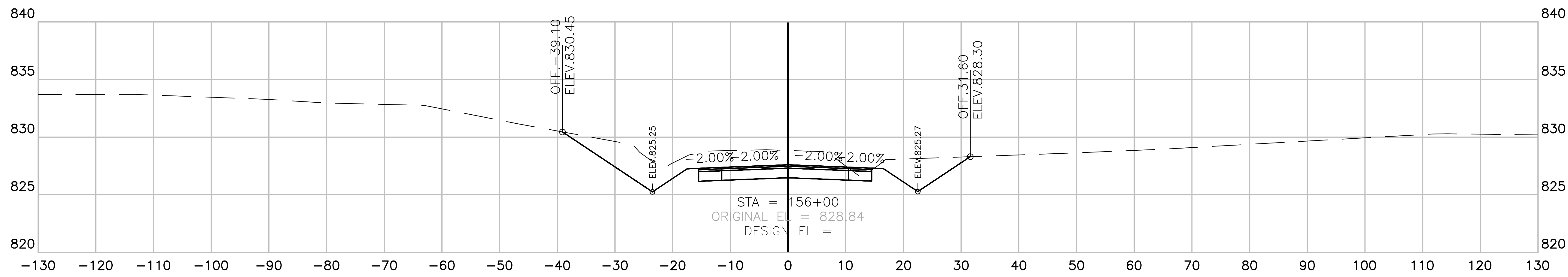
**X7**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GREGORY S. WILSON  
 DATE: JANUARY 14, 2019





**CRITZ LANE IMPROVEMENTS**  
FOR  
**TOWN OF THOMPSON'S STATION, TN**  
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

WK. ORDER	1349
JOB NO.	18190
DESIGNED:	FLR
DRAWN:	FLR
SCALE:	AS SHOWN
DATE:	JANUARY 14, 2019

CROSS SECTIONS

**X8**

**CRITZ LANE**  
SECTION VIEW: 1"=10' HORIZONTAL  
1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY M. HARRIS, 1/14/2019 10:58 AM

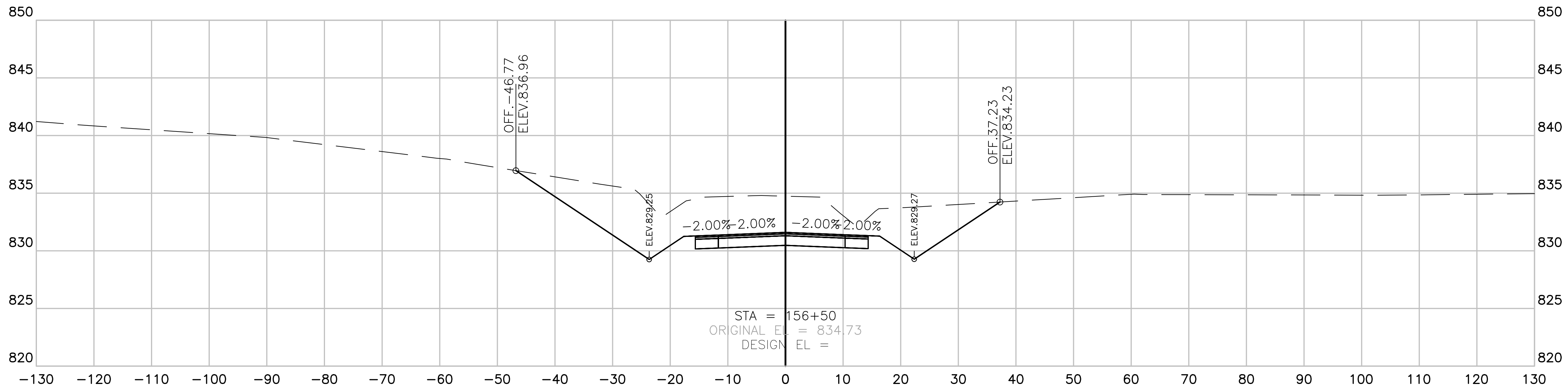
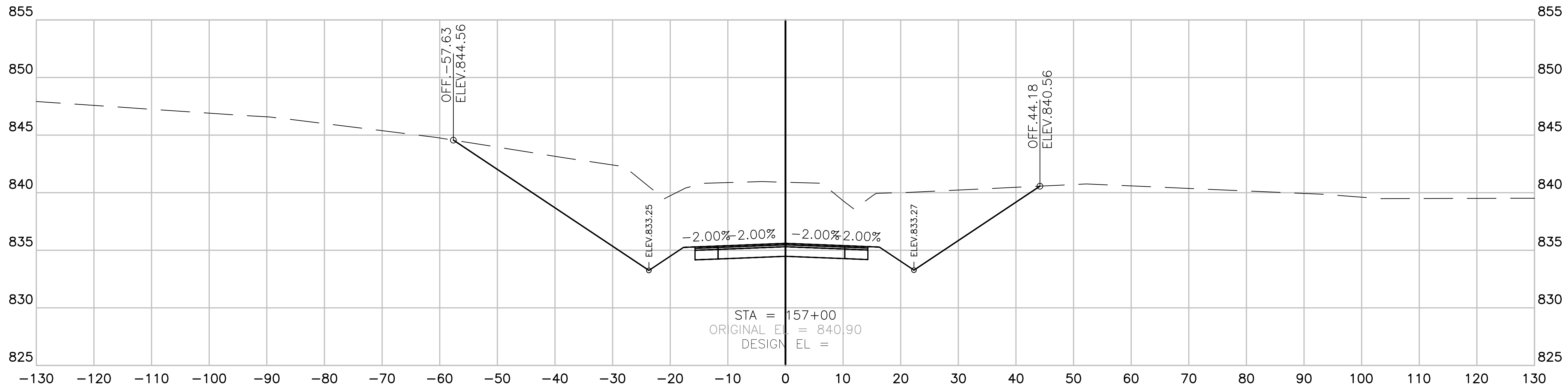


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019		

**CROSS SECTIONS**

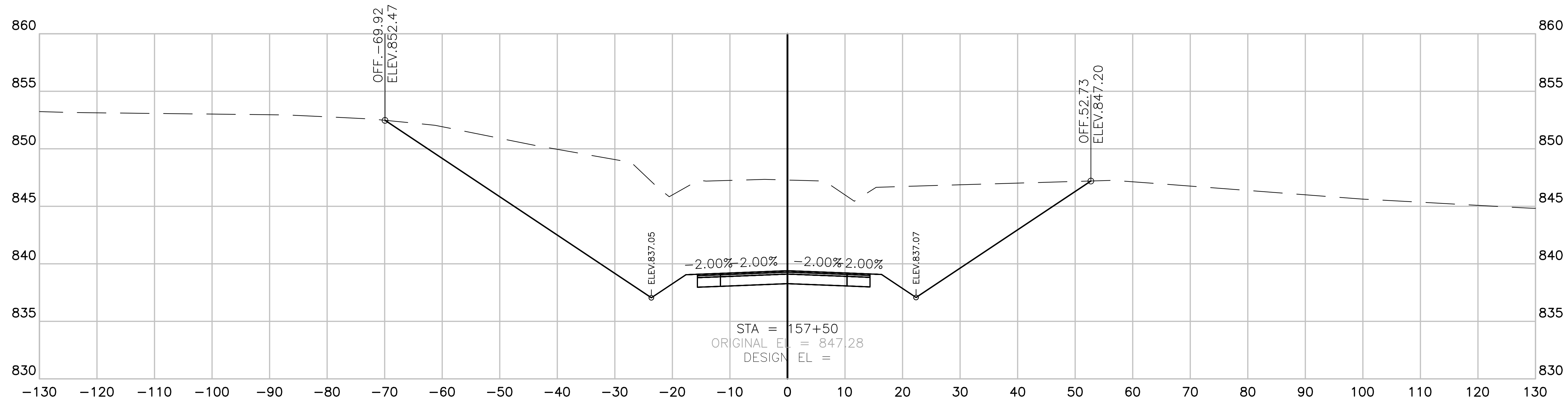
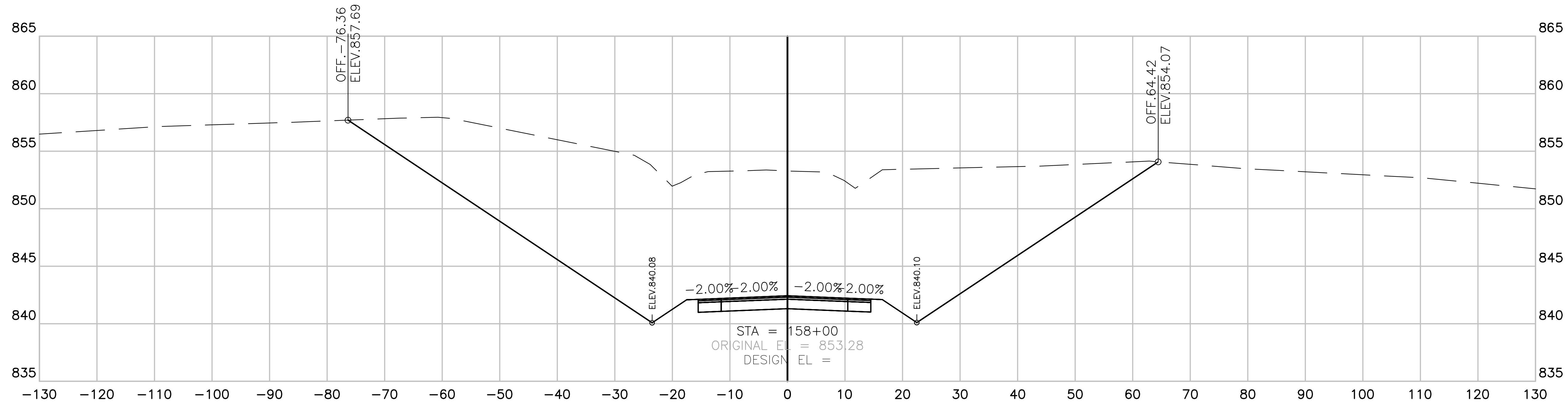
**X9**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY W. HARRIS, P.E. DATE: 1/14/2019 10:58 AM





**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

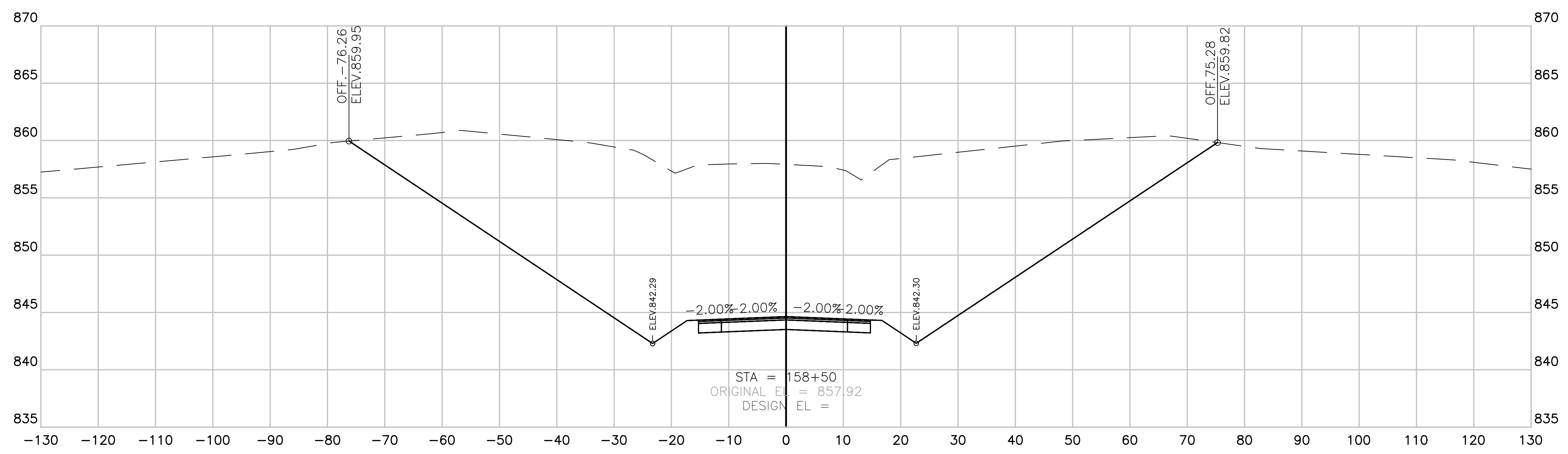
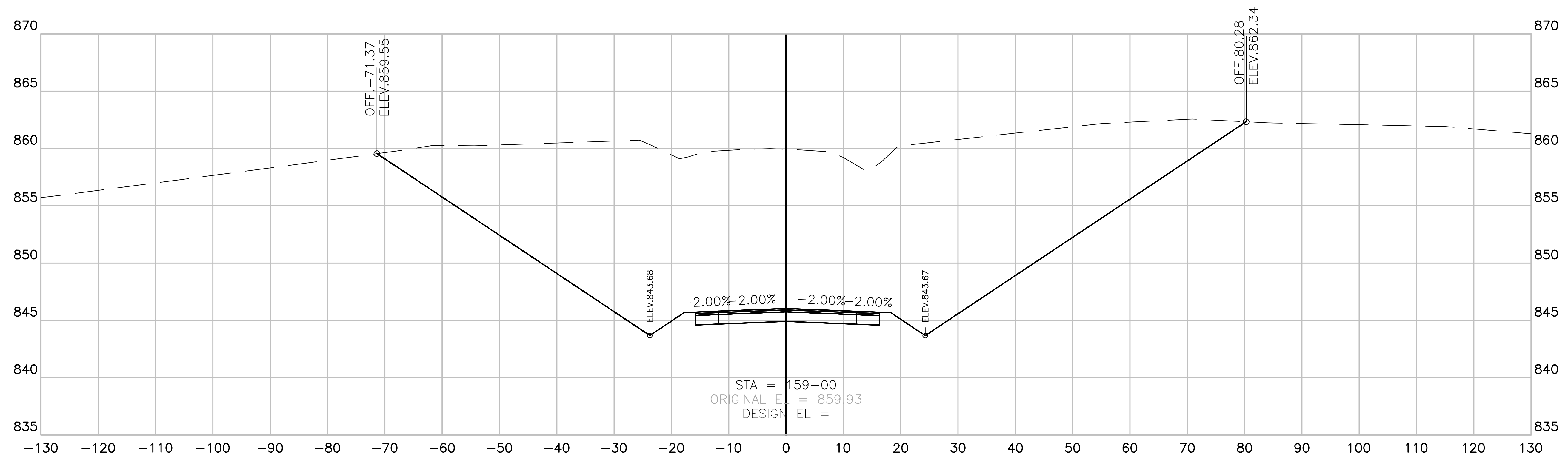
REV. #	DATE	DESCRIPTION

JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019
WK. ORDER	1349								

CROSS SECTIONS

**X10**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY W. HARRIS ON 1/14/2019 10:58 AM



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

**RAGAN SMITH**  
 CIVIL ENGINEERS  
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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

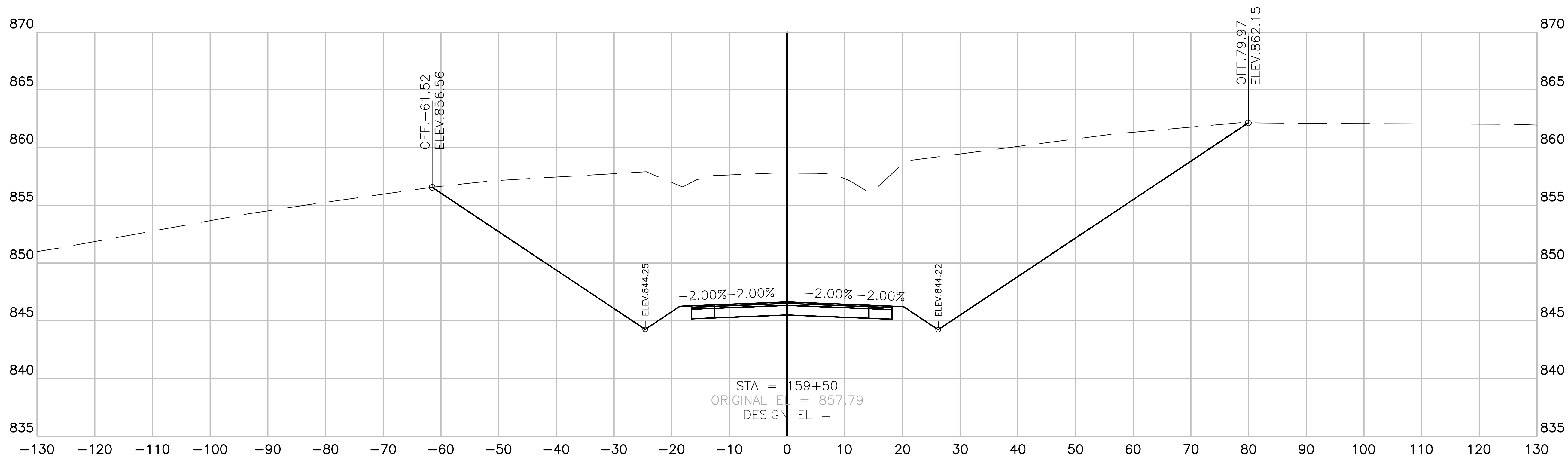
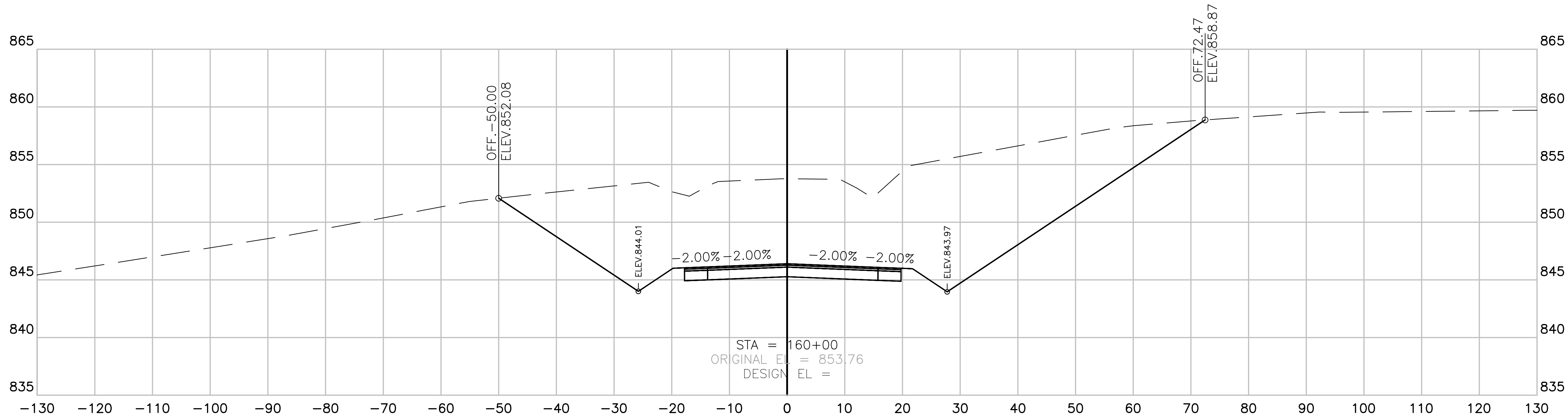
JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019
WK. ORDER	1349								

CROSS SECTIONS

**X11**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY W. HARRIS, DATE: 1/14/2019, TIME: 10:00 AM





**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

**RAGAN SMITH**  
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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DATE:	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019			

CROSS SECTIONS

**X12**

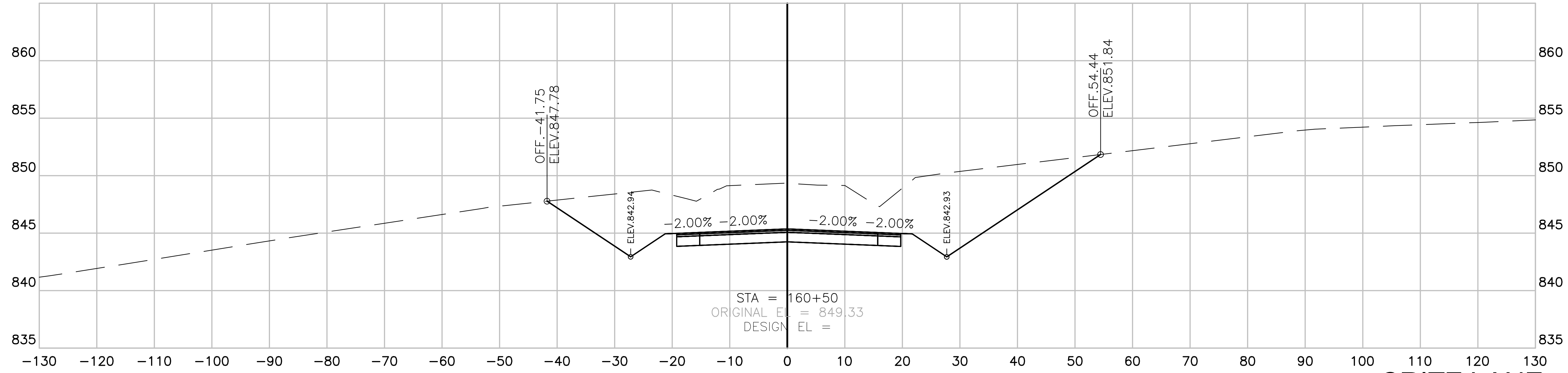
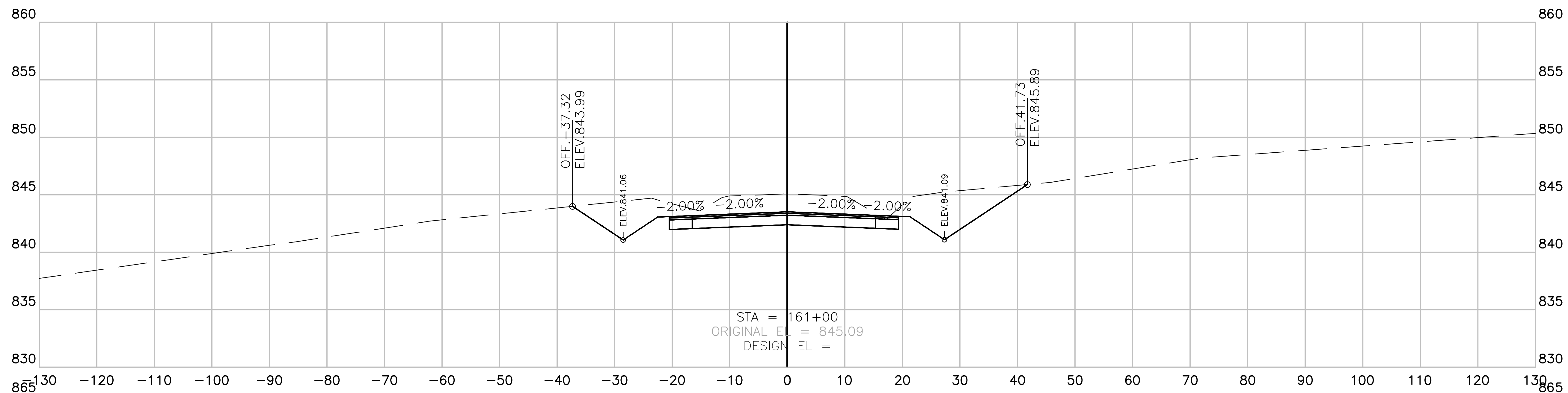
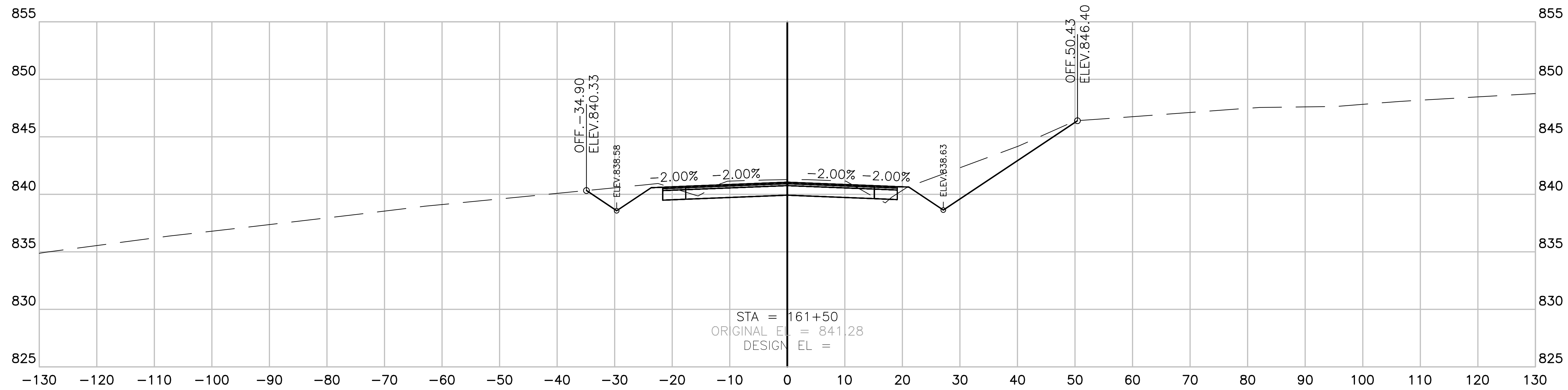


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	W.K. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	REV. #	DATE	DESCRIPTION:
18190	1349							JANUARY 14, 2019			

CROSS SECTIONS

**X13**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: J. HARRIS ON 1/14/2019 10:58 AM  
 LAST UPDATED BY: J. HARRIS ON 1/14/2019 10:58 AM

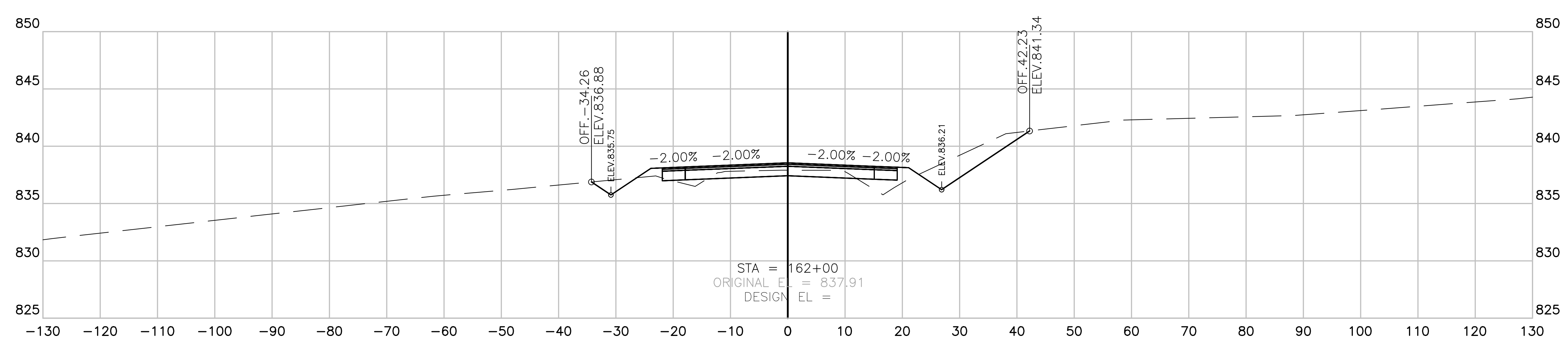
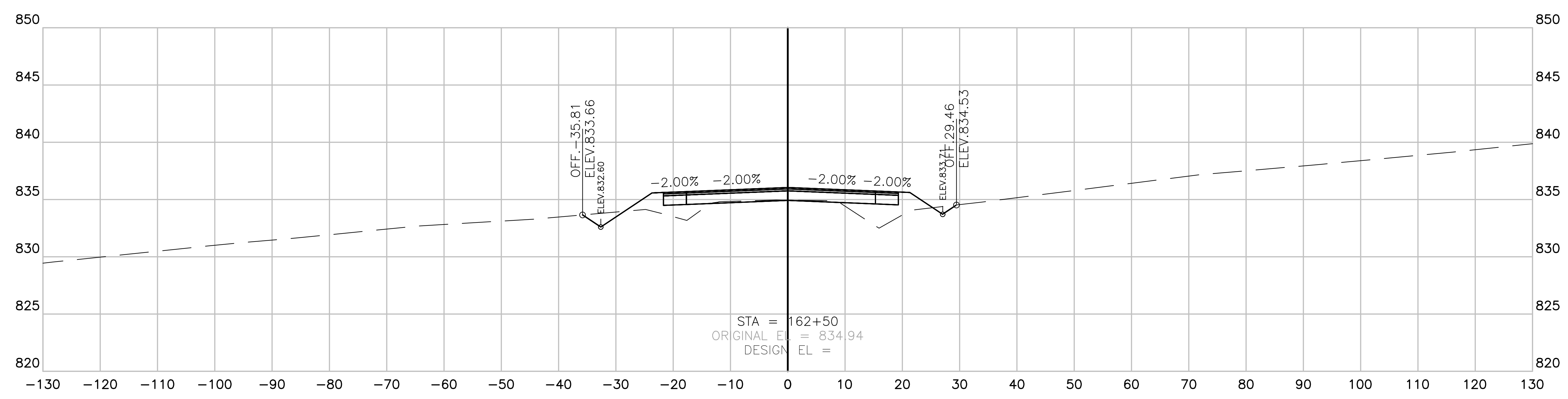
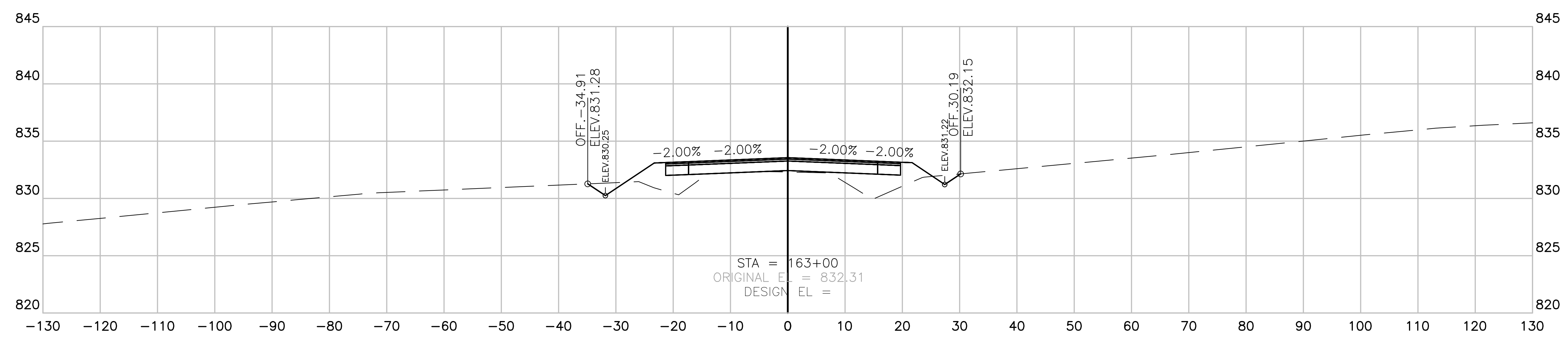




**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

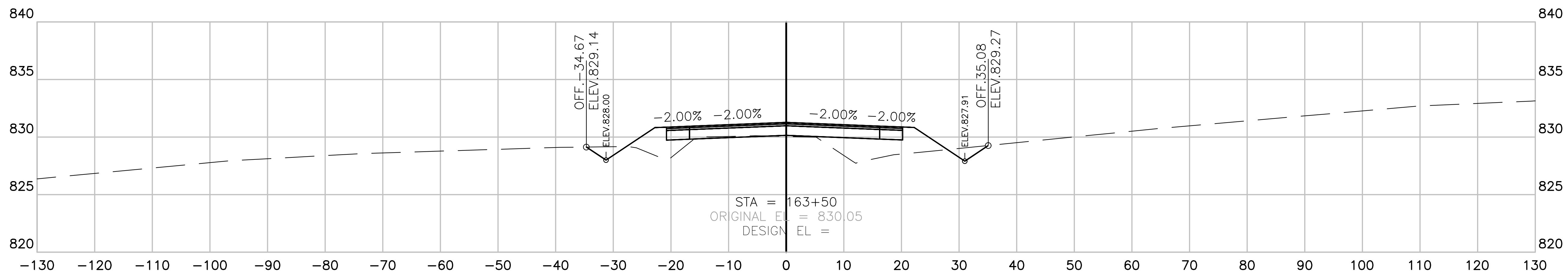
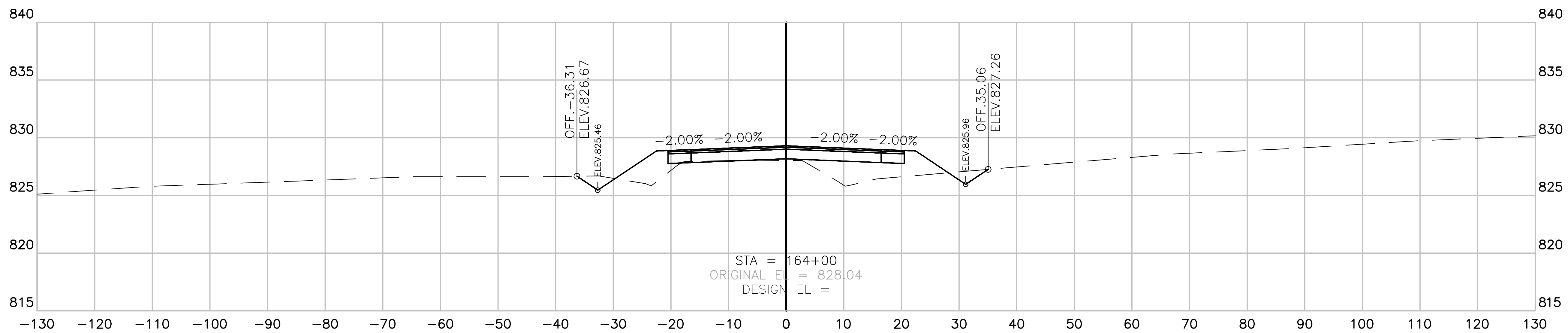
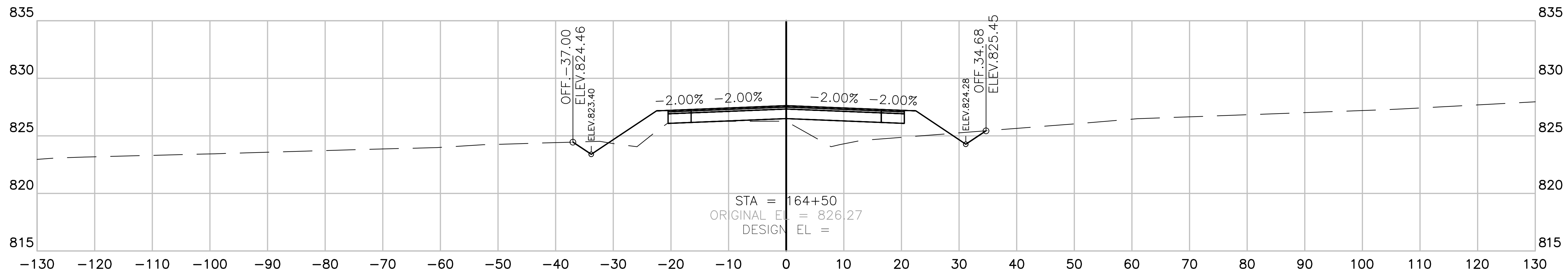
JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

**CROSS SECTIONS**  
**X14**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY S. WILSON  
 DATE: JANUARY 14, 2019  
 TIME: 10:00 AM  
 PLOTTER: HP PLOTTER



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

**RAGAN SMITH**  
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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DATE	DESCRIPTION
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019			

CROSS SECTIONS

**X15**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GREGORY W. HARRIS ON 1/14/2019 10:58:15 AM

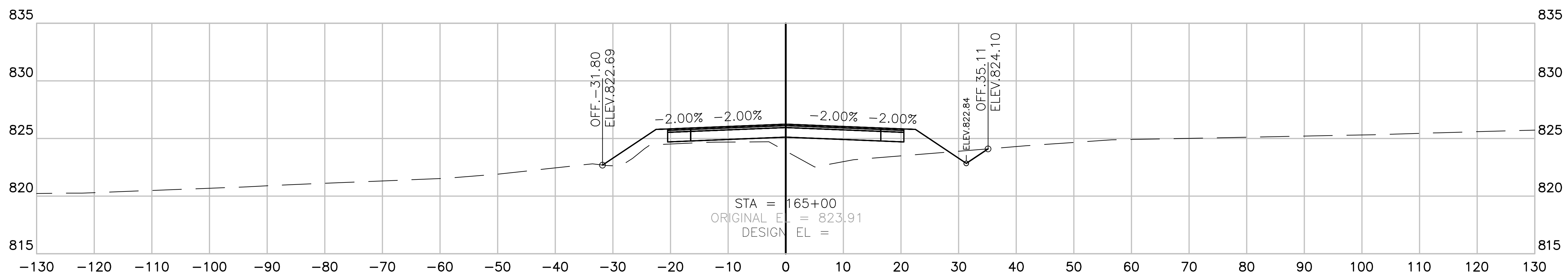
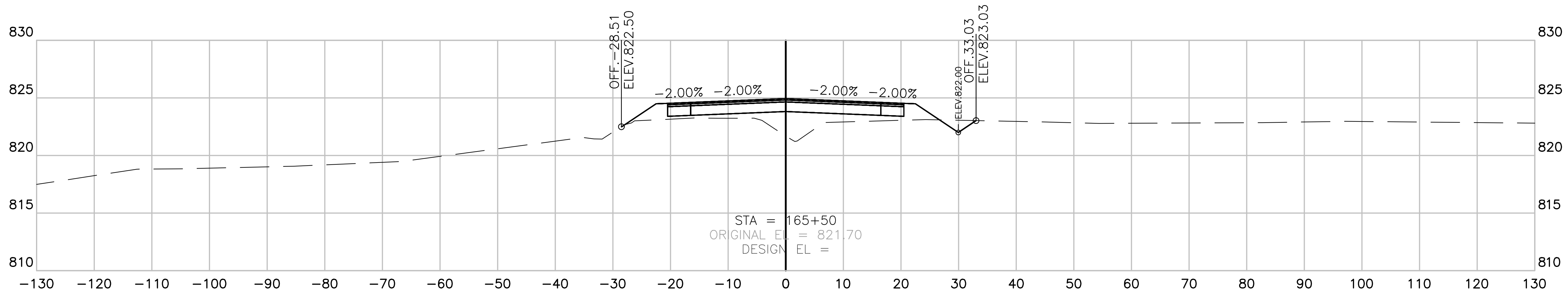
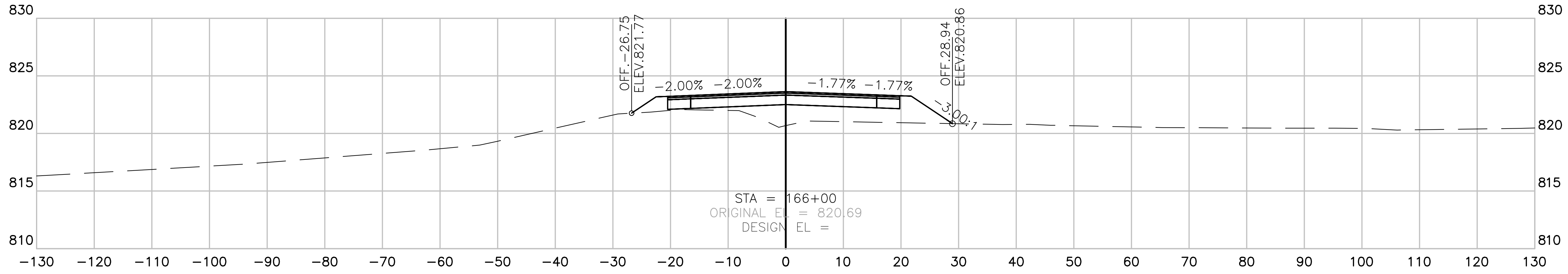
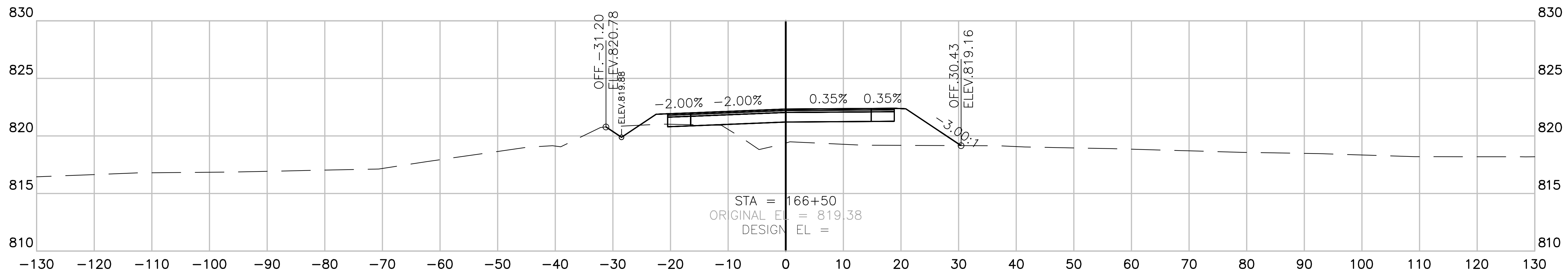




**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DATE:	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019			

CROSS SECTIONS  
**X16**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: G. W. HARRIS ON 1/14/2019 11:51 AM. LAST UPDATED BY: G. W. HARRIS ON 1/14/2019 11:51 AM

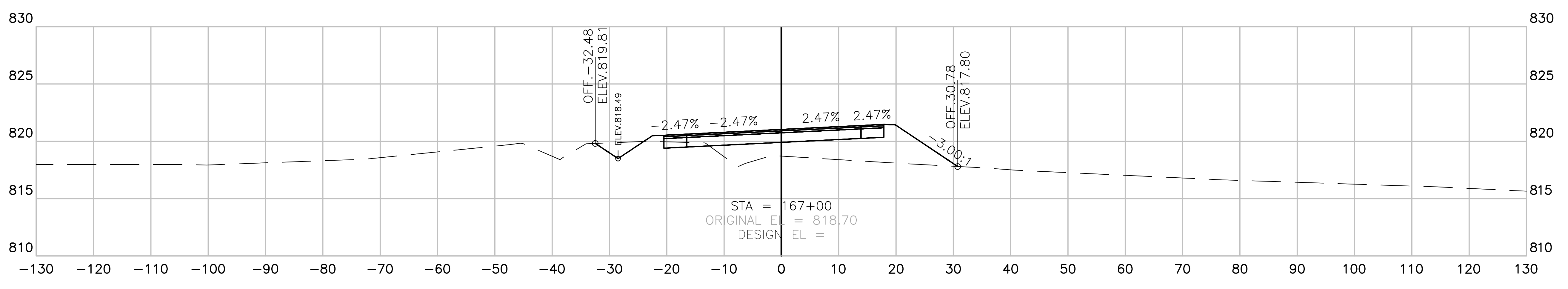
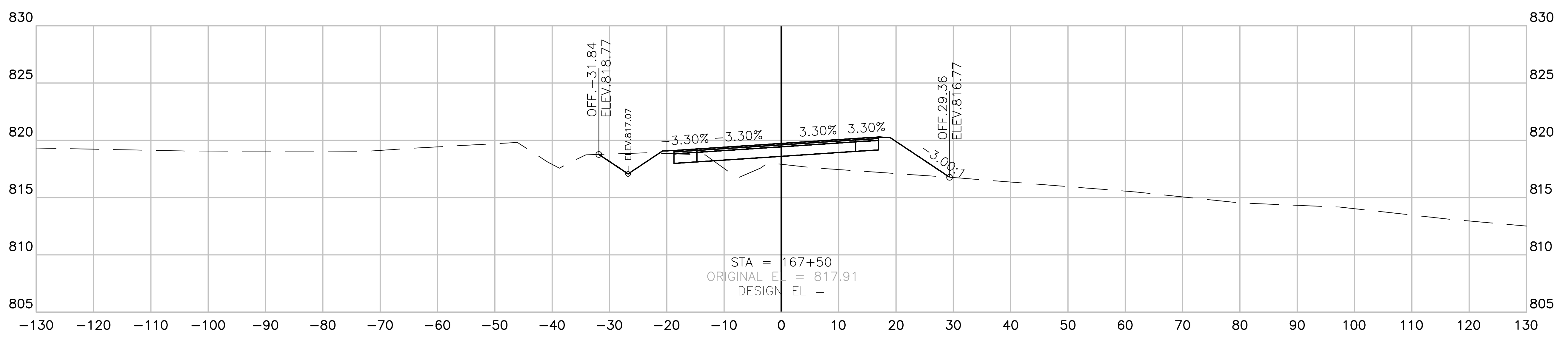
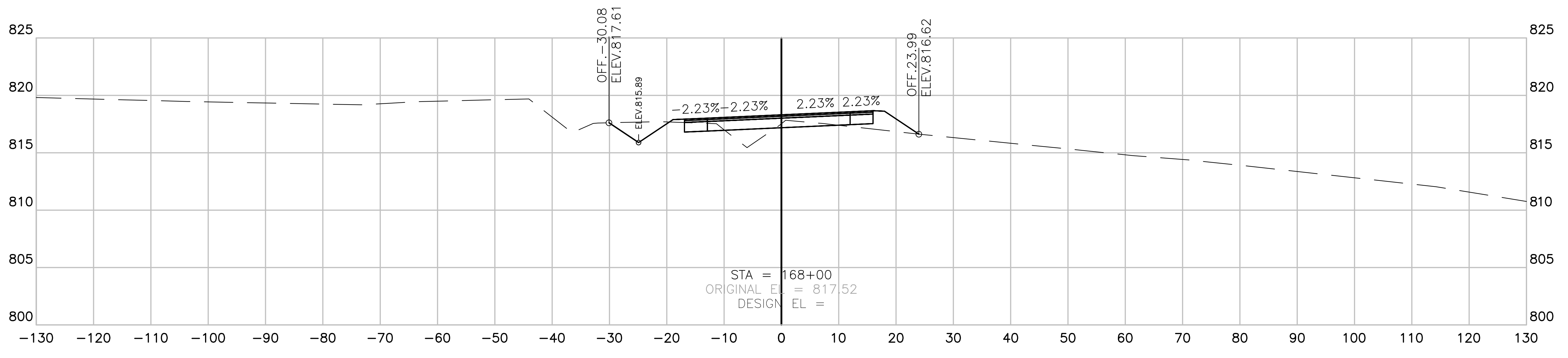


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

**CROSS SECTIONS**

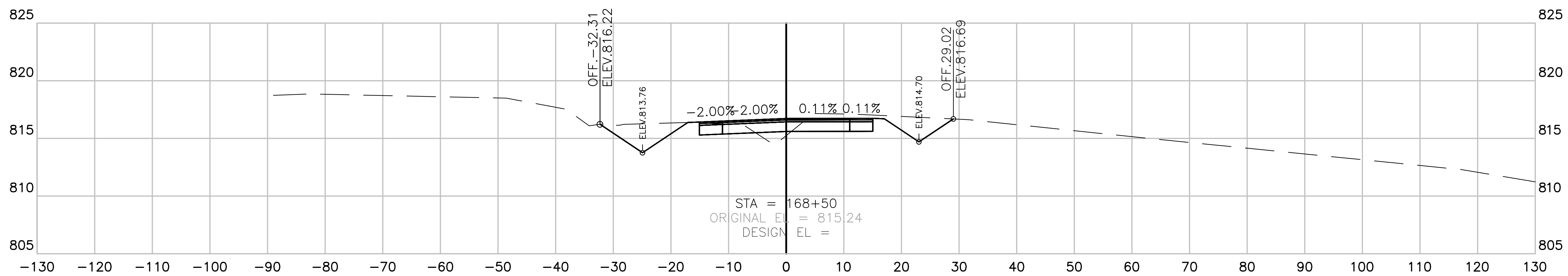
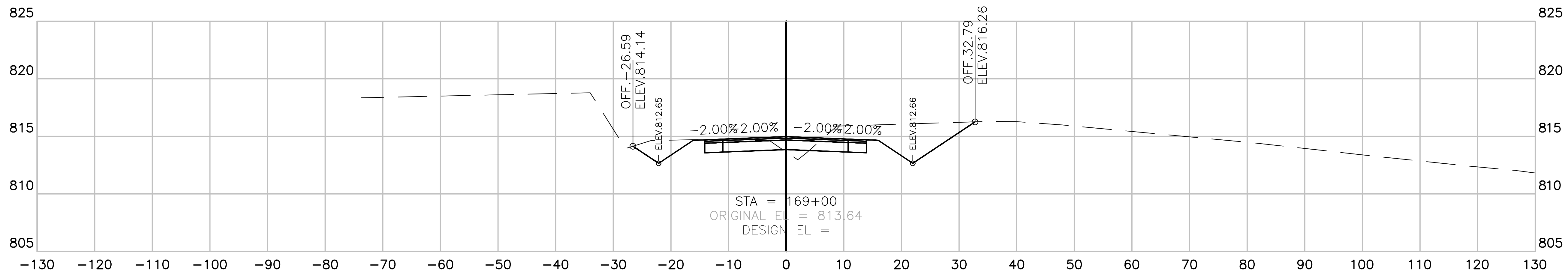
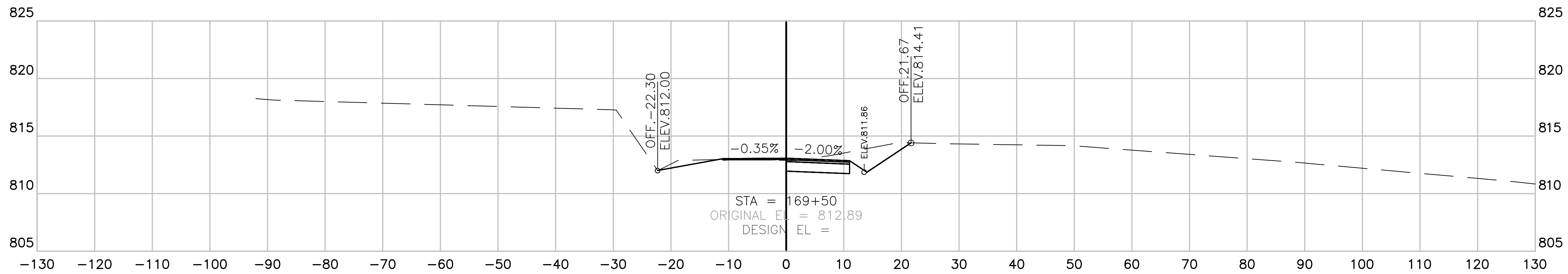
**X17**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GREGORY S. BAXTER, DATE: 1/14/2019, TIME: 10:00 AM





**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL



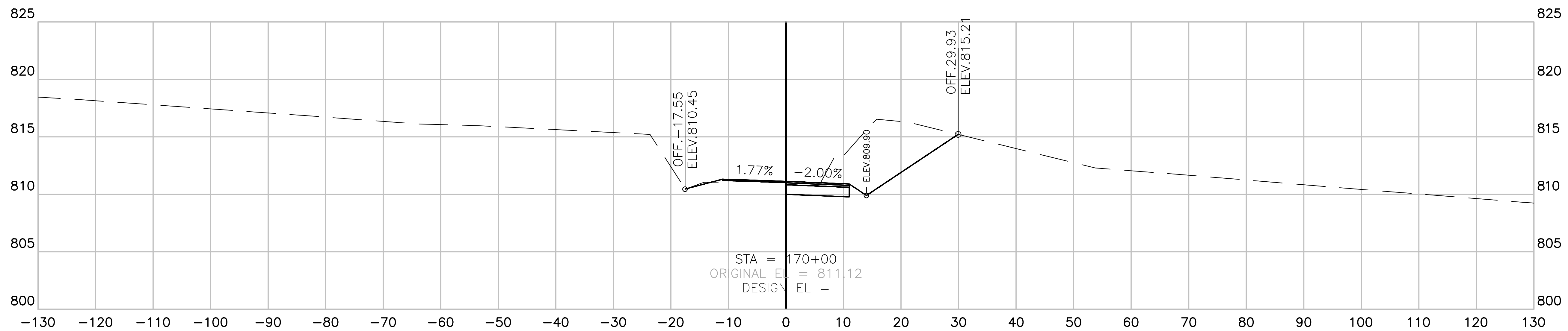
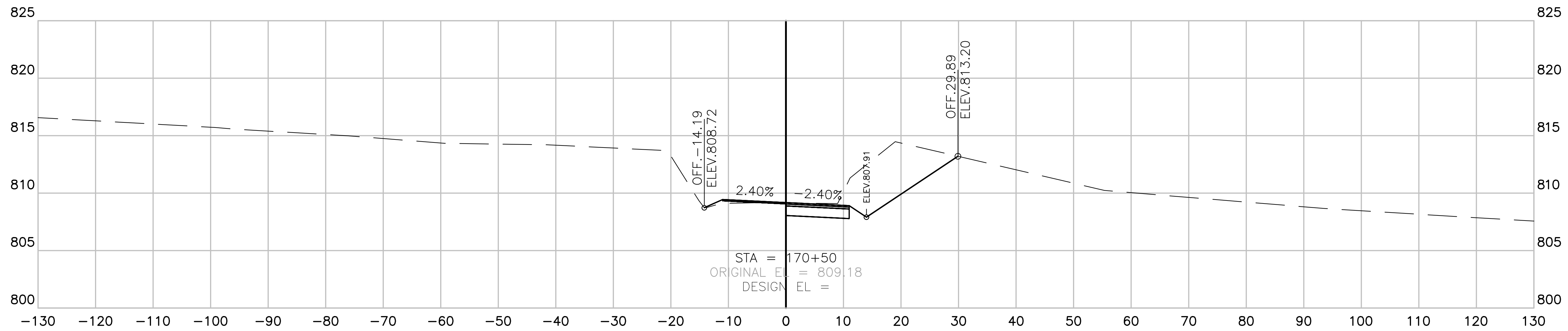
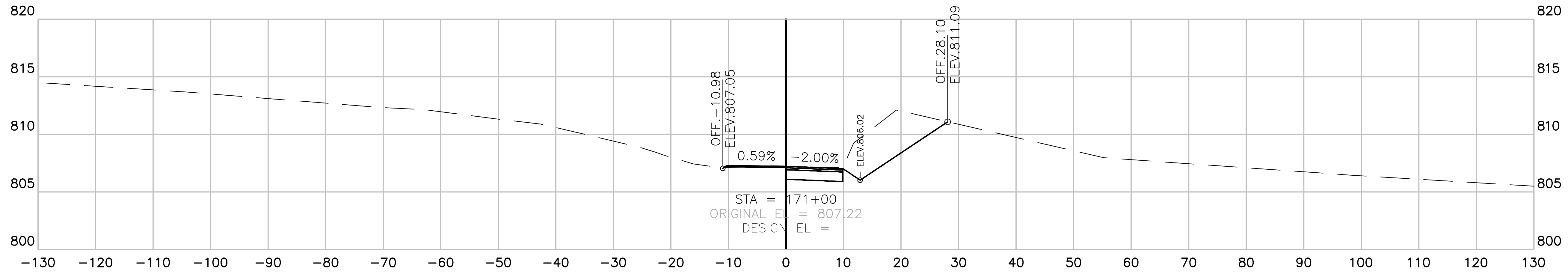
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DATE	DESCRIPTION
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019			

CROSS SECTIONS

**X18**



**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

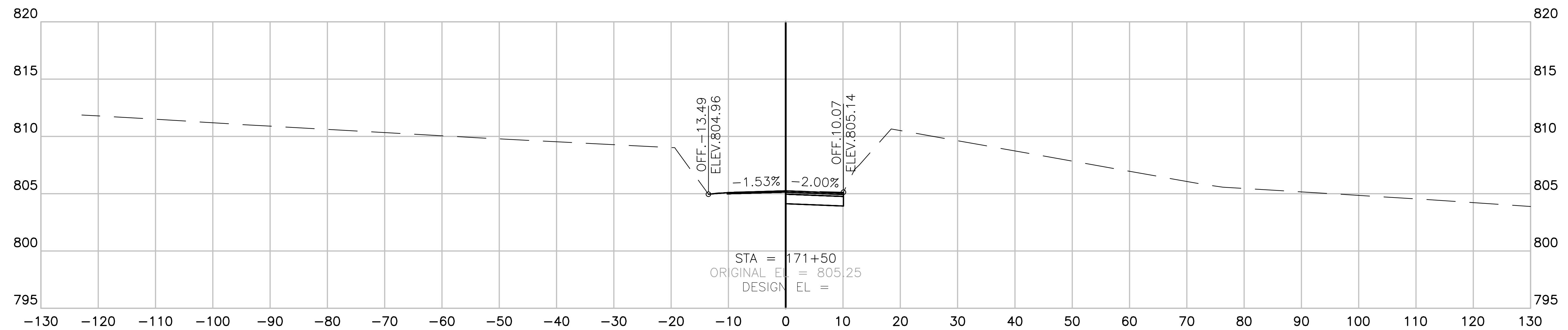
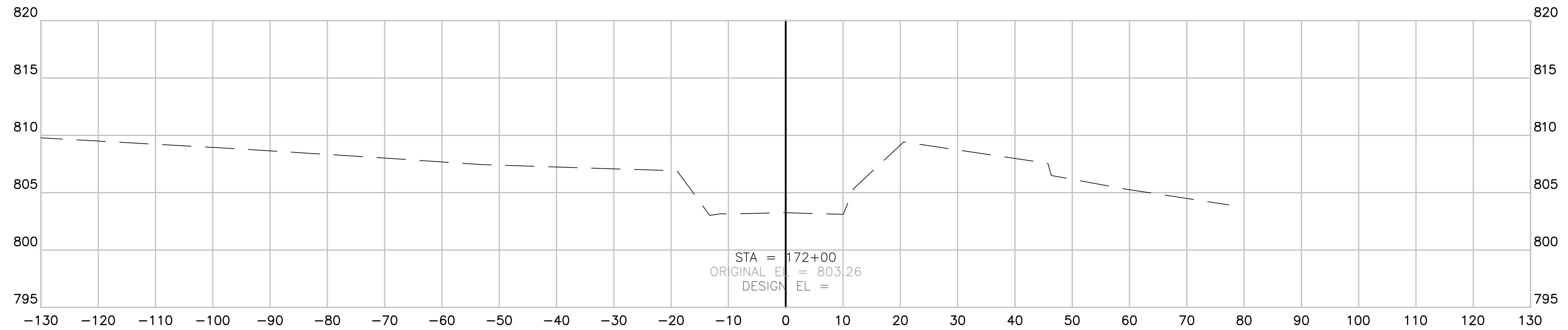
JOB NO.	W.K. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV.	DATE:	DESCRIPTION:
18190	1349	FLR	FLR	1"=50'	JANUARY 14, 2019			

**CROSS SECTIONS**

**X19**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GREGORY S. BAXTER  
 DATE: 1/14/2019 10:58:15 AM





**CRITZ LANE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	W.K. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019		

CROSS SECTIONS

**X20**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GARDNER ON 1/15/2019 9:14 AM      LAST UPDATED BY: GARDNER ON 1/15/2019 9:14 AM

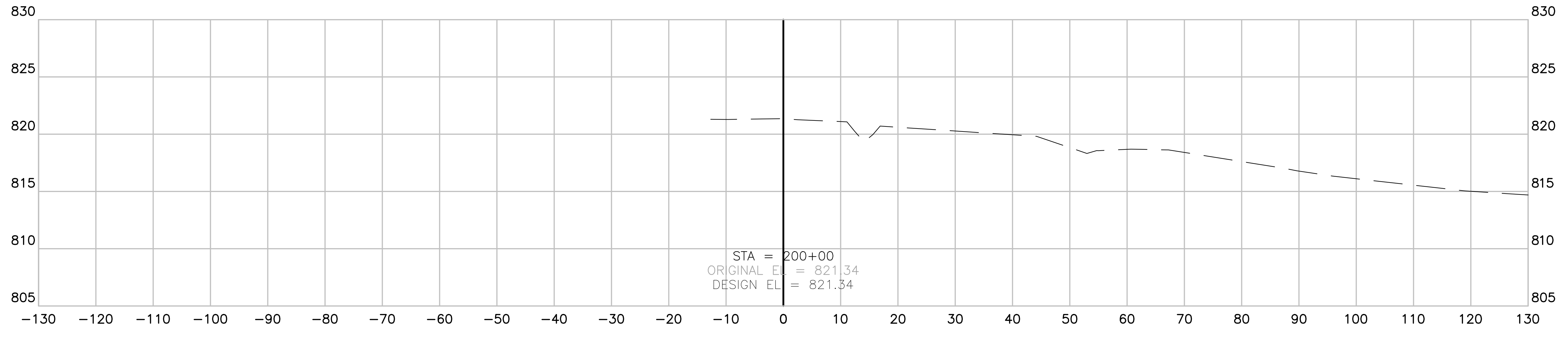
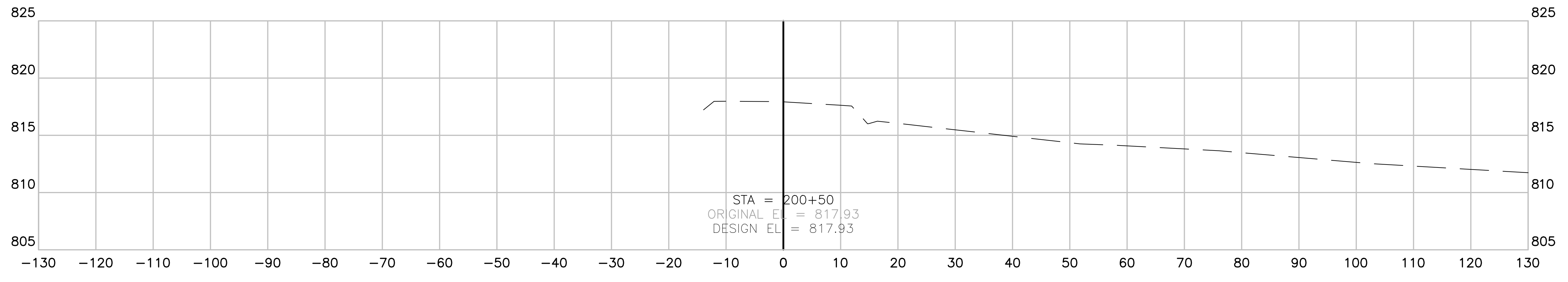
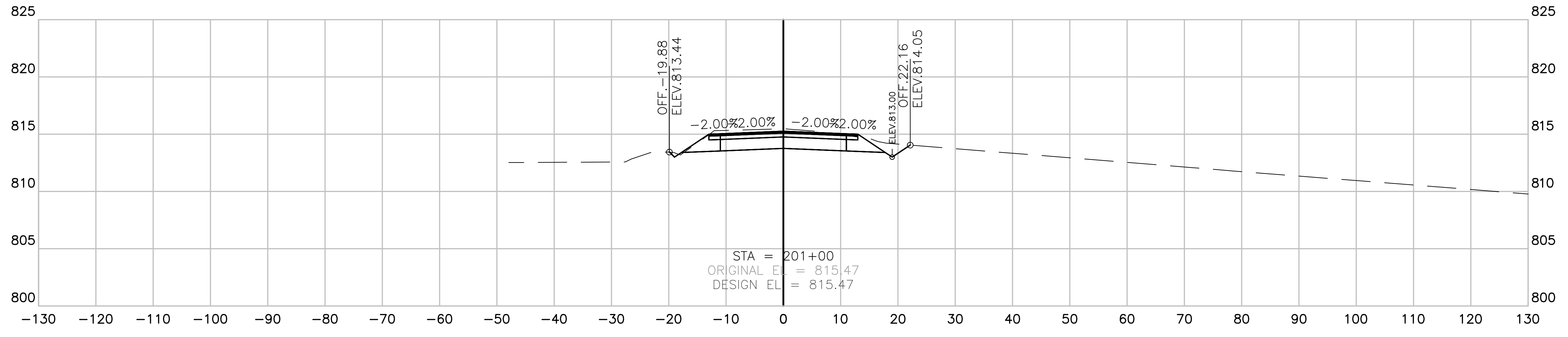


**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

CROSS SECTIONS

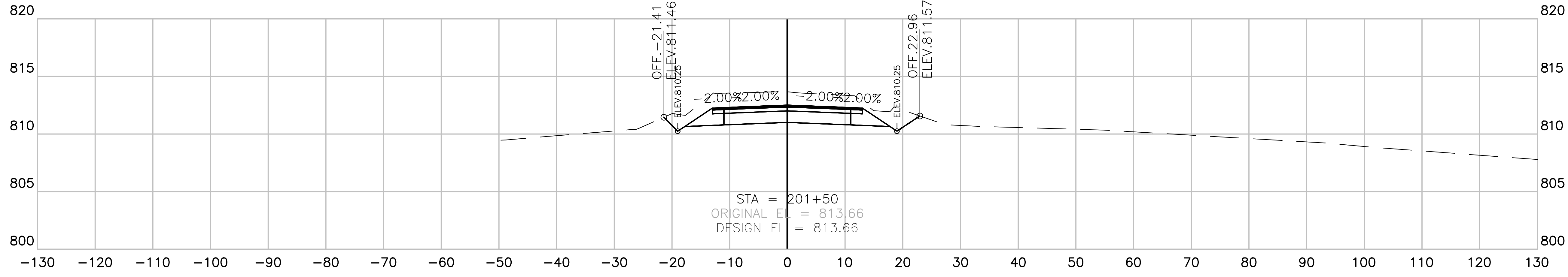
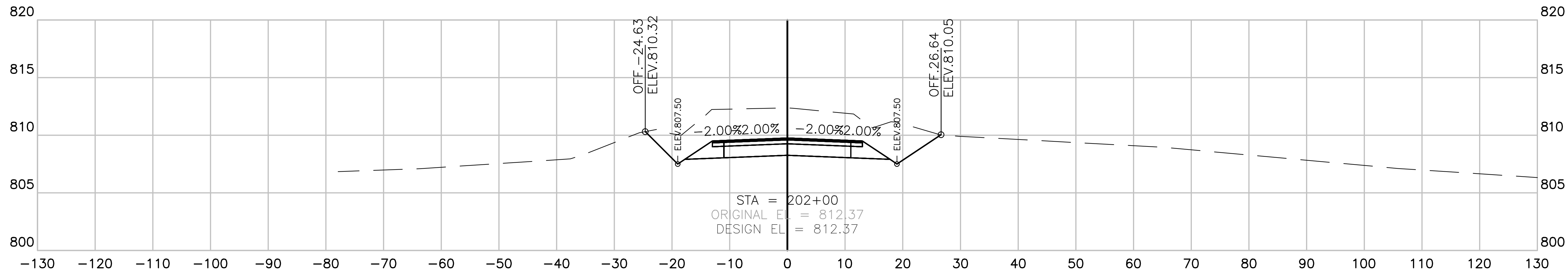
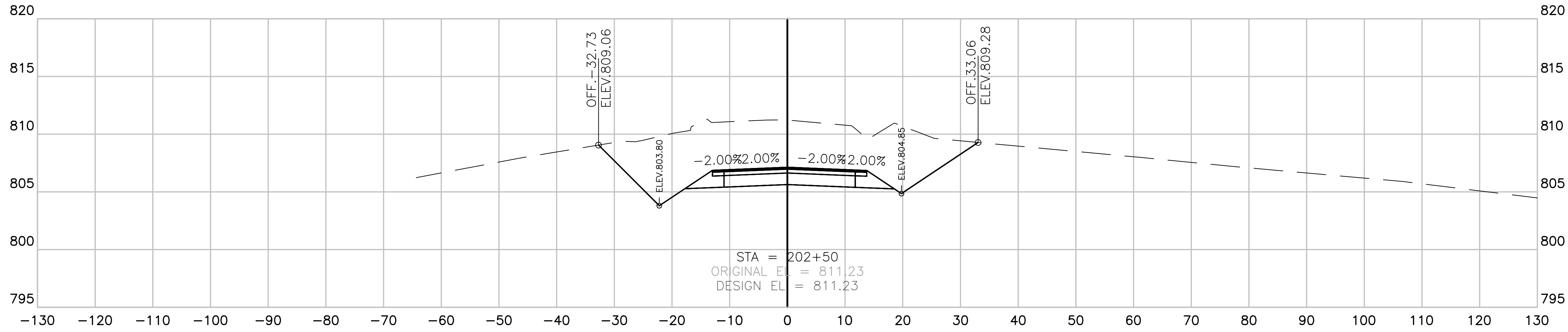
**X21**



**CLAYTON ARNOLD ROAD**

SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL





**CLAYTON ARNOLD ROAD**

SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

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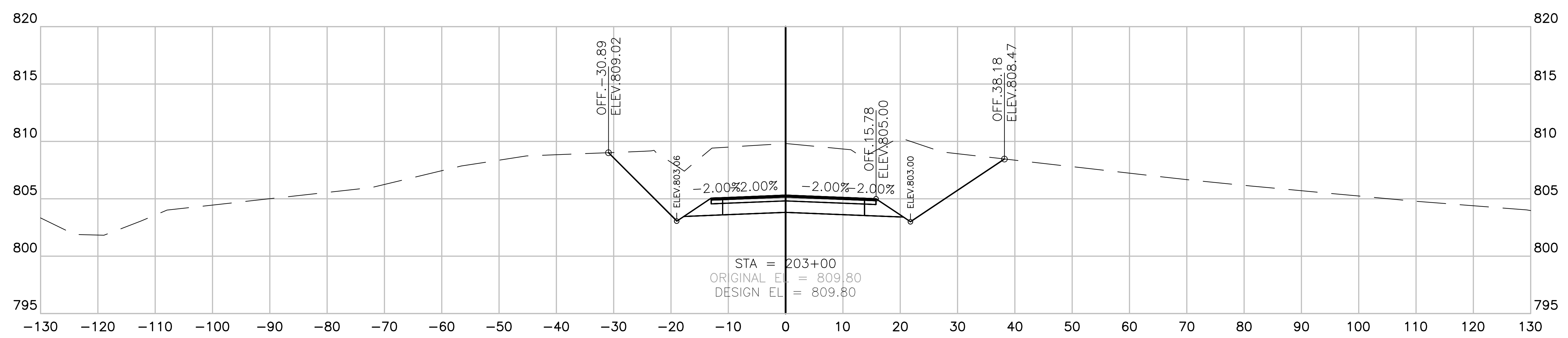
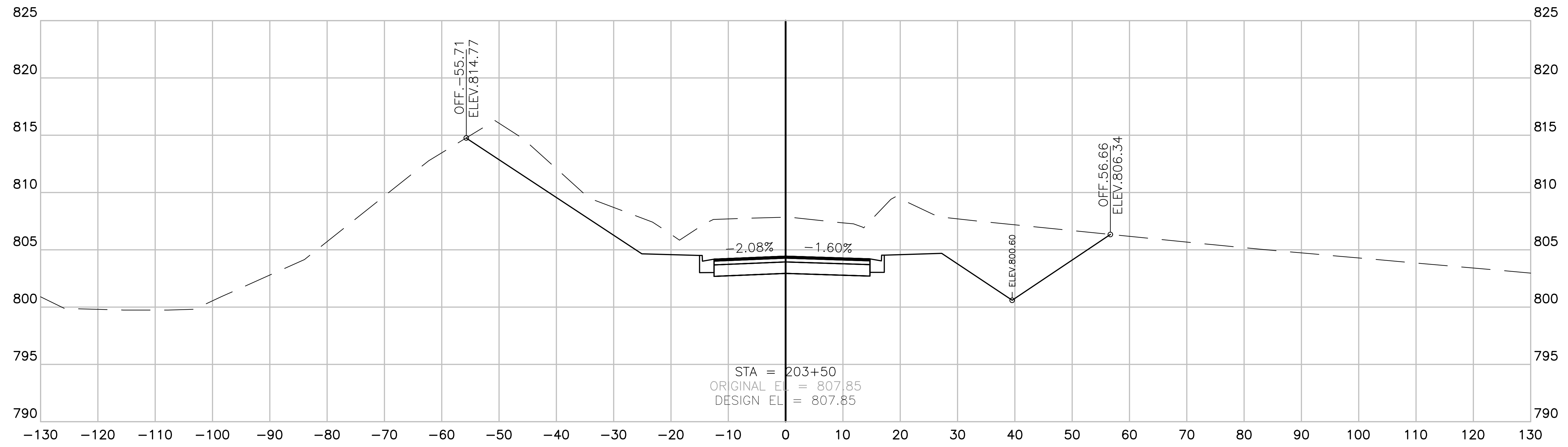
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

**CROSS SECTIONS**

**X22**

CLAYTON ARNOLD ROAD IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GARDNER ON 1/15/2019 9:51 AM. LAST UPDATED BY: GARDNER ON 1/15/2019 9:51 AM.



# CLAYTON ARNOLD ROAD

SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

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## CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

REV. #	DATE	DESCRIPTION

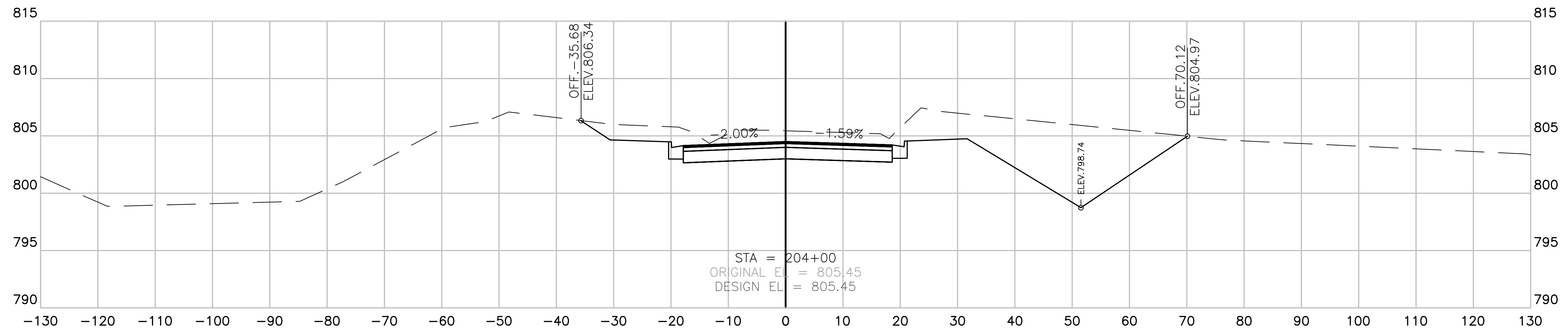
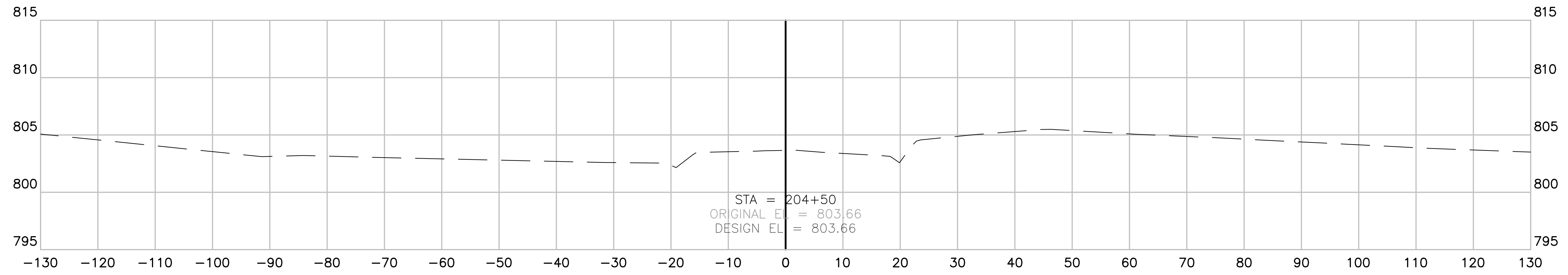
JOB NO. 18190	DESIGNED: FLR	DRAWN: FLR	SCALE: AS SHOWN	DATE: JANUARY 14, 2019
WK. ORDER 1349				

CROSS SECTIONS

X23

CLAYTON ARNOLD ROAD IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, TN  
 PLOTTED BY: GARDNER ON 1/15/2019 9:14 AM. LAST UPDATED BY: GARDNER ON 1/15/2019 9:14 AM





**CLAYTON ARNOLD ROAD**

SECTION VIEW: 1"=10' HORIZONTAL  
1"=5' VERTICAL

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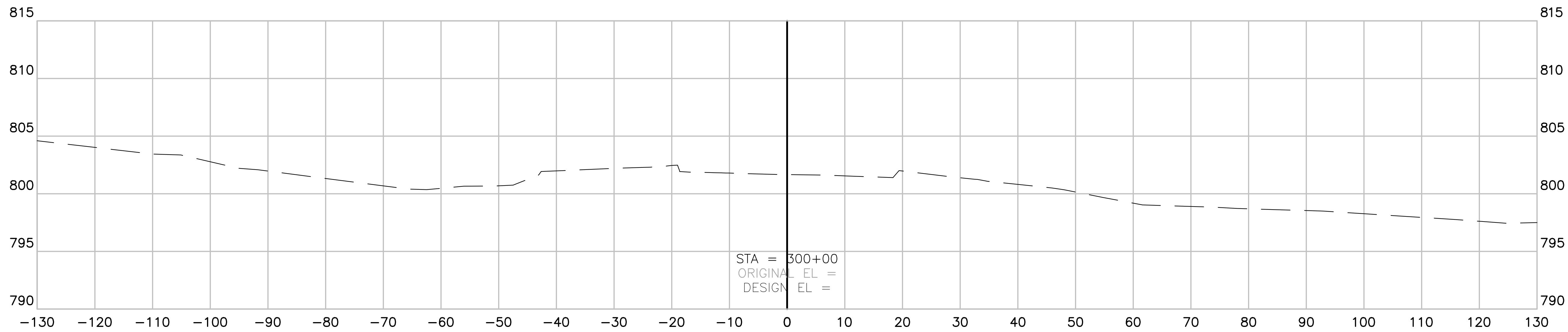
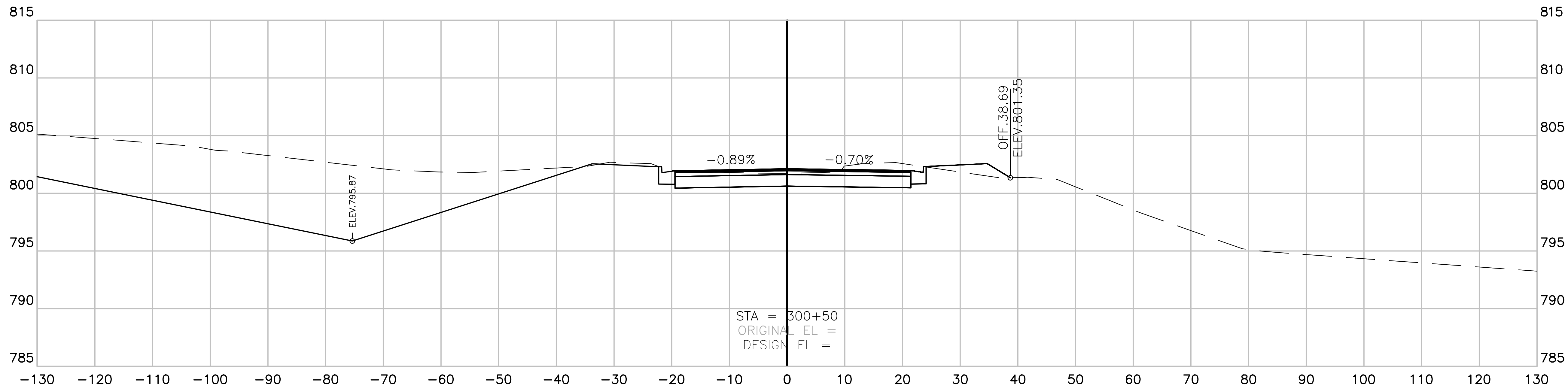
**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	DRAWN:	SCALE:	DATE:	REV. #	DESCRIPTION:
18190	1349	FLR	FLR	AS SHOWN	JANUARY 14, 2019		

CROSS SECTIONS

**X24**

CLAYTON ARNOLD ROAD IMPROVEMENTS AND CONCOURSE MARKING  
 PLOTTED BY: GARDNER ON 1/15/2019 10:58 AM LAST UPDATED BY: GARDNER ON 1/15/2019 10:58 AM



**Paddock Park Drive**

SECTION VIEW: 1"=10' HORIZONTAL  
1"=5' VERTICAL

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 Nashville 615-244-8591  
 Murfreesboro 615-546-9050  
 ragan@smith.com



**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**

TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

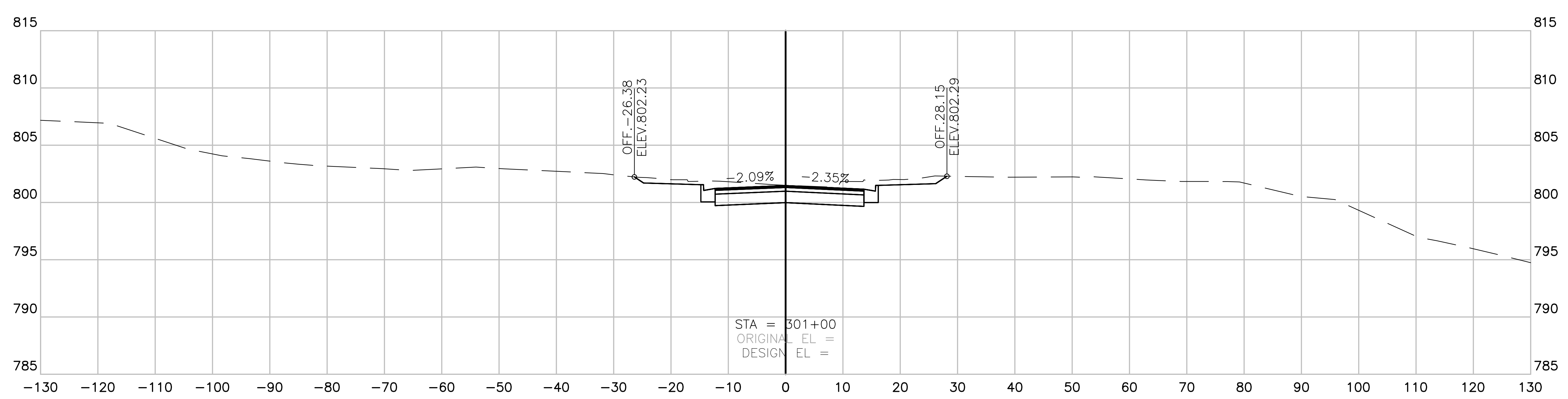
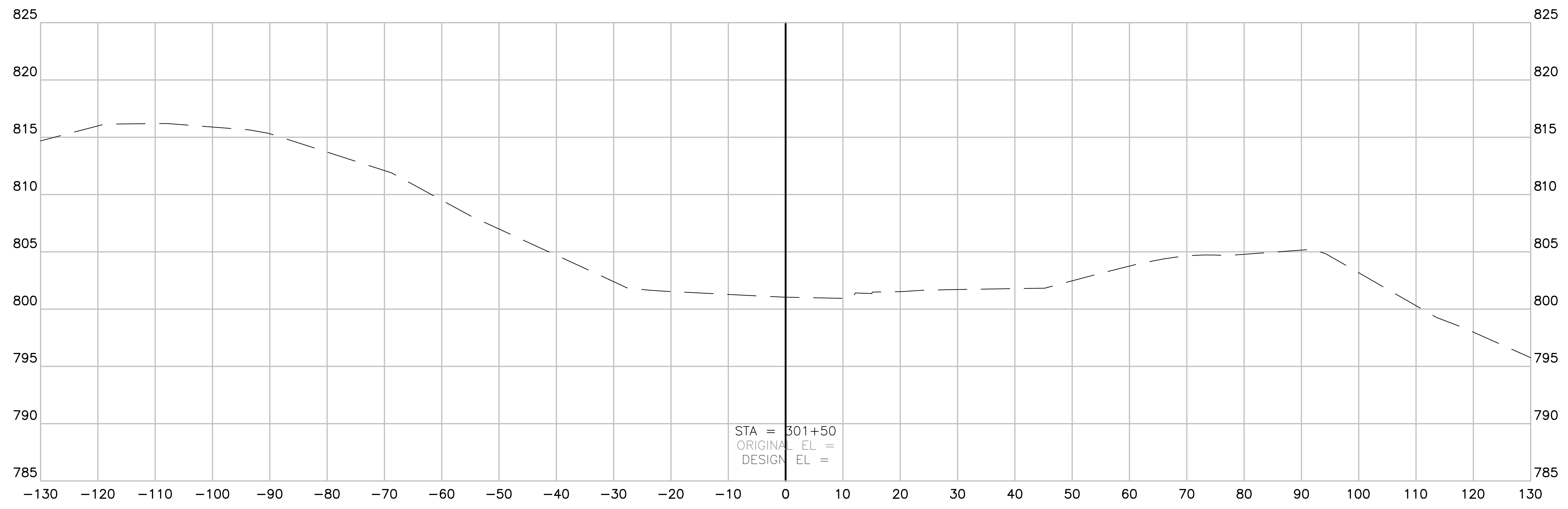
JOB NO.	18190	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
WK. ORDER	1349										

**CROSS SECTIONS**

**X25**

CRITZ LANE IMPROVEMENTS FOR TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE  
 PLOTTED BY: GARDNER ON 1/15/2019 9:11 AM. LAST UPDATED BY: GARDNER ON 1/15/2019 9:11 AM





**PADDOCK PARK DRIVE**  
 SECTION VIEW: 1"=10' HORIZONTAL  
 1"=5' VERTICAL

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**CRITZ LANE IMPROVEMENTS**  
 FOR  
**TOWN OF THOMPSON'S STATION, TN**  
 TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE

JOB NO.	WK. ORDER	DESIGNED:	FLR	DRAWN:	FLR	SCALE:	AS SHOWN	DATE:	JANUARY 14, 2019	REV. #	DESCRIPTION:
18190	1349										

**CROSS SECTIONS**

**X26**

CLING AND ADAMS TRANSMISSIONS AND CONSTRUCTION, INC.  
 PLOTTED BY CLING AND ADAMS ON 1/15/2019 9:51 AM. LAST UPDATED BY ADEED ON 1/15/2019 9:51 AM.



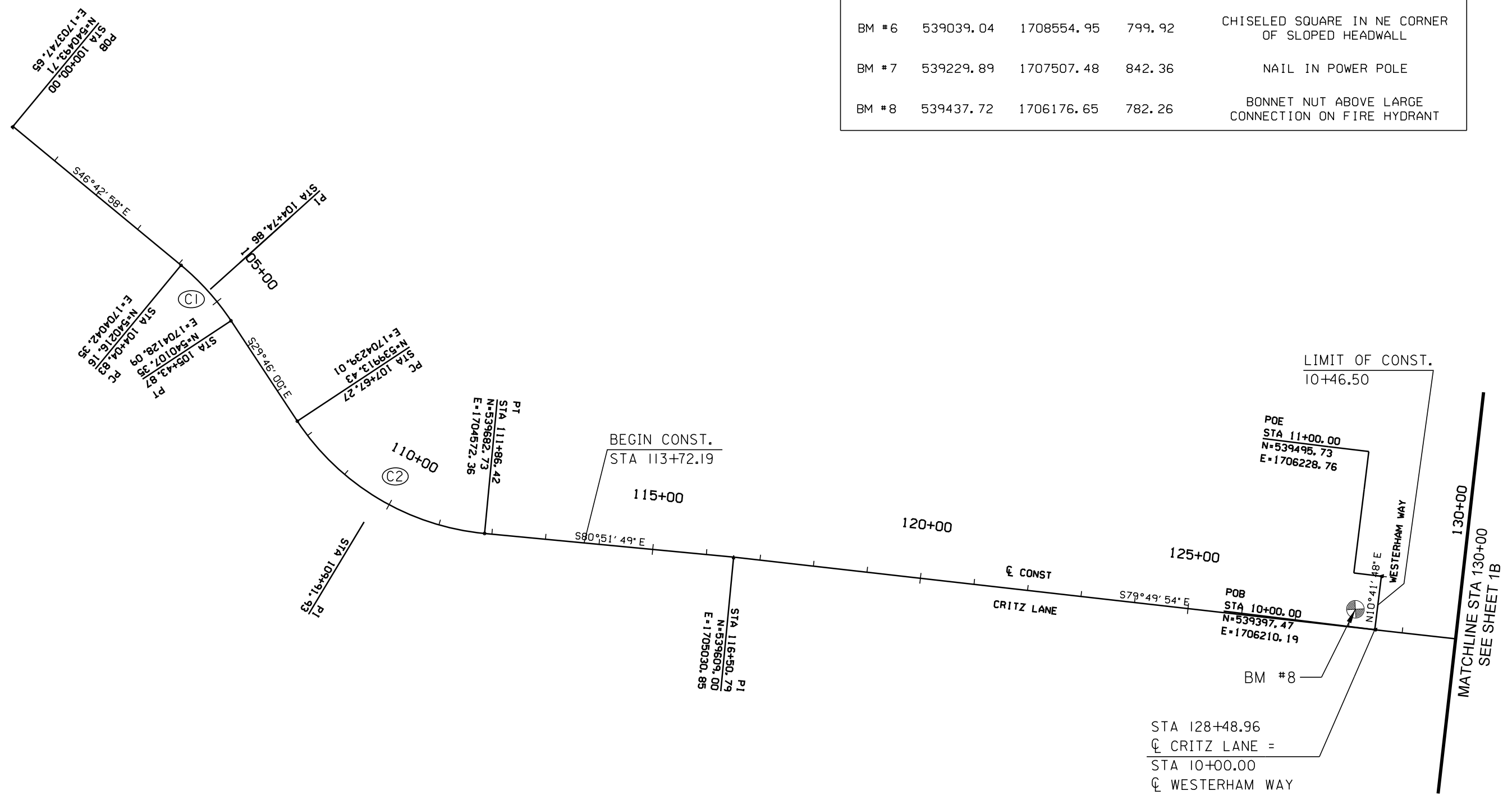


PRELIMINARY  
NOT FOR  
CONSTRUCTION

GEOMETRIC LAYOUT AND SURVEY CONTROL  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
		05/21/2017	ISSUED FOR 30% REVIEW
		05/22/2018	REVIEW SET

CONTROL POINTS				
POINT	N	E	ELEV	DESCRIPTION
BM #1	537715.53	1715884.05	749.17	CHISELED SQUARE AT NE CORNER OF BRIDGE
BM #2	537917.79	1714888.42	772.29	BONNET NUT BELOW THREADED SET SCREW OF FIRE HYDRANT
BM #3	538161.46	1713071.90	792.90	BONNET NUT BELOW THREADED SET SCREW OF FIRE HYDRANT
BM #4	538447.98	1711498.21	779.52	CHISELED SQUARE ON NE CORNER OF HEADWALL
BM #5	538858.56	1709489.54	858.79	NAIL IN WEST SIDE OF POWER POLE
BM #6	539039.04	1708554.95	799.92	CHISELED SQUARE IN NE CORNER OF SLOPED HEADWALL
BM #7	539229.89	1707507.48	842.36	NAIL IN POWER POLE
BM #8	539437.72	1706176.65	782.26	BONNET NUT ABOVE LARGE CONNECTION ON FIRE HYDRANT









CRITZ LANE

Element	STATION	NORTHING	EASTING
Linear			
POB ( )	100+00.00	540493.714	1703747.645
PC ( )	104+04.83	540216.157	1704042.347
Tangent Direction	S 46°42' 58.000" E		
Tangent Length	404.830		
Circular			
PC ( )	104+04.83	540216.157	1704042.347
PI ( )	104+74.86	540168.143	1704093.327
CC ( )		539874.013	1703720.109
PT ( )	105+43.87	540107.353	1704128.094
Radius	470.000		
Delta	16°56' 58.000" Right		
Degree of Curvature(Arc):	12°11' 26.129"		
Length	139.037		
Tangent	70.030		
Chord	138.531		
Middle Ordinate	5.132		
External	5.189		
Tangent Direction	S 46°42' 58.000" E		
Radial Direction	S 43°17' 02.000" W		
Chord Direction	S 38°14' 29.000" E		
Radial Direction	S 60°14' 00.000" W		
Tangent Direction	S 29°46' 00.000" E		
Linear			
PT ( )	105+43.87	540107.353	1704128.094
PC ( )	107+67.27	539913.430	1704239.006
Tangent Direction	S 29°46' 00.000" E		
Tangent Length	223.400		
Circular			
PC ( )	107+67.27	539913.430	1704239.006
PI ( )	109+91.93	539718.407	1704350.546
CC ( )		540146.770	1704646.991
PT ( )	111+86.42	539682.733	1704572.362
Radius	470.000		
Delta	51°05' 49.000" Left		
Degree of Curvature(Arc):	12°11' 26.129"		
Length	419.151		
Tangent	224.667		
Chord	405.398		
Middle Ordinate	45.956		
External	50.937		
Tangent Direction	S 29°46' 00.000" E		
Radial Direction	S 60°14' 00.000" W		
Chord Direction	S 55°18' 54.500" E		
Radial Direction	S 9°08' 11.000" W		
Tangent Direction	S 80°51' 49.000" E		
Linear			
PT ( )	111+86.42	539682.733	1704572.362
PI ( )	116+50.79	539608.997	1705030.846
Tangent Direction	S 80°51' 49.000" E		
Tangent Length	464.375		
Linear			
PI ( )	116+50.79	539608.997	1705030.846
PI ( )	132+20.00	539331.965	1706575.405
Tangent Direction	S 79°49' 53.607" E		
Tangent Length	1569.207		
Linear			
PI ( )	132+20.00	539331.965	1706575.405
PC ( )	139+93.97	539232.699	1707342.982
Tangent Direction	S 82°37' 52.268" E		
Tangent Length	773.969		
Circular			
PC ( )	139+93.97	539232.699	1707342.982
PI ( )	142+50.52	539199.795	1707597.417
CC ( )		533183.079	1706560.621
PT ( )	145+06.77	539145.642	1707848.191
Radius	6100.000		
Delta	4°48' 59.954" Right		
Degree of Curvature(Arc):	0°56' 21.390"		
Length	512.805		
Tangent	256.554		
Chord	512.654		
Middle Ordinate	5.388		
External	5.393		
Tangent Direction	S 82°37' 52.268" E		
Radial Direction	S 7°22' 07.732" W		
Chord Direction	S 80°13' 22.291" E		
Radial Direction	S 12°11' 07.686" W		
Tangent Direction	S 77°48' 52.314" E		

CRITZ LANE

Element	STATION	NORTHING	EASTING
Linear			
PT ( )	145+06.77	539145.642	1707848.191
PI ( )	151+88.05	539001.841	1708514.114
Tangent Direction	S 77°48' 52.314" E		
Tangent Length	681.273		
Linear			
PI ( )	151+88.05	539001.841	1708514.114
PC ( )	164+20.45	538791.421	1709728.416
Tangent Direction	S 80°10' 08.842" E		
Tangent Length	1232.399		
Circular			
PC ( )	164+20.45	538791.421	1709728.416
PI ( )	165+83.76	538763.537	1709889.330
CC ( )		534593.975	1709001.062
PRC ( )	167+46.91	538723.416	1710047.636
Radius	4260.000		
Delta	4°23' 26.990" Right		
Degree of Curvature(Arc):	1°20' 41.897"		
Length	326.463		
Tangent	163.311		
Chord	326.383		
Middle Ordinate	3.127		
External	3.129		
Tangent Direction	S 80°10' 08.842" E		
Radial Direction	S 9°49' 51.158" W		
Chord Direction	S 77°58' 25.348" E		
Radial Direction	S 14°13' 18.147" W		
Tangent Direction	S 75°46' 41.853" E		
Circular			
PRC ( )	167+46.91	538723.416	1710047.636
PI ( )	170+74.01	538643.055	1710364.714
CC ( )		542852.857	1711094.210
PRC ( )	173+99.83	538612.044	1710690.344
Radius	4260.000		
Delta	8°46' 53.979" Left		
Degree of Curvature(Arc):	1°20' 41.897"		
Length	652.926		
Tangent	327.103		
Chord	652.287		
Middle Ordinate	12.503		
External	12.540		
Tangent Direction	S 75°46' 41.853" E		
Radial Direction	S 14°13' 18.147" W		
Chord Direction	S 80°10' 08.842" E		
Radial Direction	S 5°26' 24.168" W		
Tangent Direction	S 84°33' 35.832" E		
Circular			
PRC ( )	173+99.83	538612.044	1710690.344
PI ( )	175+63.15	538596.561	1710852.920
CC ( )		534371.231	1710286.479
PT ( )	177+26.30	538568.677	1711013.833
Radius	4260.000		
Delta	4°23' 26.990" Right		
Degree of Curvature(Arc):	1°20' 41.897"		
Length	326.463		
Tangent	163.311		
Chord	326.383		
Middle Ordinate	3.127		
External	3.129		
Tangent Direction	S 84°33' 35.832" E		
Radial Direction	S 5°26' 24.168" W		
Chord Direction	S 82°21' 52.337" E		
Radial Direction	S 9°49' 51.158" W		
Tangent Direction	S 80°10' 08.842" E		
Linear			
PT ( )	177+26.30	538568.677	1711013.833
PI ( )	186+37.54	538413.092	1711911.692
Tangent Direction	S 80°10' 08.842" E		
Tangent Length	911.239		
Linear			
PI ( )	186+37.54	538413.092	1711911.692
PI ( )	197+93.24	538192.720	1713046.189
Tangent Direction	S 79°00' 26.629" E		
Tangent Length	1155.702		
Linear			
PI ( )	197+93.24	538192.720	1713046.189
PC ( )	204+97.75	538108.838	1713745.684
Tangent Direction	S 83°09' 42.733" E		
Tangent Length	704.507		

CRITZ LANE

Element	STATION	NORTHING	EASTING
Circular			
PC ( )	204+97.75	538108.838	1713745.684
PI ( )	207+72.57	538076.116	1714018.552
CC ( )		533879.142	1713238.468
PRC ( )	210+46.63	538008.605	1714284.954
Radius	4260.000		
Delta	7°22' 56.459" Right		
Degree of Curvature(Arc):	1°20' 41.897"		
Length	548.885		
Tangent	274.823		
Chord	548.506		
Middle Ordinate	8.837		
External	8.856		
Tangent Direction	S 83°09' 42.733" E		
Radial Direction	S 6°50' 17.267" W		
Chord Direction	S 79°28' 14.504" E		
Radial Direction	S 14°13' 13.726" W		
Tangent Direction	S 75°46' 46.274" E		
Circular			
PRC ( )	210+46.63	538008.605	1714284.954
PI ( )	212+06.55	537969.320	1714439.974
CC ( )		542138.069	1715331.439
PT ( )	213+66.32	537941.768	1714597.504
Radius	4260.000		
Delta	4°17' 59.122" Left		
Degree of Curvature(Arc):	1°20' 41.897"		
Length	319.691		
Tangent	159.921		
Chord	319.616		
Middle Ordinate	2.999		
External	3.001		
Tangent Direction	S 75°46' 46.274" E		
Radial Direction	S 14°13' 13.726" W		
Chord Direction	S 77°55' 45.836" E		
Radial Direction	S 9°55' 14.603" W		
Tangent Direction	S 80°04' 45.397" E		
Linear			
PT ( )	213+66.32	537941.768	1714597.504
PC ( )	225+41.94	537739.226	1715755.545
Tangent Direction	S 80°04' 45.397" E		
Tangent Length	1175.620		
Circular			
PC ( )	225+41.94	537739.226	1715755.545
PI ( )	226+39.61	537722.398	1715851.758
CC ( )		538366.327	1715865.225
PT ( )	227+35.78	537735.188	1715948.590
Radius	636.620		
Delta	17°26' 42.603" Left		
Degree of Curvature(Arc):	8°59' 59.988"		
Length	193.835		
Tangent	97.673		
Chord	193.087		
Middle Ordinate	7.363		
External	7.449		
Tangent Direction	S 80°04' 45.397" E		
Radial Direction	S 9°55' 14.603" W		
Chord Direction	S 88°48' 06.698" E		
Radial Direction	S 7°31' 28.000" E		
Tangent Direction	N 82°28' 32.000" E		
Linear			
PT ( )	227+35.78	537735.188	1715948.590
POE ( )	229+50.00	537763.241	1716160.968
Tangent Direction	N 82°28' 32.000" E		
Tangent Length	214.223		
WESTERHAM WAY			
Linear			
POB ( )	10+00.00	539397.470	1706210.195
POE ( )	11+00.00	539495.732	1706228.756
Tangent Direction	N 10°41' 47.927" E		
Tangent Length	100.000		



PRELIMINARY  
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CONSTRUCTION

GEOMETRIC LAYOUT AND SURVEY CONTROL  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DATE	DESCRIPTION
08/20/19	ISSUED FOR 30% REVIEW
08/22/19	REVIEW SET

















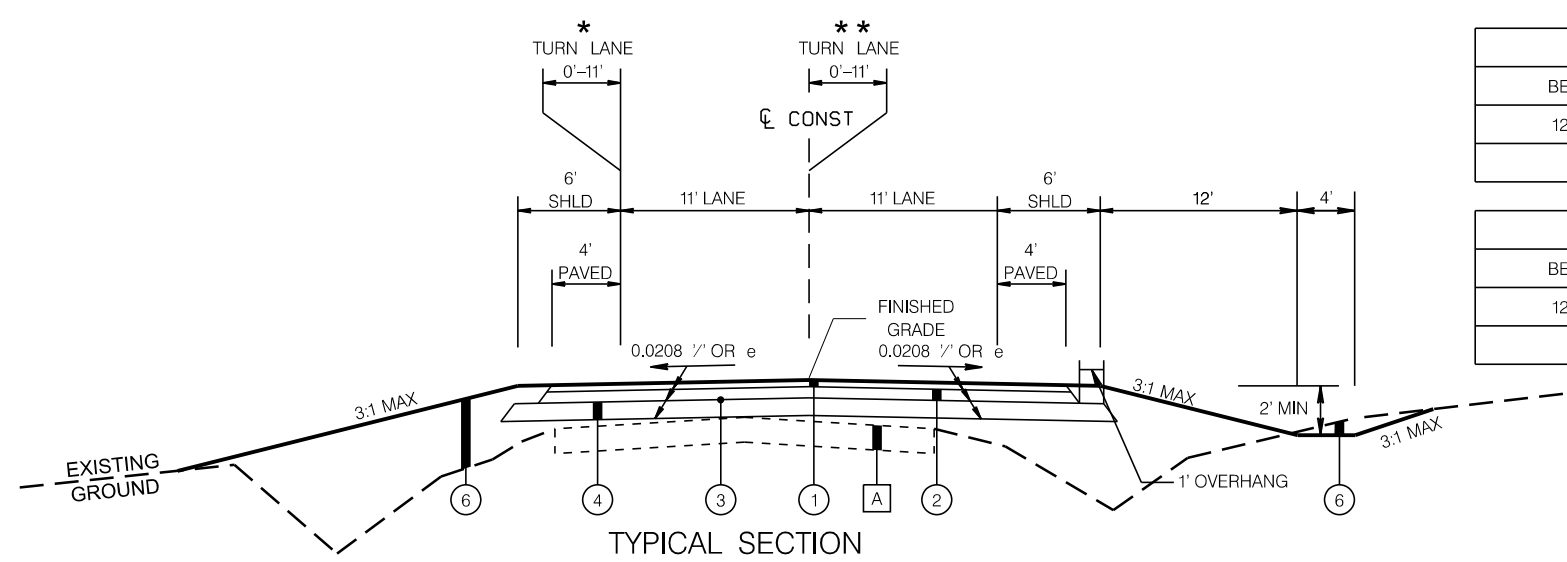
PRELIMINARY  
NOT FOR  
CONSTRUCTION

TYPICAL SECTIONS  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

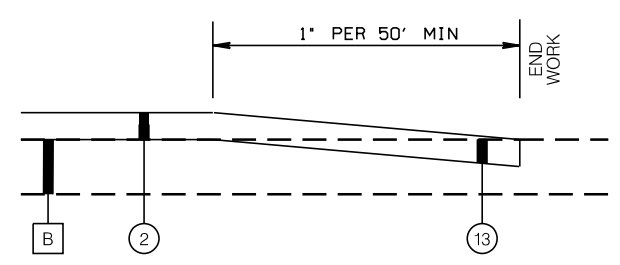
DATE	DESCRIPTION
05-21-2017	ISSUED FOR 30% REVIEW
05-22-2018	REVIEW SET

* TURN LANE SCHEDULE		
BEGIN STA	END STA	LENGTH (FT)
129+00.00	133+20.00	420

** TURN LANE SCHEDULE		
BEGIN STA	END STA	LENGTH (FT)
122+40.00	132+20.00	980



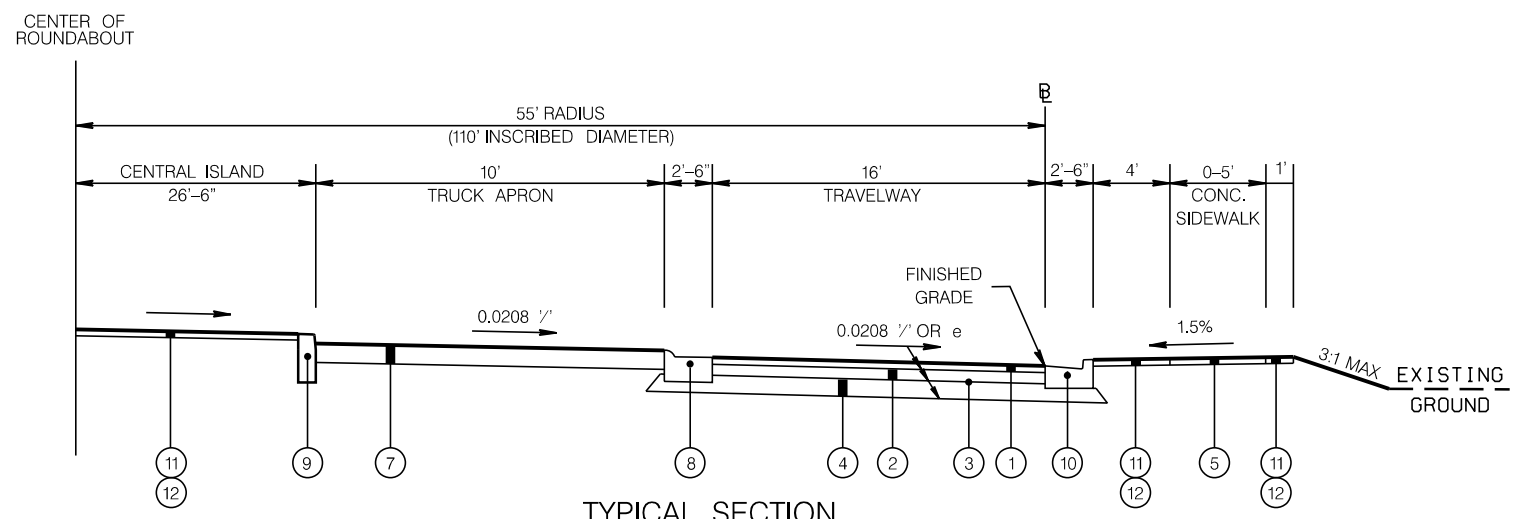
TYPICAL SECTION  
(BASED ON STD. DWG. RD01-TS-1 & RD01-TS-2)  
TO BE USED FOR CRITZ LANE FROM  
STA. 113+72.19 TO STA. 128+70.58  
STA. 129+95.00 TO STA. 149+17.30  
STA. 154+58.79 TO STA. 195+22.49  
STA. 200+63.99 TO STA. 225+00.00



TYPICAL PAVEMENT TAPER DETAIL  
TO BE USED AS DIRECTED BY THE ENGINEER

**REQUIRED MATERIALS LEGEND**

LEGEND#	DESCRIPTION
A	IN-PLACE BITUMINOUS PAVEMENT (REMOVE)
B	IN-PLACE BITUMINOUS PAVEMENT (RETAIN)
1	ASPHALT SURFACE COURSE, 1.25" THICKNESS
2	ASPHALT BASE, 4.5" THICKNESS
3	BITUMINOUS TREATMENT A
4	CRUSHED AGGREGATE BASE COURSE, 6" COMPACTED THICKNESS
5	CONCRETE SIDEWALK, 4" THICK
6	UNCLASSIFIED EXCAVATION AND/OR BORROW EXCAVATION
7	PLAIN CEMENT CONCRETE PAVEMENT, 8" THICK
8	TYPE 4-30R CURB AND GUTTER
9	TYPE A CURB
10	TYPE 6-30 CURB AND GUTTER
11	TOPSOIL, 6" THICK
12	SOLID SODDING
13	PLANING EXISTING PAVEMENT (APPROX 2.10" THRU 3.0" THICK)

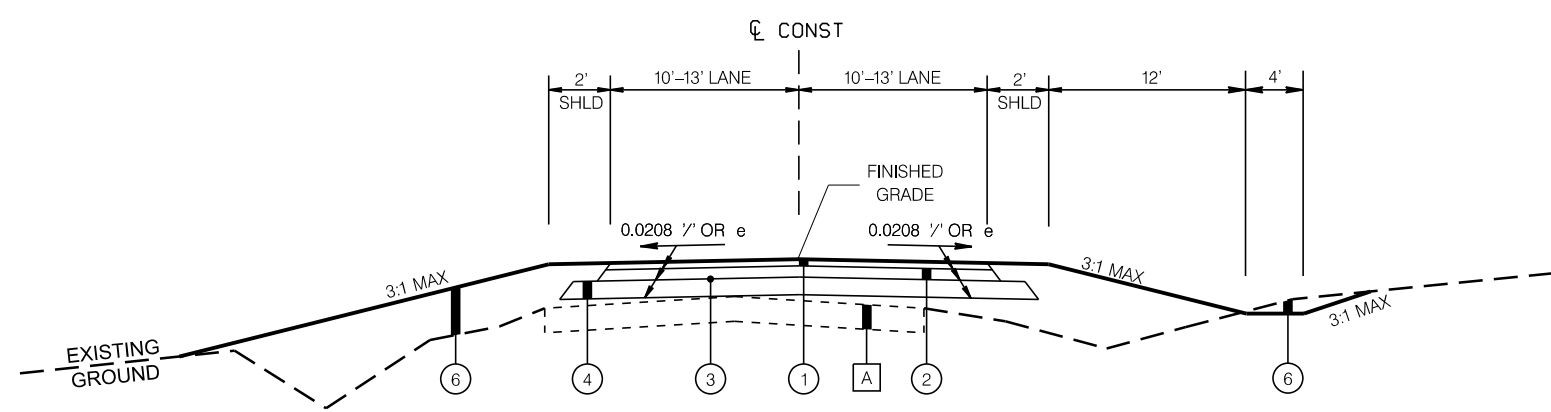


TYPICAL SECTION  
(BASED ON STD. DWG. RD01-TS-9)  
TO BE USED FOR  
CLAYTON ARNOLD ROAD ROUNDABOUT  
STA. 60+00.00 TO STA. 63+45.58 (CRITZ LANE STA. 151+33.05 TO STA. 152+43.05)  
PANTALL ROAD ROUNDABOUT  
STA. 70+00.00 TO STA. 73+45.58 (CRITZ LANE STA. 197+38.24 TO STA. 198+48.24)



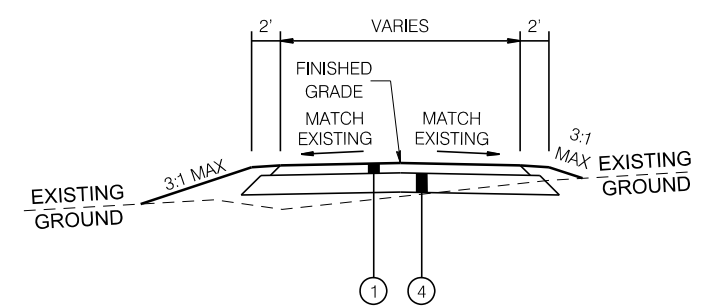


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CONSTRUCTION  
DATE



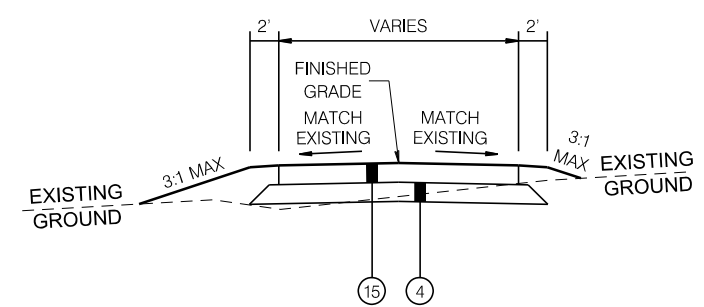
TYPICAL SECTION  
(BASED ON STD. DWG. RD01-TS-1)  
TO BE USED FOR

CLAYTON ARNOLD ROAD STA. 17+42.14 TO STA. 18+28.82  
PANTALL ROAD STA. 37+22.14 TO STA. 38+28.82  
BAUGH ROAD STA. 49+28.97 TO STA. 49+68.99



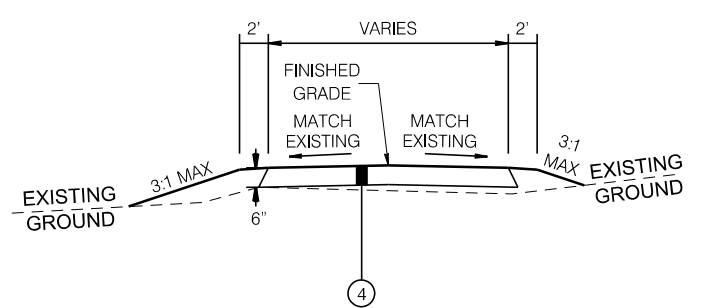
TYPICAL SECTION TO BE USED FOR:  
ASPHALT DRIVEWAYS

NOTE: SEE PAVING, SIGNING & STRIPING  
SHEETS FOR LENGTHS AND WIDTHS



TYPICAL SECTION TO BE USED FOR:  
CONCRETE DRIVEWAYS

NOTE: SEE PAVING, SIGNING & STRIPING  
SHEETS FOR LENGTHS AND WIDTHS



TYPICAL SECTION TO BE USED FOR:  
GRAVEL DRIVEWAYS

NOTE: SEE PAVING, SIGNING & STRIPING  
SHEETS FOR LENGTHS AND WIDTHS

**REQUIRED MATERIALS LEGEND**

LEGEND#	DESCRIPTION
A	IN-PLACE BITUMINOUS PAVEMENT (REMOVE)
1	ASPHALT SURFACE COURSE, 1.25" THICKNESS (APPROX. 139 LBSY)
2	ASPHALT BASE, 4.5" THICKNESS (APPROX. 500 LBSY)
3	BITUMINOUS TREATMENT A
4	CRUSHED AGGREGATE BASE COURSE, 6" COMPACTED THICKNESS
6	UNCLASSIFIED EXCAVATION AND/OR BORROW EXCAVATION
15	CONCRETE DRIVEWAY, 6" THICKNESS

TYPICAL SECTIONS  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DATE	DESCRIPTION
05-21-2017	ISSUED FOR 30% REVIEW
05-22-2018	REVIEW SET

























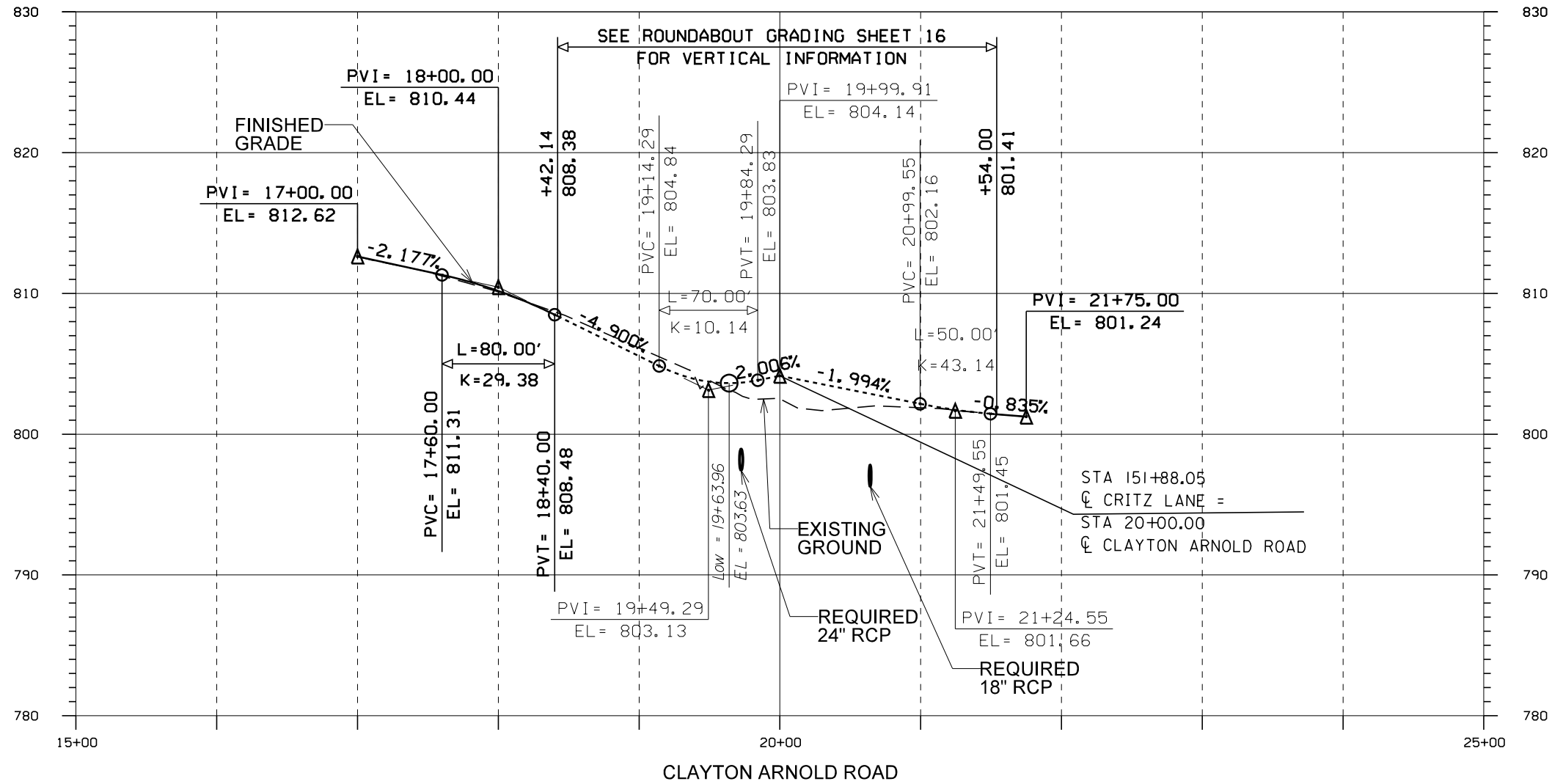
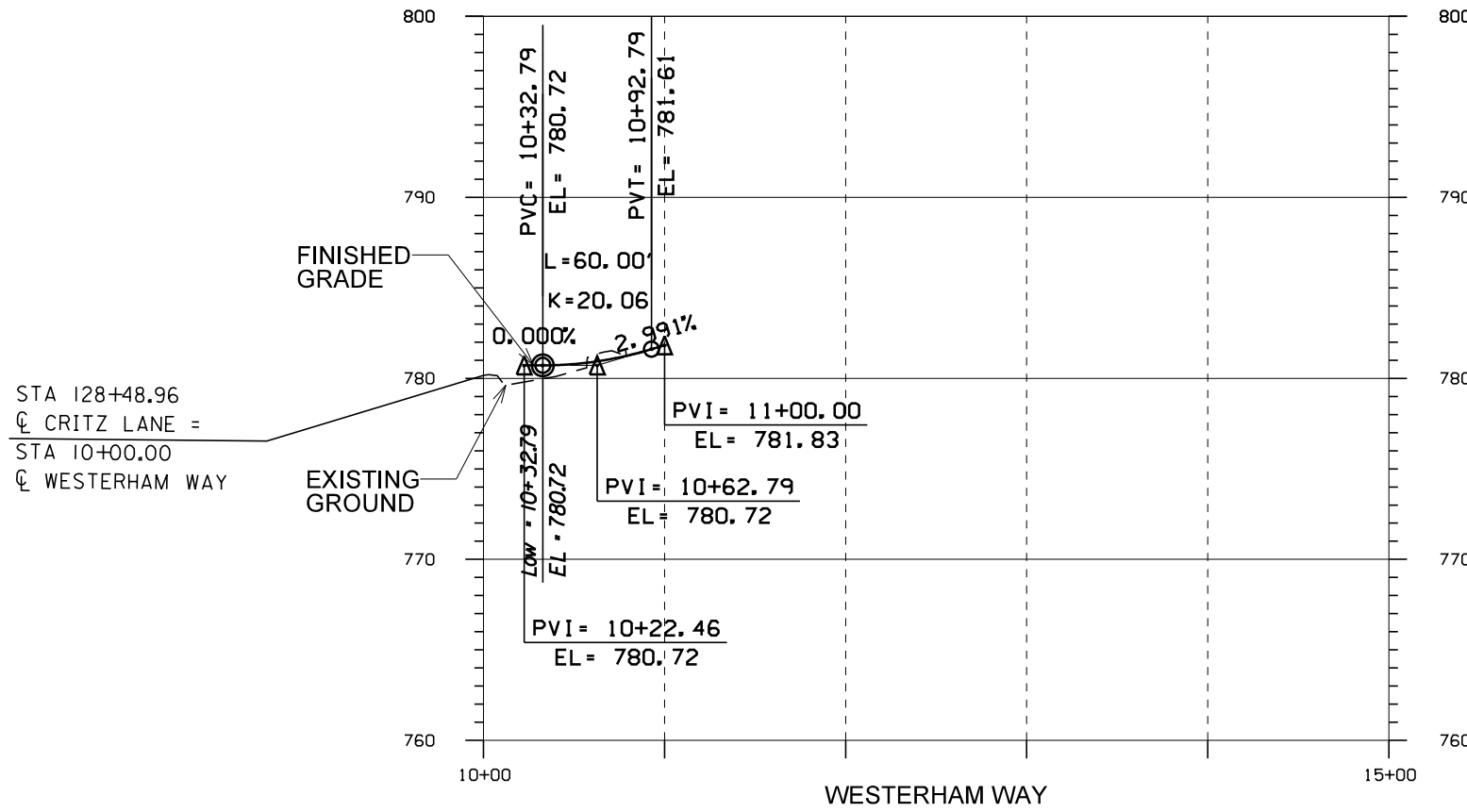












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CONSTRUCTION  
DATE \_\_\_\_\_

SIDE ROAD PROFILE SHEETS  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-21-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET







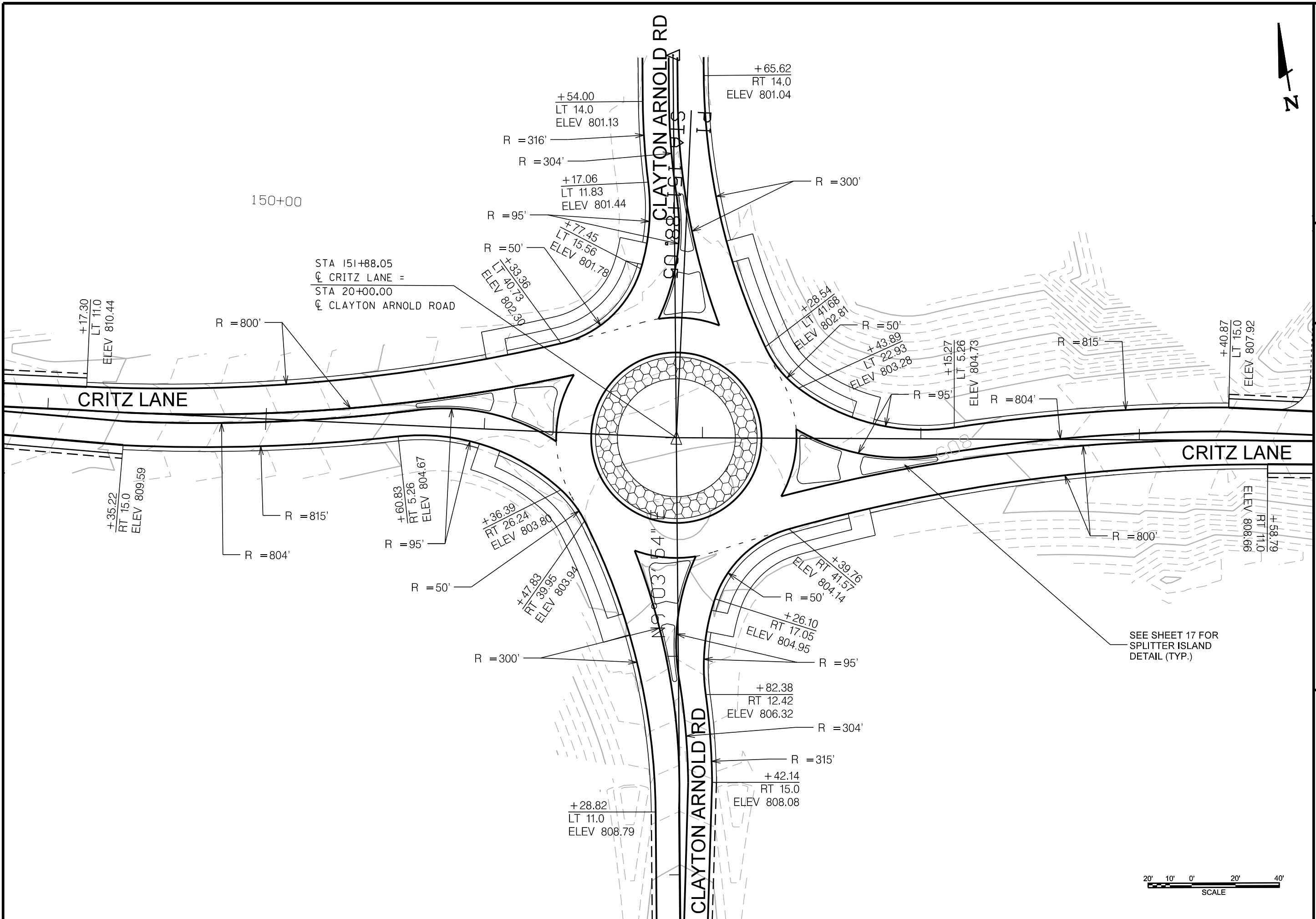
PRELIMINARY  
NOT FOR  
CONSTRUCTION

ROUNDABOUT GRADING SHEETS

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DATE: 05-23-2018  
CHK: JLR  
APP: JLR

DESCRIPTION:  
ISSUED FOR 30% REVIEW  
REVIEW SET



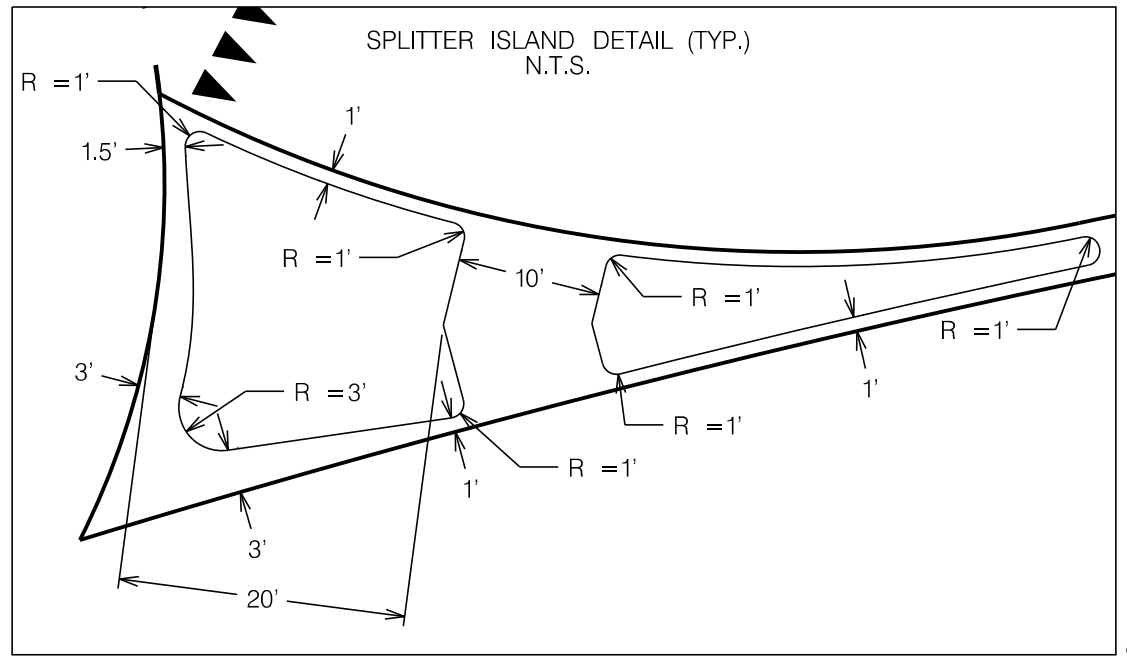




PRELIMINARY  
NOT FOR  
CONSTRUCTION

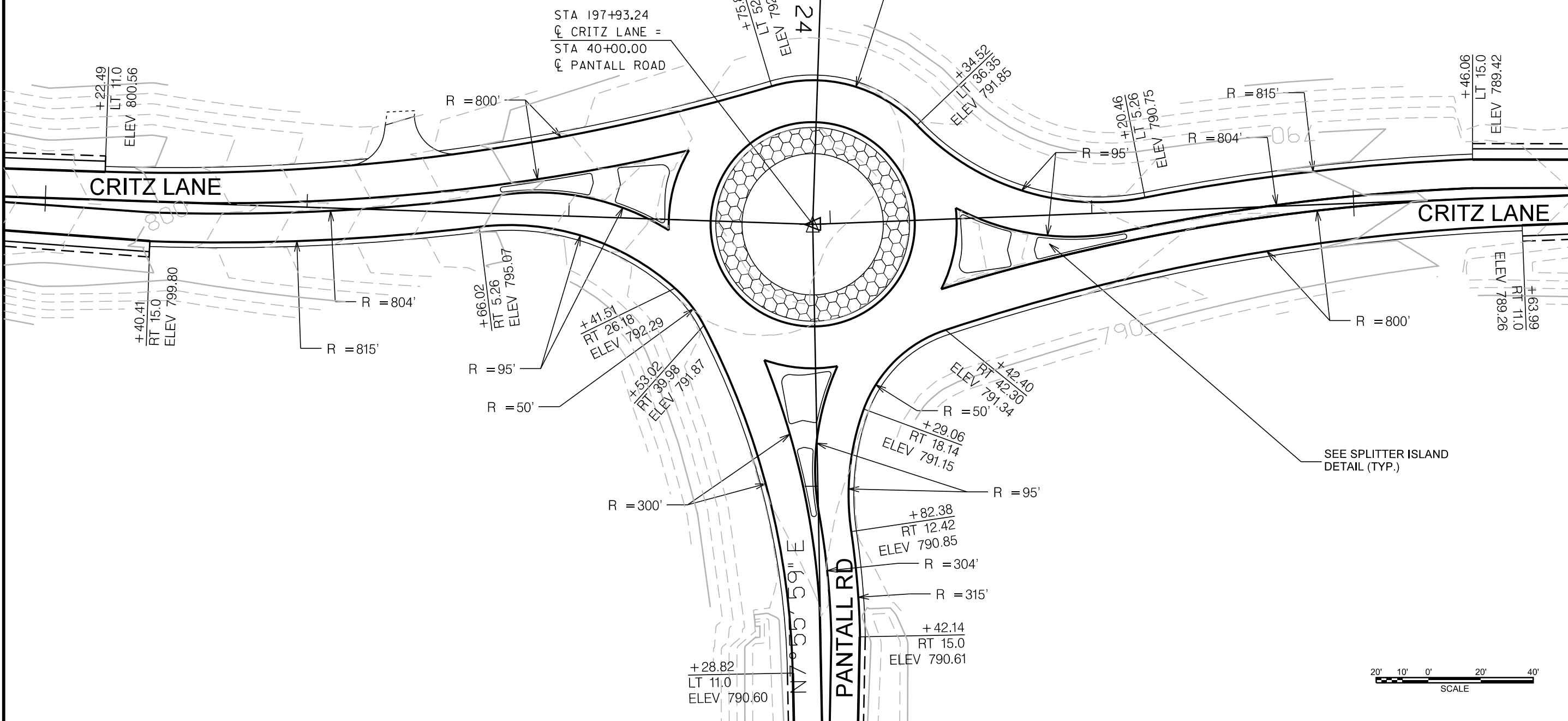
ROUNDABOUT GRADING SHEETS  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

CHK.	DATE	DESCRIPTION



195+00

200+00







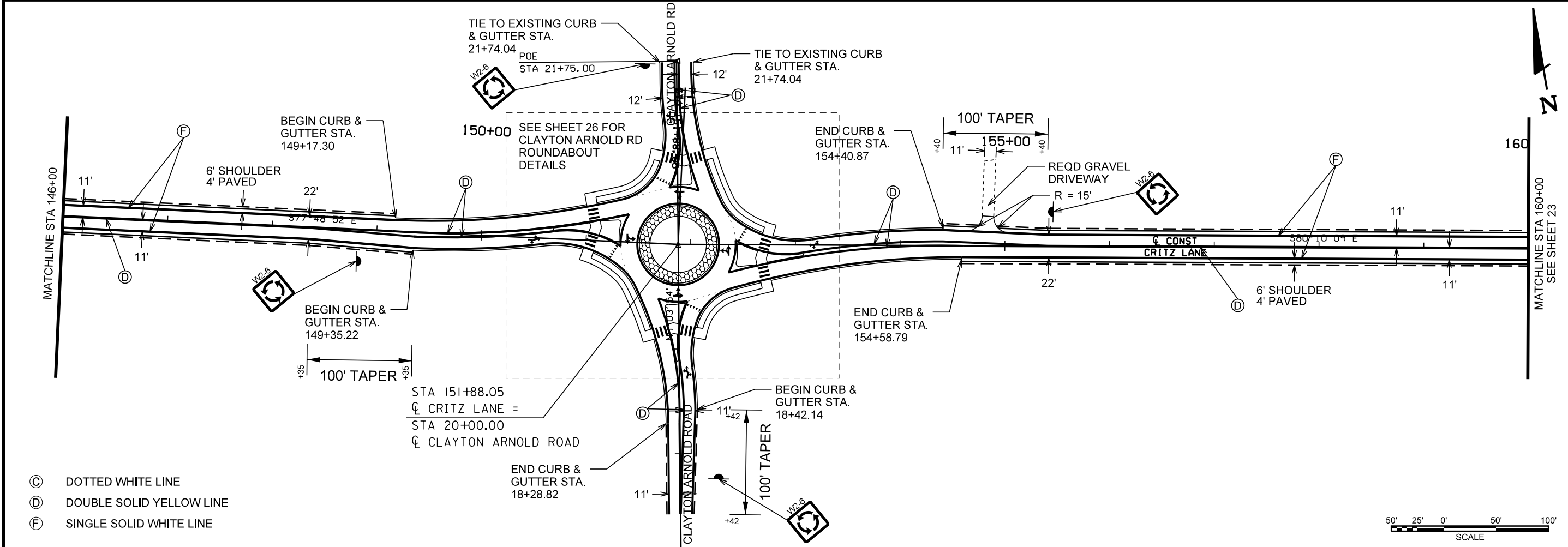
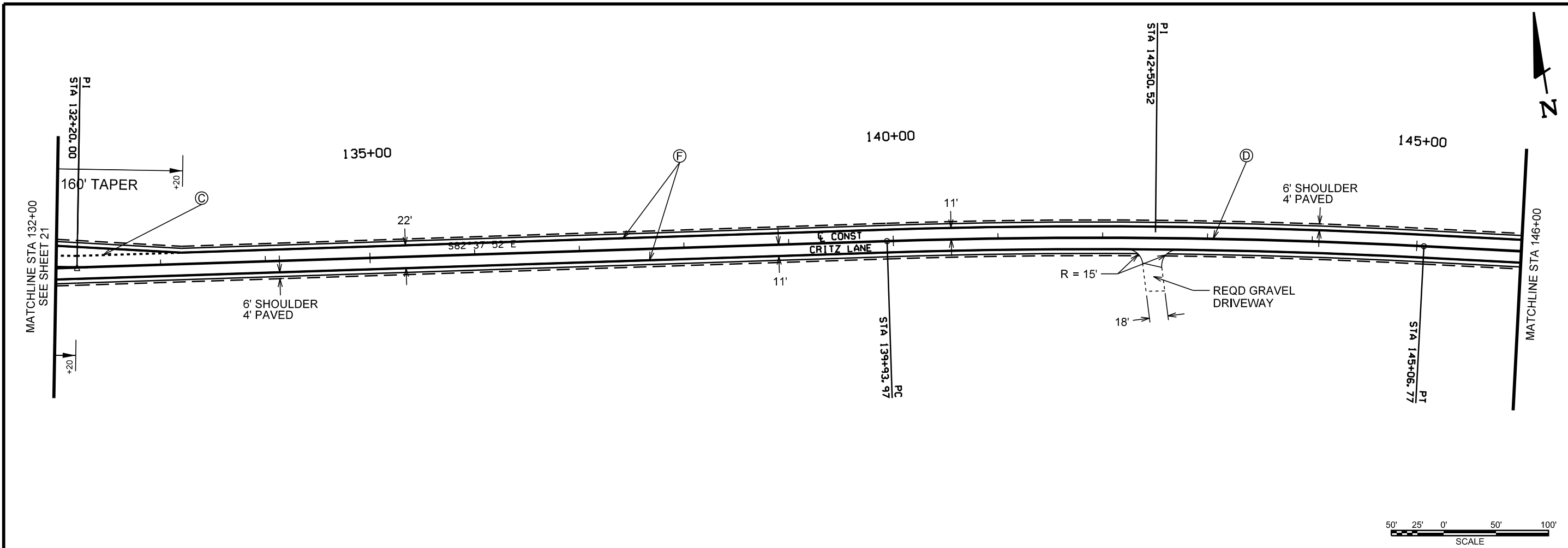


PRELIMINARY  
NOT FOR  
CONSTRUCTION

PAVING, SIGNING, & STRIPING LAYOUT

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DATE	DESCRIPTION
05-21-2017	ISSUED FOR 30% REVIEW
05-22-2018	REVIEW SET



- Ⓒ DOTTED WHITE LINE
- Ⓓ DOUBLE SOLID YELLOW LINE
- Ⓕ SINGLE SOLID WHITE LINE

8/6/2019 8:22:10 AM



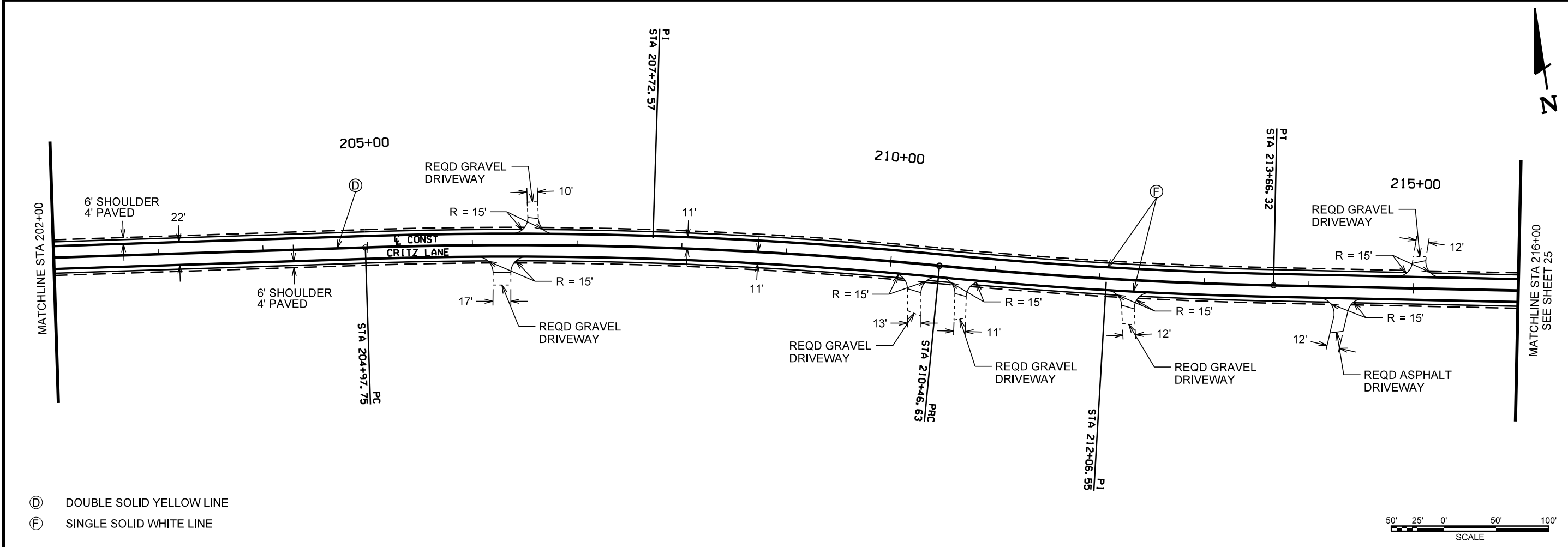
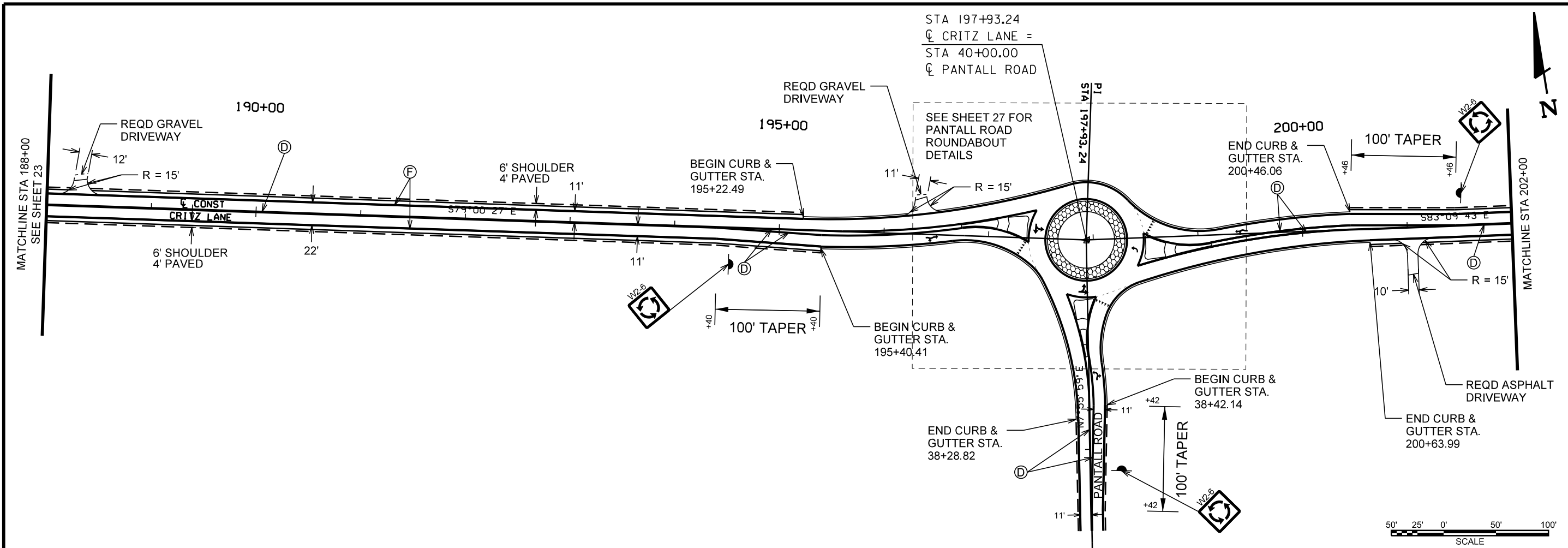


PRELIMINARY  
NOT FOR  
CONSTRUCTION

PAVING, SIGNING, & STRIPING LAYOUT

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DATE	DESCRIPTION
05-21-2017	ISSUED FOR 30% REVIEW
05-22-2018	REVIEW SET



⊙ DOUBLE SOLID YELLOW LINE  
⊙ SINGLE SOLID WHITE LINE









































































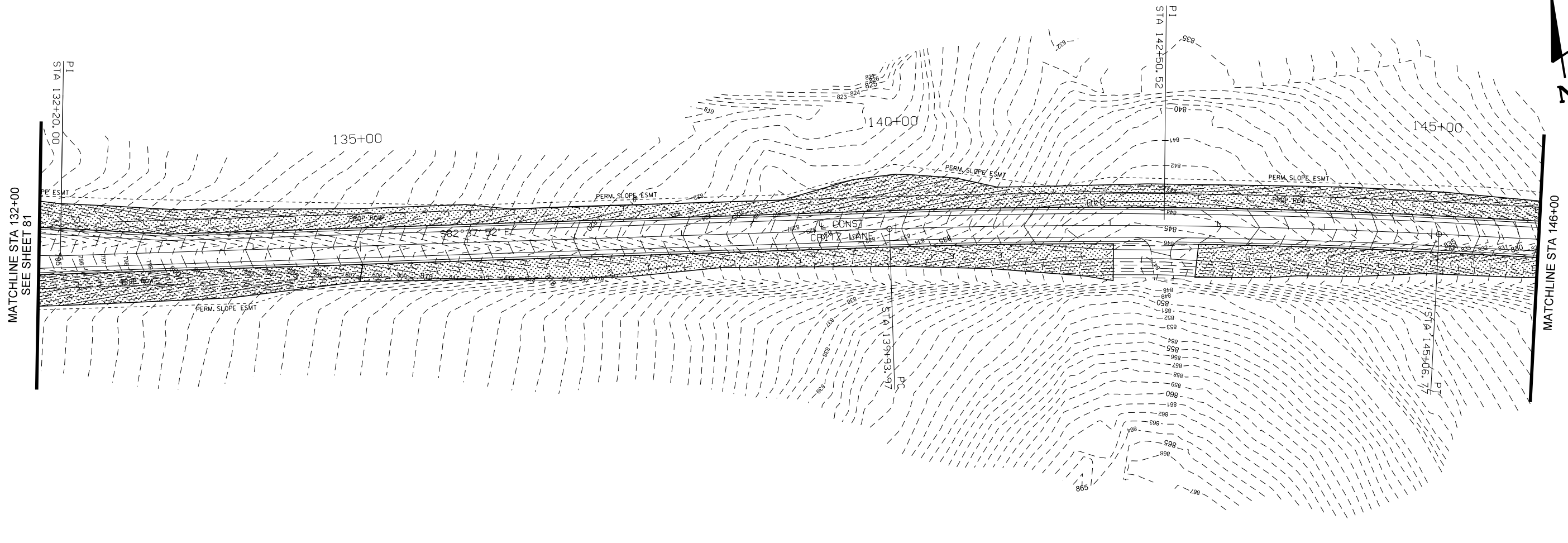








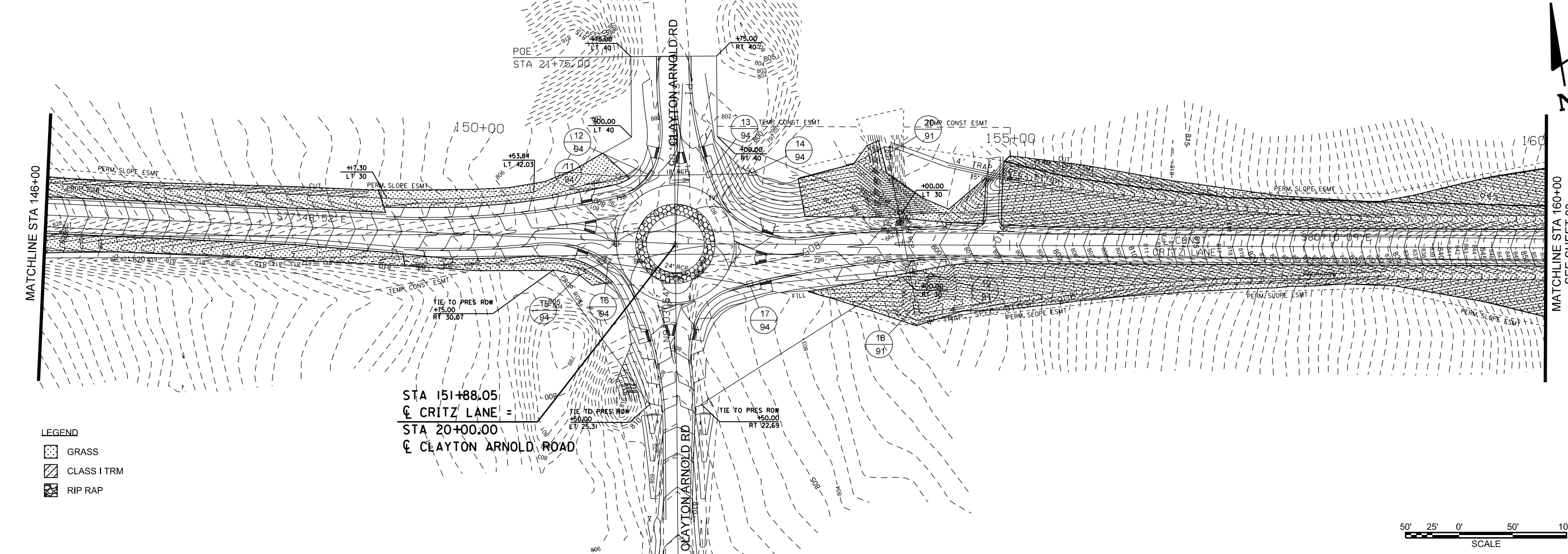




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NOT FOR  
CONSTRUCTION

DATE \_\_\_\_\_

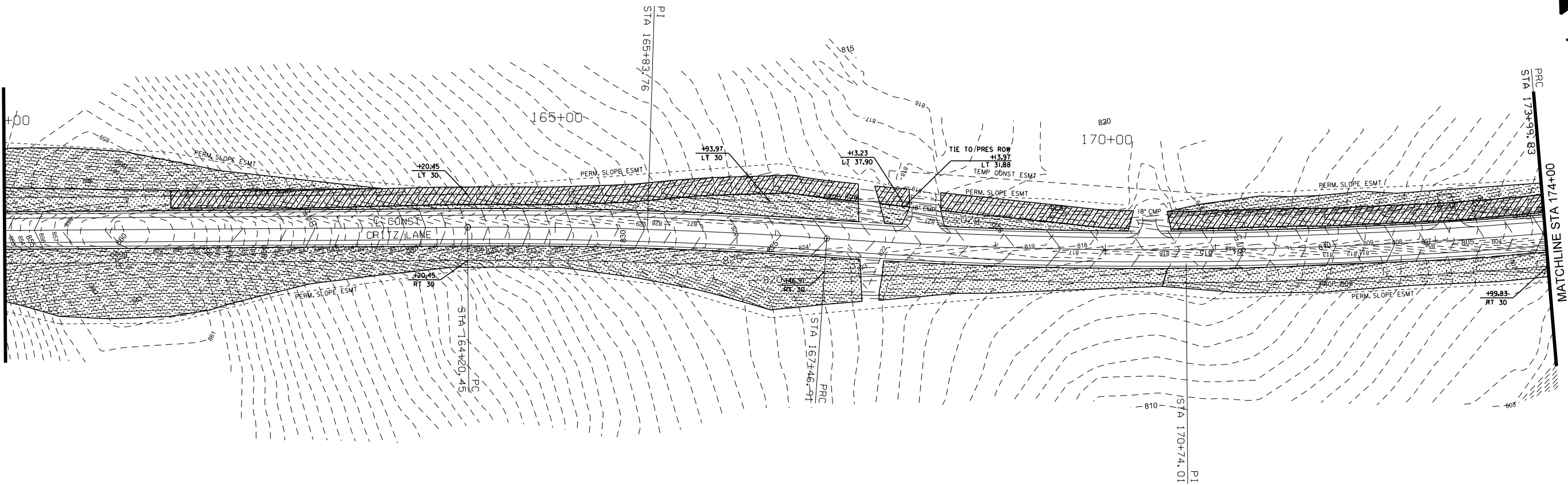
EROSION CONTROL PLAN (PHASE 3)  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE



DR.	CHK.	DATE	DESCRIPTION
KE	JK	05-12-2017	ISSUED FOR 30% REVIEW
KE	JK	05-22-2018	REVIEW SET



MATCHLINE STA 160+00  
SEE SHEET 82



PRELIMINARY  
NOT FOR  
CONSTRUCTION

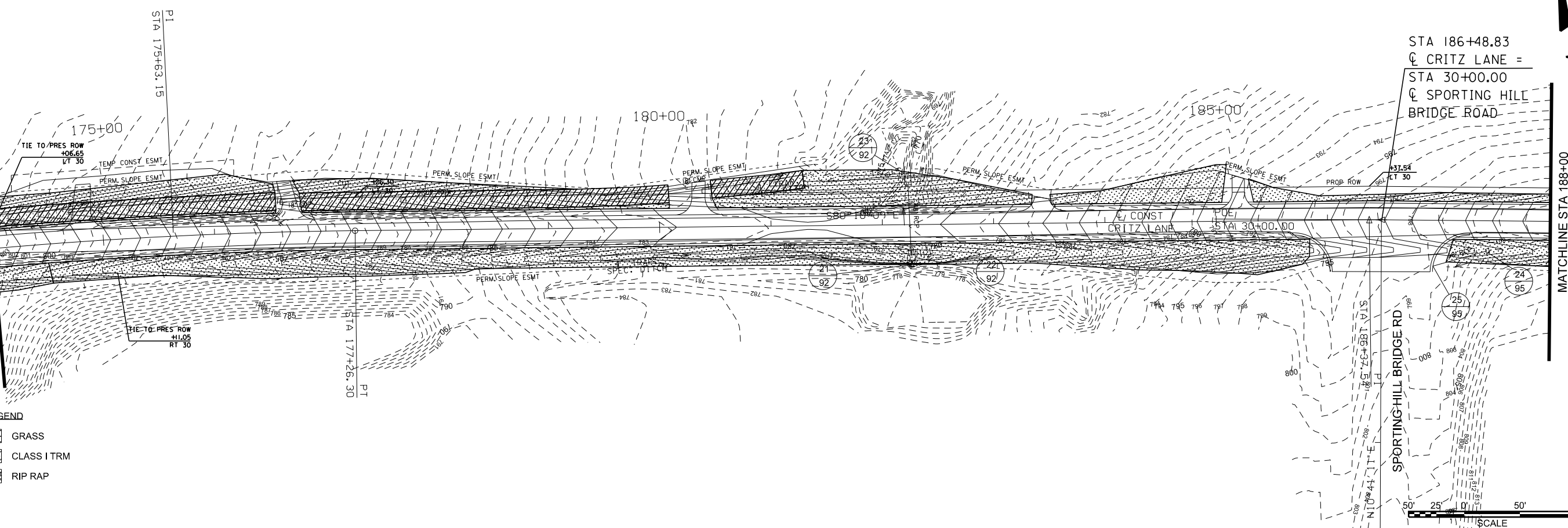
DATE \_\_\_\_\_

EROSION CONTROL PLAN (PHASE 3)  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

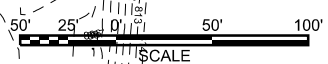
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KC	JR	05-12-2017	ISSUED FOR 30% REVIEW
KC	JR	05-22-2018	REVIEW SET

83  
FILE NO. 36473-00

MATCHLINE STA 174+00  
SEE SHEET 84



- LEGEND
- GRASS
  - CLASS I TRM
  - RIP RAP



8/6/2019  
8:22:41 AM







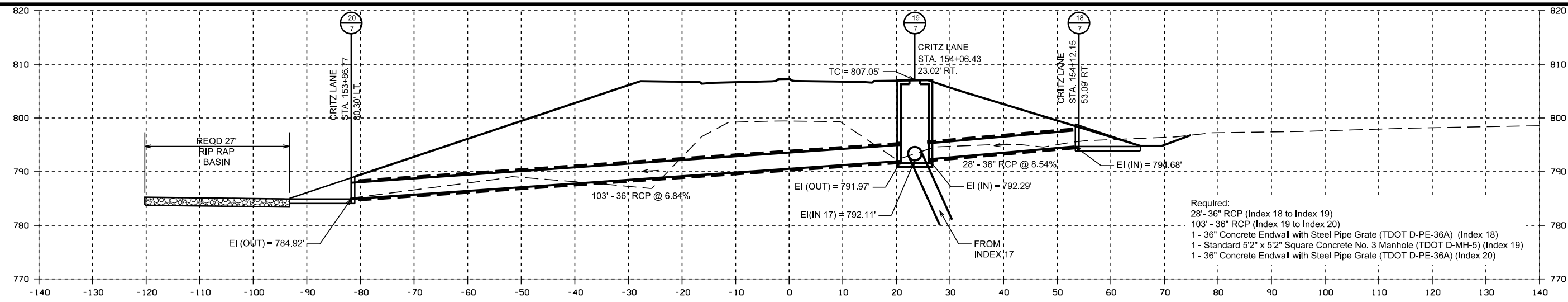
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NOT FOR  
CONSTRUCTION

DATE \_\_\_\_\_

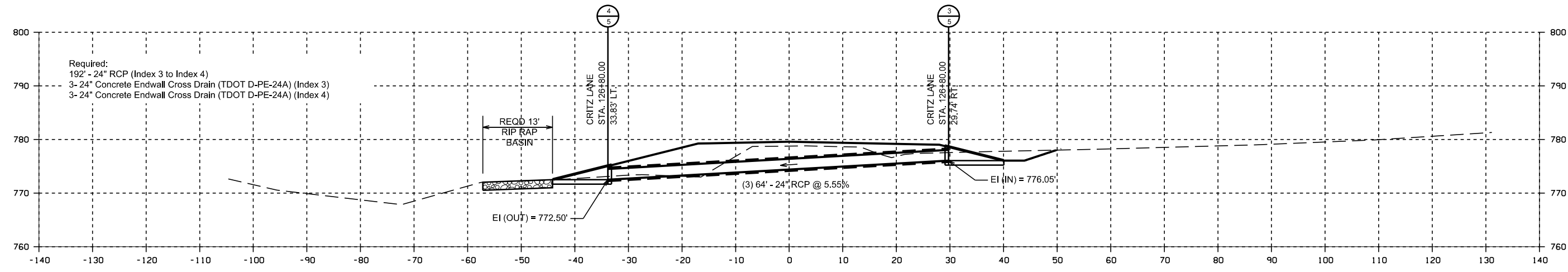
DRAINAGE CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

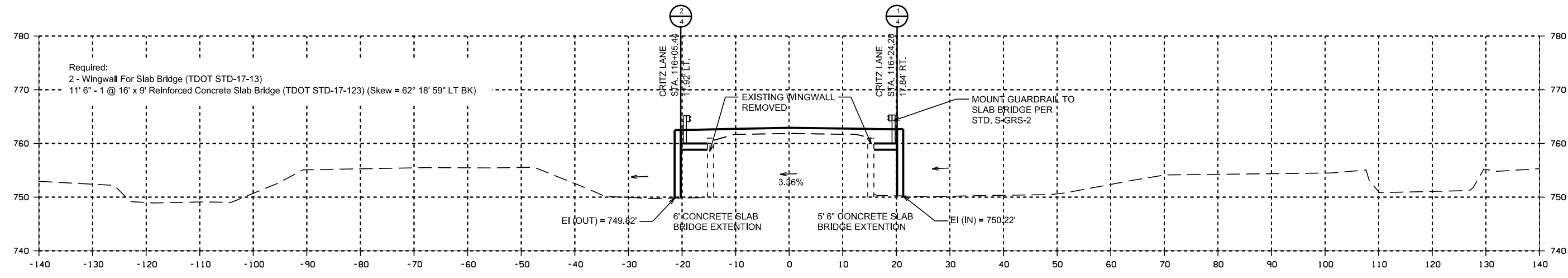
DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-21-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET



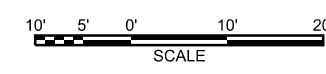
CRITZ LANE  
154+02



CRITZ LANE  
126+80



CRITZ LANE  
116+15





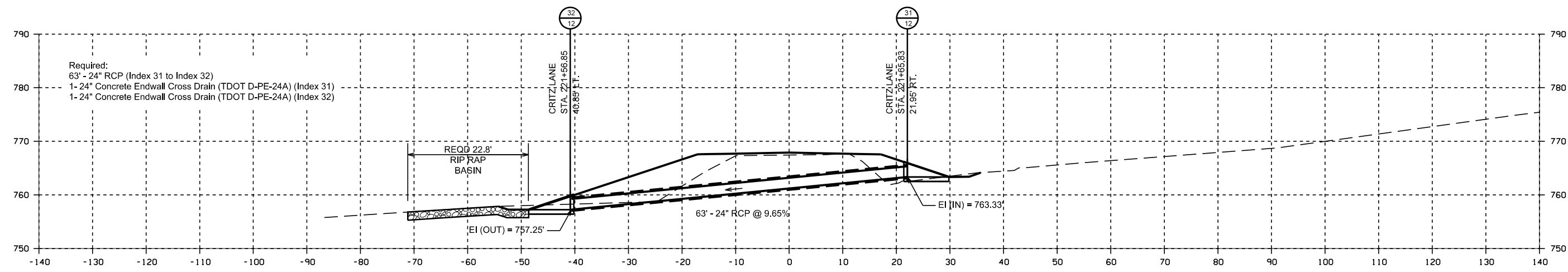
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE \_\_\_\_\_

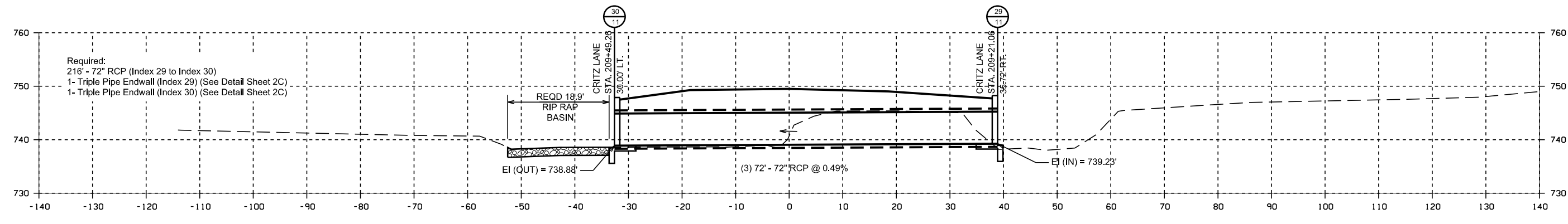
DRAINAGE CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

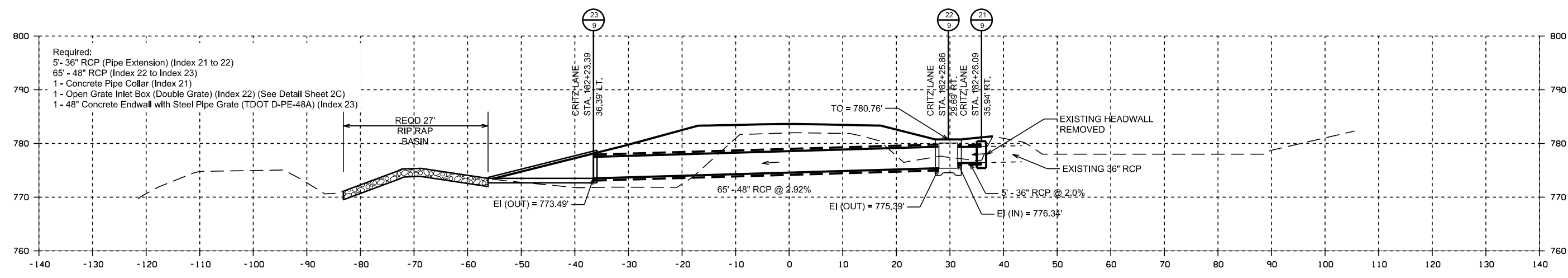
DR.	CHK.	DATE	DESCRIPTION
	JK	05-21-2017	ISSUED FOR 30% REVIEW
	JR	05-22-2018	REVIEW SET



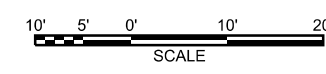
CRITZ LANE  
221+63



CRITZ LANE  
209+37



CRITZ LANE  
182+25



Required:  
63' - 24" RCP (Index 31 to Index 32)  
1- 24" Concrete Endwall Cross Drain (TDOT D-PE-24A) (Index 31)  
1- 24" Concrete Endwall Cross Drain (TDOT D-PE-24A) (Index 32)

Required:  
216' - 72" RCP (Index 29 to Index 30)  
1- Triple Pipe Endwall (Index 29) (See Detail Sheet 2C)  
1- Triple Pipe Endwall (Index 30) (See Detail Sheet 2C)

Required:  
5' - 36" RCP (Pipe Extension) (Index 21 to 22)  
65' - 48" RCP (Index 22 to Index 23)  
1 - Concrete Pipe Collar (Index 21)  
1 - Open Grate Inlet Box (Double Grate) (Index 22) (See Detail Sheet 2C)  
1 - Open Grate Inlet Box (Double Grate) (Index 23)  
1 - 48" Concrete Endwall with Steel Pipe Grate (TDOT D-PE-48A) (Index 23)













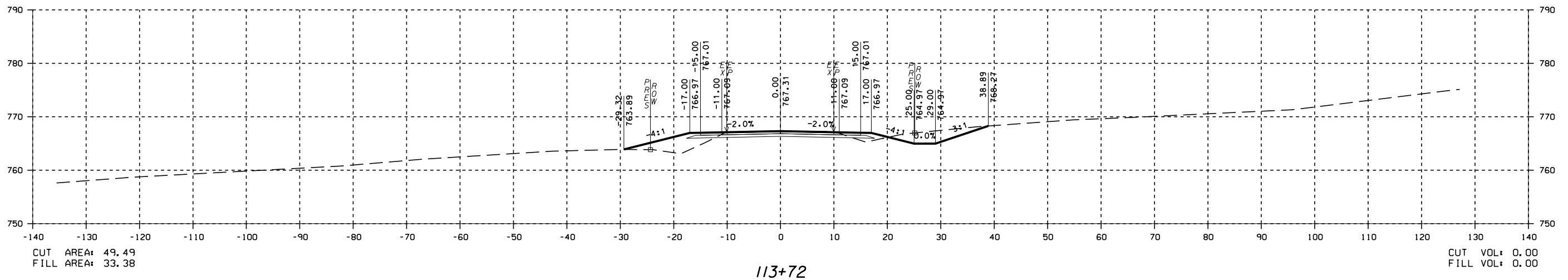
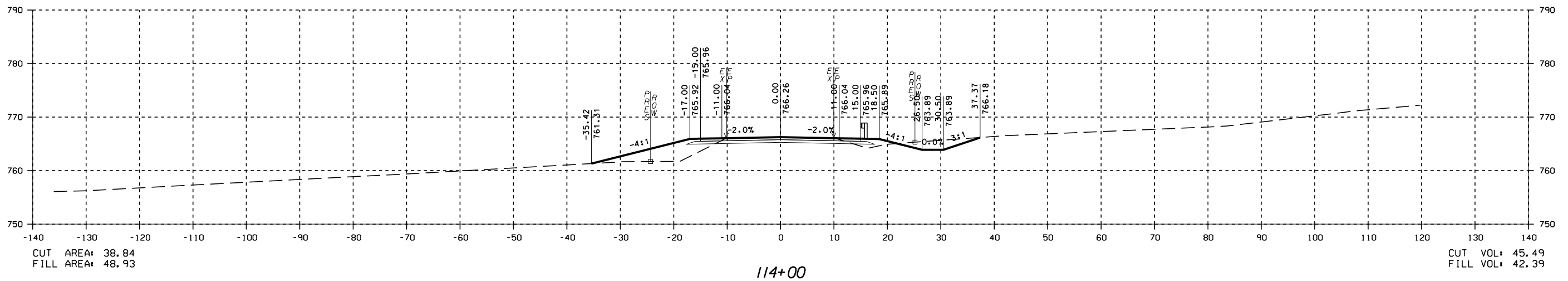
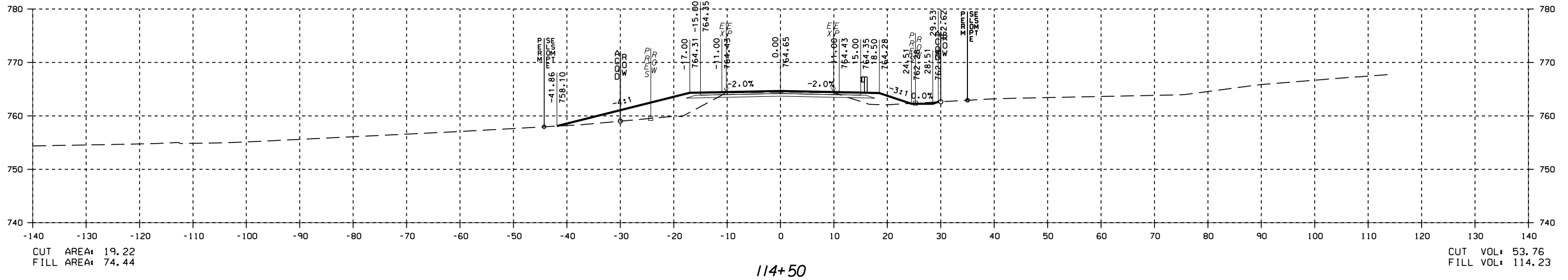
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
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JK	JK	05/22/2018	REVIEW SET









































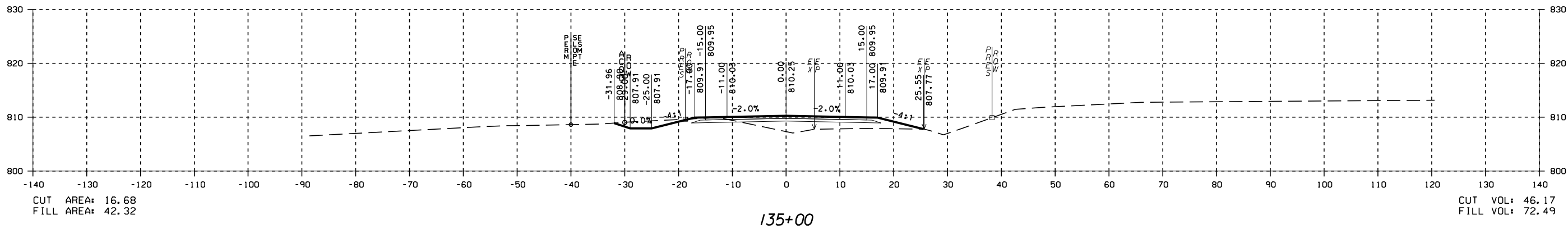
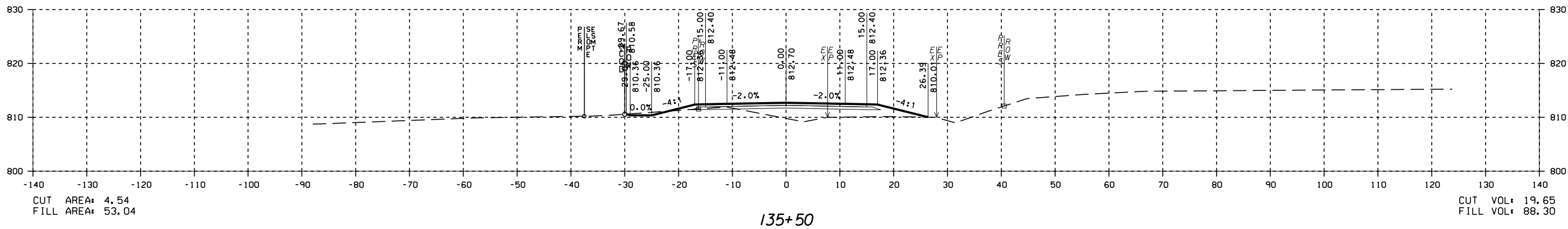
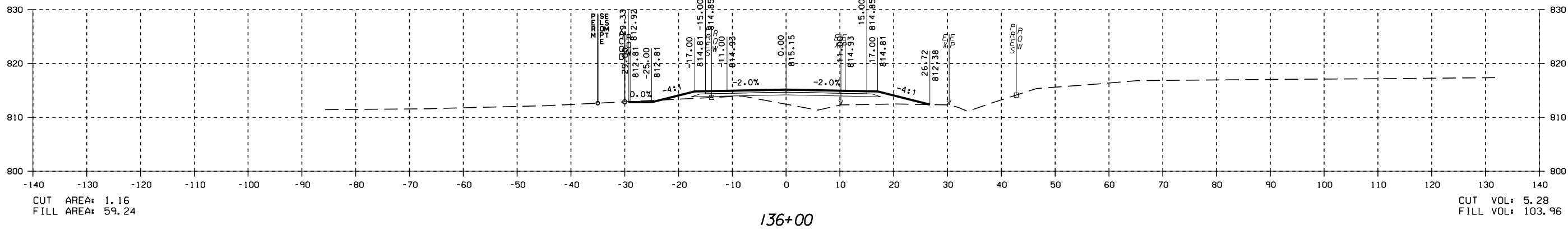




PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE  
CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE



DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET









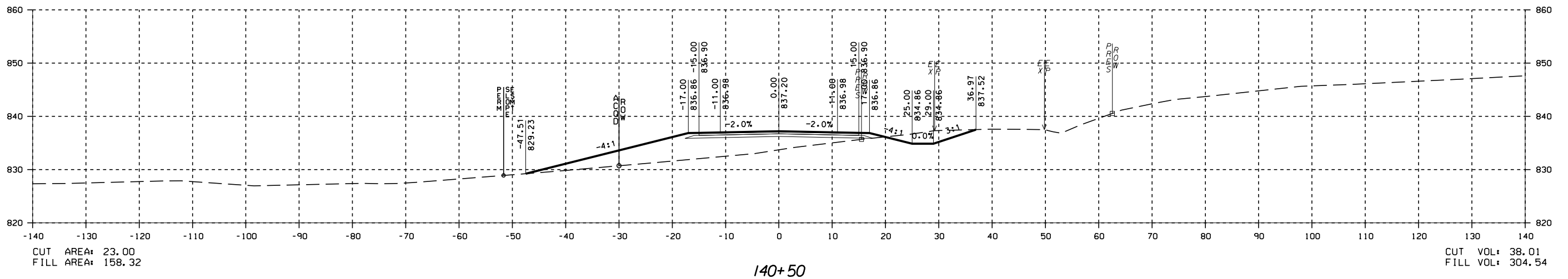
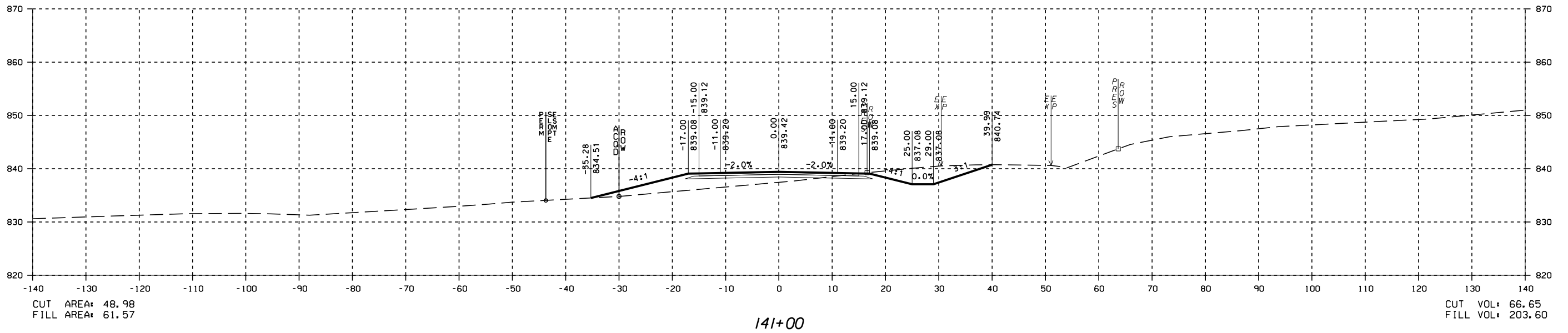


PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE \_\_\_\_\_

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE



DR.	CHK.	DATE	DESCRIPTION
		05/12/2017	ISSUED FOR 30% REVIEW
		05/22/2018	REVIEW SET









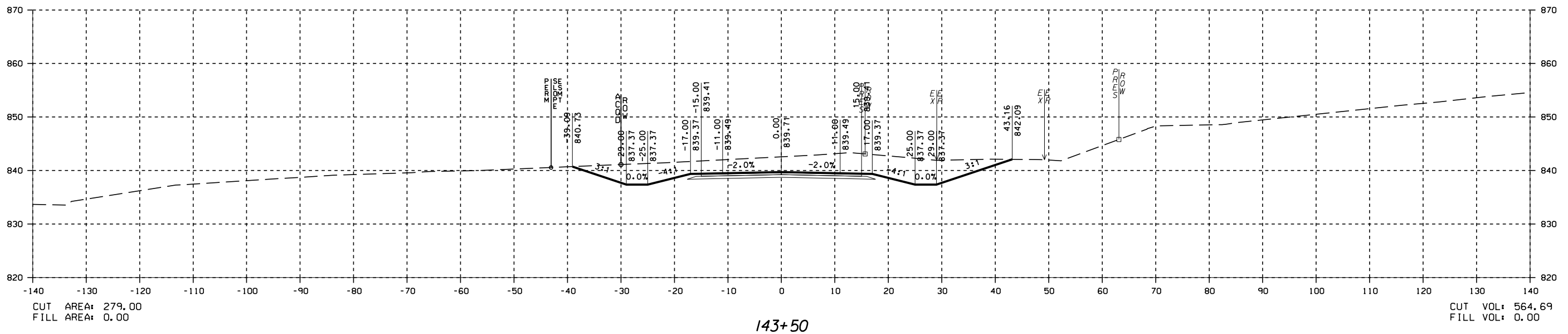
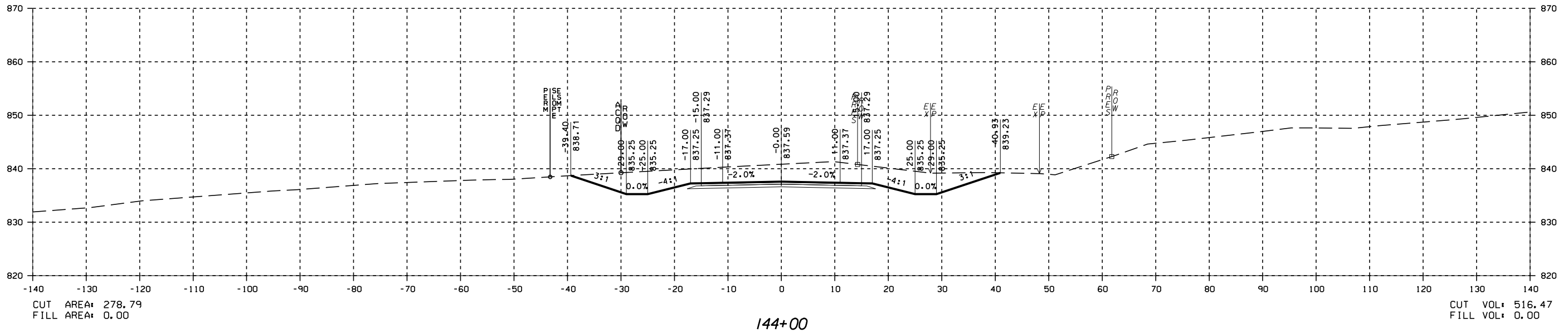
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET













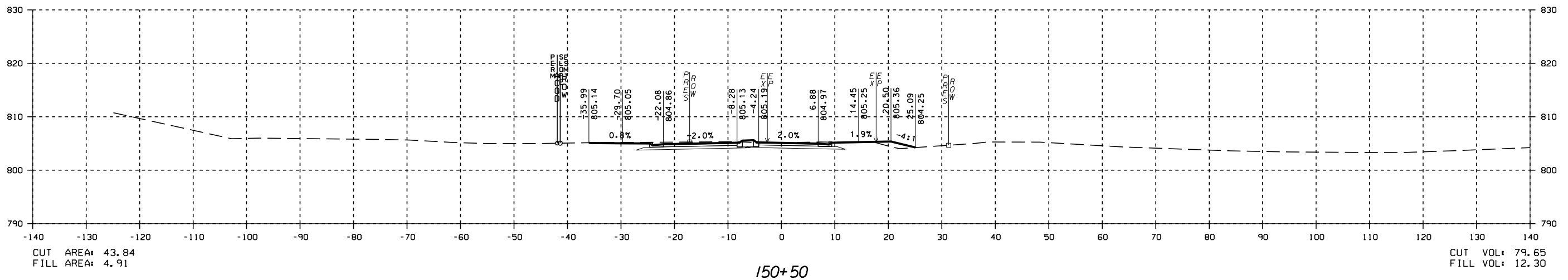
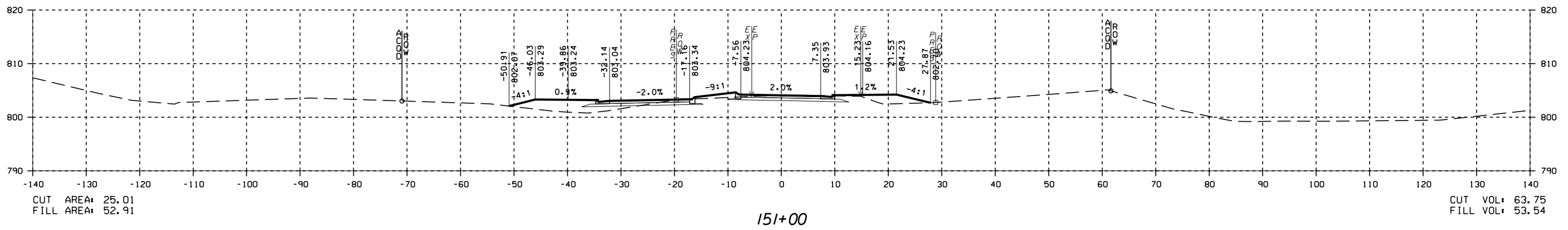
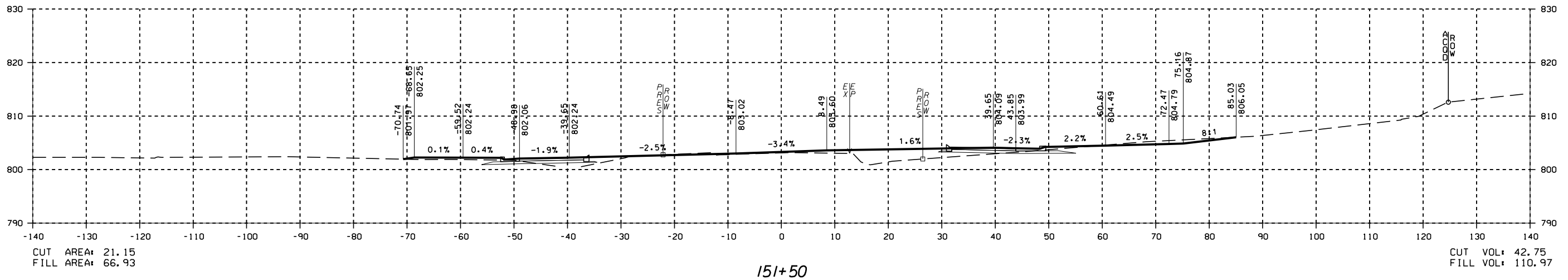


PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE



DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET







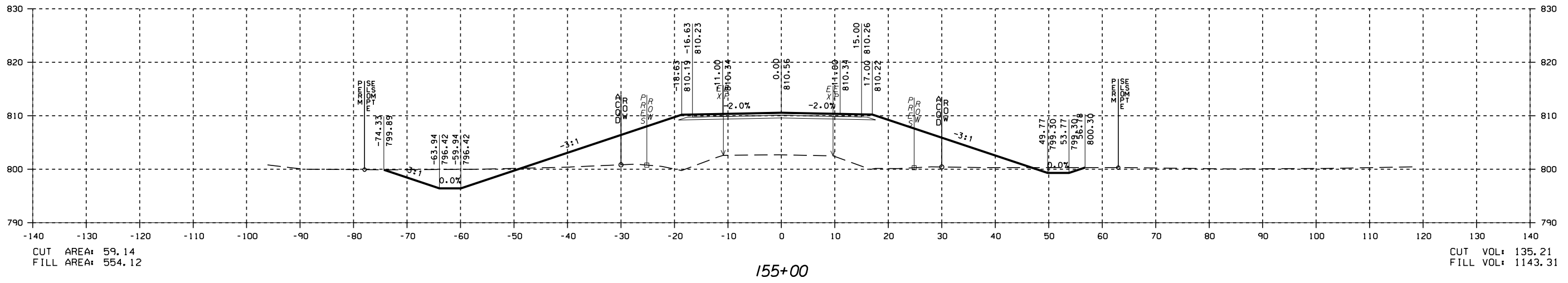
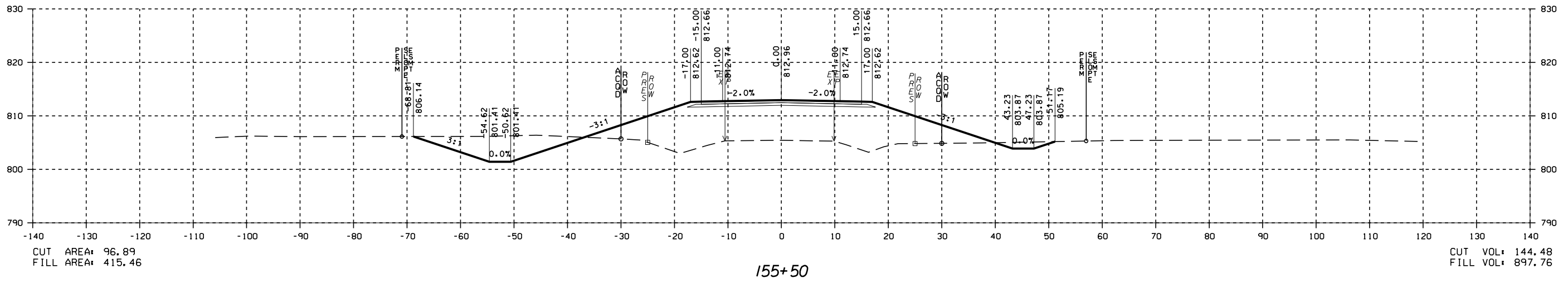
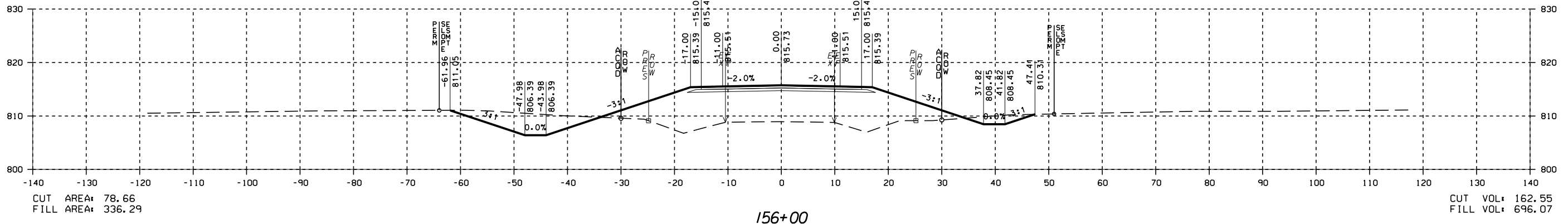
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-24-2017	ISSUED FOR 30% REVIEW
JK	JK	05-25-2018	REVIEW SET





















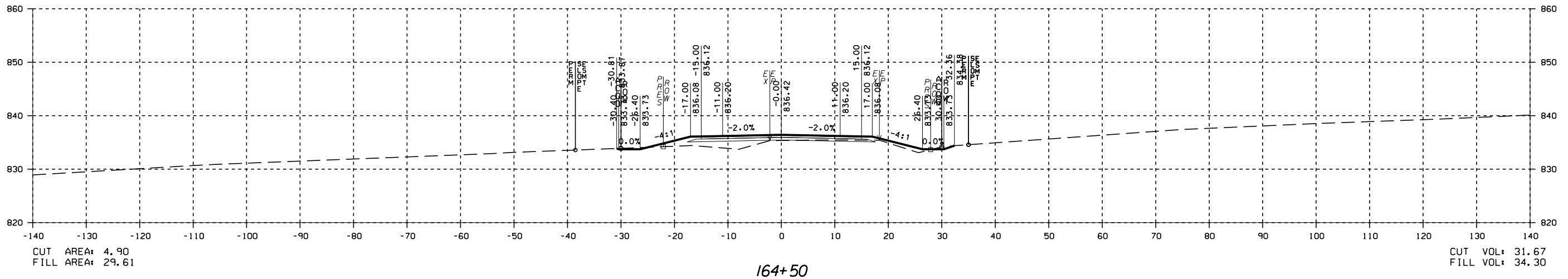
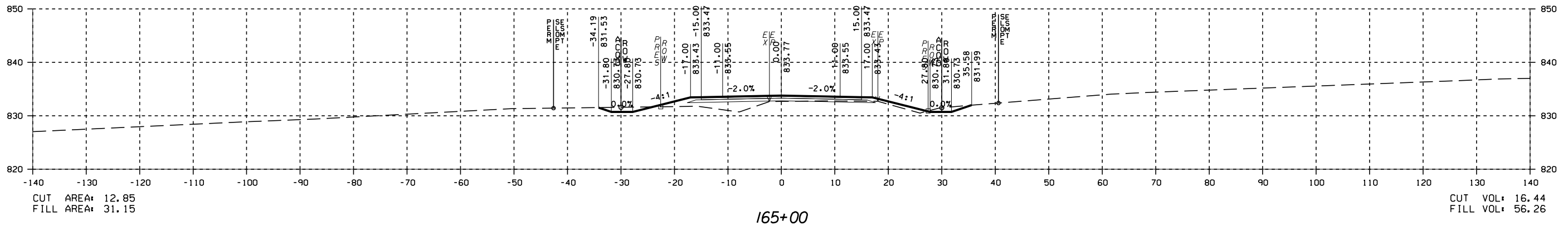
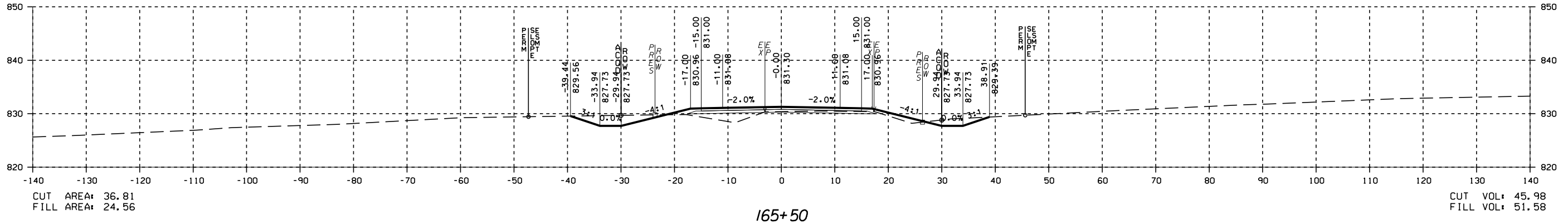
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DATE: 05-25-2016  
DESCRIPTION: REVIEW SET











































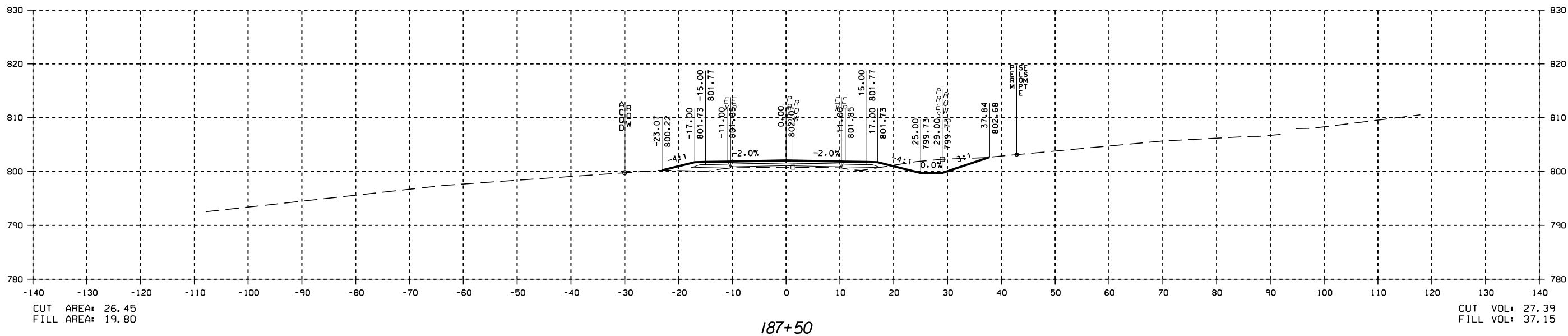
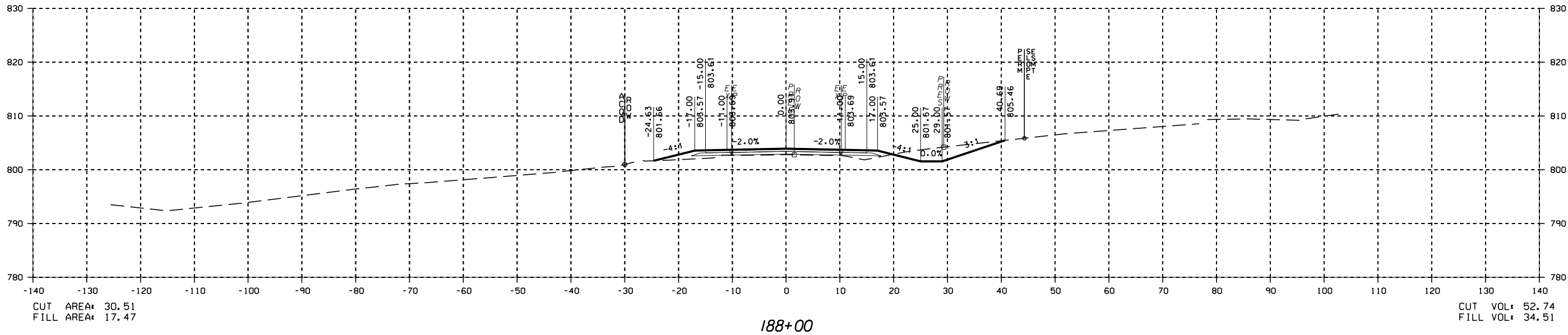
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CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
		05-12-2017	ISSUED FOR 30% REVIEW
		05-22-2018	REVIEW SET







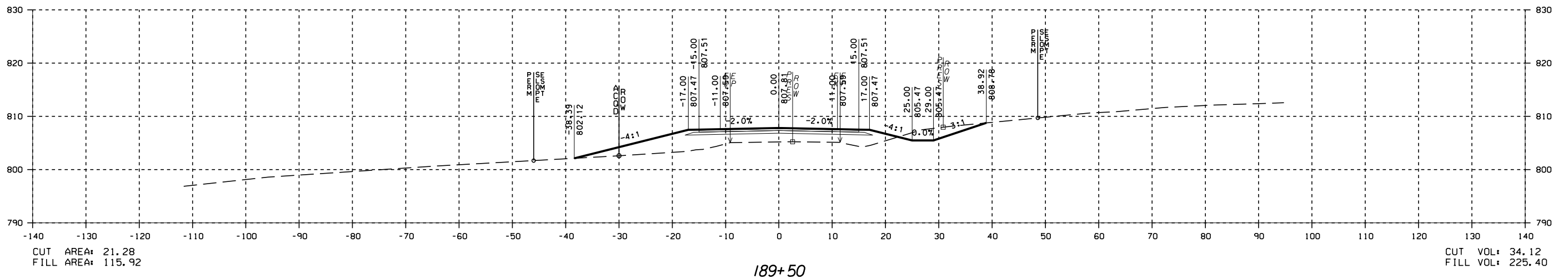
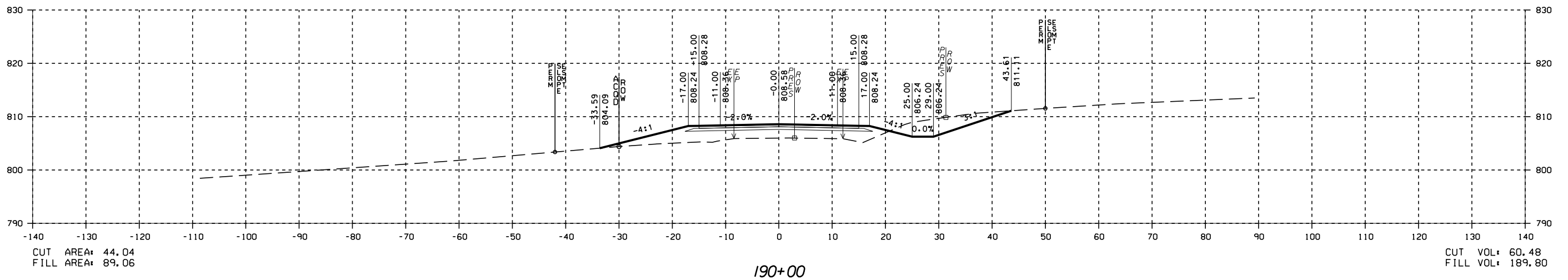
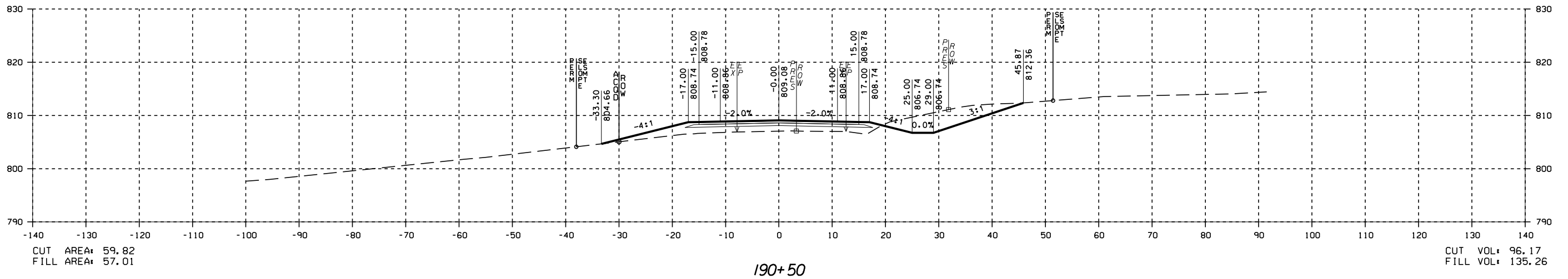
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CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
	JK	05-12-2017	ISSUED FOR 30% REVIEW
	JK	05-22-2018	REVIEW SET



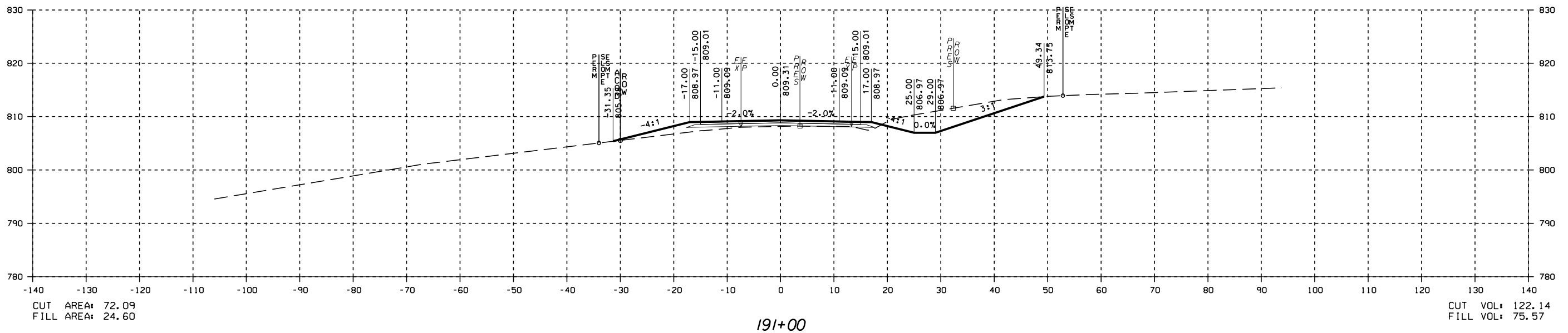
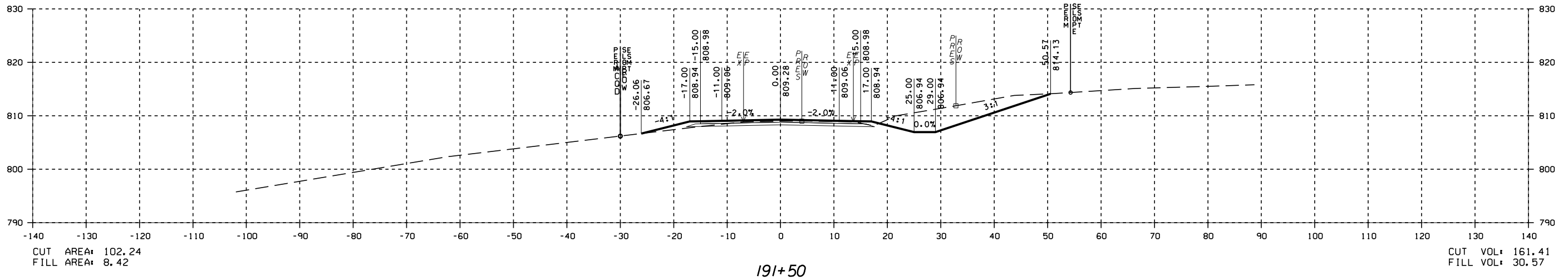
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CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
	JK	05-12-2017	ISSUED FOR 30% REVIEW
	JK	05-22-2018	REVIEW SET



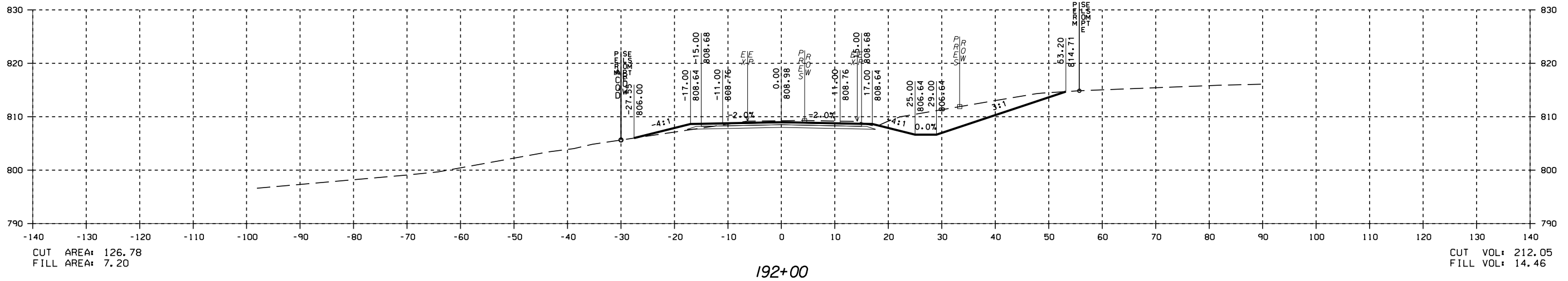
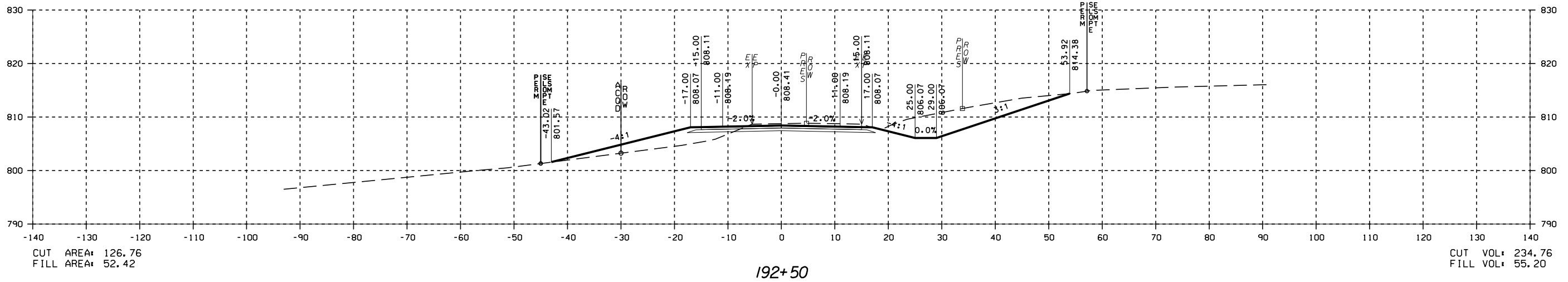
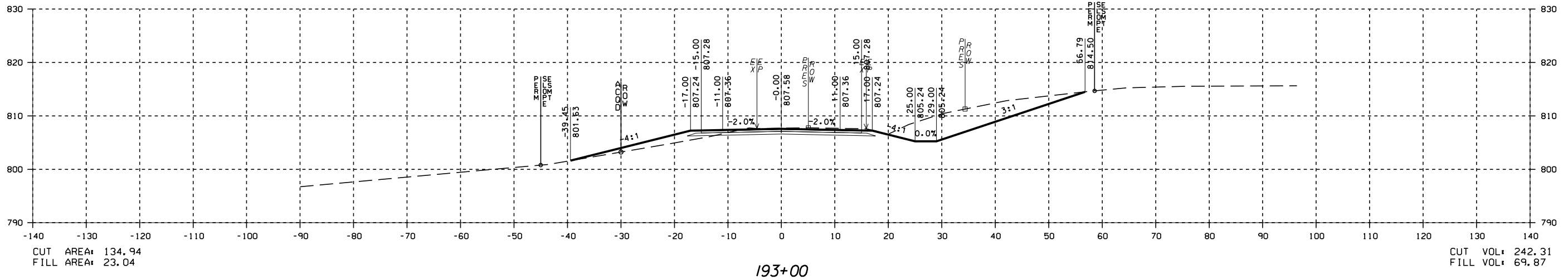
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CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET







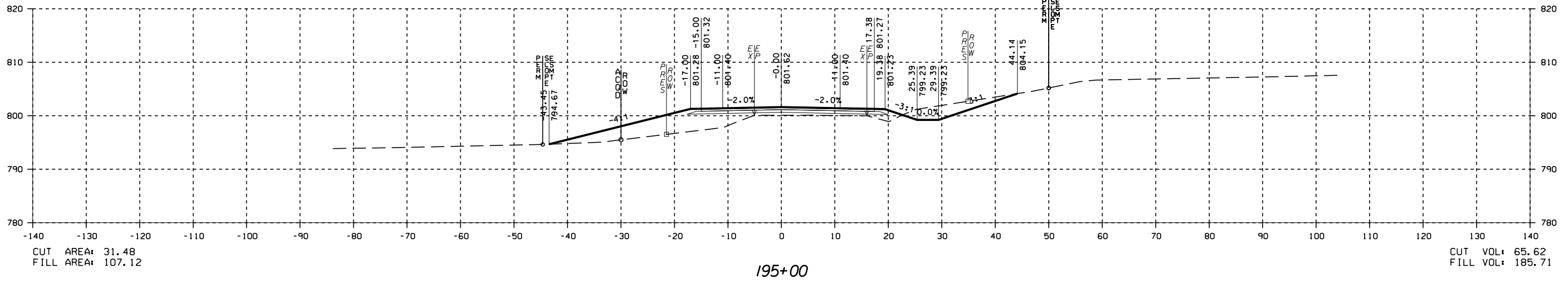
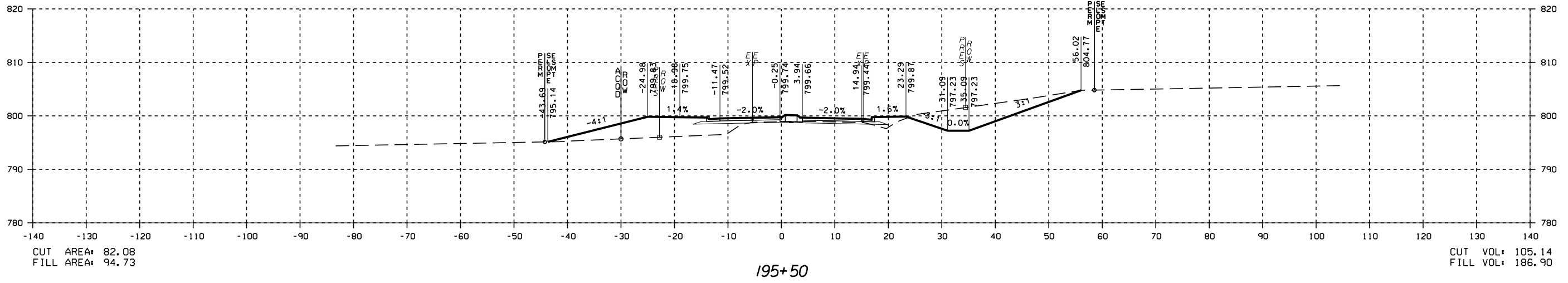
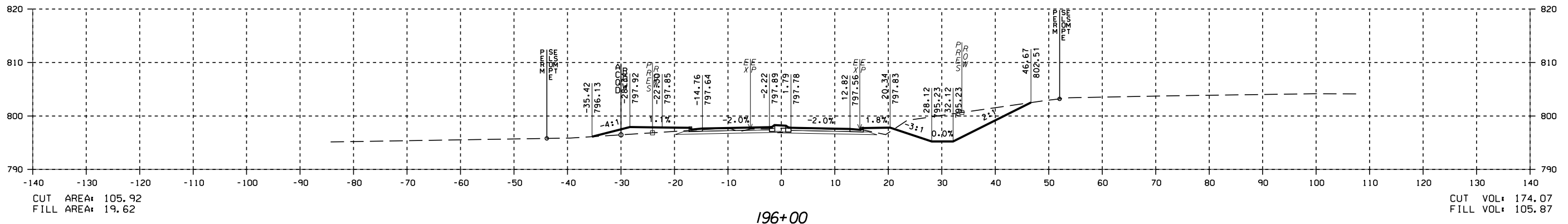
PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET

















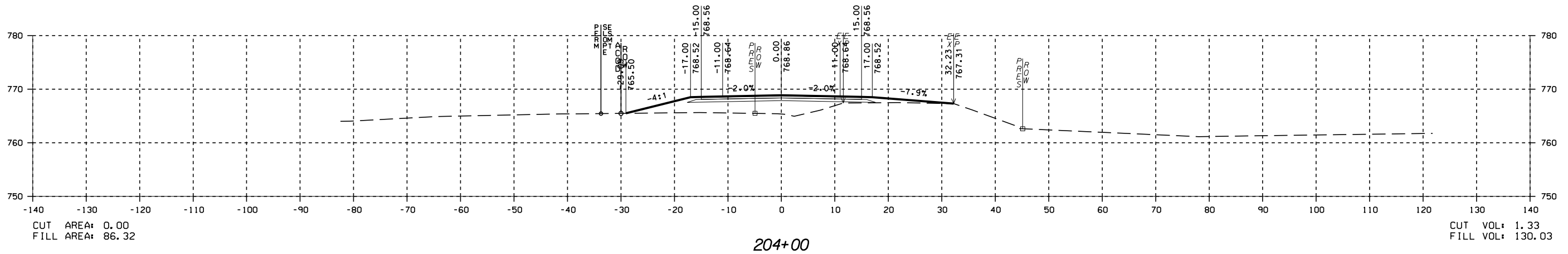
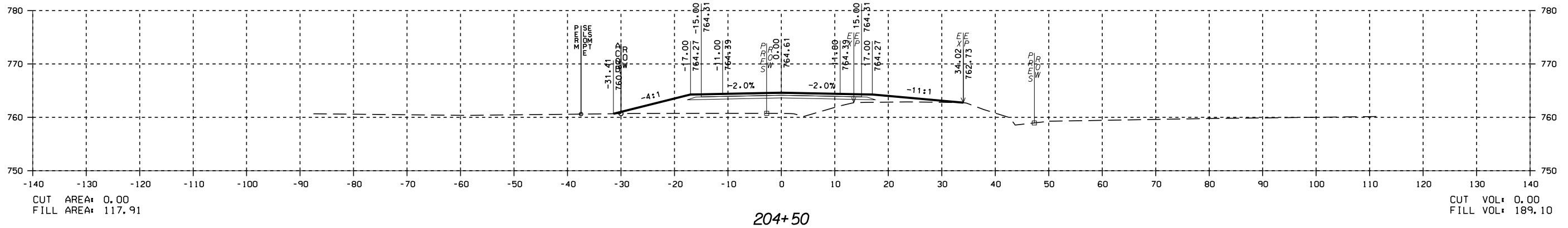
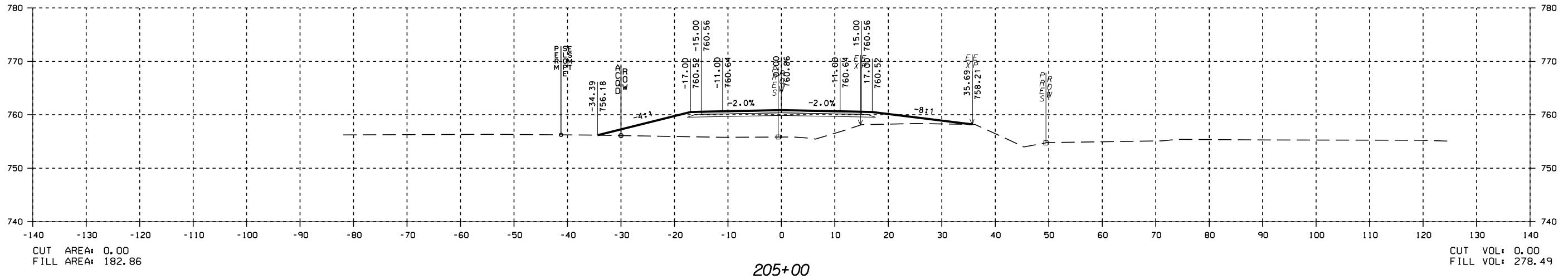
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DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET























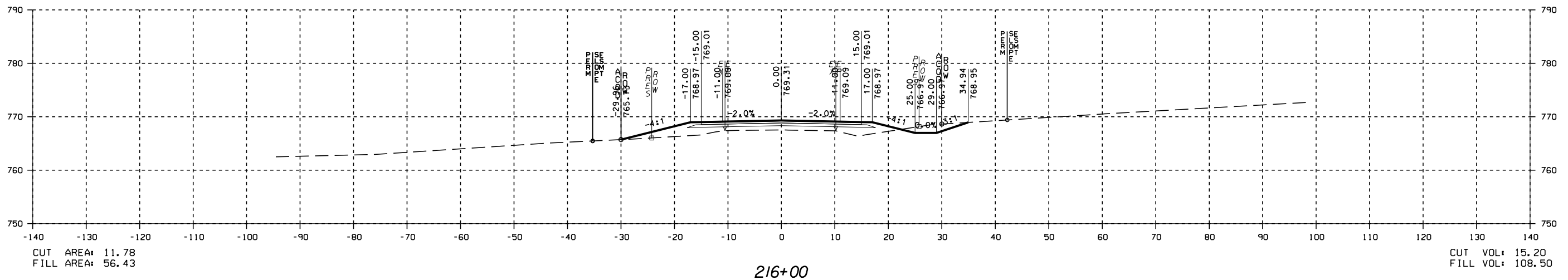
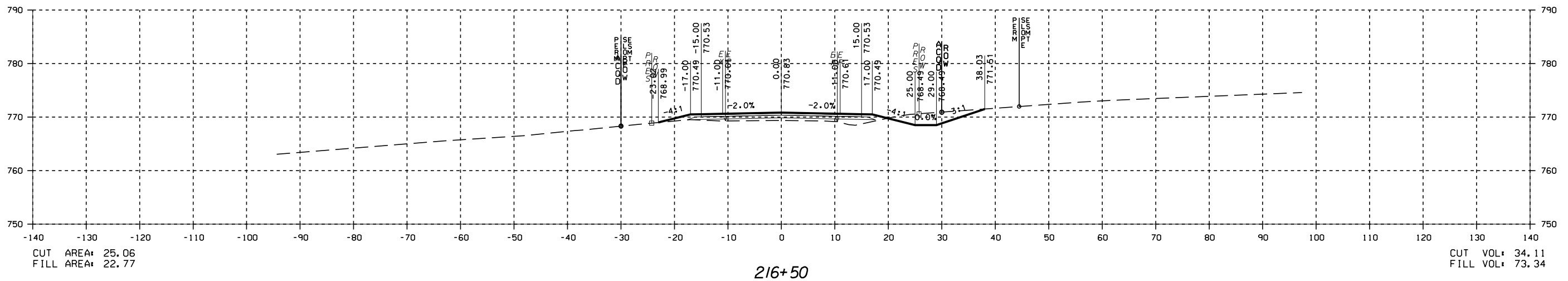
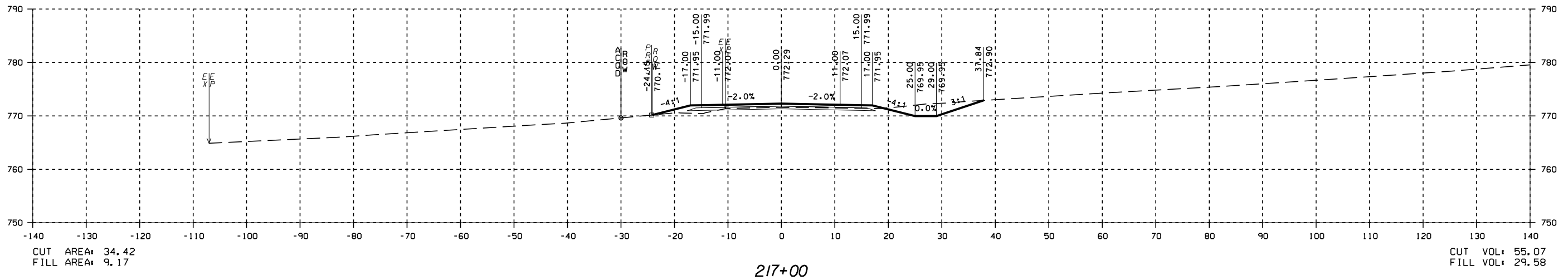
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CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE

DR.	CHK.	DATE	DESCRIPTION
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JK	JK	05-22-2018	REVIEW SET









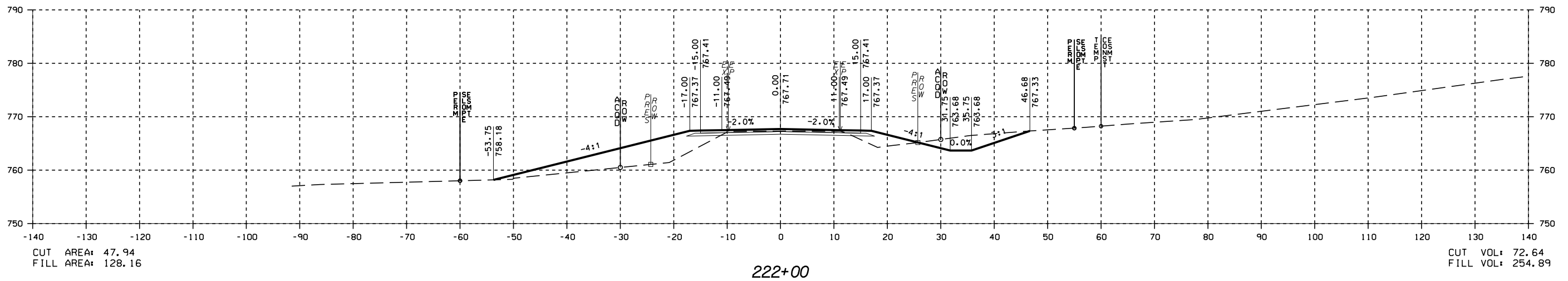
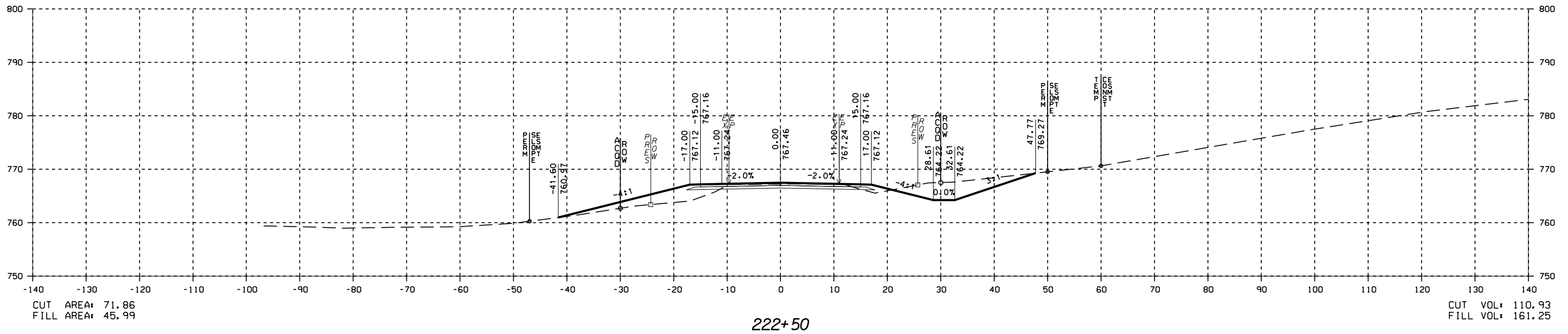


PRELIMINARY  
NOT FOR  
CONSTRUCTION

DATE

CROSS SECTIONS - CRITZ LANE

CRITZ LANE IMPROVEMENTS  
TOWN OF THOMPSON'S STATION  
THOMPSON'S STATION, TENNESSEE



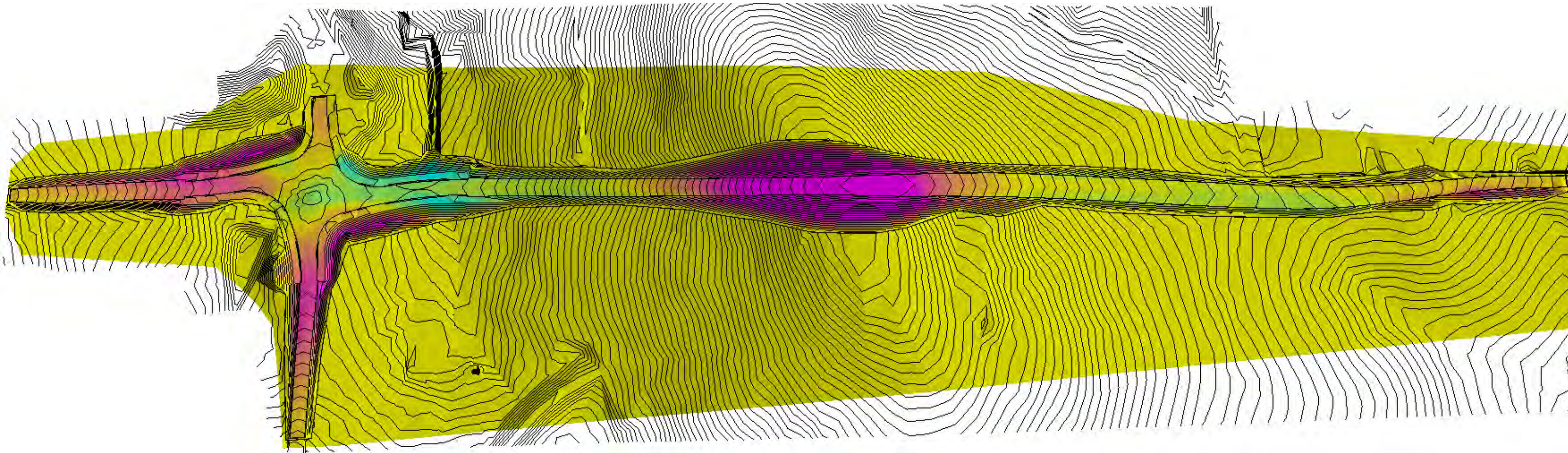
DR.	CHK.	DATE	DESCRIPTION
JK	JK	05-12-2017	ISSUED FOR 30% REVIEW
JK	JK	05-22-2018	REVIEW SET











Critz Lane Improvements  
Agtek Grading Exhibit  
8/6/2019



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project    FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A    TRACT NUMBER: 1

PROPERTY OWNERSHIP: Ferrari Partners, LP

COUNTY: Williamson    MAP/PARCEL NUMBER: 145-003.00

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 55,400

EFFECTIVE DATE OF VALUATION: 1/23/19    APPRAISAL TYPE (FORMAL, FPA, or NPI FORMAL)

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	4,595.000	SF	\$ 25,298
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	7,826.000	SF	\$ 30,130
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ -
DAMAGES			\$ -
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ -
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 55,425.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 55,425.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

Minor rounding is administratively applied to the amount due owner.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA    DATE: 2/22/2019

SIGNATURE OF PREPARER:



AGENCY AUTHORIZATION BY:

Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 2

PROPERTY OWNERSHIP: Affitto, LLC

COUNTY: Williamson MAP/PARCEL NUMBER: 145-003.02

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 55,650

EFFECTIVE DATE OF VALUATION: 1/23/19 APPRAISAL TYPE (FORMAL, FPA, or NP) FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	4,105.000	SF	\$ 16,435
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	12,123.000	SF	\$ 33,950
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	3,947.000	SF	\$ 4,740.00
LNDOWNR IMPRVMTS.			\$ 300
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 55,675.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 55,675.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

Minor rounding is administratively applied to the amount due owner.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 2/21/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project | FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A | TRACT NUMBER: 7

PROPERTY OWNERSHIP: Thomas M. Evans, Jr.

COUNTY: Williamson | MAP/PARCEL NUMBER: 145-006.00

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 33,300

EFFECTIVE DATE OF VALUATION: 9/5/18 | APPRAISAL TYPE (FORMAL, FPA, or NPI) FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS	
	AREA	ACS/SF	(Rounded)	
INTERESTS ACQUIRED				
FEE-SIMPLE	0.320	ACRES	\$	14,780
PERM. DRNGE. ESM'T.	-		\$	-
SLOPE ESM'T.	0.310	ACRES	\$	10,000
AIR RIGHTS	-		\$	-
TEMP. CONST. ESM'T.	0.110	ACRES	\$	1,520.00
LNDOWNR IMPRVMTS.			\$	-
DAMAGES			\$	7,000
SPECIAL BENEFITS			\$	-
NET DAMAGES			\$	-
UTILITY ADJUSTMENT			\$	-
TOTL LNDOWNR COMP.			\$	33,300.00
TENANT IMPRVMTS.			\$	-
<b>TOTAL TRACT COMPENSATION</b>			<b>\$</b>	<b>33,300.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

Minor rounding is administratively applied to the amount due owner for the acquisition areas. The appraisal report is based on sound accepted professional appraisal methodology using current local market data.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA | DATE: 1/8/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO:	Critz Lane Widening Project	FEDERAL PROJECT NO:	N/A
LPA PROJECT ID NUMBER: (PIN)	N/A	TRACT NUMBER:	8
PROPERTY OWNERSHIP:	Robert A. Baughman, Jr and Elisa M. Baughman		
COUNTY:	Williamson	MAP/PARCEL NUMBER:	145-017.20
APPRAISER:	Ted A. Boozer, MAI		
APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER:	\$		4,100
EFFECTIVE DATE OF VALUATION:	1/26/19	APPRAISAL TYPE (FORMAL, FPA, or NPI)	FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
INTERESTS ACQUIRED			
FEE-SIMPLE			\$ -
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	1,601	SF	\$ 1,425
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	3,314	SF	\$ 1,275.00
LNDOWNR IMPRVMTS.			\$ 1,000
DAMAGES			\$ 400
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 400
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 4,100.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 4,100.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 1,601 square feet. The temporary construction easement is based on 10% of the fee simple value for 3 years or \$1.26/SF x 10% x 3 years = \$0.38/SF x 3,314/SF. The improvements acquired include 600 SF of gravel driveway and driveway post. The damages are cost to cure damages to address the 4 mailboxes and wooded post in the acquisition area. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY:	R. Rhett Turner, MAI, SR/WA	DATE:	5/2/2019
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SIGNATURE OF PREPARER:	
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AGENCY AUTHORIZATION BY:	Date & Signature Of Authorizing Party
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**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 14

PROPERTY OWNERSHIP: William David Dozier and Helen C. Dozier

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.06

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 20,800

EFFECTIVE DATE OF VALUATION: 1/18/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	1,231	SF	\$ 1,584
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	3,902	SF	\$ 3,466
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 15,500
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 20,800.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 20,800.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 1,231 SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 3,902 square feet. The improvements acquired include 330 SF of concrete driveway and landscaping. The damages are cost to cure damages to address the mailbox and wooded post in the acquisition area. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/2/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 16

PROPERTY OWNERSHIP: Heather Kennie

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.07

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 11,700

EFFECTIVE DATE OF VALUATION: 1/22/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS	
	AREA	ACS/SF	(Rounded)	
FEE-SIMPLE	2,108	SF	\$	2,680
PERM. DRNGE. ESM'T.	-		\$	-
SLOPE ESM'T.	4,277	SF	\$	3,770
AIR RIGHTS	-		\$	-
TEMP. CONST. ESM'T.	-			
LNDOWNR IMPRVMTS.			\$	5,000
DAMAGES			\$	250
SPECIAL BENEFITS			\$	-
NET DAMAGES			\$	250
UTILITY ADJUSTMENT			\$	-
TOTL LNDOWNR COMP.			\$	11,700.00
TENANT IMPRVMTS.			\$	-
<b>TOTAL TRACT COMPENSATION</b>			<b>\$</b>	<b>11,700.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 2,108 SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70%= \$0.88/SF x 4,277 square feet. The improvements acquired include 350 SF of asphalt driveway, stone planter and landscaping. The damages are cost to cure damages to address the mailbox and wooded post in the acquisition area. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/2/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 17

PROPERTY OWNERSHIP: Frances A. Larson

COUNTY: Williamson MAP/PARCEL NUMBER: 145-035.03

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 28,800

EFFECTIVE DATE OF VALUATION: 4/29/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	9,243	SF	\$ 19,150
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	3,590	SF	\$ 5,210
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	3,364	SF	\$ 2,090
LNDOWNR IMPRVMTS.			\$ 2,100
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 28,800.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 28,800.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$90,000/Acre or \$2.07/SF x 9,243 SF. The slope easement is based on 70% of the fee simple value or \$1.45/SF x 70% = \$1.45/SF x 3,590 square feet. The temporary construction easement is based on 10% of the fee simple value for 3 years or \$2.07/SF x 10% x 3 years = \$0.62/SF x 3,364 SF. Improvements acquired are 200 SF asphalt driveway (\$700), 50 LF 4 board wood fencing (\$800) and landscaping (\$600). Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/8/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION**  
**APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 19

PROPERTY OWNERSHIP: William H. and Mattie Lou Marlin

COUNTY: Williamson MAP/PARCEL NUMBER: 145-035.00

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 12,600

EFFECTIVE DATE OF VALUATION: 1/22/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	560	SF	\$ 1,650
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	3,956	SF	\$ 7,790
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	403	SF	\$ 350
LNDOWNR IMPRVMTS.			\$ 800
DAMAGES			\$ 2,010
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 2,010
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 12,600.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 12,600.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The appraisal report correctly identifies two larger parcels. Larger Parcel A is 2.1 acres with a unit value of \$90,000/Acre or \$2.07/SF. Larger Parcel A has 301 SF slope easement (\$2.07/SF x 70% = \$1.45/SF x 301 SF). Larger Parcel B is 1.33 acres with a unit value of \$125,000/Acre or \$2.87/SF. Larger Parcel B has 560 SF of fee simple acquisition (560 SF x \$2.87/SF) and 3,655 SF of slope easement (\$2.87/SF x 70% = \$2.01/SF x 3,655 SF) and 403 SF of temporary construction easement (\$2.87/SF x 10% X 3 years = \$0.86/SF x 403 SF). Both parcels meet the criteria for a larger parcel. The analysis and discussion is clear concise and well supported in the local market. Improvements acquired are 400 SF gravel driveway (\$800) and landscaping (\$100). Net cost to cure damages address 80 LF of temporary and permanent fencing and mailbox. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/11/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 18

PROPERTY OWNERSHIP: Richard Scott & Linda Marie Emeott

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.08

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 28,800

EFFECTIVE DATE OF VALUATION: 1/22/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
INTERESTS ACQUIRED			
FEE-SIMPLE	2,192	SF	\$ 2,800
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	2,293	SF	\$ 2,050
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		
LNDOWNR IMPRVMTS.			\$ 23,700
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 28,800.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 28,800.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 2,192 SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 2,293 square feet. The improvements acquired include 250 SF of gravel driveway, stone retaining wall and landscaping. The damages are cost to cure damages to address the mailbox and wooded post in the acquisition area. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/2/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 20

PROPERTY OWNERSHIP: Wayne Scott Giles and Cynthia P. Giles

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.09

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 9,850

EFFECTIVE DATE OF VALUATION: 1/21/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	2,026	SF	\$ 2,575
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	5,762	SF	\$ 7,275
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ -
DAMAGES			\$ -
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ -
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 9,850.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 9,850.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 2,026 SF. The slope easement is based on 100% of the fee simple value or \$1.26/SF x 100% = \$1.26/SF x 5,762 square feet. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/6/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 22

PROPERTY OWNERSHIP: Michael M. & Susan D. McClanahan

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.10

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 24,500

EFFECTIVE DATE OF VALUATION: 1/18/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
INTERESTS ACQUIRED			
FEE-SIMPLE	1,703	SF	\$ 2,148
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	1,764	SF	\$ 1,552
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		
LNDOWNR IMPRVMTS.			\$ 20,000
DAMAGES			\$ 750
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 750
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 24,500.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 24,500.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 1,703 SF. The slope easement is based on 100% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 1,764 square feet. Improvements acquired include 100 SF of asphalt paving (\$400) and landscaping and trees (\$19,600). A detailed list and breakdown of the landscaping and trees is on page 12 of the appraisal report. Net cost to cure damages addresses the mailbox, post and electrical outlet located in the acquisition areas. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/6/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project      FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A      TRACT NUMBER: 23

PROPERTY OWNERSHIP:

COUNTY: Williamson      MAP/PARCEL NUMBER: 145-035.04

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 1,500

EFFECTIVE DATE OF VALUATION: 4/29/19      APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS	
	AREA	ACS/SF	(Rounded)	
FEE-SIMPLE	-		\$	-
PERM. DRNGE. ESM'T.	-		\$	-
SLOPE ESM'T.	522	SF	\$	850
AIR RIGHTS	-		\$	-
TEMP. CONST. ESM'T.	-			
LNDOWNR IMPRVMTS.			\$	400
DAMAGES			\$	250
SPECIAL BENEFITS			\$	-
NET DAMAGES			\$	250
UTILITY ADJUSTMENT			\$	-
TOTL LNDOWNR COMP.			\$	1,500.00
TENANT IMPRVMTS.			\$	-
<b>TOTAL TRACT COMPENSATION</b>			\$	1,500.00

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$100,000/Acre or \$2.30/SF. The slope easement is based on 70% of the fee simple value or \$2.30/SF x 70%= \$1.61/SF x 522 square feet. Improvements acquired are 240 SF Gravel driveway. Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA      DATE: 5/10/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 24

PROPERTY OWNERSHIP: Richard A. & Darlene H. Lopez

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.11

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 4,800

EFFECTIVE DATE OF VALUATION: 1/22/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA


**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	2,137	SF	\$ 2,700
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	1,177	SF	\$ 1,050
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 800
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 4,800.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 4,800.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 2,700 SF. The slope easement is based on 100% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 1,177 square feet. Improvements acquired include 300 SF of gravel driveway (\$450) and landscaping, 3 shrubs (\$350). Net cost to cure damages addresses the mailbox, post located in the acquisition areas. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/6/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 25

PROPERTY OWNERSHIP: Estate of Walter & Sandra Edwards, Benjamin Scott Executor of Estate

COUNTY: Williamson MAP/PARCEL NUMBER: 145-035.02

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 14,450

EFFECTIVE DATE OF VALUATION: 1/21/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	19	SF	\$ 80
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	2,481	SF	\$ 5,980
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	1,855	SF	\$ 1,915.00
LNDOWNR IMPRVMTS.			\$ 3,600
DAMAGES			\$ 2,875
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 2,875
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 14,450.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 14,450.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$150,000/Acre or \$3.44/SF x 19 SF. The slope easement is based on 70% of the fee simple value or \$3.44/SF x 70% = \$2.41/SF x 2,481 square feet. The temporary construction easement is based on 10% of the fee simple value for three years or \$3.44/SF x 10% x 3 years = \$1.03/Sf x 1,855 SF. Net cost to cure damages addresses 175 LF fencing (\$2,625) and mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/7/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 26

PROPERTY OWNERSHIP: Kyle D. & Sheena M. Weaver

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.12

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 33,800

EFFECTIVE DATE OF VALUATION: 1/18/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
INTERESTS ACQUIRED			
FEE-SIMPLE	1,811	SF	\$ 2,300
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	2,496	SF	\$ 2,200
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		
LNDOWNR IMPRVMTS.			\$ 24,200
DAMAGES			\$ 5,100
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 5,100
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 33,800.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 33,800.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 1,811 SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 2,496 square feet. Improvements acquired include 150 SF of gravel driveway (\$450) and landscaping (\$2,950) and stone wall (\$21,000). Net cost to cure damages addresses the mailboxes, one wooden post (\$250) and one metal post (\$350), 300 LF temporary fencing (\$4,500). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/6/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 27

PROPERTY OWNERSHIP:

COUNTY: Williamson MAP/PARCEL NUMBER: 145-034.02

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 11,800

EFFECTIVE DATE OF VALUATION: 4/29/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
INTERESTS ACQUIRED			
FEE-SIMPLE	529	SF	\$ 1,525
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	2,594	SF	\$ 5,225
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 4,800
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 11,800.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 11,800.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$125,000/Acre or \$2.87/SF x 529 SF. The slope easement is based on 70% of the fee simple value or \$2.87/SF x 70% = \$2.01/SF x 2,594 square feet. Improvements acquired are asphalt paving (\$1,000), landscaping (\$2,800) and brick columns (\$1,000). Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/10/2019

SIGNATURE OF PREPARER:

AGENCY AUTHORIZATION BY:

Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project      FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A      TRACT NUMBER: 28

PROPERTY OWNERSHIP: Mary B. Batey

COUNTY: Williamson      MAP/PARCEL NUMBER: 145-017.13

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 11,050

EFFECTIVE DATE OF VALUATION: 1/18/19      APPRAISAL TYPE (FORMAL, FPA, or NPP): FORMAL


**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	3,765	SF	\$ 5,200
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	2,304	SF	\$ 2,250
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ -
DAMAGES			\$ 3,600
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 3,600
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 11,050.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 11,050.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$60,000/Acre or \$1.38/SF x 3,765 SF. The slope easement is based on 70% of the fee simple value or \$1.38/SF x 70% = \$0.97/SF x 2,304 square feet. Net cost to cure damages addresses 300 LF fencing (\$3,600). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA      DATE: 5/6/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 29

PROPERTY OWNERSHIP: Paul & Stormie Sheldon Newman

COUNTY: Williamson MAP/PARCEL NUMBER: 145-033.00

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 6,100

EFFECTIVE DATE OF VALUATION: 4/29/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS	
	AREA	ACS/SF	(Rounded)	
INTERESTS ACQUIRED				
FEE-SIMPLE	1,747	SF	\$	3,445
PERM. DRNGE. ESM'T.	-		\$	-
SLOPE ESM'T.	1,912	SF	\$	2,655
AIR RIGHTS	-		\$	-
TEMP. CONST. ESM'T.	-			
LNDOWNR IMPRVMTS.			\$	-
DAMAGES			\$	-
SPECIAL BENEFITS			\$	-
NET DAMAGES			\$	-
UTILITY ADJUSTMENT			\$	-
TOTL LNDOWNR COMP.			\$	6,100.00
TENANT IMPRVMTS.			\$	-
<b>TOTAL TRACT COMPENSATION</b>			<b>\$</b>	<b>6,100.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$85,000/Acre or \$1.95/SF x 1,747 SF. The slope easement is based on 70% of the fee simple value or \$1.95/SF x 70% = \$1.37/SF x 1,912 square feet. The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/10/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 30

PROPERTY OWNERSHIP: Troy D. Batey

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.21

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 12,300

EFFECTIVE DATE OF VALUATION: 1/18/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	1,960	SF	\$ 4,580
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	2,855	SF	\$ 4,600
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ -
DAMAGES			\$ 3,120
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 3,120
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 12,300.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 12,300.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$100,000/Acre or \$2.30/SF x 1,960 SF. The slope easement is based on 70% of the fee simple value or \$2.30/SF x 70% = \$1.61/SF x 2,855 square feet. Net cost to cure damages addresses 260 LF fencing (\$3,120). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/7/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 31

PROPERTY OWNERSHIP: Sara Elliott

COUNTY: Williamson MAP/PARCEL NUMBER: 145-032.08

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 28,700

EFFECTIVE DATE OF VALUATION: 4/29/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	2,252	SF	\$ 3,885
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	8,203	SF	\$ 9,844
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	8,022	SF	\$ 4,171.00
LNDOWNR IMPRVMTS.			\$ -
DAMAGES			\$ 10,800
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 10,800
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 28,700.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 28,700.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$75,000/Acre or \$1.72/SF x 2,252 SF. The slope easement is based on 70% of the fee simple value or \$1.72/SF x 70% = \$1.20/SF x 8,203 square feet. The temporary construction easement is based on 10% of the fee simple value for 3 years or \$1.72/SF x 10% x 3 years = \$0.52/SF x 8,022. Net cost to cure damages addresses 540 LF fencing (\$10,800). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/10/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 32

PROPERTY OWNERSHIP: Mary Batey, Cynthia Giles, Patricia White

COUNTY: Williamson MAP/PARCEL NUMBER: 145-017.01

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 31,600

EFFECTIVE DATE OF VALUATION: 1/18/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	0.300	ACRES	\$ 14,400
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	0.100	ACRES	\$ 3,400
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 400
DAMAGES			\$ 13,400
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 13,400
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 31,600
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 31,600</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

Minor rounding is administratively applied to the amount due owner.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 2/21/2019

SIGNATURE OF PREPARER:



AGENCY AUTHORIZATION BY:

Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 34

PROPERTY OWNERSHIP: Betty Ann Phair & Jeremy Ellis Holloway

COUNTY: Williamson MAP/PARCEL NUMBER: 145/017.01

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 48,100

EFFECTIVE DATE OF VALUATION: 1/22/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	0.600	ACRES	\$ 27,000
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	0.370	ACRES	\$ 11,680
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 530
DAMAGES			\$ 8,890
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 8,890
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 48,100.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 48,100.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The damages address the cost to cure fencing, temporary during construction and permanent after completion of the project.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 2/21/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 35

PROPERTY OWNERSHIP: Darren Morris and Sonya Morris

COUNTY: Williamson MAP/PARCEL NUMBER: 145-032.05

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 3,600

EFFECTIVE DATE OF VALUATION: 1/21/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	58	SF	\$ 80
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	418	SF	\$ 370
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	262	SF	\$ 100
LNDOWNR IMPRVMTS.			\$ 2,800
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 3,600.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 3,600.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 58 SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 418 square feet. The temporary construction easement is based on 10% of fee simple value for 3 years, or \$1.26/SF x 10% X 3 years. Improvements acquired include 58 SF of gravel driveway (\$100) and landscaping (\$2,700). Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/6/2019

SIGNATURE OF PREPARER:



AGENCY AUTHORIZATION BY:

Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 36

PROPERTY OWNERSHIP: Teddy K. Peay

COUNTY: Williamson MAP/PARCEL NUMBER: 145-019.00

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 6,700

EFFECTIVE DATE OF VALUATION: 1/22/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS	
	AREA	ACS/SF	(Rounded)	
INTERESTS ACQUIRED				
FEE-SIMPLE	2,353	SF	\$	4,050
PERM. DRNGE. ESM'T.	-		\$	-
SLOPE ESM'T.	1,830	SF	\$	2,200
AIR RIGHTS	-		\$	-
TEMP. CONST. ESM'T.	-			
LNDOWNR IMPRVMTS.			\$	200
DAMAGES			\$	250
SPECIAL BENEFITS			\$	-
NET DAMAGES			\$	250
UTILITY ADJUSTMENT			\$	-
TOTL LNDOWNR COMP.			\$	6,700.00
TENANT IMPRVMTS.			\$	-
<b>TOTAL TRACT COMPENSATION</b>			<b>\$</b>	<b>6,700.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$75,000/Acre or \$1.72/SF x 2,353 SF. The slope easement is based on 70% of the fee simple value or \$1.72/SF x 70% = \$1.20/SF x 1,830 square feet. Improvements acquired are 120 SF gravel driveway (\$200). Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/7/2019

SIGNATURE OF PREPARER:



AGENCY AUTHORIZATION BY:

Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 38

PROPERTY OWNERSHIP: Kevin M. & Shelli A. Dennis

COUNTY: Williamson MAP/PARCEL NUMBER: 145-020.00

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 5,300

EFFECTIVE DATE OF VALUATION: 1/18/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
INTERESTS ACQUIRED			
FEE-SIMPLE	1,146	SF	\$ 2,380
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	1,630	SF	\$ 2,370
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		
LNDOWNR IMPRVMTS.			\$ 300
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 5,300.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 5,300.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$90,000/Acre or \$2.07/SF x 1,146 SF. The slope easement is based on 70% of the fee simple value or \$2.07/SF x 70% = \$1.45/SF x 1,630 square feet. Improvements acquired are 70 SF asphalt driveway. Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/7/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party



**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 39

PROPERTY OWNERSHIP: Shirley McCord

COUNTY: Williamson MAP/PARCEL NUMBER: 145-020.01

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 20,100

EFFECTIVE DATE OF VALUATION: 2/12/19 APPRAISAL TYPE (FORMAL, FPA, or NPP): FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	1,142	SF	\$ 2,350
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	4,821	SF	\$ 7,670
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 9,800
DAMAGES			\$ 250
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ 250
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 20,100.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 20,100.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$90,000/Acre or \$2.07/SF x 1,142 SF. The slope easement is valued in two separate areas based on the extent of the area. One slope easement is based on 70% of the fee simple value or \$2.07/SF x 70% = \$.145/SF x 3,751 square feet. The other identified slope easement area, 1,070 square feet is valued at 100% of fee simple value or \$2.07/SF x 1,070 SF. The gird above combines the areas and the amount due owner for the slope easement areas. Improvements acquired include landscaping and 120 SF asphalt driveway. Net cost to cure damages addresses the mailbox (\$250). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/7/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY:   
 Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A TRACT NUMBER: 40

PROPERTY OWNERSHIP: George E. Ross and Gale E. Ross

COUNTY: Williamson MAP/PARCEL NUMBER: 145-032.05

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 4,100

EFFECTIVE DATE OF VALUATION: 2/12/19 APPRAISAL TYPE (FORMAL, FPA, or NP) FPA

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	904	SF	\$ 1,150
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	737	SF	\$ 650
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	-		\$ -
LNDOWNR IMPRVMTS.			\$ 2,300
DAMAGES			\$ -
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ -
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 4,100.00
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 4,100.00</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

The amount due owner is administratively rounded. The amount due owner is based on the fee simple value of \$55,000/Acre or \$1.26/SF x 904 SF. The slope easement is based on 70% of the fee simple value or \$1.26/SF x 70% = \$0.88/SF x 737 square feet. Improvements acquired include 75 SF of concrete driveway (\$400) and landscaping (\$1,900). The appraisal report is well written, based on sound acceptable appraisal methodology, using recent local market sales.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA DATE: 5/6/2019

SIGNATURE OF PREPARER:



AGENCY AUTHORIZATION BY:

Date & Signature Of Authorizing Party

**THE TOWN OF THOMPSON'S STATION  
APPROVED OFFER -- BASIS, SUMMARY & AUTHORIZATION**

(THIS FORM MAY BE USED FOR STAFF NPP)

STATE PROJECT NO: Critz Lane Widening Project | FEDERAL PROJECT NO: N/A

LPA PROJECT ID NUMBER: (PIN) N/A | TRACT NUMBER: 9, 11, 13

PROPERTY OWNERSHIP: Byrd D. Cain, Jr.

COUNTY: Williamson | MAP/PARCEL NUMBER: 145/6.01, 6.02, 6.03

APPRAISER: Ted A. Boozer, MAI

APPRAISER CONCLUSION OF TOTAL AMOUNT DUE OWNER: \$ 72,000

EFFECTIVE DATE OF VALUATION: 1/18/19 | APPRAISAL TYPE (FORMAL, FPA, or NPP): FORMAL

**ACQUISITION AREAS & APPROVED COMPENSATIONS**

INTERESTS ACQUIRED	ACQ. AREAS		COMPENSATIONS
	AREA	ACS/SF	(Rounded)
FEE-SIMPLE	0.727	ACRES	\$ 34,900
PERM. DRNGE. ESM'T.	-		\$ -
SLOPE ESM'T.	1.090	ACRES	\$ 36,650
AIR RIGHTS	-		\$ -
TEMP. CONST. ESM'T.	0.030	ACRES	\$ 450
LNDOWNR IMPRVMTS.			\$ -
DAMAGES			\$ -
SPECIAL BENEFITS			\$ -
NET DAMAGES			\$ -
UTILITY ADJUSTMENT			\$ -
TOTL LNDOWNR COMP.			\$ 72,000
TENANT IMPRVMTS.			\$ -
<b>TOTAL TRACT COMPENSATION</b>			<b>\$ 72,000</b>

**COMMENTS & EXPLANATIONS AS NECESSARY**

Minor rounding is administratively applied to the amount due owner.

OFFER PREPARED BY: R. Rhett Turner, MAI, SR/WA | DATE: 2/21/2019

SIGNATURE OF PREPARER: 

AGENCY AUTHORIZATION BY: \_\_\_\_\_  
Date & Signature Of Authorizing Party



# MEMORANDUM

**TO:** Kenneth McLawhon, Town Administrator  
**FROM:** Caryn Miller  
**DATE:** 9/28/2019  
**RE:** Alexander Property Soils Surveying Resolution 2019-022

---

Resolution 2019-022, if passed by BOMA, approves the contract with OHM Advisors for the surveying work needed for the Alexander Drip Line Project.

Staff received many bids from companies which is attached to the Resolution for BOMA to review. The lowest bid came in from OHM Advisors in the amount of \$6,441.00. Their Contract is also attached to the Resolution for BOMA approval and execution.

I would like to add that I have worked with OHM Advisors in the past and they are a very reputable and good company.

The surveying work needs to take place before the soils can be tested. I have also attached the timeline for this portion of the project assuming BOMA approves it.

**RECOMMENDATION:**

BOMA approve the Resolution and Contract with OHM Advisors for the surveying portion of the Alexander Drip Fields Project and allow the Mayor to execute the same.

**RESOLUTION NO. 2019 - 022**

**A RESOLUTION OF THE TOWN OF THOMPSON'S STATION, TENNESSEE  
APPROVING THE SURVEY WORK FOR THE ALEXANDER PROPERTY DRIP FIELDS  
PROJECT**

WHEREAS, the Town acquired the property for the purpose of adding necessary drip fields for their Regional Plant Sewer System; and

WHEREAS, the Town has received quotes from several companies indicating their interest in the project; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to move forward with this project.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

Section 1: Approve the contract with OHM Advisors in the amount of \$6,400 for the survey work necessary for the soil testing and allow the Mayor to execute said contract.

Section 2: The OHM Advisors contract and scope of services will be attached as Exhibit A and become part of this Resolution.

Section 3: A list of all quotes received will be attached as Exhibit B and become part of this Resolution.

Section 4: The associated map is attached to the Resolution as Exhibit C and becomes part of this Resolution

RESOLVED AND ADOPTED this 8th day of October 2019.

\_\_\_\_\_  
**Corey Napier , Mayor**

ATTEST:

\_\_\_\_\_  
Town Recorder

APPROVED AS TO LEGALITY AND FORM:

\_\_\_\_\_  
Town Attorney

**EXHIBIT A**

(Next Page)

**EXHIBIT B**



<b>Surveying</b>	<b>Phone</b>	<b>Cost per acre</b>	<b>Acres of possible good Soils</b>	<b>Total</b>	<b>Start</b>
Chapdalain and Associates	615-799-8104	600	75.78	45,468	Not Known
Arrowhead and Associates	615-599-7347	190	75.78	14,398	2 weeks after NTP
H & H Surveying		321.98	75.78	24,400	Immediate
ELI-LLC	615-349-7227	400	75.78	30,312	2 weeks after NTP
Patrick Smith	615-256-0920	450	75.78	34,101	2 weeks after NTP
Jason Moseley OHM Advisors	615-649-5264	85	75.78	6,441	2 weeks after NTP
Civic Inc. Todd Fowlkes	615-425-2000 xt 243	265	75.78	20,082	2 weeks after NTP
Collier Engineering Daniel Curry	615-331-1441	200 +1,600 office work	75.78	16,756	2 weeks after NTP
CECI James Cooley	615-622-7801	350	75.78	26,523	1 week after NTP
Ahler and Associates	615-481-3106	550	75.78	41,679* additional hourly charges if we need anything else	1 week after NTP
Michael Story	615-370-8500	255.3	75.78	* \$19,000 quote	1 week after NTP
Danny Wamble	615-251-9555	325	75.78	* \$24,000 quote	2-3 weeks to complete

**EXHIBIT C**

**MAP**

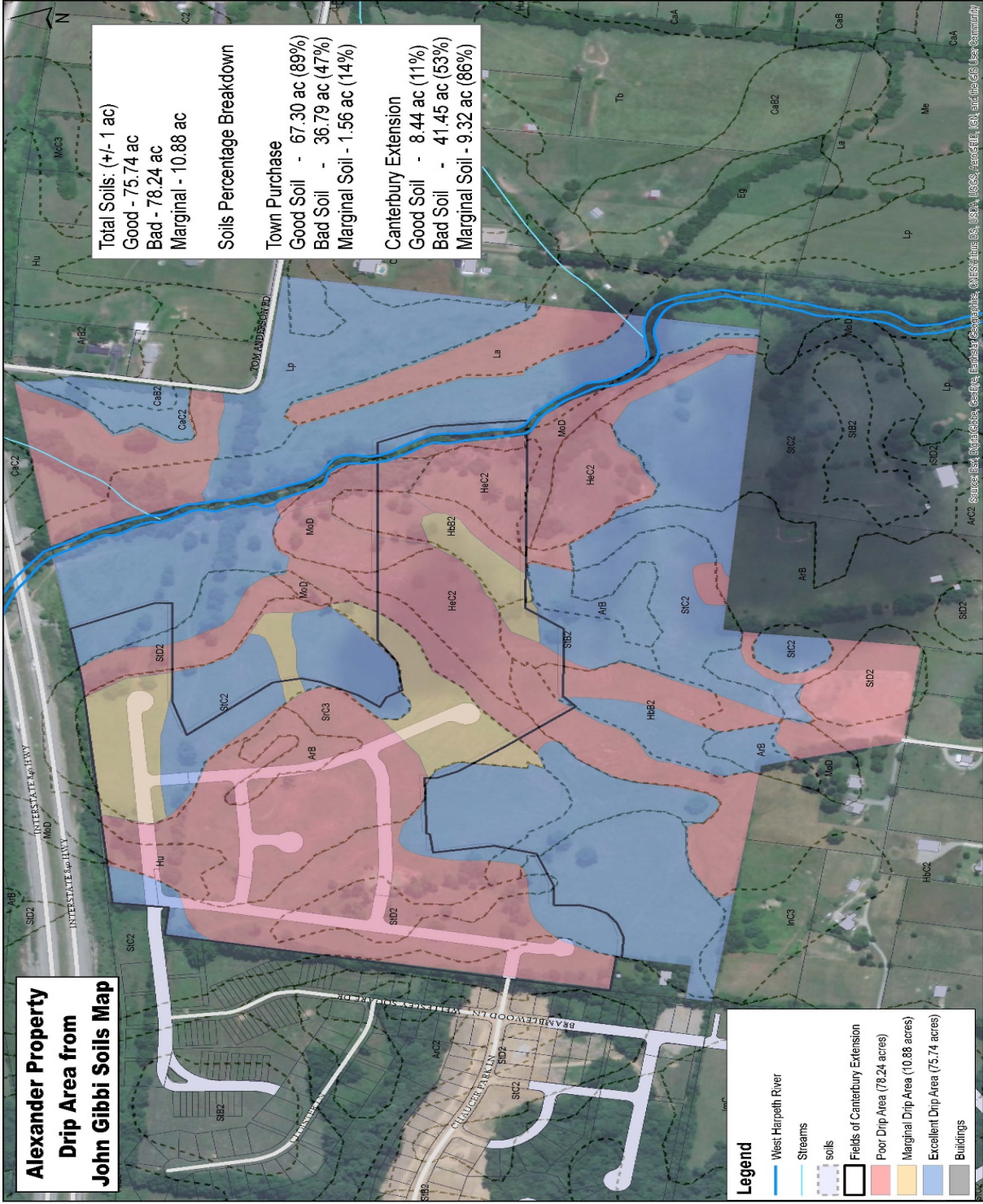
**Alexander Property  
Drip Area from  
John Gibbi Soils Map**

**Total Soils: (+/- 1 ac)**  
**Good - 75.74 ac**  
**Bad - 78.24 ac**  
**Marginal - 10.88 ac**

**Soils Percentage Breakdown**

**Town Purchase**  
**Good Soil - 67.30 ac (89%)**  
**Bad Soil - 36.79 ac (47%)**  
**Marginal Soil - 1.56 ac (14%)**

**Canterbury Extension**  
**Good Soil - 8.44 ac (11%)**  
**Bad Soil - 41.45 ac (53%)**  
**Marginal Soil - 9.32 ac (86%)**



**Legend**

- West Harpeth River
- Streams
- soils
- Fields of Canterbury Extension
- Poor Drip Area (78.24 acres)
- Marginal Drip Area (10.88 acres)
- Excellent Drip Area (75.74 acres)
- Buildings

ARC2 Source: East Digital Data, Center for Geographic Information Systems, University of Tennessee, Knoxville, TN. All rights reserved.

**Alexander Property Timeline for Surveing and Soils Testing 9-14-2019 \*\* Proposed**

	Oct-19	Oct-19	Nov-19	Dec-19	Jan-20	Feb-20	Mar-20	Apr-20	May-20	Jun-20	Jul-20	Aug-20	Sep-20	Oct-20	Nov-20
<b>Surveying</b>	BOMA 10/8/2019 for approval														
<b>Soils Analysis</b>	BOMA 10/8/2019 for approval														
<b>Notice to Proceed Survey</b>		10/22/2019													
<b>Notice to Proceed Testing</b>					1/7/2019										
<b>Begin Survey</b>			11/6/2019		1/31/2020										
<b>Begin Testing</b>						2/1/2020				6/30/2020*****					

\*\*\*\*\* Depends on terrain, weather and other conditions. Hard to place actual timeline on it. Additionally, final usable land acreage will be determined during site visits with TDEC. Depending on the outcome from the site visits, the Town may elect to request a reconsideration of the field determinations in order to gain back usable area.



# MEMORANDUM

**TO:** Kenneth McLawhon, Town Administrator  
**FROM:** Caryn Miller  
**CC:**  
**DATE:** 9/28/2019  
**RE:** Alexander Property Soils Testing Resolution 2019-23

---

Resolution 2019-23, if passed by BOMA, approves the contract with Earthsearch for the soils testing and mapping work needed for the Alexander Drip Line Project.

Staff received bids from companies which is attached to the Resolution for BOMA to review. The lowest bidder needs to have our equipment and an operator to do the job. The second lowest bidders both came in at \$ 60,624.00 each. However, only one has their own equipment to do the job (Earthsearch) which puts it above the rest and is a cost savings to the Town in equipment and manpower. A Contract is being worked on by the Attorneys and will be attached to the Resolution for BOMA approval and execution.

There is a proposed timeline that will be attached to this Memo as to when to expect the work to be completed. It is hard to actually predict how long it will take as it depends on terrain, weather conditions, and the availability of TDEC to confirm the good soils. Those conditions will dictate actual completion dates, but Staff has been conservative and hopefully it can be completed by then. (The Hill property took a lot longer than expected because of said conditions)

## **Other Considerations:**

As learned by the Hill Property testing, the yield of actual acreage was lower than expected. A lot of factors weigh in on the actual acres that are suitable and largely depend on TDEC acceptance. TDEC also has a requirement for additional drainage that will diminish the actual yield of usable acres for the drip field. It is very hard at this point to determine a percentage of the 75.78 acres identified as possible good soils until they are actually tested. However, the one thing that at this time is certain is that the yield will be smaller than what may be expected and possibly less than what the Hill property yielded.

## **RECOMMENDATION:**

BOMA approve the Resolution and Contract with Earthsearch for the soil testing and mapping portion of the Alexander Drip Fields Project and allow the Mayor to execute the same.

**RESOLUTION NO. 2019 -023**

**A RESOLUTION OF THE TOWN OF THOMPSON'S STATION, TENNESSEE  
APPROVING THE SOILS TESTING AND MAPPING WORK FOR THE ALEXANDER  
PROPERTY DRIP FIELDS PROJECT**

WHEREAS, the Town acquired the property for the purpose of adding necessary drip fields for their Regional Plant Sewer System; and

WHEREAS, the Town has received quotes from several companies indicating their interest in the project; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in the best interest of the Town to move forward with this project.

NOW, THEREFORE, BE IT RESOLVED by the Board of Mayor and Aldermen of the Town of Thompson's Station as follows:

Section1: Approve the contract with EARTSEARCH Soil Consulting LLC in the amount of \$60,624 for the soil testing and mapping work necessary for the project and allow the Mayor to execute said contract.

Section 2: The EARTSEARCH Soil Consulting LLC contract and scope of services will be attached as Exhibit A and become part of this Resolution.

Section 3: A list of all quotes received will be attached as Exhibit B and become part of this Resolution.

Section 4: The associated map is attached to the Resolution as Exhibit C and becomes part of this Resolution

RESOLVED AND ADOPTED this 8th day of October 2019.

\_\_\_\_\_  
**Corey Napier , Mayor**

ATTEST:

\_\_\_\_\_  
Town Recorder

APPROVED AS TO LEGALITY AND FORM:

\_\_\_\_\_  
Town Attorney

**EXHIBIT A**

(Next Page)

**Will Insert**

**EXHIBIT B**

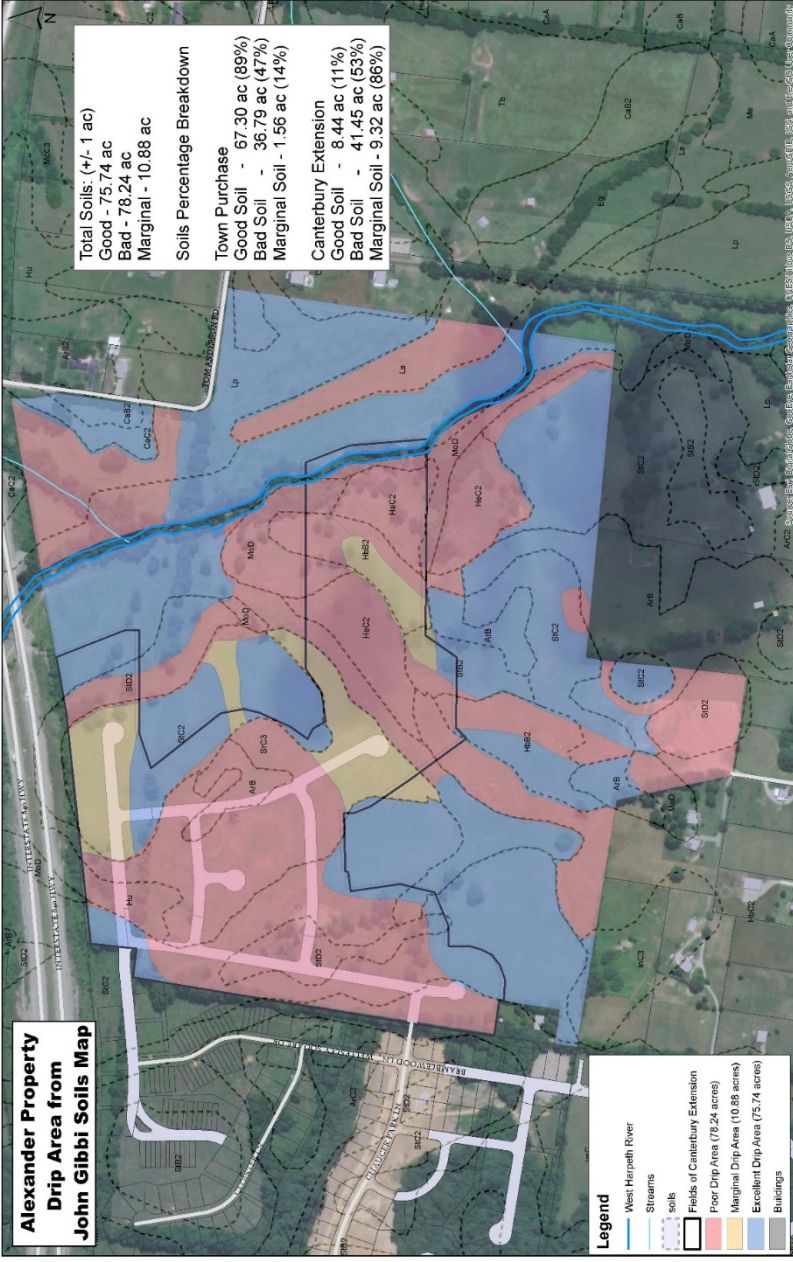


## Alexander property Soils Testing Quotes

Company	Cost per acre	Added costs	75.78 acres	2 pits per acre	Total	Other	Start	Duration	References
David Myers Soil Consultants LLC Cleveland, TN	750	included	56,835	Included	56,835	* Needs a mini excavator and operator from us	End of July	Depends on terrain	Yes
The Soils Group, Nashville TN	600	200	45,468	15,156	60,624	* Needs a mini excavator and operator from us	One month after NTP	Depends on terrain	
John Gibi	850	150	64,413	22,734	87,147	* Needs a mini excavator and operator from us	September	Depends on terrain	Yes
Lonnie Norrod	1,000	Included	75,780	Included	75,780	* Needs a mini excavator from us	No answer to emails	No answer to emails	No answer to emails
Earthsearch Soil Consulting LLC	800	Included	60,624	Included	60,624	Has own equipment	Within 3 weeks of NTP	Depends on terrain	Yes

EXHIBIT C

MAP



September 17, 2019

**REVISED: September 19, 2019**

Ms. Caryn Miller  
Assistant Town Manager  
Town of Thompson's Station  
1550 Thompson's Station Road W  
Thompson's Station, TN 37179  
(615) 794-4333

**RE: Proposal for Professional Services  
Soils Grid Staking  
Town of Thompson's Station, Williamson County, Tennessee**

Dear Ms. Miller,

OHM Advisors (OHM) appreciates the opportunity to provide the Town of Thompson's Station (Client) with this proposal to provide soils grid staking to assist with the identification of soils for a proposed drip field. The approximate acreage to be staked in total is 75 acres. The total acreage is composed of approximately 9 non-contiguous soils areas as shown on the attached exhibit as provided by the Client. The areas to be staked are a portion of the property identified as parcel 6.09 of Williamson County Tax Map 132, Thompson's Station, Williamson County, Tennessee.

OHM understands that the Town of Thompson's Station is working to establish drip fields for future development. This proposal is based on the information provided by the Client in an email dated July 23, 2019. (see attachment), as well as our phone conversation earlier today.

## **SCOPE OF SERVICES**

### **SOILS GRID STAKING (50' Intervals)**

OHM will provide soils grid staking at 50' intervals for approximately 75 acres for the Town of Thompson's Station being a portion of the property identified in Property Assessor records as Tax Map 132, Parcel 6.09, fronting on Tom Anderson Road in the Town of Thompson's Station, Williamson County, Tennessee. OHM will perform enough boundary re-tracement to tie the 9 areas to the existing property boundaries. These areas are depicted on the attachment in blue and identified in the exhibit Legend as "Excellent Drip Area (75.74 acres)". The Client will be provided a base file in an electronic format upon completion for their use.

The survey will be performed by a Professional Land Surveyor licensed with the state of Tennessee and will be conducted pursuant to the Land Surveyors Laws and Regulations of the State of Tennessee and will be based on Tennessee State Plane Coordinate System (NAD83).





**Soil Grid Staking Fee: \$85.00 per acre or \$6,400.00 (Fixed Fee)**

**PROJECT UNDERSTANDINGS**

OHM understands a previous ALTA/NSPS Land Title Survey was prepared by Ragan Smith Associates. OHM will consider this survey data when tying to the the existing boundary for the grid locations. Should any items of concern be found during these locations OHM will immediately notify the Client in order to discuss direction moving forward. Should any additional work, beyond the scope presented herein, be requested or required, OHM will obtain Client approval prior to performing any added scope.

Our Schedule of Terms and Conditions, which apply to the proposed work, is attached. Any changes to our Terms and Conditions must be agreed to in writing by both parties prior to your authorization to proceed. Your written authorization to proceed will form a binding contract and indicates your acceptance of our Terms and Conditions.

OHM will begin field work on the surveying services described above within two weeks of written Notice To Proceed (NTP). It is anticipated that OHM surveyors will have unimpeded access to the property in order to perform field locations. All grid staking and final grid maps for Client’s use will be delivered NLT 90 days from written notice to proceed.

**CLOSING**

OHM appreciates the opportunity to provide this proposal to the Town of Thompson’s Station. If you have any questions or require additional information, please do not hesitate to contact me by email at [douglas.chandler@ohm-advisors.com](mailto:douglas.chandler@ohm-advisors.com) or by telephone at (615) 610-5239 (direct dial).

Sincerely,

OHM Advisors

Douglas W. Ball-Chandler, RLS, PLS, CFS  
Survey Manager

**ACKNOWLEDGEMENT**

Town of Thompson’s Station

\_\_\_\_\_  
Signature

\_\_\_\_\_  
Print

## STANDARD TERMS and CONDITIONS

1. THE AGREEMENT – These Standard Terms and Conditions and the attached Proposal or Scope of Services, upon their acceptance by the Owner, shall constitute the entire Agreement between Orchard, Hiltz & McCliment, Inc. (OHM), a registered Tennessee Corporation, and the Owner. The Agreement shall supersede all prior negotiations or agreements, whether written or oral, with respect to the subject matter herein. The Agreement may be amended only by mutual agreement between OHM and the Owner and said amendments must be in written form.

2. SERVICES TO BE PROVIDED – OHM will perform the services as set forth in the attached proposal or scope of services which is hereby made a part of the Agreement.

3. SERVICES TO BE PROVIDED BY OWNER – The Owner shall at no cost to OHM:

- a) Provide OHM personnel with access to the work site to allow timely performance of the work required under this Agreement.
- b) Provide to OHM within a reasonable time frame, any and all data and information in the Owners possession as may be required by OHM to perform the services under this Agreement.
- c) Designate a person to act as Owners representative who shall have the authority to transmit instructions, receive information, and define Owner policies and decisions as they relate to services under this Agreement.

4. PERIOD OF SERVICE – The services called for in this Agreement shall be completed within the time frame stipulated in the Proposal or Scope of Services, or if not stipulated shall be completed within a time frame which may reasonably be required for completion of the work. OHM shall not be liable for any loss or damage due to failure or delay in rendering any service called for under this agreement resulting from any cause beyond OHM's reasonable control.

5. COMPENSATION – The Owner shall pay OHM for services performed in accordance with the method of payment as stated in the Proposal or Scope of Services. Method of compensation may

be lump sum, hourly; based on a rate schedule, percentage of the construction cost, or cost plus a fixed fee. The Owner shall pay OHM for reimbursable expenses for subconsultant services, equipment rental or other special project related items at a rate of 1.15 times the invoice amount.

6. TERMS OF PAYMENT – Invoices shall be submitted to the Owner not more often than monthly for services performed during the preceding period. Owner shall pay the full amount of the invoice within thirty days of the invoice date. If payment is not made within thirty days, the amount due to OHM shall include a charge at the rate of one percent per month from said thirtieth day.

7. LIMIT OF LIABILITY – OHM shall perform professional services under this Agreement in a manner consistent with the degree of care and skill in accordance with applicable professional standards of services of this type of work. To the fullest extent permitted by law, and not withstanding any other provision of this Agreement, the total liability in the aggregate, of OHM and its Officers, Directors, Partners, employees, agents, and subconsultants, and any of them, to the Owner and anyone claiming by, through or under the Owner, for any and all claims, losses, costs or damages of any nature whatsoever arises out of, resulting from or in any way related to the project or the Agreement from any cause or causes, including but not limited to the negligence, professional errors or omissions, strict liability, breach of contract or warranty, express or implied, of OHM or OHM's Officers, Directors, employees, agents or subconsultants, or any of them shall not exceed the amount of \$25,000 or OHM's fee, whichever is greater.

8. ASSIGNMENT – Neither party to this Agreement shall transfer, sublet, or assign any duties, rights under or interest in this Agreement without the prior written consent of the other party.

9. NO WAIVER – Failure of either party to enforce, at anytime, the provisions of this Agreement shall not constitute a waiver of such provisions or the right of either party at any time to avail themselves

of such remedies as either may have for any breach or breaches of such provisions.

10. GOVERNING LAW – The laws of the State of Tennessee will govern the validity of this Agreement, its interpretation and performance.

11. DOCUMENTS OF SERVICE – The Owner acknowledges OHM's reports, plans and construction documents as instruments of professional services. Nevertheless, the plans and specifications prepared under this Agreement shall become the property of the Owner upon completion of the work and payment in full of all monies due OHM, however, OHM shall have the unlimited right to use such drawings, specifications and reports and the intellectual property therein. The Owner shall not reuse or make any modifications to the plans and specifications without prior written authorization by OHM. In accepting and utilizing any drawings or other data on any electronic media provided by OHM, the Owner agrees that they will perform acceptance tests or procedures on the data within 30 days of receipt of the file. Any defects the Owner discovers during this period will be reported to OHM and will be corrected as part of OHM's basic Scope of Services.

12. TERMINATION – Either party may at any time terminate this Agreement upon giving the other party 7 calendar days prior written notice. The Owner shall within 45 days of termination, pay OHM for all services rendered and all costs incurred up to the date of termination in accordance with compensation provisions in this Agreement.

13. OHM'S RIGHT TO SUSPEND ITS SERVICES – In the event that the Owner fails to pay OHM the amount shown on any invoice within 60 days of the date of the invoice, OHM may, after giving 7 days notice to the Owner, suspend its services until payment in full for all services and expenses is received.

14. OPINIONS OF PROBABLE COST – OHM's preparation of Opinions of Probable Cost represent OHM's best judgment as a design professional familiar with the industry. The Owner must recognize that OHM has no control over costs or the prices of labor, equipment or materials, or over the contractor's method of pricing. OHM makes no warranty, expressed or implied, as to the accuracy of such opinions as compared to bid or actual cost.

15. JOB SITE SAFETY – Neither the professional activities of OHM, nor the presence of OHM or our employees and subconsultants at a construction site shall relieve the General Contractor or any other entity of their obligations, duties, and responsibilities including, but not limited to, construction means, methods, sequences, techniques or procedures necessary for performing, superintending or coordinating all portions of the work of construction in accordance with the contract documents and the health or safety precautions required by any regulatory agency. OHM has no authority to exercise any control over any construction contractor or any other entity or their employees in connection with their work or any health or safety precautions. The Owner agrees that the General Contractor is solely responsible for jobsite safety, and warrants that this intent shall be made clear in the Owners agreement with the General Contractor. The Owner also agrees that OHM shall be indemnified and shall be made additional insureds under the General Contractors general liability insurance policy.

16. DISPUTE RESOLUTION – In an effort to resolve any conflicts that arise during the design or construction of the project or following the completion of the project, the Owner and OHM agree that all disputes between them arising out of or relating to this Agreement shall be submitted to nonbinding mediation, unless the parties mutually agree otherwise.



## SHORT FORM AGREEMENT FOR PROFESSIONAL SERVICES

THIS IS AN AGREEMENT, effective as of October \_\_, 2019 ("Effective Date") between The Town of Thompson's Station ("Client") and Earthsearch Soil Consulting LLC ("Consultant"). This agreement is limited to the services as stated herein and as applicable to Tax Map 132, Parcel 6.09, otherwise referred to the Barry Alexander Farms LLC ("the Property"), located in Williamson County, Tennessee; estimated to be 107 acres. Pursuit to the provisions as stated below, the Client and Consultant agree to:

### Scope of Work

The scope of work ("the Project") includes traveling to the Property and performing the following:

- (A) An extra high intensity soil map with pedon descriptions
- (B) Estimated acreage required for the Project is 75.78 of the total 107 property acres
- (C) Consulting services as required to facilitate onsite meetings with TDEC, The Department of Water Resources.

A final soil map will be submitted for approval in accordance with the laws of the State of Tennessee to TDEC, The Department of Water Resources.

### 1. Basic Agreement & Period of Service

- A. Performance of the Project is dependent upon the receipt of an accurate and complete survey of the Property;
- B. Consultant shall perform the Project within a minimum of 8 weeks after the accurate and complete survey has been received. Any inconsistencies or inadequacies in the survey will potentially delay Consultant's ability to complete the project within the timing above;
- C. Timing is dependent upon the availability of the representatives of TDEC and the weather;
- D. Consultant to provide all equipment required for the Project.

### 2. Cost & Payment Procedures

- A. The Consultant shall provide consulting services on a per acre charge of \$800.00;
- B. The estimated area of 75.78 acres at a rate of \$800.00 per acre results in a total project cost of \$60,624.00. Any additional acreage that may require mapping, shall be charged at \$800.00 per acre;
- C. Payment shall be due in full upon the submission of the final soil map to TDEC and as invoiced by the Consultant;

### 3. Notices

The soil map will be prepared in and accordance with the standards established in the regulations to govern subsurface sewage disposal with accepted standards of soil science practices and the standards set forth by the NRCS soil survey manual and USDA taxonomy. No other warranties, express or implied, are made.

4. Termination

- A. The obligation to continue performance under this Agreement may be terminated:
  - 1. For cause,
    - a. By either party upon 30 days written notice in the event of substantial failure by the other party to perform in accordance with the Agreement's terms through no fault of the terminating party. Failure to pay Consultant for its services is a substantial failure to perform and a basis for termination.
    - b. By Consultant:
      - i. Upon seven days written notice if Client demands that Consultant furnish or perform services contrary to Consultant's responsibilities as a licensed professional; or
      - ii. Upon seven days written notice if the Consultant's services for the Project are delayed for more than 30 days for reasons beyond Consultant's control.
      - iii. Consultant shall have no liability to Client on account of termination by Consultant under Paragraph 4.A. and 1.b.
    - c. Notwithstanding the foregoing, this Agreement will not terminate as a result of a substantial failure under Paragraph 4.A.1.a if the party receiving such notice begins, within seven days of receipt of such notice, to correct its substantial failure to perform and proceeds diligently to cure such failure within no more than 30 days of receipt of notice; provided, however, that if and to the extent such substantial failure cannot reasonably be cured within such 30 day period, and if such party has diligently attempted to cure the same and thereafter continues diligently to cure the same, then the cure period provided for herein shall extend up to, but in no case more than, 60 days after the date of receipt of the notice.
  - 2. For convenience, by Client effective upon Consultant's receipt of written notice from Client.
- B. The terminating party under Paragraph 4.A may set the effective date of termination at a time up to 30 days later than otherwise provided to allow Consultant to complete tasks whose value would otherwise be lost, to prepare notes as to the status of completed and uncompleted tasks, and to assemble Project materials in orderly files.
- C. In the event of any termination under Paragraph 4, Consultant will be entitled to invoice Client and to receive full payment for all services properly performed or properly furnished in accordance with this Agreement.

5. Successors, Assigns, and Beneficiaries

- A. Client & Consultant are hereby bound and the successors, executors, administrators, and legal representatives of Client and Consultant (and to the extent permitted by Paragraph 5.B the assigns of Client and Consultant) are hereby bound to the other party to this Agreement and to the successors, executors, administrators, and legal representatives (and said assigns) of such other party, in respect of all covenants, agreements, and obligations of this Agreement.
- B. Neither Client nor Consultant may assign, sublet, or transfer any rights under or interest (including, but without limitation, moneys that are due or may become due) in this Agreement without the written consent of the other, except to the extent that any assignment, subletting, or transfer is mandated or restricted by law. Unless specifically stated to the contrary in any written consent to an assignment, no assignment will release or discharge the assignor from any duty or responsibility under this Agreement.
- C. Unless expressly provided otherwise, nothing in this Agreement shall be construed to create, impose, or give rise to any duty owned by Client or Consultant to any contractor, subcontractor, supplier, other individual or entity, or to any surety for or employee of any of them. All duties and responsibilities undertaken pursuant to this Agreement will be for the sole and exclusive benefit of Client and Consultant and not for the benefit of any other party.

6. General Considerations

- A. The standard of care for all professional soil mapping & consulting services performed or furnished by Consultant under this Agreement will be the care and skill ordinarily used by members of the subject profession practicing under similar circumstances at the same time and in the same locality. Consultant makes no warranties, express or implied, under this Agreement or otherwise, in connection with Consultant's services. Subject to the foregoing standard of care, Consultant may use or rely upon information ordinarily or customarily furnished by others, including, but not limited to, surveys.
- B. Consultant shall not at any time supervise, direct, control, or have authority over any surveyor's work, nor shall Consultant have authority over or be responsible for the means, methods, techniques, sequences, or procedures of surveying, or the safety precautions and programs incident thereto, for security or safety at the Project site, nor for any failure of a surveyor to comply with laws and regulations applicable to such surveyor's furnishing and performing of its work.
- C. This Agreement is to be governed by the law of the state or jurisdiction in which the Project is located and any filing for enforcement of this agreement shall be in the Chancery Court for Williamson County, Tennessee
- D. The parties acknowledge that Consultant's scope of services does not include any services related to a Hazardous Environmental Condition. If Consultant or any other party encounters a Hazardous Environmental Condition, Consultant may, at its option and without liability for consequential or any other damages, suspend performance of services on the portion of the Project affected thereby until Client: (1) retains appropriate specialist consultants to identify and, as appropriate, abate, remediate, or remove the Hazardous Environmental Condition; and (2) warrants that the Property is in full compliance with applicable Laws & Regulations.
- E. Client and Consultant agree to negotiate each dispute between them in good faith during the 30 days after notice of dispute. If negotiations are unsuccessful in resolving the dispute, then the dispute shall be mediated. If mediation is unsuccessful, then the parties may exercise their rights at law for which the prevailing party shall be entitled to the recovery of attorney fees and the cost of litigation
- F. Consultant agrees that Consultant has liability coverage in an amount up to \$1 million dollars for which Consultant has provided to Client and will re-submit upon request.

7. Total Agreement

- A. This Agreement (including any expressly incorporated attachments), constitutes the entire agreement between Client and Consultant and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented, modified, or canceled by a duly executed written instrument.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement, the Effective Date of which is indicated on page 1,

CLIENT: Town of Thompson's Station

CONSULTANT: EarthSearch Soil Consulting LLC

SIGNATURE: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_

BY: \_\_\_\_\_

BY: Michael Haarbauer

TITLE: \_\_\_\_\_

TITLE: Owner

DATE SIGNED: \_\_\_\_\_

DATED SIGNED: \_\_\_\_\_



ADDRESS FOR NOTICE:

1550 Thompson's Station Road, West

P.O. Box 100

Thompson's Station, TN 37179

ADDRESS FOR NOTICE:

2000 Mallory Lane, Ste 130-306

Franklin, Tennessee 37067

**Alexander Property Timeline for Surveing and Soils Testing 9-14-2019 \*\* Proposed**

	Oct-19	Oct-19	Nov-19	Dec-19	Jan-20	Feb-20	Mar-20	Apr-20	May-20	Jun-20	Jul-20	Aug-20	Sep-20	Oct-20	Nov-20
<b>Surveying</b>	BOMA 10/8/2019 for approval														
<b>Soils Analysis</b>	BOMA 10/8/2019 for approval														
<b>Notice to Proceed Survey</b>		10/22/2019													
<b>Notice to Proceed Testing</b>					1/7/2019										
<b>Begin Survey</b>			11/6/2019		1/31/2020										
<b>Begin Testing</b>						2/1/2020				6/30/2020*****					

\*\*\*\*\* Depends on terrain, weather and other conditions. Hard to place actual timeline on it. Additionally, final usable land acreage will be determined during site visits with TDEC. Depending on the outcome from the site visits, the Town may elect to request a reconsideration of the field determinations in order to gain back usable area.

Phone: (615) 794-4333  
Fax: (615) 794-3313  
www.thompsons-station.com



1550 Thompson's Station Road W.  
P.O. Box 100  
Thompson's Station, TN 37179

**DATE:** October 3, 2019

**TO:** The Board of Mayor and Aldermen (BOMA)

**FROM:** Wendy Deats, Town Planner

**SUBJECT: Item 5 – Fry Road Bridge**

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On April 9, 2019, Staff introduced a TDOT bridge grant in the amount of \$151,470 to replace the Fry Road bridge to the Board of Mayor and Aldermen. Staff obtained an estimate with different options as an initial presentation to exploring the grant opportunity. A motion was made by the Board to accept the grant and move forward with the project.

Since the direction to pursue the grant, Staff has obtained four cost estimates and proposals and prepared a side by side comparison of the estimate for the Board's review. Staff has also prepared a resolution should the Board wish to accept the grant and enter into a contract to manage the bridge replacement.

Staff requests the Board of Mayor and Aldermen provide direction to Staff regarding the grant.

Attachments

Fry Road Side by Side Cost comparison  
Fry Road Bridge Cost Estimate – CEI  
Fry Road Bridge Proposal – CEI  
Fry Road Bridge Cost Estimate – Benesch  
Fry Road Bridge Proposal – Benesch  
Fry Road Bridge Cost Estimate – Snyder  
Fry Road Bridge Proposal – Snyder  
Fry Road Bridge Cost Estimate – Barge (email)  
Reso 2019-024



## RESOLUTION 2019-024

### A RESOLUTION OF THE TOWN OF THOMPSON'S STATION ACCEPTING TENNESSEE DEPARTMENT OF TRANSPORTATION FUNDS FOR THE FRY ROAD BRIDGE AND APPROVING THE TOWN'S FUNDS TO COMPLETE THE BRIDGE AND AGREEMENT WITH THE TENNESSEE DEPARTMENT OF TRANSPORTATION FOR THE PROJECT

WHEREAS, the Tennessee Department of Transportation ("TDOT") has approved certain funds for the replacement of the bridge on Fry Road that crosses Murfrees Fork Creek; and

WHEREAS, this application for funds program is a 98% State / 2% Town cost split as to available and allocated funds by the State;

WHEREAS, the Town will be responsible for all costs exceeding the funds available and allocated by TDOT;

WHEREAS, the TDOT has informed the Town that it will allocated \$151,470.00 in available funds; and

WHEREAS, the Board of Mayor and Aldermen has determined that it is in best interest of the Town to accept these funds and approve the expenditure of remaining funds (if any) to complete the replacement of the Fry Road bridge, and to approve the Town negotiating a contract with TDOT for the Mayor's signature, subject to the Town Attorney's review and approval.

NOW, THEREFORE, BE IT RESOLVED BY BOARD OF MAYOR AND ALDERMEN OF THE TOWN OF THOMPSON'S STATION, TENNESSEE AS FOLLOWS:

**Section 1.** That the Tennessee Department of Transportation ("TDOT") has approved the Town's Bridge Application as to the bridge on Fry Road, and the Town hereby accepts said approval and obligates itself to cover the 2% match under the grant as well as any funds necessary to complete the replacement of the Fry Road bridge (if any). TDOT is supplying funds for the replacement of Fry Road bridge in the amount of \$151,470.

Section 2. That the Town is authorized to negotiate the necessary contract with TDOT to effectuate TDOT's approval of the Town's Bridge Application. The Mayor is hereby authorized to enter into said contract once approved by the Town Attorney.

**Section 3.** This resolution shall become effective upon passage, the public welfare requiring it.

---

Corey Napier, Mayor

ATTEST:

---

Regina Fowler, Town Recorder

APPROVED AS TO LEGALITY AND FORM:

---

Town Attorney

Passed first reading: \_\_\_\_\_



Alfred Benesch & Company  
 8 Cadillac Drive, Suite 250  
 Brentwood, TN 37027  
 www.benesch.com  
 P 615-370-6079  
 F 615-627-4066

**Engineer's Estimation of Probable Construction Cost  
 Fry Road over Murfrees Fork  
 OPTION C**

ITEM NO.	ITEM DESCRIPTION	UNIT	QUANTITY	UNIT PRICE	AMOUNT
202-04.01	REMOVAL OF STRUCTURES (EXISTING BRIDGE)	L.S.	1	\$30,000.00	\$30,000.00
303-01.02	GRANULAR BACKFILL (BRIDGES)	TON	350	\$40.00	\$14,000.00
604-02.01	CLASS "A" CONCRETE (BOX BRIDGES)	C.Y.	105	\$750.00	\$78,750.00
604-02.02	STEEL BAR REINFORCEMENT (BOX BRIDGES)	LB.	23,000	\$1.25	\$28,750.00
705-01.04	METAL BEAM GUARD FENCE	L.F.	87.5	\$70.00	\$6,125.00
705-02.02	SINGLE GUARDRAIL (TYPE 2)	L.F.	50	\$30.00	\$1,500.00
705-04.04	GUARDRAIL TERMINAL (TYPE 21)	EACH	4	\$3,500.00	\$14,000.00
705-04.10	EARTH PAD FOR GUARDRAIL END TREATMENT	EACH	4	\$1,200.00	\$4,800.00
709-05.08	MACHINED RIP-RAP (CLASS B)	TON	250	\$50.00	\$12,500.00
<b>EROSION CONTROL &amp; TRAFFIC CONTROL</b>					
209-08.03	TEMPORARY SILT FENCE (WITHOUT BACKING)	L.F.	400	\$4.00	\$1,600.00
209-05	SEDIMENT REMOVAL	C.Y.	68	\$7.00	\$476.00
209-09.01	SAND BAGS	BAG	500	\$5.00	\$2,500.00
209-09.02	TEMPORARY SEDIMENT FILTER BAG	BAG	2	\$1,000.00	\$2,000.00
209-20.04	POLYETHYLENE SHEETING (10 MIL.)	S.Y.	200	\$5.00	\$1,000.00
209-65.14	TEMPORARY STREAM DIVERSION	L.S.	1	\$12,000.00	\$12,000.00
712-01	TRAFFIC CONTROL	L.S.	1	\$10,000.00	\$10,000.00
<b>TOTAL BRIDGE ESTIMATED CONSTRUCTION COST</b>					<b>\$220,001.00</b>

<b>203-30.01</b>	<b>ROADWAY APPROACHES</b>	L.S.	1		
INCLUDES:					
201-01	CLEARING & GRUBBING	L.S.	1	\$7,500.00	\$7,500.00
203-01	ROAD & DRAINAGE EXCAVATION (UNCLASSIFIED)	C.Y.	500	\$20.00	\$10,000.00
203-03	BORROW EXCAVATION (UNCLASSIFIED)	C.Y.	500	\$25.00	\$12,500.00
203-04	PLACING AND SPREADING TOPSOIL	C.Y.	50	\$15.00	\$750.00
303-01	MINERAL AGGREGATE, TYPE "A", GRADING D	TON	300	\$25.00	\$7,500.00
801-01	SEEDING (WITH MULCH)	UNITS	10	\$100.00	\$1,000.00
<b>203-30.75</b>	<b>PAVING FOR ROADWAY APPROACHES</b>	L.S.	1		
INCLUDES:					
307-01.08	ASPHALT CONCRETE MIX (PG 64-22) (BPMB-HM)	TON	100	\$90.00	\$9,000.00
402-01	BITUMINOUS MATERIAL FOR PRIME COAT (PC)	TON	2	\$1000.00	\$2,000.00
402-02	AGGREGATE FOR COVER MATERIAL (PC)	TON	10	\$125.00	\$1,250.00
403-01	BITUMINOUS MATERIAL FOR TACK COAT (TC)	TON	1	\$800.00	\$800.00
716-05.01	PAINTED PAVEMENT MARKING (4" LINE)	L.M.	0.4	\$2,000.00	\$800.00
411-01.10	ACS MIX, GRADING "D"	TON	50	\$150.00	\$7,500.00
<b>TOTAL ROADWAY ESTIMATED CONSTRUCTION COST</b>					<b>\$60,600.00</b>

<b>TOTAL PROJECT COST</b>					<b>\$280,601.00</b>
---------------------------	--	--	--	--	---------------------



**From:** [Patrick.Lean@bargedesign.com](mailto:Patrick.Lean@bargedesign.com)  
**To:** [Wendy Deats](#)  
**Subject:** RE: Update on Fry Road Bridge Replacement  
**Date:** Friday, June 21, 2019 8:17:55 AM

---

Wendy, the high level estimate is shown below. Call me with any questions.

The breakdown is:

1. \$93,000 for design, environmental, hydraulics, survey, and Geotech
2. \$151,000 for the TDOT standard box bridge construction and demo of existing
3. \$50,000 to \$75,000 for Roadway which can vary based on how far back the pavement comes for widening the road
4. Plus additional costs for CEI and Bidding assistance

Thanks,

**Patrick Leap PE\* , CPESC**

\*TN, KY, TX

**SR. PROJECT ENGINEER**

**TRANSPORTATION SERVICES**

**D** 615-252-4260 **M** 615-477-6935

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---

**From:** Patrick Leap

**Sent:** Friday, June 21, 2019 6:32 AM

**To:** Wendy Deats <[wdeats@thompsons-station.com](mailto:wdeats@thompsons-station.com)>

**Cc:** Paula Harris <[Paula.Harris@bargedesign.com](mailto:Paula.Harris@bargedesign.com)>; Kenneth McLawhon <[kmclawhon@thompsons-station.com](mailto:kmclawhon@thompsons-station.com)>

**Subject:** RE: Update on Fry Road Bridge Replacement

Wendy,

Give me a call when you get in the office and we can go over the estimate.

Thanks,

**Patrick Leap PE\* , CPESC**

\*TN, KY, TX

**SR. PROJECT ENGINEER**

**TRANSPORTATION SERVICES**

**D** 615-252-4260 **M** 615-477-6935

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**From:** Wendy Deats <[wdeats@thompsons-station.com](mailto:wdeats@thompsons-station.com)>  
**Sent:** Thursday, June 20, 2019 3:55 PM  
**To:** Patrick Leap <[Patrick.Leap@bargedesign.com](mailto:Patrick.Leap@bargedesign.com)>  
**Cc:** [Matthew.Davis@bargedesign.com](mailto:Matthew.Davis@bargedesign.com); Paula Harris <[Paula.Harris@bargedesign.com](mailto:Paula.Harris@bargedesign.com)>; Kenneth McLawhon <[kmclawhon@thompsons-station.com](mailto:kmclawhon@thompsons-station.com)>  
**Subject:** RE: Update on Fry Road Bridge Replacement

Ben Jordan with TDOT has offered to provide some help if you would like to ask any questions. His number is 615-350-4363. Thanks.

Wendy

---

**From:** Wendy Deats <[wdeats@thompsons-station.com](mailto:wdeats@thompsons-station.com)>  
**Sent:** Thursday, June 20, 2019 3:39 PM  
**To:** '[Patrick.Leap@bargedesign.com](mailto:Patrick.Leap@bargedesign.com)' <[Patrick.Leap@bargedesign.com](mailto:Patrick.Leap@bargedesign.com)>  
**Cc:** '[matthew.davis@bargedesign.com](mailto:matthew.davis@bargedesign.com)' <[matthew.davis@bargedesign.com](mailto:matthew.davis@bargedesign.com)>; '[Paula.Harris@bargedesign.com](mailto:Paula.Harris@bargedesign.com)' <[Paula.Harris@bargedesign.com](mailto:Paula.Harris@bargedesign.com)>; Kenneth McLawhon <[kmclawhon@thompsons-station.com](mailto:kmclawhon@thompsons-station.com)>  
**Subject:** RE: Update on Fry Road Bridge Replacement

Just checking on the status of the preliminary plan/estimates. Thanks.

**Wendy Deats, AICP**  
**Town Planner**  
**Town of Thompson's Station**  
**P.O. Box 100**  
**Thompson's Station, TN 37179**  
**615-794-4333**

---

**From:** [Patrick.Leap@bargedesign.com](mailto:Patrick.Leap@bargedesign.com) <[Patrick.Leap@bargedesign.com](mailto:Patrick.Leap@bargedesign.com)>  
**Sent:** Wednesday, June 12, 2019 2:52 PM  
**To:** Wendy Deats <[wdeats@thompsons-station.com](mailto:wdeats@thompsons-station.com)>  
**Cc:** [matthew.davis@bargedesign.com](mailto:matthew.davis@bargedesign.com); [Paula.Harris@bargedesign.com](mailto:Paula.Harris@bargedesign.com)  
**Subject:** RE: Update on Fry Road Bridge Replacement

Good Afternoon Wendy,

In terms of a paper trail and how to proceed with the TDOT side of things, the one piece of information we have is the 1990 Bridge Grant Program manual. We have a copy and will be getting one to you shortly if you don't already have one. Beyond that, I don't really have any information regarding what has occurred to get to this point.

We are wrapping up an estimate and will get with you this week with our estimates for design and all preliminary work needed prior to design along with an estimate for construction. You are correct that there is not a contract in place for design or bidding assistance. We can work on that after the estimate is agreed upon by the Town.

Thanks,

**Patrick Leap PE\* , CPESC**

\*TN, KY, TX

**SR. PROJECT ENGINEER**

**TRANSPORTATION SERVICES**

**D** 615-252-4260 **M** 615-477-6935

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**From:** Wendy Deats <[wdeats@thompsons-station.com](mailto:wdeats@thompsons-station.com)>

**Sent:** Wednesday, June 12, 2019 2:40 PM

**To:** Patrick Leap <[Patrick.Leap@bargedesign.com](mailto:Patrick.Leap@bargedesign.com)>

**Cc:** [matthew.davis@bargedesign.com](mailto:matthew.davis@bargedesign.com); Paula Harris <[Paula.Harris@bargedesign.com](mailto:Paula.Harris@bargedesign.com)>

**Subject:** Update on Fry Road Bridge Replacement

**CAUTION:** This email is NOT from Barge. **DO NOT** click links or open attachments unless you verify the sender and content.

Hi Patrick:

Can you please provide me with an update on the Fry Road Bridge Replacement project. I've spoken with Caryn and Ken and I will be helping out with this project. I would like to get up to speed on where we are at and where we need to go with the project. I understand you were to be putting an estimate together for the replacement, then I also understand that design will need to occur, however there is not a contract with anyone for the design and then finally bidding out the project.

My questions start with what type of approval of the grant and notice to proceed do we have with TDOT? I do not believe we approached TDOT, but rather they approached us to give us the replacement bridge grant money for Fry Road, but is there any paper trail that provides me with the project specifics and how to proceed in accordance with the rules of the grant? Thanks.

**Wendy Deats, AICP**

**Town Planner**

**Town of Thompson's Station**

**P.O. Box 100**

**Thompson's Station, TN 37179**

**615-794-4333**





CONSTRUCTION COST ESTIMATE  
 BRIDGE REPLACEMENT  
 FRY ROAD OVER MURFREES FORK CREEK  
 THOMPSON'S STATION, TN 09/24/2019

DESCRIPTION	UNIT	QTY.	\$ PRICE	\$ TOTAL
REMOVAL OF STRUCTURES	LS	1	\$5,000.00	\$5,000.00
CLEARING AND GRUBBING	LS	1	\$4,000.00	\$4,000.00
FURNISHING AND SPREADING TOPSOIL	CY	100	\$30.00	\$3,000.00
TEMPORARY FILTER BARRIER	LF	400	\$5.00	\$2,000.00
TEMPORARY SEDIMENT FILTER BAG	BAG	1	\$600.00	\$600.00
TEMPORARY IN-STREAM DIVERSION	LF	120	\$25.00	\$3,000.00
BORROW EXCAVATION (UNCL)	CY	250	\$20.00	\$5,000.00
BRIDGE EXCAVATION	CY	150	\$15.00	\$2,250.00
MINERAL AGGREGATE BASE	TONS	300	\$25.00	\$7,500.00
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ASPHALT SURFACE	TONS	75	\$95.00	\$7,125.00
TACK COAT	TONS	0.1	\$800.00	\$80.00
PRIME COAT	TONS	0.41	\$425.00	\$174.25
GRANULAR BACKFILL (BRIDGES)	TONS	225	\$35.00	\$7,875.00
CLASS A CONCRETE (SLAB BRIDGES)	CY	85	\$850.00	\$72,250.00
STEEL BAR REINFORCEMENT (SLAB BR.)	LB	17,500	\$1.10	\$19,250.00
METAL BEAM GUARD FENCE	LF	75.00	\$65.00	\$4,875.00
SINGLE GUARDRAIL (TYPE 2)	LF	25	\$21.00	\$525.00
GUARDRAIL TERMINAL ANCHOR (TYPE 21)	EACH	4	\$2,400.00	\$9,600.00
MACHINED RIP-RAP (CLASS B)	TONS	165	\$45.00	\$7,425.00
CONSTRUCTION SIGNS	SF	75	\$10.00	\$750.00
TYPE III BARRICADE	LF	40	\$15.00	\$600.00
SEEDING (WITH MULCH)	UNIT	5	\$400.00	\$2,000.00
ASBESTOS REPORT	LS	1	\$2,500.00	\$2,500.00
ASBESTOS REMOVAL	LS	1	\$5,000.00	\$5,000.00
GEOTECHNICAL INVESTIGATION	LS	1	\$4,000.00	\$4,000.00
TOTAL				\$187,779.25
ENGINEERING FEE AT 15%				\$28,166.89
TOTAL COST				\$215,946.14
STATE PORTION				\$151,470.00
CITY PORTION				\$64,476.14

Fry Road over Murfrees Fork Creek  
Thompson's Station, TN

Preliminary 7/19/2019

Item	Units	Quantity	Unit cost	Extended
<b>Concrete</b>				
box	CY	98	850	\$83,300
wings	CY	23	850	\$19,550
<b>Steel</b>				
box	lbs	30500	1.5	\$45,750
wings	lbs	3000	1.5	\$4,500
Clearing and Grubbing	LumpSum	1	15000	\$15,000
Removal of Existing Bridge	LumpSum	1	15000	\$15,000
Erosion Control				\$0
silt fence	LF	400	3.75	\$1,500
check dams	each	4	600	\$2,400
sediment bag	each	1	800	\$800
sandbags	bag	200	6	\$1,200
Guardrail				\$0
Metal Beam Fence	LF	125	85	\$10,625
Type 2 rail	LF	75	36	\$2,700
Type 21 anchors	each	4	2600	\$10,400
Granular Backfill	ton	280	40	\$11,200
Rip Rap Class A1	ton	120	45	\$5,400
Traffic Control	LumpSum	1	9000	\$9,000
blank	-	0	0	\$0
blank	-	0	0	\$0
Road Approaches Construction	LumpSum	1	118000	\$118,000
Seeding, sod, EC blanket etc.	LumpSum	1	3800	\$3,800
Mobilization	LumpSum	1	15000	\$15,000

TOTAL Construction Cost of Bridge

**\$375,125**



## Fry Road Structure Replacement over Murfrees Fork– Town of Thompson’s Station, Tennessee

The purpose of this project is to construct a new culvert or bridge structure on Fry Road over Murfrees Fork in Thompson’s Station, Tennessee. The reason for need to construct a new structure is due to the inadequate size, condition, and capacity of the existing structure. The proposed replacement structure has not been determined, however, based upon discussions it will be assumed for this scope of work that it will be one of the following three options:

1. Single Span Concrete Bridge (skew approx. 90-degrees)
2. Twin 18’x10’ Concrete Box Bridge (skew approx. 90-degrees)
3. Triple 16’x10’ Concrete Box Bridge (skew approx. 60-degrees)

The proposed project site is located within a FEMA designated Zone AE floodplain. A local floodplain permit will be required for this project to demonstrate that the proposed design will not increase the water surface elevation (No Rise) of the Base Flood Event (100-YR flood). The established existing peak flows, Base Flood Elevations, or regulatory floodway boundaries published in the Flood Insurance Study will be used for this location. This scope assumes that the model will be developed from the topographic survey. Given the approximate size of the drainage basin (USGS StreamStats estimate 7.63 sq. mi.), coordination with TDOT’s Hydraulic Division will be required.

### **SERVICES OF THE ENGINEER**

The ENGINEER agrees to perform professional engineering services necessary for completion of the PROJECT under the State Bridge Grant Program as follows (collectively the “**BASIC SERVICES**”):

1. Provide topographical design surveys for the new structure and approach roadway. Benesch proposes to utilize a subconsultant for survey services.
2. Provide geotechnical engineering services for the proposed structure design. For this project, Benesch will secure the services of a subconsultant to collect 2 borings at each end of the proposed bridge (4 total). One of the two borings at each end of the proposed bridge (2 total) will also include a 10-foot rock coring should rock be encountered within 20 feet of the ground surface.
3. Provide hydraulic analysis for proposed structures and channel design in accordance with TDOT requirements.
  - a. Complete Hydrologic Analysis of Murfrees Fork at the Fry Road crossing on the basis of the “2012 TDOT Design Procedures for Hydraulic Structures”.

- b. Review existing hydrologic data from TDOT and/or the Town of Thompson’s Station or Williamson County
  - c. Request hydraulic data from FEMA
  - d. Coordination with TDOT’s Hydraulic Division
  - e. Coordination with the Town’s floodplain manager
  - f. Establish the Existing Condition model using HEC-RAS 5.0.3
  - g. Analyze a maximum of three (3) bridge or culvert alternatives
  - h. Provide hydraulic analysis for proposed structure and channel design in accordance with TDOT requirements.
  - i. Prepare TDOT Hydraulic Report
  - j. The proposed structure will achieve a no-rise condition and will not change the floodway or floodplain limits of FEMA’s effective map. The need for a CLOMR/LOMR is not anticipated
4. Provide design of structures and approach roadways and estimates of construction cost.
- a. Preliminary road and bridge design
    - i. Coordination with hydraulic designer and Client to size the structure opening for the structure.
    - ii. Coordination with Client to set centerline, profile, bridge width, approach limits, substructure locations, and girder depth requirements.
    - iii. Bridge or Box Culvert Design:
      - 1. Benesch will provide initial concept options to the Client to determine if a multi-barrel box culvert or a single span bridge will be constructed. This concept level review will consist of a concept layout of the proposed structure along with a concept level plan and profile drawing. Benesch will develop an estimate of construction cost.
      - 2. The Client will provide direction for Benesch regarding which option is selected. If a box culvert is chosen, Benesch will proceed with the development of preliminary plans. Should a single span bridge be chosen, preliminary structure design will be required which will consist of:
        - a. Substructures: Abutments, piers, and foundation types
        - b. Superstructure: Prestressed concrete girder size and configuration, bridge rail, deck thickness
    - iv. Development of preliminary plans including:
      - 1. Preliminary Layout of Bridge
      - 2. Preliminary Bridge Cross Section

3. Hydraulic Analysis (see scope above)
  - v. Development of a preliminary bridge design submittal package including plans and hydraulic design information for submittal to TDOT for review. Scope includes responding to TDOT review comments for resubmittal as required.
- b. Final bridge design
  - i. Develop final design for all structural elements as required
  - ii. Develop final plans for the structure in accordance with TDOT standards
  - iii. Tabulation of required quantities and assistance with cost estimates
  - iv. Submit all CAD files as required
  - v. Development of a final bridge design submittal package including plans and structural calculations for submittal to TDOT for review. Scope includes responding to TDOT review comments for resubmittal as required.
5. Assist in securing from TDOT all necessary approvals and construction authorization and provide design certifications required by TDOT.
6. Prepare and submit permit applications to the U.S. Army Corps of Engineers, Tennessee Valley Authority, State Department of Environment & Conservation, and State Historical Commission.
7. Assist the CLIENT with coordination of utility adjustments if any are required.
8. Provide bid-ready construction plans and specifications and assist the CLIENT in the bidding process.
9. Provide field reference points for laying out each bridge structure including the following:
  - (a) Staking centerline stations at 50' intervals
  - (b) Locate offset reference PC and PT centerline points
  - (c) Set elevation reference
  - (d) Stake centerline location of abutments with offset reference and grade
  - (e) Stake centerline location of box culvert faces with offset reference and grade
10. Provide general construction observation and maintain observation reports for visits to the project sites including foundation for structure before placement of steel and reinforcing steel prior to allowing concrete pours.
  - a. General observation will also shall include attendance at the pre-construction meeting, and a site visit upon completion of staking.
  - b. Visit will also occur for the following items:
    - i. One per footing, wall, and bridge rail (if necessary)
    - ii. One for either the culvert slab or the bridge deck
    - iii. One for paving



11. Maintain project diary showing times and locations of concrete placement. Have contractor deliver concrete cylinders to testing laboratory and provide written results of cylinder breaks.
12. Obtain certifications stating that materials meet the requirements of the plans and specifications.
13. Coordinate geotechnical investigations, if required. (All costs of geotechnical investigations and reporting shall be borne by the CLIENT).

#### **ITEMS NOT INCLUDED IN SCOPE**

1. Right-of-way services
2. Coordination with FEMA
3. Design of channel realignment
4. Utility relocation services
5. Preparation of a Conditional Letter of Map Revision (CLOMR)

#### **SERVICES OF THE CLIENT**

The CLIENT agrees to perform services necessary for completion of the proposed projects as follows:

1. Furnish all available information to ENGINEER.
2. Accompany ENGINEER on-site inspections to determine scope of work.
3. Arrange for access to public and private property for the purpose of securing field data required for the survey and design phase.
4. Review reports, plans, contract documents, etc., and furnish approval or instructions for change.



**COMPENSATION TO THE ENGINEER**

For the satisfactory performance of BASIC SERVICES and the assumption of the responsibilities described herein, the COUNTY agrees to compensate the ENGINEER based upon a lump sum amount of **\$66,300** with the option to add an additional \$21,500.00 should the single span bridge option be chosen. Benesch will invoice the client based upon progress made for items shown in the BASIC SERVICES and based upon the following breakdown:

<b>Fee Summary</b>		
<u>Item</u>	<u>Fee Type</u>	<u>Amount</u>
Survey	Lump Sum	\$ 18,000.00
Geotechnical Services	Lump Sum	\$ 9,500.00
Hydraulic Modeling	Lump Sum	\$ 8,300.00
Preliminary Design	Lump Sum	\$ 5,400.00
Final Design	Lump Sum	\$ 8,100.00
Permit/Review Fees	Reimbursable	\$ 800.00
Construction Phase Services	Lump Sum	\$ 16,200.00
<i>Additional Services for Single Span Bridge Design</i>	<i>Lump Sum</i>	<i>\$ 21,500.00</i>

All invoices submitted to the CLIENT by the ENGINEER will include a project status summary and will be based on the completion of BASIC SERVICES at the time thereof. The following is the compensation to be paid to Benesch for the scope items noted above. The only reimbursables that will be included on the project are permit fees, and third-party review fees which will be paid by Benesch and reimbursed at cost by the CLIENT. All other incidental costs (i.e. printing, travel, etc.) shall be included in the lump sum totals.

September 30, 2019

1131-01

Ms. Wendy Deats, Town Planner  
City of Thompson's Station  
1551 Thompson's Station Road West  
Thompson's Station, TN 37179

**RE: Consulting Services for Bridge Replacement**

Dear Ms. Deats:

We are pleased to be considered for survey, design and construction inspection services for the replacement of the following bridges. Our procedures will be based on Tennessee Department of Transportation design criteria, and the plans will be developed according to the 1990 Bridge Grant Program and the High Priority Bridge Replacement Program guidelines. Our agreement is as follows:

THIS AGREEMENT, made and entered into this 30th day of September, 2019, by and between **SNYDER ENGINEERING, PLLC**, a Tennessee Partnership with offices located at 228 Spence Lane, Nashville, Tennessee 37210, hereinafter referred to as the "**ENGINEER**", and **The Town of Thompson's Station, TN**, hereinafter referred to as the "**CITY**", in accordance with Section 12-4-106 of the Tennessee Code Annotated, and as otherwise provided by the laws of the state of Tennessee.

WHEREAS, the CITY proposes to replace or repair existing deficient bridges and upgrade substandard roadway bridge approaches using State Bridge Improvement Act funds and/or FEMA funds, and/or local funds in an effort to provide a safe and efficient Highway System for area users and, WHEREAS, the CITY proposes to employ the ENGINEER to provide professional engineering services necessary for implementation of said program as directed by the CITY; the bridges identified to be repaired or replaced are as follows:

- **Fry Road over Murfrees Fork Creek 94-A327-0.22**

**SERVICES OF THE ENGINEER**

The ENGINEER agrees to perform engineering services necessary for completion of said projects under the State Bridge Grant Program as follows:

- (1) Provide topographical design surveys for the new structure(s) and approach roadway(s).
- (2) Provide hydraulic analysis for proposed structure(s) and channel design in accordance with TDOT requirements.
- (3) Provide design of structure(s) and approach roadway(s) and



estimates of construction cost.

- (4) Assist in securing from TDOT all necessary approvals and construction authorization and provide design certifications required by TDOT.
- (5) Prepare and submit permit applications to the U.S. Army Corps of Engineers, Tennessee Valley Authority, State Department of Health and Environment, and State Historical Commission.
- (6) Assist CITY with FEMA Certification forms where applicable.
- (7) Prepare right-of-way and/or land acquisition drawing(s) and description(s) for use by the CITY in preparing, executing and recording the appropriate legal documents.
- (8) Assist the CITY with coordination of utility adjustment(s) if any are required.
- (9) Provide field reference points for laying out each structure including the following: (a) general flagging of R.O.W. limits (b) staking centerline stations at 50' intervals (c) locate offset reference PC and PT centerline points (d) set elevation reference (e) stake centerline location of abutments with offset reference and grade (f) stake centerline location of box culvert faces with offset reference and grade.
- (10) Provide general construction observation and maintain observation reports for visits to the project site(s) including foundation for structure before placement of steel and reinforcing steel prior to allowing concrete pours.
- (11) Maintain project diary showing times and locations of concrete placement. Have contractor deliver concrete cylinders to testing laboratory and provide written results of cylinder breaks.
- (12) Obtain certifications stating that materials meet the requirements of the plans and specifications.
- (13) Coordinate Geotechnical and Asbestos investigations, if required. All costs of geotechnical and asbestos investigations and reporting shall be borne by the CITY.

#### **SERVICES OF THE COUNTY**

The CITY agrees to perform services necessary for completion of the proposed projects as follows:

- (1) Furnish all available information to ENGINEER.

- (2) Accompany ENGINEER on site inspections to determine scope of work.
- (3) Arrange for access to public and private property for the purpose of securing field data required for the survey and design phase.
- (4) Review Reports, Plans, Contract Documents, etc., and furnish approval or instructions for change.

#### **PAYMENTS TO THE ENGINEER**

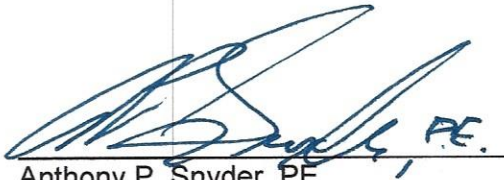
For the satisfactory performance of services and the assumption of the responsibilities described herein, the CITY agrees to compensate the ENGINEER based on the percent completion of the tasks described in this agreement. The total fee shall be based on a percentage of the final total construction cost which shall consist of the total State share plus the County share requiring professional engineering services. The survey and design fee shall be **10.0%** of the total construction cost and the fee for construction inspection services shall be **5.0%** of the total construction cost for a total combined fee of **15.0%** for all professional engineering services. The construction cost of the bridge is estimated to be \$187,779.25. The 15% engineering fee would be \$28,166.89. The total cost with engineering fee would be \$215,946.14.

If this proposal meets with your approval please sign both copies, return one original, and keep the other for your records.

Thank you for the opportunity to be of service to The Town of Thompson's Station.

Sincerely,

Anthony P. Snyder, P.E.  
Project Engineer



Anthony P. Snyder, PE  
Chief Managing Member  
Snyder Engineering, pllc

---

Ken Mclawhon  
Town Administrator  
Thompson's Station

Date: 9/30/2019

Date: \_\_\_\_\_

CONSTRUCTION COST ESTIMATE  
 BRIDGE REPLACEMENT  
 FRY ROAD OVER MURFREES FORK CREEK  
 THOMPSON'S STATION, TN 09/24/2019

DESCRIPTION	UNIT	QTY.	\$ PRICE	\$ TOTAL
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TEMPORARY IN-STREAM DIVERSION	LF	120	\$25.00	\$3,000.00
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CONSTRUCTION SIGNS	SF	75	\$10.00	\$750.00
TYPE III BARRICADE	LF	40	\$15.00	\$600.00
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ASBESTOS REPORT	LS	1	\$2,500.00	\$2,500.00
ASBESTOS REMOVAL	LS	1	\$5,000.00	\$5,000.00
GEOTECHNICAL INVESTIGATION	LS	1	\$4,000.00	\$4,000.00
TOTAL				\$187,779.25
ENGINEERING FEE AT 15%				\$28,166.89
TOTAL COST				\$215,946.14
STATE PORTION				\$151,470.00
CITY PORTION				\$64,476.14



July 19, 2019

Wendy Deats, AICP  
Town Planner  
Town of Thompson's Station  
1551 Thompson's Station Road West  
Thompson's Station, TN 37179

**Re: Professional Service Agreement for Bridge Replacement  
Fry Road over Murfrees Fork Creek  
Bridge ID No. 940A3270001**

Dear Ms. Deats,

On behalf of CEI Services, Inc. (CEI), herein referred to as CONSULTANT, I am pleased to submit this letter form of Agreement to the Town of Thompson's Station, Tennessee, herein referred to as CLIENT, to provide professional engineering and construction administration services for the above referenced project. CEI has the experience and excellent working relationships with TDOT and area Contractors that will help produce a successful project for Thompson's Station. We will be actively involved with this project from the planning stages through final construction and close-out of the project.

It is our understanding that the purpose of this project is to replace an existing substandard 2-span steel beam and concrete bridge on Fry Road over Murfrees Fork Creek. The project will be funded under the TDOT Bridge Grant Program and will include minor improvements to both roadway approaches. It is expected to replace the existing structure with a two-lane TDOT standard slab-type bridge of equal or longer span and similar height. The design and construction of the project will meet all current Standards and Specifications of the Tennessee Department of Transportation.

Based on the current site conditions (dead end road) and our discussions at the site on July 17, 2019, it is presently planned to locate the new structure downstream of the existing bridge which will remain open while the new bridge and roadway approaches are being constructed. From field observations, it appears the existing structure's abutments encroach into the stream. The latest TDOT inspection report seems to concur with our observations. The TDOT report recommends a possible bridge length improvement of 58 feet which we find to be a reasonable estimate based on our observations of the channel width. From this, our initial opinion of probable construction cost is approximately \$375,000. This cost includes construction of new bridge, new roadway approaches, removal of existing bridge and roadway approaches, traffic and erosion control, guardrail, riprap, etc...

For your convenience, we have structured this proposal as a Letter Agreement. This will allow us to begin our services promptly upon your Notice to Proceed. We estimate that we can proceed forward with this project within a week after your Notice to Proceed. This letter and the following attachments constitute our entire proposal to the Town of Thompson's Station to perform the work.

The Scope of Service to be provided for this project is as follows:

See Exhibit "A" - Scope of Services

The Compensation for services provided under this Agreement is as follows:

See Exhibit "B" - Compensation

Agreement Terms and Conditions

See Terms and Conditions

Thank you for allowing CEI Services to assist the Town of Thompson's Station with this project. We look forward to working with you and your staff throughout the course of this work. To accept this Agreement, please sign and date in the space below and return a copy to our office. A scanned and emailed copy will be acceptable.

Sincerely,

**CEI SERVICES, INC.**



Thomas B. Sommers, P.E.  
President

AGREED AND ACCEPTED:

By: \_\_\_\_\_

Title: \_\_\_\_\_

Date: \_\_\_\_\_

## EXHIBIT "A" – SCOPE OF SERVICES

1. Perform topographic and property boundary surveys as needed for designing the new structure and roadway approaches. Obtain survey information of the valley cross-sections upstream and downstream of the crossing necessary for performing hydraulic analysis and preparation of a "No Rise" certificate.
2. Measure and document existing bridge geometry and dimensions for use in preparing Corrective Effective hydraulic model required at this project site.
3. Collect information on visible utilities and obtain utility owner contact information needed for plan preparation. Additionally, we will send utility notifications to affected utilities as required by TDOT during the design phase of the project.
4. Provide hydraulic analysis of the existing and proposed project site in accordance with TDOT and FEMA requirements. The U.S. Army Corps of Engineer's HEC-RAS software will be used for analysis. Prepare a required hydraulic report and submit to TDOT with the Preliminary plans.
5. This project is located in a FEMA studied stream and published flood elevations have been determined at various cross-sections along Murfrees Fork Creek. Hydraulic analysis will include obtaining the original HEC-2 stream model from FEMA (where available) that was used to prepare the current FIS Study. We will then prepare a Duplicate Effective Model, Corrected Effective Model, Existing Conditions Model, and Proposed Conditions Model as required by FEMA, and prepare a No-Rise certification or Letter of Map Revision as needed.

**EXCLUSION:** Availability of the FEMA flood model is not known until a request and payment for the model is submitted to FEMA. If this model is then determined to be unavailable, the CONSULTANT will be required to recreate the model using the current FIS and the nearest published FEMA Cross Sections that may, or may not be in close proximity to the bridge site. *This will require additional work including field surveying, coordination with property owners for access, and other field reconnaissance and documentation. If required, this work will be considered additional services.* Availability of the FIS model is NOT known at this time.

6. Provide preliminary plan and profile of the roadway improvements and the proposed bridge. Submit preliminary plans to TDOT and the Town of Thompson's Station for review, comment, and approval prior to proceeding with final construction plans.
7. Provide final construction plans for the roadway and structure, approach guardrails, typical roadway cross sections, erosion control plans, traffic control plans, tabulated quantities, and project notes.
8. Prepare permit applications and exhibits for the Town's use in obtaining regulatory approval. At this time we anticipate TDEC and a Corps of Engineers permit will be required.
9. Assist in securing necessary plan approval and construction authorization from TDOT.
10. Provide right-of-way and/or easement acquisition quantities and a description of any necessary ROW acquisitions where needed. The Town shall provide legal counsel to prepare any necessary legal documents (deeds) and shall be responsible for execution and recording of said documents.
11. Provide an opinion of probable construction cost.
12. Prepare construction bid documents, proposal contract book, and project specifications.



13. Provide assistance to the Town in advertising the project for construction bids including preparation of an Advertisement to Bid for use in local newspaper.
14. Provide plans and specifications to area construction e-plan rooms and reporting agencies for notifying possible bidders.
15. Maintain plan holders list and respond to bidder's RFI's as needed while the project is out for bids. Prepare any addendums during bidding if needed.
16. Attend and assist the Town with one bid opening.
17. Provide bid evaluation, tabulation, and recommendation for award after opening of bids.
18. Provide design certification to TDOT as required after bidding.
19. Prepare and assist the Town with required LPA and ROW agreement forms for submittal to TDOT after bidding.
20. Prepare and submit all other required documents after bid opening to the Regional TDOT State-Aid office for their use in preparing the State/Town construction contract.
21. Attend pre-construction conference prior to starting construction. Provide meeting notification to applicable attendees as needed including utilities, contractor, and TDOT.
22. Review and process shop drawings (if any) submitted by the Contractor.
23. Respond to any Requests for Information (RFIs) from the selected Contractor if needed.
24. Assist the Town with coordination of utility adjustments where necessary. Design of any utility relocations will be performed by others, normally the owner of the utility.
25. Field stake and layout the proposed structure for the Contractor as per the Bridge Grant Program.
26. Provide starting notice and bridge stakeout notes and sketches to TDOT as required.
27. Provide construction observations as required by TDOT Bridge Grant Program. Currently estimate 8 site visits will be performed during construction.
28. Review steel placement, formwork, and concrete placement for conformance with plans.
29. Maintain construction observation reports for each visit to the project site with any measurements and photographs as required under the Bridge Grant Program.
30. Observe, review, and monitor Contractor's concrete field testing procedures and methods and record results for temperature, slump, and air entrainment.
31. Process and respond to change orders, if any, during construction.
32. Obtain required material certifications used in constructing the project to verify that the materials used meet the requirements of the plans and specifications.

33. Obtain and review records of concrete cylinder breaks, steel bar lists, and other material delivery tickets (guardrail, granular backfill, riprap, etc.).
34. Prepare and assist the Town with pay requests (invoices) from the Contractor. CEI will process the Contractor's invoices and make recommendations for payment. Up to three pay requests will be processed.
35. Attend one final inspection at site with TDOT, Contractor, and Town staff. Prepare and submit to TDOT the final Construction Certification and final pay request with supporting documentation.
36. Submit final records and project documentation to the Department of Transportation at end of project to include material tickets, and certifications, steel bar lists, etc...
37. Prepare and submit letter of over-run/under-run as required under the Bridge Grant Program.

**Exclusion:** See Exclusion above regarding FEMA flood model. If the FEMA flood model is not available from the FEMA Engineering Library, an addendum/supplement to this Scope of Work and the CONSULTANT Fee will be required.

**Additional Services:** Any services not specifically provided for in the above scope, as well as any changes in the scope that the CLIENT requests, will be considered additional services and will be performed at current hourly rates. Additional services can be performed by CONSULTANT or a sub-consultant to CONSULTANT, and may include, but are not limited to, the following:

- Additional environmental studies (wetlands, etc.)
- Endangered Species, Historic Preservation, or Ecology studies
- Phase 1 archaeology studies
- Traffic counts or turning movement counts
- Utility relocation plans or physically locating underground utilities
- Right-of-Way Services consisting of:
  - Property appraisals
  - Surveys and legal descriptions for land transfers
  - Property sale negotiations
  - Property closing services
- Environmental permits beyond those listed in the scope of services
- Pre-bid conferences
- Attendance at public review meetings and/or public hearings

## EXHIBIT "B" – COMPENSATION

The CLIENT agrees to compensate CONSULTANT for the services performed as outlined in Exhibit A expressed as a percentage of the total construction cost, subject to the minimum fee provided below as follows:

<u>Total Construction Cost</u>	<u>Fee Percentage Rate</u>
\$0 to \$250,000	13.0%
\$250,000 to \$500,000	12.0%
Over \$500,000	11.5%

Total construction cost (cost upon which compensation will be determined) shall be based on all costs associated with both the bridge construction and the roadway approach construction at the site; but, shall exclude administrative costs, engineering fees, permit fees, and any legal or recording fees. Our preliminary opinion of probable construction cost is \$375,000.

State Aid Bridge Grant projects require a substantial amount of design, administrative, and construction phase services regardless of the size of the structure or project. Additionally, we strive to design the most cost effective project for the CLIENT. Because of this, a minimum compensation must be set for the CONSULTANT to provide all of the required services.

For this project, a minimum compensation (fee) shall be established at **\$45,000.00**

This minimum fee is based on experience with projects of this type, the tasks required to complete this project, and the direct costs and subconsultant costs anticipated for this specific location. Note also that this fee is the *minimum*, and could increase based on the Fee Percentage Rates shown in the table above after the project is bid for construction.

The fee includes all direct costs and expenses (see Exclusions below), as well as required sub-consultant service fees, costs, and expenses. Additionally, the fee is based on the assumption that the structure will be designed, advertised, and bid for construction one time. Redesigns requested by CLIENT after final approval of plans would require additional fees charged at customary hourly rates or on a negotiated fee basis.

CLIENT agrees to compensate CONSULTANT based on percent of completion of the listed tasks at the end of each month. CONSULTANT will invoice the Client on a monthly basis for services provided through the last day of each month. CONSULTANT invoices are prepared on the first day of each month. Payment of invoice is due when the invoice is received by the CLIENT.

### Exclusions:

1. The fee **does not** include any costs related to re-creating the FIS hydraulic model of Murfrees Fork Creek if the original FEMA model is not available. (see exclusion in Exhibit A)
2. The fee **does not** include any required permit application fees or plan review fees. These costs are to be paid by the CLIENT directly to the regulatory agency.
3. The fee **does not** include designing a girder bridge or any geotechnical investigations.



**CEI SERVICES, INC.**

**TERMS AND CONDITIONS**

**Article 1. Consultant's Scope of Services**

- 1.1 **Nature of Services:** CONSULTANT shall, upon CLIENT's written authorization, perform consulting tasks and services which may include, but shall not be limited to, the following:
  - 1.1.1 Provide consulting services required to perform certain tasks as described in Exhibit "A" - Scope of Services.
- 1.2 **Notice to Proceed:** The CONSULTANT will begin work upon receipt of a written Notice to Proceed or Purchase Order by the CLIENT.
- 1.3 **Documents Provided by CLIENT:** CONSULTANT shall be entitled to use and rely, without reverification, upon the accuracy, reliability and completeness of any data, reports, drawings, surveys, test results and all other information and all other information provided by CLIENT or its employees, agents, officers, or consultants in conjunction with CONSULTANT's performance of Services pursuant to this Agreement.
- 1.4 **Standard of Care:** The standard of care for all design professional services performed by CONSULTANT and its sub-consultants pursuant to this Agreement shall be the care and skill ordinarily used by members of the design profession practicing under similar conditions at the same time and locality of the Project. CONSULTANT makes no warranties, express or implied, under this Agreement or otherwise, in connection with the Services rendered hereunder.
- 1.5 The CONSULTANT shall not be considered in default by reason of any failure in performance if such failure arises out of causes reasonably beyond the CONSULTANT's control and without its fault or negligence. Such causes may include, but are not limited to: acts of God, the CLIENT's omissive and commissive failures; natural or public health emergencies; labor disputes; and severe weather conditions.

**Article 2. Compensation**

- 2.1 CLIENT agrees to pay the CONSULTANT as compensation for the services defined in Exhibit "A", as set out in Exhibit "B" - Compensation, attached hereto and made a part of this Agreement.
- 2.2 Once each month, the CONSULTANT may submit to the CLIENT an invoice for services rendered and expenses incurred.
- 2.3 CLIENT shall pay all invoices no later than thirty (30) days after receipt, provided CONSULTANT submits all claims for compensation upon forms and in a manner approved by the CLIENT. Payments are due at the address appearing on the invoice. Invoices not paid within 30 days will accrue interest from the 31st day at a rate of 1% per month (12% per annum).

**Article 3. General Terms**

- 3.1 This Agreement shall become effective on the date hereof and remain in effect for the duration of the Project defined in Article 1.1.
- 3.2 Both parties agree that CEI is and shall at all times during the term of this Agreement be an independent contractor of CLIENT. This Agreement and the relationship of the parties shall not be deemed to create or be one of employment, agency, partnership, joint venture or any other association.
- 3.3 The CONSULTANT shall not have control over and shall not be responsible for, direct or have control over the means, methods, techniques, sequences, or procedures of construction selected or used by Contractor, for security or safety at the Project site, for safety precautions and programs incident to the Contractor's work in progress, nor for failure of Contractor to comply with laws and requirements applicable to CONTRACTOR's furnishing and performing its work. CONSULTANT shall not have control of or be responsible for acts or omissions of any contractor, engineer, consultant or other person engaged separately and directly by the CLIENT. Notwithstanding any other provisions of this Agreement, the maximum liability of the CONSULTANT to the CLIENT for any claim, damages or other action arising out of this Agreement shall be the amount of fees due and payable to the CONSULTANT pursuant to this Agreement.

**Article 4. Assurances and Indemnifications**

- 4.1 Ownership and Reuse of Documents: The drawings and specifications are instruments of service; and as such, the documents, tracings, and field notes originating with the CONSULTANT are and remain the property of the CONSULTANT whether the work for which they were prepared is executed or not.
- All documents, including Drawings and Specifications prepared by CONSULTANT pursuant to this Agreement, are instruments of service in respect of the Project. They are not intended or represented to be suitable for reuse by CLIENT or others on extensions of the project or on any other project. Any reuse without written verification or adaptation by CONSULTANT for the specific purpose intended will be at CLIENT's sole risk and without liability or legal exposure to CONSULTANT, and CLIENT shall indemnify and hold harmless CONSULTANT from all claims, damages, losses and expenses including attorneys' fees arising out of or resulting therefrom.
- 4.2 Opinions of Costs or Cost Estimates: Because the CONSULTANT does not control the cost of labor, materials, equipment or services furnished by others, methods of determining prices, or competitive bidding or market conditions, any opinions rendered as to costs, including but not limited to opinions as to the costs of construction and materials, shall be made on the basis of its experience and represent its judgment as an experienced and qualified professional, familiar with the industry. The CONSULTANT cannot and does not guarantee that proposals, bids or actual costs will not vary from its opinions of cost. If the CLIENT wishes greater assurance as to the amount of any cost, it shall employ an independent cost estimator. CONSULTANT's services required to bring costs within any limitation established by the CLIENT will be paid for as additional services.
- 4.3 Limitation of Liability. To the fullest extent permitted by law, the total liability, in the aggregate, of CONSULTANT and CONSULTANT's officers, directors, employees, agents, and consultants to CLIENT and anyone claiming by, through or under CLIENT, for any and all injuries, claims, losses, expenses, or damages whatsoever arising out of or in any way related to CONSULTANT's services, the Project or this Agreement, from any cause or causes whatsoever, including but not limited to, negligence, strict liability, breach of contract or breach of warranty shall not exceed the total CONSULTANT's compensation pursuant to this Agreement.
- Under no circumstances shall the CONSULTANT be liable for extra costs or other consequences due to changed conditions or for costs related to the failure of contractors to perform work in accordance with the plans and specifications.
- 4.4 Indemnification: CONSULTANT shall indemnify CLIENT, its officers, directors, shareholders, partners, and employees from all claims, damages, losses and expenses, including reasonable attorney's fees, arising out of the performance of CONSULTANT's services to the extent caused by CONSULTANT's negligence.
- CLIENT shall indemnify CONSULTANT, its officers, directors, shareholders, partners, and employees from all claims, damages, losses and expenses, including reasonable attorney's fees, arising out of the performance of CONSULTANT's services to the extent caused by CLIENT's negligence.
- 4.5 No Personal Liability: Notwithstanding any other provision of this Agreement to the contrary, CONSULTANT's officers, directors, shareholders, partners, employees, or agents shall not be personally liable, regardless of the cause of action asserted including breach of contract, warranty, guarantee, products liability, negligence, tort, strict liability, or any other cause pertaining to CONSULTANT's performance or non-performance of the Agreement. CLIENT will look solely to CONSULTANT for its remedy for any claim arising out of or related to this Agreement.

## **Article 5. Termination**

The obligation to provide further services under this Agreement may be terminated by either party upon seven days' written notice to the other party as follows:

- 5.1 The CLIENT may, by written notice, terminate this agreement in whole or in part at any time for the CLIENT's convenience and either party may terminate this Agreement should the other party fail substantially to perform in accordance with the terms hereof through no fault of the party initiating such termination. Upon receipt of such notice, services shall be: (1) immediately discontinued (unless the notice directs otherwise), and (2) all data, drawings, specifications, reports, estimates, summaries and such other information and materials as may have been accumulated in performing this Agreement where completed or in process copied and delivered to the CLIENT. If such information has not been finalized by the CONSULTANT, CONSULTANT shall not be responsible for its accuracy and any use of said information shall be at CLIENT's sole risk.

- 5.2 If Agreement is terminated, CONSULTANT shall be compensated for all services performed, including those services performed by CONSULTANT's sub-consultants prior to termination, together with reimbursable expenses then due.

#### **Article 6. Special Provisions and Attachments**

- 6.1 Attachments: This Letter Agreement includes the following attached items and are made a part of this Agreement:
- 6.1.1 Exhibit "A" - Scope of Services
  - 6.1.2 Exhibit "B" - Compensation
  - 6.1.3 Terms and Conditions (this document)
- 6.2 Schedule of Work: The CONSULTANT will be prepared to begin the work under this Agreement immediately after a letter of notification to proceed is received from the CLIENT. CONSULTANT will use its best efforts to complete the Services in a timely fashion to meet CLIENT's requirements.
- 6.3 Controlling Law: This Agreement shall be governed by and construed according to the law of Tennessee.
- 6.4 Waiver: A party's non-enforcement of any provision of this Agreement shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remainder of this Agreement.
- 6.5 Severability: Any provision or part of this Agreement held to be void or unenforceable under any applicable laws or regulations shall be deemed stricken, and all the remaining provision shall continue to be valid and binding upon CLIENT and CONSULTANT.
- 6.6 Consequential Damages: Notwithstanding anything else in this Agreement to the contrary, neither CONSULTANT nor CLIENT shall be liable to the other or to their respective employees, officers, directors, agents, insurers, partners or consultants, for any claims for or entitlement to any special, incidental, indirect, or consequential damages arising out of, resulting from, or in any way related to the Project whether arising in contract, tort, negligence, strict liability, products liability, warranty, or any other cause arising out of the performance or non-performance of the Agreement by CONSULTANT or CLIENT.
- 6.7 Mediation: The parties, as a condition precedent to commencing litigation (other than for the non-payment of CONSULTANT's fees), shall endeavor to resolve their claims by mediation which, shall be in accordance with the Construction Industry Mediation Rules of the American Arbitration Association currently in effect. Any mediation or civil action by Client must be commenced within one year of the accrual of the cause of action asserted but in no event later than allowed by applicable statutes.



	Benesch	CEI		Snyder Eng		Barge	
Removal of Bridge	\$30,000.00	\$15,000.00		\$5,000.00		\$93,000.00	Design, environmental, hydraulics, geotech
Granular backfill	\$14,000.00	\$11,200.00		\$7,875.00		\$151,000.00	Demo and bridge construction
Class A Concrete for Bridge	\$78,750.00	\$102,850.00		\$72,250.00		\$75,000.00	
Steel Bar Reinforcement	\$28,750.00	\$50,250.00		\$19,250.00			
Metal Beam guard rail	\$6,125.00	\$10,625.00		\$4,875.00			
single guard rail	\$1,500.00	\$2,700.00	Type 2 Rail	\$525.00	Type 2 rail		
guardrail terminal	\$14,000.00	\$10,400.00	type 21 anchors	\$9,600.00	type 21 anchors		
earth pad for guard rail end treatment	\$4,800.00						
machined rip rap	\$12,500.00	\$5,400.00	Class A1	\$7,425.00			
temporary silt fence w/out backing	\$1,600.00	\$1,500.00					
sediment removal	\$476.00						
check dams		\$2,400.00					
sand bags	\$2,500.00	\$1,200.00					
temporary sediment bag	\$2,000.00	\$800.00		\$600.00			
temporary filter barrier				\$2,000.00			
polyethylene sheeting	\$1,000.00						
temporary stream diversion	\$12,000.00			\$3,000.00			
construction signs				\$750.00			
traffic control	\$10,000.00	\$9,000.00					
clearing and grubbing	\$7,500.00	\$15,000.00		\$4,000.00			
road drainage excavation	\$10,000.00			\$2,250.00			
borrow excavation	\$12,500.00			\$5,000.00			
placing and spreading topsoil	\$750.00			\$3,000.00			
Atype A aggregate Grading D	\$7,500.00						
Mineral Aggregate Base				\$7,500.00			
Seeding with mulch	\$1,000.00	\$3,800.00		\$2,000.00			
Asphalt Mix	\$9,000.00			\$11,400.00			
Asphalt surface				\$7,125.00			
Tack coat and prime coat				\$254.25			
Bituminous material for prime coat	\$2,000.00						
aggregate for cover material	\$1,250.00						
bituminous material for tack coat	\$800.00						
pavement markings	\$800.00						
ACS mix grading D	\$7,500.00						
abestos report and removal				\$7,500.00			
Type III Barricade				\$600.00			
geotechnical investigation				\$4,000.00			
road approach construction		\$118,000.00					
mobilization		\$15,000.00					
	\$280,601.00	\$375,125.00		\$187,779.25		\$319,000.00	

Engineering fees	\$54,600.00	\$45,000.00		\$28,166.89
	\$54,600.00	\$45,000.00		
Percentage - 15% maximum	\$42,090.15	\$56,268.75		\$28,166.88
Over/Under/Exact	\$12,509.85	-\$11,268.75		\$0.00

FEMA modeling may increase the overall cost

**RESOLUTION NO. 2019 - 025**

**A RESOLUTION OF THE TOWN OF THOMPSON 'S STATION, TENNESSEE  
APPROVING THE ENTRY OF AN M.O.U. FOR IMPLEMENTATION OF THE BIOCLERE  
SYSTEM WITH THE LITTLEBURY DEVELOPMENT COMPANY, LLC**

**WHEREAS**, the Town of Thompson's Station previously approved the development of the Property in three separate phases (each a "Phase") based on Littlebury Development Company, LLC's construction and installation of a sequencing batch reactor system ("SBR System") in order to treat wastewater generated from the Property; and

**WHEREAS**, the Town of Thompson's Station is in the process and has been making efforts to expand the Town's ability for treatment of wastewater and sewer generated and capacity is contingent on those continued improvements;

**WHEREAS**, the Town of Thompson's Station has indicated and approved for Littlebury Development Company, LLC in lieu of the SBR System, that the Town of Thompson's Station will permit Littlebury Development Company, LLC to either (i) tie into the regional sewer system closest in proximity to the Property (the "Regional Tie-In"), or (ii) construct and install a Bioclere sewer treatment system (the "Bioclere System"); and

**WHEREAS**, the Town of Thompson's Station and Littlebury Development Company, LLC desire to ensure the effective implementation of the Bioclere System, the parties propose to enter into a Memorandum of Understanding (MOU) with Littlebury Development Company, LLC to effectuate the process.

**NOW, THEREFORE, BE IT RESOLVED** by the Board of Mayor and Aldermen of the Town of Thompson's Station act as follows:

**IT IS RESOLVED**, that the Board of Mayor and Alderman of the Town of Thompson's Station does affirm and approve the implementation of the Bioclere System by Littlebury Development Company, LLC;

**IT IS RESOLVED**, that the Board of Mayor and Alderman of the Town of Thompson's Station does affirm and approve the implementation of the Bioclere System by Littlebury Development Company, LLC by means of the terms and conditions outlined in the Memorandum of Understanding (MOU) attached hereto and incorporated herein by reference as Exhibit No. A.

**IT IS RESOLVED**, that the Board of Mayor and Alderman of the Town of Thompson's Station does authorize the Mayor to execute the Memorandum of Understanding (MOU) on behalf of the Town of Thompson's Station.

RESOLVED AND ADOPTED this 8th day of October 2019.

---

**Corey Napier, Mayor**

ATTEST:

---

Town Recorder

APPROVED AS TO LEGALITY AND FORM:

---

Town Attorney

**EXHIBIT A**

**(Next Page)**





## MEMORANDUM OF UNDERSTANDING

This Memorandum of Understanding (this “Memorandum”) is entered into and made effective as of the date of the last signature as indicated on the signature page hereto (the “Effective Date”), by and between Littlebury Development Company, LLC, a Tennessee limited liability company (“Littlebury”), with an address of 7123 Crossroads Blvd. #E, Brentwood, Tennessee 37027, and the Town of Thompson’s Station, Tennessee, with an address of 1550 Thompson’s Station Road West, Thompson’s Station, Tennessee 37179 (the “Town”) (Littlebury and the Town are hereinafter sometimes referred to hereinafter individually as a “Party” and collectively as the “Parties”).

### WITNESSETH:

**WHEREAS**, Littlebury is the owner of approximately 91 acres of real property generally bounded by Pantall Road, Baugh Road, and Interstate 65 in Thompson’s Station, Williamson County, Tennessee, Tax Parcel No. 145 03411 00011145 (the “Property”); and

**WHEREAS**, the Town previously approved the development of the Property in three separate phases (each a “Phase”) based on Littlebury’s construction and installation of a sequencing batch reactor system (“SBR System”) in order to treat wastewater generated from the Property; and

**WHEREAS**, the Parties acknowledge the Town is in the process and has been making efforts to expand the Town’s ability for treatment of wastewater and sewer generated and capacity is contingent on those continued improvements;

**WHEREAS**, the Town has indicated to Littlebury that, in lieu of the SBR System, the Town will permit Littlebury to either (i) tie into the regional sewer system closest in proximity to the Property (the “Regional Tie-In”), or (ii) construct and install a Bioclere sewer treatment system (the “Bioclere System”); and

**WHEREAS**, the Town has not yet made its election between the Regional Tie-In and the Bioclere System, and the Parties desire to set forth their agreement and understanding regarding the timing, terms and conditions of such election by the Town.

**NOW, THEREFORE**, in consideration of the mutual promises and covenants set forth below, and other good and valuable consideration, the receipt and sufficiency of which hereby is acknowledged, and intending to be legally bound, the Parties hereby agree as follows:

1. The Parties do incorporate by reference herein, **Exhibit A** attached hereto, which is the proposed timeline for consideration upon the election by the Town and the rights and responsibilities of the Parties, based upon that election.

2. Further, the following general and specific conditions shall be applicable between the Parties:

- a. Under any of the Phases (I, II, III), where upon the Town assumes responsibility by acceptance of the Bioclere System, Littlebury shall provide to the Town a warranty from the date the Town accepts the system and for one (1) year from the date town obtains 25% of the platted lots in the phase connected to the system. Such warranty shall be for the system in its entirety including collection lines and any additions to the system as additional phases are developed. Littlebury will be allowed to cure, repair, or remedy any defects in workmanship or materials within a reasonable time prior to Town repairing the defect. Littlebury shall reimburse Town upon demand for all costs and expenses incurred by Town to repair all defects of any type whatsoever arising from any cause during the warranty period. Littlebury also warrants that the sewer system improvements shall be paid for in full and that no liens or encumbrances shall remain with regard to said improvements. The warranties set forth in this Section 2(a) shall expire one (1) year after the date upon which 25% of the platted lots in the applicable Phase have been connected to the Bioclere system.
- b. Under any of the Phases (I, II, III) where upon the Town assumes responsibility by acceptance of the Bioclere System, Littlebury shall transfer ownership of such property on which the Bioclere System is installed and shall ensure the Town has direct access to such System either by public roadway or by the grant of an easement to the Town by Littlebury or any necessary entity. Littlebury will be provided necessary easements, to be determined by the Town, in any such transferred area for the purpose of expanding the collection, treatment, and disposal systems for additional Phases.
- c. Under any of the Phases (I, II, III) where upon the Town elects to permit Littlebury to construct the Bioclere System, Littlebury will provide the Town any and all design, construction or installation plans, documents or specifications for the Bioclere System. No construction will be permitted on the Bioclere system until all plans are approved by the Town. Additionally, the Town, its agent or assigns shall be allowed access, without notice, for inspection during all Phases of construction or installation of such Bioclere System and any subsequent additions or expansions of the system. Any requested changes, deviations, or modifications from the approved plans, must be submitted and approved by the Town prior to any changes being made.
- d. Under any of the Phases (I,II, III) wherein the Town shall receive from Littlebury drip field area(s), Littlebury shall, at its own expense, provide to the Town by deed, executed by Littlebury's authorized agent, containing the appropriate legal description for such drip field area(s), which shall be incorporated by reference to this Agreement or Understanding of the Parties contained herein. Littlebury will be provided necessary easements, to be determined by the Town, in any such transferred area for the purpose of expanding the collection, treatment, and disposal systems for additional Phases.



- e. Under any of the Phases (I, II, III) wherein the Town determines to decommission the Bioclere System as to tie-in to the Regional System (which determination to decommission shall be made, if at all, no later than the completion of the final Phase), Littlebury shall be responsible for all costs and expenses associated with decommissioning the Bioclere System in accordance with decommissioning plans submitted to and approved by the Town.

3. This Memorandum may be delivered by facsimile or other electronic transmission, and may be executed in multiple counterparts, each of which shall be deemed to be an original and all of which, when taken together, shall constitute one and the same agreement. Time is of the essence of this Memorandum. The recitals set forth above are hereby incorporated as true and correct. This Memorandum shall be governed by and construed in accordance with the laws of the State of Tennessee. In the event of any litigation arising out of this Memorandum, the prevailing Party shall be entitled to recover its reasonable attorneys' fees and court costs from the non-prevailing Party. Each Party hereby waives the right to trial by jury in connection with any litigation arising out of this Memorandum. The Parties agree the jurisdiction and venue for any such litigation shall be with the Chancery Court for Williamson County, Tennessee. Should any term or provision be properly determined to be invalid, illegal or unenforceable, it shall not affect the validity, legality or enforceability of the remaining terms and provisions, which shall remain valid, legal and enforceable. All notices under this Memorandum shall be in writing and shall be delivered to each Party at the address set forth above by certified U.S. Mail or reputable overnight carrier (e.g., Federal Express).

**IN WITNESS WHEREOF**, the Parties have set their signatures hereto effective as of the Effective Date.

**LITTLEBURY:**

LITTLEBURY DEVELOPMENT  
COMPANY, LLC

By: Great Tennessee Land Company, LLC  
Its: Sole Member

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

Date of Execution: October \_\_\_\_, 2019

**THE TOWN:**

THE TOWN OF THOMPSON'S  
STATION, TENNESSEE

By: \_\_\_\_\_  
Name: \_\_\_\_\_  
Its: \_\_\_\_\_

Date of Execution: October \_\_\_\_, 2019

## **EXHIBIT A TO THE LITTLEBURY MEMORANDUM OF UNDERSTANDING (MOU)**

### PHASE I (32 lots)

Sewer election date: March 31<sup>st</sup>, 2020

Estimated phase delivery date: July 31<sup>st</sup>, 2020

IF ELECTION IS "BIOCLERE" BY THE TOWN (no later than March 31<sup>st</sup>):

- Infrastructure will be constructed by Littlebury for potential connection to regional system via Bridgemore Village manhole on Pantall Road.
- Once Bioclere system is installed by Developer, the Town will inspect the system. If the system meets all of the Town's requirements and is deemed acceptable, the Town will assume ownership of the system (including drip fields) upon conveyance of the system to the Town by Developer pursuant to the terms provided herein. No connections are to be made to the system until the system is accepted by the Town and placed into operation.
- The first house is anticipated to come on-line at the end of 2020. On the date that the Bioclere is accepted by the Town, Developer shall provide the Town with a bond in an amount equal to the current sewer impact fee times the number of lots represented on the final plat for the phase being developed. For example, the Developer, would currently post a bond for \$195, 200 (equal to sewer fees for 32 lots @ \$6100 each per LDO). The bond shall be maintained until the sooner of connection of Phase 1 to the regional treatment facility or one (1) year after completion of the final phase of the development. If, at one year after the completion of the development the Bioclere system is not decommissioned and is still operational, the bond amount will be refunded to developer in full. If at any time during the development of Littlebury and for one year after the completion of the development, the Town elects to decommission the Bioclere system and have phase I tied to regional system, the Town will retain the full bond amount.

IF ELECTION IS "TO TIE TO REGIONAL SYSTEM" BY THE TOWN if determined by March 31<sup>st</sup>):

- Sewer development fees paid in full by Littlebury for phase I (32 lots) per LDO guidelines and time frames.
- All sewage will be sent from the on-site pump station to the manhole at Bridgemore Village along Pantall Road.
- All homes will be required to pay tap fees per Land Development Ordinance.
- Drip fields donated to the Town by Littlebury.

### PHASE II (37 lots)

Sewer election date: March 31<sup>st</sup>, 2021

Estimated phase delivery date: July 31<sup>st</sup>, 2021

\*NOTE: The Town will consider the Bioclere system on a phase by phase basis as may be determined by the Town as subject to and conditioned on and to the availability of capacity for treatment of wastewater and sewer.

IF ELECTION IS "BIOCLERE" BY THE TOWN (no later than March 31<sup>st</sup>):

- An additional treatment tank will be installed by developer (Littlebury) for treatment of phase II and connection to existing Bioclere system shall be permissible by the Town.
- 
- Once the system improvements are installed by Developer, the Town will inspect the system. If the system improvements meet all of the Town's requirements and is deemed acceptable, the Town will assume ownership of the system (including drip fields) upon conveyance of the system to the Town by Developer. No connections are to be made to the system until the system is accepted by the Town and placed into operation.
- On the date that Bioclere expansion is accepted by the Town, the Developer (Littlebury) Developer shall provide the Town with a bond in an amount equal to the current sewer impact fee times the number of lots represented on the final plat for the phase being developed. For example, the Developer, would currently post a bond for \$225,700 (equal to sewer fees for 37 lots @ \$6100 each per LDO). The bond shall be maintained until the sooner of connection of Phase 2 to the regional treatment facility or one (1) year after completion of the final phase of the development. If, at one year after the completion of the development the Bioclere system is not decommissioned and is still operational, the bond amount will be refunded to developer in full. If at any time during the development of Littlebury and for one year after the completion of the development the Town elects to decommission the Bioclere system and have phase II tied to regional system, the Town will retain the full bond amount.

IF ELECTION IS "TO TIE TO REGIONAL SYSTEM" BY THE TOWN (if determined by March 31<sup>st</sup>):

- Sewer development fees paid in full by Littlebury for phase II (37 lots) per LDO guidelines and time frames.
- All sewage will be sent from the on-site pump station to the manhole at Bridgemore Village along Pantall Road.
- All homes will be required to pay tap fees per Land Development Ordinance.

PHASE III (22 lots)

Sewer election date: March 31<sup>st</sup>, 2022

Estimated phase delivery date: July 31<sup>st</sup>, 2022

\*NOTE: The Town will consider the Bioclere system on a phase by phase basis as may be determined by the Town as subject to and conditioned on and to the availability of capacity for treatment of wastewater and sewer.

IF ELECTION IS "BIOCLERE" BY THE TOWN (no later than March 31<sup>st</sup>):

- An additional treatment tank will be installed by Developer (Littlebury) for treatment of phase III and connection to existing Bioclere system shall be permissible by the Town.
- Once the system improvements are installed by Developer, the Town will inspect the system. If the system improvements meet all the Town's requirements and is deemed acceptable, the Town will assume ownership of the system (including drip fields) upon conveyance of the



system to the Town by Developer. No connections are to be made to the system until the system is accepted by the Town and placed into operation.

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- The first house is anticipated to come online at the end of 2022. On the date that the system expansion is accepted by the Town, Developer (Littlebury) shall provide the Town with a bond in an amount equal to the current sewer impact fee times the number of lots represented on the final plat for the phase being developed. For example, the Developer, would currently post a bond for \$134,200. (equal to sewer fees for 22 lots @ \$6100 each per LDO). The bond shall be maintained until the sooner of connection of Phase 3 to the regional treatment facility or one (1) year after completion of the final phase of the development. If, at one year after the completion of the development the Bioclere system is not decommissioned and is being used by the Town to provide wastewater service, the bond amount will be refunded to developer in full. If at any time during the construction of Phase 3 and through the 1 year period post construction period the Town elects to decommission the Bioclere system and have phase III tied to regional system, the Town will retain the full bond amount.

IF ELECTION IS “TO TIE TO REGIONAL SYSTEM” BY THE TOWN (if determined by March 31<sup>st</sup>):

- Sewer development fees paid in full by Littlebury for phase III (22 lots).
- All sewage will be sent from the on-site pump station to the manhole at Bridgemore Village along Pantall Road.
- All homes will be required to pay tap fees per Land Development Ordinance.

If the Town fails to timely elect between the Bioclere system and tie-in to the regional system, the Town shall be deemed to have elected and approved the Bioclere system.

\*IF AT ANY POINT THE CHOICE IS TO TIE TO REGIONAL SYSTEM, THEN THE TOWN WILL EVALUATE AND DETERMINE THE APPROPRIATENESS AND NECESSITY OF FURTHER INSTALLATION OF THE BIO-CLERE SYSTEM. WHEN THE DETERMINATION BY THE TOWN IS TO TIE IN TO THE REGIONAL SYSTEM, ALL FEES WILL BE PAID IN FULL PER LAND DEVELOPMENT ORDINANCE. DRIP FIELDS WILL BE DONATED TO THE TOWN.

**ORDINANCE 2019-009**

**AN ORDINANCE OF THE TOWN OF THOMPSON'S STATION, TENNESSEE,  
PROVIDING THAT THE CODE OF ORDINANCES OF THE TOWN OF  
THOMPSON'S STATION BE AMENDED BY ADDING A NEW CHAPTER TO TITLE  
16 THEREIN, PROVIDING FOR THE INSTALLATION AND MAINTENANCE OF  
COMMUNICATIONS FACILITIES IN THE PUBLIC RIGHT-OF-WAY**

**WHEREAS**, competing demands for uses of the public right-of-way require local governments to establish regulations that will preserve the integrity, safe usage and aesthetics of the right-of-way; and

**WHEREAS**, various types of communication facilities are among the uses seeking space in the public right-of-way; and

**WHEREAS**, the Town of Thompson's Station seeks to balance the need to accommodate advanced technologies in communications with regulations that provide for proper management of the right-of-way; and

**WHEREAS**, the Town further finds that such regulations are needed in order to protect the public health, safety and welfare.

**NOW THEREFORE, BE IT ORDAINED BY THE TOWN OF THOMPSON'S STATION, TENNESSEE, AS FOLLOWS:**

**SECTION 1:** That Title 16 of the Code of Ordinances of the Town of Thompson's Station is hereby amended by adding a new Chapter, to be designated as Chapter 2 and to read as follows:

**CHAPTER 2. WIRELESS COMMUNICATIONS FACILITIES IN THE PUBLIC RIGHT-OF-WAY**

**Sec. 16-201. - Purpose and scope.**

(a) *Purpose.* In accordance with Tennessee Code Annotated § 13-24-401, *et seq.*, known as "Competitive Wireless Broadband Investment, Deployment, and Safety Act of 2018," the purpose of this chapter is to establish policies and procedures for the placement of small wireless facilities in the public rights-of-way within the town's jurisdiction, which will provide public benefit consistent with the preservation of the integrity, safe usage, and visual qualities of the town's rights-of-way and to the town as a whole.

(b) *Intent.* In enacting this chapter, the town is establishing uniform standards to address issues presented by small wireless facilities, including without limitation, to:

- (1) Prevent interference with the use of streets, sidewalks, alleys, parkways and other public ways and places;
- (2) Prevent the creation of visual and physical obstructions and other conditions that are

hazardous to vehicular and pedestrian traffic;

(3) Prevent interference with the facilities and operations of facilities lawfully located in public rights-of-way or public property;

(4) Protect against environmental damage, including damage to trees;

(5) Preserve the character of the neighborhoods, areas, and zones in which facilities are installed; and

(6) Facilitate rapid deployment of small wireless facilities to provide the benefits of advanced wireless services.

(c) *Conflicts with other chapters.* This chapter supersedes all chapters or parts of chapters adopted prior hereto that are in conflict herewith, to the extent of such conflict.

**Sec. 16-202. - Definitions.**

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

(a) *Aesthetic plan* means any publicly available written resolution, regulation, policy, site plan, or approved plat establishing generally applicable aesthetic requirements within the Town or designated area within the Town. An aesthetic plan may include a provision that limits the plan's application to construction or deployment that occurs after adoption of the aesthetic plan. For purposes of this part, such a limitation is not discriminatory as long as all construction or deployment occurring after adoption, regardless of the entity constructing or deploying, is subject to the aesthetic plan;

(b) *Antenna* means communications equipment that transmits or receives electromagnetic radio frequency signals used in the provision of wireless services;

(c) *Applicable Codes* means uniform building, fire, electrical, plumbing, or mechanical codes adopted by a recognized national code organization or local amendments to those codes enacted solely to address imminent threats of destruction of property or injury to persons to the extent not inconsistent with the terms of this chapter;

(d) *Applicant* means any person or entity who submits an application pursuant to this part;

(e) *Application* means a request submitted by an applicant to the Town of Thompson's Station:

(1) For a permit to deploy or collocate small wireless facilities in the rights-of-way; or

(2) To approve the installation or modification of a Potential Support Structure (PSS) associated with deployment or collocation of small wireless facilities in the rights-of-way;

(f) *Authority-owned PSS or Town-owned PSS* means a PSS owned or leased by the Town in the rights-of-way, including (i) a utility pole that provides lighting or traffic control functions,



including light poles, traffic signals, and structures for traffic cameras or signage; and (ii) a pole or similar structure owned/leased by the Town in the rights-of-way that supports only wireless facilities. Authority-owned PSS does not include a PSS owned by a distributor of electric power, regardless of whether an electric distributor is investor-owned, cooperatively-owned, or government-owned;

(g) *Town* means Town of Thompson's Station, Tennessee;

(h) *Collocate*, *collocating*, and *colocation* mean, in their respective noun and verb forms, to install, mount, maintain, modify, operate, or replace small wireless facilities on, adjacent to, or related to a PSS. "Colocation" does not include the installation of a new PSS or replacement of authority-owned PSS;

(i) *Communications facility* means the set of equipment and network components, including wires and cables and associated facilities, used by a communications service provider to provide communications service;

(j) *Communications service* means cable service as defined in 47 U.S.C. § 522(6), telecommunications service as defined in 47 U.S.C. § 153(53), information service as defined in 47 U.S.C. § 153(24) or wireless service;

(k) *Communications service provider* means a cable operator as defined in 47 U.S.C. § 522(5), a telecommunications carrier as defined in 47 U.S.C. § 153(51), a provider of information service as defined in 47 U.S.C. § 153(24), a video service provider as defined in § 7-59-303, or a wireless provider;

(l) *Day* means calendar day;

(m) *Fee* means a one-time, non-recurring charge;

(n) *Micro wireless facility* means a small wireless facility that:

(1) Does not exceed twenty-four inches (24") in length, fifteen inches (15") in width, and twelve inches (12") in height; and

(2) The exterior antenna, if any, does not exceed eleven inches (11") in length.

(o) *Permittee* means an applicant who has been granted a permit;

(p) *Person* means an individual, corporation, limited liability company, partnership, association, trust, or other entity or organization, including a governmental entity;

(q) *Potential support structure for a small wireless facility or PSS* means a pole or other structure used for wireline communications, electric distribution, lighting, traffic control, signage, or a similar function, including poles installed solely for the colocation of a small wireless facility. When "PSS" is modified by the term "new," then "new PSS" means a PSS that does not exist at

the time the application is submitted, including, but not limited to, a PSS that will replace an existing pole. The fact that a structure is a PSS does not alone authorize an applicant to collocate on, modify, or replace the PSS until an application is approved and all requirements are satisfied pursuant to this part;

(r) *Rate* means a recurring charge;

(s) *Residential neighborhood* means an area within the Town's geographic boundary that is zoned or otherwise designated by the Town for general purposes as an area primarily used for single-family residences and does not include multiple commercial properties and is subject to speed limits and traffic controls consistent with residential areas;

(t) *Right-of-way or ROW* means the space, in, upon, above, along, across, and over all public streets, highways, avenues, roads, alleys, sidewalks, tunnels, viaducts, bridges, skywalks under the control of the Town, and any unrestricted public utility easement established, dedicated, platted, improved, or devoted for utility purposes and accepted as such public utility easement by the authority that are contiguous to paved roads, but excluding lands other than streets that are owned by the Town;

(u) *Right-of-way use permit or permit* means a permit for the construction or installation of wireless facilities, small wireless facilities, wireless backhaul facilities, fiber optic cable, conduit, and associated equipment necessary to install wireless facilities in the right-of-way;

(v) (1) *Small wireless facility* means a wireless facility with:

(A) An antenna that could fit within an enclosure of no more than six (6) cubic feet in volume; and

(B) Other wireless equipment in addition to the antenna that is cumulatively no more than twenty-eight (28) cubic feet in volume, regardless of whether the facility is ground-mounted or pole-mounted. For purposes of this subdivision, "other wireless equipment" does not include an electric meter, concealment element, telecommunications demarcation box, grounding equipment, power transfer switch, cut-off switch, or a vertical cable run for the connection of power and other services; and

(2) "Small wireless facility" includes a micro wireless facility;

(x) *Wireline backhaul facility* means a communications facility used to transport communications services by wire from a wireless facility to a network;

(y) (1) *Wireless facility* means equipment at a fixed location that enables wireless communications between user equipment and a communications network, including:

(A) Equipment associated with wireless communications; and

(B) Radio transceivers, antennas, coaxial or fiber-optic cable, regular and backup power supplies, and comparable equipment, regardless of technological configuration;

(2) *Wireless facility* does not include:

(A) The structure or improvements on, under, or within which the equipment is collocated;

(B) Wireline backhaul facilities; or

(C) Coaxial or fiber-optic cable that is between wireless structures or utility poles or that is otherwise not immediately adjacent to or directly associated with a particular antenna; and

(3) *Wireless facility* includes small wireless facilities.

(z) *Wireless infrastructure provider* means any person, including a person authorized to provide telecommunications service in the state, that builds or installs wireless communication transmission equipment, wireless facilities or PSSs, but that is not a wireless services provider;

(aa) *Wireless provider* means a wireless infrastructure provider or a wireless services provider;

(bb) *Wireless services* means any service using licensed or unlicensed spectrum, including the use of WIFI, whether at a fixed location or mobile, provided to the public;

(cc) *Wireless services provider* means a person who provides wireless services.

### **Sec. 16-203. - Permitted use; application and fees.**

(a) *Permitted use.* Collocation of a small wireless facility or installation of a new, replacement, or modified PSS shall be a permitted use, subject to the restrictions in this title.

(b) *Permit required.* No person may construct, install, and/or operate wireless facilities that occupy the right-of-way without first obtaining a right-of-way use permit from the Town. Any right-of-way use permit shall be reviewed, issued, and administered in a non-discriminatory manner, shall be subject to such reasonable conditions as the Town may from time to time establish for effective management of the right-of-way, and otherwise shall conform to the requirements of this chapter and applicable law.

(c) *Permit applications.* All applications for right-of-way use permits filed pursuant to this chapter shall be on a form, paper or electronic, provided by the Town. The applicant may include up to twenty (20) small wireless facilities within a single application. The applicant may designate portions of its application materials that it reasonably believes contain proprietary or confidential information as “proprietary” or “confidential” by clearly marking each page of such materials accordingly.



(d) *Application requirements.* The application shall be made by the wireless provider or its duly authorized representative and shall contain the following:

- (1) The applicant's name, address, telephone number, and e-mail address;
- (2) The names, addresses, telephone numbers, and e-mail addresses of all consultants, contractors and subcontractors, if any, acting on behalf of the applicant with respect to the filing of the application or who may be involved in doing any work on behalf of the applicant;
- (3) A site plan for each proposed location with a diagram or engineering drawing depicting the design for installation of the small wireless facility with sufficient detail for the Town to determine that the design of the installation and any new PSS or any modification of a PSS is consistent with all generally applicable safety and design requirements;
- (4) The location of the site(s), including the latitudinal and longitudinal coordinates of the specific location(s) of the site;
- (5) Identification of any third party upon whose PSS the applicant intends to collocate and certification by the applicant that it has obtained approval from the third party;
- (6) The applicant's identifying information and the identifying information of the owner of the small wireless facility and certification by the applicant or the owner that such person agrees to pay applicable fees and rates, repair damage, and comply with all nondiscriminatory and generally applicable ROW requirements for deployment of any associated infrastructure that is not a small wireless facility and the contact information for the party that will respond in the event of an emergency related to the small wireless facility;
- (7) The applicant's certification of compliance with surety bond, insurance, or indemnification requirements (as set forth below); rules requiring maintenance of infrastructure deployed in ROW; rule requiring relocation or timely removal of infrastructure in ROW no longer utilized; and any rules requiring relocation or repair procedures for infrastructure in ROW under emergency conditions, if any, that the Town imposes on a general and non-discriminatory basis upon entities that are entitled to deploy infrastructure in ROW no longer utilized; and any rules requiring relocation or repair procedures for infrastructure in ROW under emergency conditions, if any, that the Town imposes on a general and non-discriminatory basis upon entities that are entitled to deploy infrastructure in the ROW;
- (8) The applicant's certification that the proposed site plan and design plans meet or exceed all applicable engineering, materials, electrical, and safety standards, including all standards related to the structural integrity and weight-bearing capacity of the PSS and small wireless facility. Those standards relevant to engineering must be certified by a

licensed professional engineer; and

(9) A statement that all wireless facilities shall comply with all applicable codes.

(e) *Approval or Denial of Application; Response Time.* The Town responds to the applications for permit per the timelines prescribed in federal law and in T.C.A. Section 13-24-409(b), as may be amended, regarding the approval or denial of applications, and the Town shall respond to applications per the specific requirements of T.C.A. Section 13-24-409(b)(3), as may be amended. The Town reserves the right to require a surcharge as indicated in T.C.A. Section 13-24-409(b)(7)(F)(i), as may be amended, for high-volume applicants.

(f) *Deployment after Permit.* An applicant must complete deployment of the applicant's small wireless facilities within nine (9) months of approval of applications for the small wireless facilities unless the Town and the applicant agree to extend the period, or a delay is caused by a lack of commercial power or communications transport facilities to the site. If an applicant fails to complete deployment within the time required pursuant to this subsection, then the Town may require that the applicant complete a new application and pay an application fee associated with the new application.

(g) *Multiple Permit Applications at Same Location.* If the Town receives multiple applications seeking to deploy or collocate small wireless facilities at the same location in an incompatible manner, then the Town may deny the later filed application, as priority for locations shall be given on a first come, first served bases and as allowed.

(h) *Bridge and/or Overpass Special Provision.* If the Applicant's site plan includes any colocation design that includes attachment of any facility or structure to a bridge or overpass, then the applicant must designate a safety contact. After the Applicant's construction is complete, the Applicant shall provide to the safety contact a licensed professional engineer's certification that the construction is consistent with the applicant's approved design, that the bridge or overpass maintains the same structural integrity as before the construction and installation process, and that during the construction and installation process neither the Applicant nor its contractors have discovered evidence of damage to or deterioration of the bridge or overpass that compromises its structural integrity. If such evidence is discovered during construction, then the Applicant shall provide notice of the evidence to the safety contact.

(i) *Information updates.* Except as otherwise provided herein, any amendment to information contained in a permit application shall be submitted in writing to the Town within 30 days after the change necessitating the amendment.

(j) *Application fees.* Unless otherwise provided by law, all permit applications for small wireless facility pursuant to this chapter shall be accompanied by a fee in accordance with T.C.A. § 13-24-407. This fee shall be one hundred dollars (\$100.00) each for the first five (5) small wireless facilities and fifty dollars (\$50.00) each for additional small wireless facilities included in a single application. There shall also be a fee of two hundred dollars (\$200.00) for all first-time applicants. Applications fees shall increase by ten percent (10%) on January 1, 2020, and every five (5) years thereafter, rounded to the nearest dollar.

**Sec. 16-204. - Facilities in the ROW; maximum height; other requirements.**

(a) *Aesthetic Plan.* Unless otherwise determined by Town Staff, in an attempt to blend into the built environment, all small wireless facilities, new or modified utility poles, PSSs for the collocation of small wireless facilities, and associated equipment shall be consistent in size, mass, shape, and color to similar facilities and equipment in the immediate area, and its design for the PSS shall meet the adopted aesthetic plan, subject to following requirements:

(1) Collocation is recommended, when possible. Should the wireless provider not be able to collocate, the wireless provider shall provide justification in the application;

(2) When unable to match the design and color of existing utility poles/PSSs in the immediate area small wireless facilities and/or new PSSs shall be designed using stealth or camouflaging techniques, to make the installation as minimally intrusive as possible including stealth poles that are black or bronze in color, powder-coated and that do not exceed 16 inches in diameter. The Town reserves the right to require a street light on the PSS. New wooden PSSs shall be strictly prohibited;

(3) When an Applicant seeks to deploy a small wireless facility, and associated equipment, within a residential neighborhood, then the Applicant must deploy the facility in the right of way within twenty-five (25) feet of the property boundaries separating residential lots larger than 0.75 acres and within fifteen (15) feet of the property boundaries separating residential lots if lots are 0.75 acres or smaller; and

(4) New small wireless facilities, antennas, and associated equipment shall be consistent in size, mass, and color to similar facilities and equipment in the immediate area of the proposed facilities and equipment, minimizing the physical and visual impact to the community.

(b) *Compliance with Underground Facilities.* Subject to waivers as determined by the Town of Thompson's Station Planning Commission, an Applicant must comply with existing requirements to place all electric, cable, and communications facilities underground in a designated area of a ROW, as determined by the Town's zoning regulations.

(c) *Replacing an existing Town-owned PSS.* Town-owned PSS may be replaced for the collocation of small wireless facilities. When replacing a PSS, any replacement PSS must reasonably conform to the design aesthetics of the PSS being replaced, and must continue to be capable of performing the same function in a comparable manner as it performed prior to replacement.

(1) When replacing a Town-owned PSS, the replacement PSS becomes the property of the Town, subject to T.C.A. § 13-24-408(g), as may be amended.

(2) The Town reserves the right to require a street light on the new PSS.



(d) *Maximum Height.* A new PSS installed or an existing PSS replaced in the ROW shall not exceed the greater of:

- (1) Ten feet (10') in height above the tallest existing PSS in place as of the effective date of this part that is located within five hundred feet (500') of the new PSS in the ROW and, in residential neighborhoods, the tallest existing PSS that is located within five hundred feet (500') of the new PSS and is also located within the same residential neighborhood as the new PSS in the ROW;
- (2) Fifty feet (50') above ground level; or
- (3) For a PSS installed in a residential neighborhood, forty feet (40') above ground level.

(f) *Maximum Height for Small wireless facilities.* Small wireless facilities shall not extend:

- (1) More than ten feet (10') above an existing PSS in place as of the effective date of this part; or
- (2) On a new PSS, ten feet (10') above the height permitted for a new PSS under this section.

(g) *Construction in the rights-of-way.* All construction, installation, maintenance, and operation of wireless facilities in the right-of-way by any wireless provider shall conform to the requirements of the following publications, as from time to time amended: The Rules of Tennessee Department of Transportation Right-of-Way Division, the National Electrical Code, and the National Electrical Safety Code, as might apply.

(h) *Town of Thompson's Station Planning Commission Approval.* Unless otherwise provided in this ordinance, the Town of Thompson's Station Planning Commission approval shall be required for:

- (1) Any wireless provider that seeks to construct or modify a PSS or wireless facility that is determined to not comply with the height, diameter, design, color standards and expectations set forth in subsections (a)—(g) above.
- (2) New PSSs shall not be permitted to be installed in the rights-of-way in areas in which no utility poles, streetlight poles, or PSSs exist at the time of application without prior approval by the Town of Thompson's Station Planning Commission.

(i) Additional criteria regarding the location, type, and/or design of small cell facilities and utility poles shall be subject to change. All changes shall be made available to the public for 30 days prior to their effective date and compiled into a set of guidelines titled, "Town of Thompson's Station Guidelines for Wireless Communications Facilities in the Public Right-of-Way." In no case, shall any guidelines be retroactive. Facilities approved for which right-of-way use permits have been issued prior to the effective date of a new guideline shall not be affected.

**Sec. 16-205. - Effect of permit.**

(a) *Authority granted; no property right or other interest created.* A permit authorizes an applicant to undertake only certain activities in accordance with this chapter and does not create a property right or grant authority to the applicant to impinge upon the rights of others who may already have an interest in the rights-of-way.

(b) *Duration.* No permit issued under this chapter shall be valid for a period longer than 12 months unless construction has commenced within that period and is thereafter diligently pursued to completion. In the event that construction begins but is inactive for more than 90 days, the permit expires.

(c) *Termination of permit.* In all other circumstances, the permit expires in 12 months.

**Sec. 16-206. - Maintenance, removal, relocation or modification of small wireless facility and fiber in the ROW.**

(a) *Notice.* Within 90 days following written notice from the Town, the permittee shall, at its own expense, protect, support, temporarily or permanently disconnect, remove, relocate, change or alter the position of any small wireless facilities and support structures within the rights-of-way whenever the Town has determined that such removal, relocation, change or alteration, is reasonably necessary for the construction, repair, maintenance, or installation of any Town improvement in or upon, or the operations of the Town in or upon, the rights-of-way. The Town agrees to use good faith efforts to accommodate any such disconnection, removal, relocation, change, or alteration and to assist with identifying and securing a mutually agreed upon alternative location.

(b) *Maintenance of existing facilities.* With respect to each wireless facility installed pursuant to a right-of-way use permit, permittee is hereby permitted to enter the right-of-way at any time to conduct repairs, maintenance or replacement not substantially changing the physical dimension of the wireless facility. Permittee shall comply with all rules, standards and restrictions applied by the Town to all work within the right-of-way. If required by the Town, permittee shall submit a “maintenance of traffic” plan for any work resulting in significant blockage of the right-of-way. However, no excavation or work of any kind may be performed without a permit, as provided herein, except in the event of an emergency. In the event of emergency, permittee shall attempt to provide advance written or oral notice to the public works director or other Town designee.

(c) *Removal of existing facilities.* If the permittee removes any wireless facilities, it shall notify the Town of such change within 60 days.

(d) *Damage to facilities or property.* A permittee, including any contractor or subcontractor working for a permittee, shall avoid damage to any wireless facilities and/or public or private property. If any wireless facilities and/or public or private property are damaged by permittee, including any contractor or subcontractor working for permittee, the permittee shall promptly

commence such repair and restore (to a comparable or better condition) such property within ten business days unless such time period is extended by the public works director or his designee. Permittee shall utilize the Tennessee One Call System prior to any disturbance of the rights-of-way and shall adhere to all other requirements of the Tennessee Underground Utility Damage Prevention Act.

(e) *Emergency removal or relocation of facilities.* The Town retains the right and privilege to cut or move any small wireless facility located within the rights-of-way of the Town, as the Town may determine to be necessary, appropriate or useful in response to any serious public health or safety emergency. If circumstances permit, the Town shall notify the wireless provider in writing and provide the wireless provider a reasonable opportunity to move its own wireless facilities prior to cutting or removing a wireless facility and shall notify the wireless provider after cutting or removing a wireless facility. Any removal shall be at the wireless providers sole cost. Should the wireless facility be collocated on property owned by a third-party, the Town shall rely on the third-party to remove the wireless facility and shall be provided adequate notice and time to facilitate such removal.

(f) *Abandonment of facilities.* Upon abandonment of a small wireless facility within the rights-of-way of the Town, the wireless provider shall notify the Town within 90 days. Following receipt of such notice the Town may direct the wireless provider to remove all or any portion of the small wireless facility if the Town reasonably determines that such removal will be in the best interest of the public health, safety and welfare. Should the wireless facility be collocated on property owned by a third-party, the Town shall rely on the third-party to remove the wireless facility and shall be provided adequate notice and time to facilitate such removal. Any removal shall be at the wireless providers sole cost.

(g) No application, fee, rate, and/or approval is required for the installation, placement, maintenance, operation, or replacement of a micro wireless facility that is suspended on cables that are strung between existing PSSs, in compliance with the National Electrical Safety Code as set out in T.C.A. § 68-101-104.

**Sec. 16-207. - Public right-of-way rates—Attachment to Town-owned/leased PSSs and new PSSs installed within the public right-of-way or Town-owned/leased property.**

(a) Annual rate. The rate to place a small wireless facility on a Town-owned or leased PSS in the rights-of- way shall be one hundred dollars (\$100.00) per year for all Town-owned or leased PSSs in the rights-of-way. All equipment attached to a Town-owned pole shall constitute a single attachment and therefore a single use of a Town-owned PSS. Such compensation, for the first year or for any portion thereof, together with the application fee specified in this chapter shall be the sole compensation that the wireless provider shall be required to pay the Town. This rate will be due January 1 of each year of the permit.

(b) A wireless provider authorized to place a new PSS within public right-of-way on Town-owned or leased property shall pay to the Town for use of the right-of-way or property in the amount of one hundred dollars (\$100.00). This rate will be due January 1 of each year of the permit.



**Sec. 16-208. - Remedies; violations.**

In the event a reasonable determination is made that a person has violated any provision of this chapter, or a right-of-way use permit, such person shall be provided written notice of the determination and the specific, detailed reasons therefor. Except in the case of an emergency, the person shall have 30 days to commence to cure the violation. If the nature of the violation is such that it cannot be fully cured within such time period, the Town, in its reasonable judgment, may extend the time period to cure, provided that the person has commenced to cure and is diligently pursuing its efforts to cure. If the violation has not been cured within the time allowed, the Town may take all actions authorized by this chapter and/or Tennessee law and regulations.

**Sec. 16-209. - General provisions.**

(a) *Insurance.* Each permittee shall, at all times during the entire term of the right-of-way use permit, maintain and require each contractor and subcontractor to maintain insurance with a reputable insurance company authorized to do business in the State of Tennessee and which has an A.A. Best rating (or equivalent) no less than “A” indemnifying the Town from and against any and all claims for injury or damage to persons or property, both real and personal, caused by the construction, installation, operation, maintenance or removal of permittee's wireless facilities in the rights-of-way. The amounts of such coverage shall be not less than the following:

(1) *Worker's compensation and employer's liability insurance.* Tennessee statutory requirements.

(2) *Comprehensive general liability.* Commercial general liability occurrence form, including premises/operations, independent contractor's contractual liability, product/completed operations; X, C, U coverage; and personal injury coverage for limits as specified in Appendix A - Comprehensive Fees and Penalties but in no case less than \$1,000,000.00 per occurrence, combined single limit and \$2,000,000.00 in the aggregate.

(3) *Commercial automobile liability.* Commercial automobile liability coverage for all owned, non-owned and hired vehicles involved in operations under this article XII for limits as specified in Appendix A - Comprehensive Fees and Penalties, but in no case less than \$1,000,000.00 per occurrence combined single limit each accident.

(4) *Commercial excess or umbrella liability.* Commercial excess or umbrella liability coverage may be used in combination with primary coverage to achieve the required limits of liability.

The Town shall be designated as an additional insured under each of the insurance policies required by this section except worker's compensation and employer's liability insurance. Permittee shall not cancel any required insurance policy without obtaining alternative insurance in conformance with this section. Permittee shall provide the Town with at least 30 days' advance written notice of any material changes or cancellation of any required insurance policy, except for non-payment of premium of the policy coverages.

Permittee shall impose similar insurance requirements as identified in this section on its contractors and subcontractors.

(b) *Indemnification.* Each permittee, its consultant, contractor, and subcontractor, shall, at its sole cost and expense, indemnify, defend and hold harmless the Town, its elected and appointed officials, employees and agents, at all times against any and all claims for personal injury, including death, and property damage arising in whole or in part from, caused by or connected with any act or omission of the permittee, its officers, agents, employees or contractors arising out of, but not limited to, the construction, installation, operation, maintenance or removal of permittee's wireless system or wireless facilities in the rights-of-way. Each permittee shall defend any actions or proceedings against the Town in which it is claimed that personal injury, including death, or property damage was caused by the permittee's construction, installation, operation, maintenance or removal of permittee's wireless system or wireless facilities in the rights-of-way. The obligation to indemnify, hold harmless and defend shall include, but not be limited to, the obligation to pay judgments, injuries, liabilities, damages, reasonable attorneys' fees, reasonable expert fees, court costs and all other reasonable costs of indemnification.

(c) *As-built maps.* As the Town controls and maintains the right-of-way for the benefit of its citizens, it is the responsibility of the Town to ensure that such public right-of-way meet the highest possible public safety standards. Upon request by the Town and within 30 days of such a request, a permittee shall submit to the Engineering Department (or shall have otherwise maintained on file with the department) as-built maps and engineering specifications depicting and certifying the location of all its existing small wireless facilities within the right-of-way, provided in standard electronic or paper format in a manner established by the Town, or his or her designee. Such maps are, and shall remain, confidential documents and are exempt from public disclosure under the Tennessee Public Records Act (Tennessee Code Annotated § 10-7-101 *et seq.*) to the maximum extent of the law. After submittal of the as-built maps as required under this section, each permittee having small wireless facilities in the Town rights-of-way shall update such maps as required under this chapter upon written request by the Town.

(d) *Right to inspect.* With just and reasonable cause, the Town shall have the right to inspect all of the small wireless facilities, including aerial facilities and underground facilities, to ensure general health and safety with respect to such facilities and to determine compliance with the terms of this chapter and other applicable laws and regulations. Any permittee shall be required to cooperate with all such inspections and to provide reasonable and relevant information requested by the Town as part of the inspection.

(e) *Proprietary information.* If a person considers information it is obligated to provide to the Town under this chapter to be a business or trade secret or otherwise proprietary or confidential in nature and desires to protect the information from disclosure, then the person shall mark such information as proprietary and confidential. Subject to the requirements of the Tennessee Public Records Act (Tennessee Code Annotated § 10-7-101 *et seq.*) as amended, and other applicable law, the Town shall exercise reasonable good faith efforts to protect such proprietary and confidential information that is so marked from disclosure to the maximum extent of the law. The Town shall provide written notice to the person in the following circumstances: i) if the

Town receives a request for disclosure of such proprietary and confidential information and the Town Attorney determines that the information is or may be subject to disclosure under applicable law; or ii) if the Town Attorney determines that the information should be disclosed in relation to its enforcement of this chapter or the exercise of its police or regulatory powers. In the event the person does not obtain a protective order barring disclosure of the information from a court of competent jurisdiction within 30 days following receipt of the Town's notice, then the Town may disclose the information without further written notice to the person.

(f) *Duty to provide information.* Within ten days of a written request from the Town, a permittee shall furnish the Town with information sufficient to demonstrate the following: that the permittee has complied with all requirements of this chapter; that all fees due to the Town in connection with the services provided and wireless facilities installed by the permittee have been properly paid by the permittee; and any other information reasonably required relating to the permittee's obligations pursuant to this chapter.

(g) *No substitute for other required permissions.* No right-of-way use permit includes, means, or is in whole or part a substitute for any other permit or authorization required by the laws and regulations of the Town for the privilege of transacting and carrying on a business within the Town or any permit or agreement for occupying any other property of the Town.

(h) *No waiver.* The failure of the Town to insist on timely performance or compliance by any permittee holding a right-of-way use permit shall not constitute a waiver of the Town's right to later insist on timely performance or compliance by that permittee or any other permittee holding such right-of-way use permit. The failure of the Town to enforce any provision of this chapter on any occasion shall not operate as a waiver or estoppel of its right to enforce any provision of this chapter on any other occasion, nor shall the failure to enforce any prior ordinance or Town Charter provision affecting the right-of-way, any wireless facilities, or any user or occupant of the right-of-way act as a waiver or estoppel against enforcement of this chapter or any other provision of applicable law.

(i) *Policies and procedures.* The Town is authorized to establish such written policies and procedures consistent with this chapter as the Town reasonably deems necessary for the implementation of this chapter.

(j) *Police powers.* The Town, by granting any permit or taking any other action pursuant to this chapter, does not waive, reduce, lessen or impair the lawful police powers vested in the Town under applicable federal, state and local laws and regulations.

(k) *Severability.* If any section, subsection, sentence, clause, phrase or word of this chapter is for any reason held illegal or invalid by any court of competent jurisdiction, such provision shall be deemed a separate, distinct and independent provision, and such holding shall not render the remainder of this chapter invalid.

**SECTION 2. All Prior Conflicting Ordinances Repealed; Interpretation.** That upon the effective date of this ordinance, all prior ordinances and resolutions in conflict herewith be



repealed. In case of conflict between this ordinance or any part hereof, and the whole or part of any existing ordinance of the Town, the provision that establishes the higher standard shall be controlling.

**SECTION 3. Severability.** If any section, sentence, clause or phrase of this ordinance should be held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not affect the validity or constitutionality of any other section, sentence, clause, or phrase of this ordinance.

**SECTION 4. Effective date; applicability.** This ordinance shall take effect upon publication in a newspaper of general circulation within the Town after final reading, the public welfare requiring it.

Duly approved and adopted by the Board of Mayor and Aldermen of the Town of Thompson’s Station, Tennessee.

\_\_\_\_\_  
Corey Napier, Mayor

ATTEST:

\_\_\_\_\_  
Town Recorder

Passed First Reading: \_\_\_\_\_

Passed Second Reading: \_\_\_\_\_

Submitted to Public Hearing on the \_\_\_\_ day of \_\_\_\_\_ 2019, at 7:00 p.m., after being advertised in the *Williamson AM* Newspaper on the \_\_\_\_ day of \_\_\_\_\_, 2019.

APPROVED AS TO FORM AND LEGALITY:

\_\_\_\_\_  
Town Attorney

**TENNESSEE PERMIT APPLICATION FOR PUBLIC RIGHT-OF-WAY, SMALL WIRELESS FACILITY, MICRO- WIRELESS FACILITY, POSSIBLE SUPPORT STRUCTURE (“PSS”) AND/OR WIRELESS SUPPORT STRUCTURE INSTALLATION**

**TOWN OF THOMPSON’S STATION, TENNESSEE**

(This Permit form conforms to, and incorporates the provisions of the “Competitive Wireless Broadband Investment, Deployment, and Safety Act of 2018” (the “2018 Wireless Act”, Tenn. Code Ann. §§ 13-24-401 – 412).)

DATE APPLICATION SUBMITTED BY APPLICANT: \_\_\_\_\_

DATE RECEIVED: \_\_\_\_\_ RECEIVED BY: \_\_\_\_\_

NUMBER OF FACILITIES INCLUDED ON THIS APPLICATION (UP TO 20): \_\_\_\_\_

New Submission  
Resubmission

**APPLICANT INFORMATION**

APPLICANT NAME:	WIRELESS SERVICE PROVIDER (if different from applicant):	
COMPANY CONTACT OR REP:	PHONE:	
MAILING ADDRESS:		
CITY:	STATE:	<b>TN</b>
ZIP:	EMAIL:	
APPLICANT EMERGENCY CONTACT [Tenn. Code Ann. §13-24-409(g)(4)] name, company):	(emergency email and phone number)	
APPLICANT SAFETY CONTACT FOR ATTACHMENTS TO BRIDGES OR OVERPASSES [Tenn. Code Ann. §13-24-409(j)] (name, company, address, phone number, email):		
APPLICANT TRACKING NUMBER:		
Is applicant an FCC-licensed provider of wireless services? <input type="checkbox"/> Yes <input type="checkbox"/> No If not, please describe:		

**PROJECT INFORMATION**

NUMBER OF WIRELESS FACILITY SITES:	<b>Number of new PSS to be installed:</b>		
	<b>Number of colocations on existing third-party PSS/on replacement of existing third-party PSS:</b>		
	<b>Number of colocations on existing Town-owned PSS:</b>		
	<b>TOTAL</b>		





**>>>FOR TOWN STAFF USE ONLY<<<**

**RATE AND FEE SUMMARY:**

1. One-time Application Fee: \$100.00 x \_\_\_\_\_ (up to five (5) small wireless facilities) + \$50.00 x \_\_\_\_\_ (additional up to 20) = \$ \_\_\_\_\_ Sur  
\$100 x \_\_\_\_\_ = \$ \_\_\_\_\_

TOTAL APPLICATION FEE: \_\_\_\_\_ = \$ \_\_\_\_\_

APPLICATION PAYMENT RECEIVED (date): \_\_\_\_\_

2. Annual Rate for colocation on Authority-owned PSS (covers access to public right-of-way and colocation)

Total Number of small wireless facilities applied for: \_\_\_\_\_ x \$ \_\_\_\_\_ (\$100.00 max. per facility/year) = \$ \_\_\_\_\_

DATE REVIEWED:     /     / \_\_\_\_\_

REVIEWER: \_\_\_\_\_

ZONING TECHNICIAN: \_\_\_\_\_

DATE APPLICATION COMPLETE:     /     / \_\_\_\_\_

RECEIPT NUMBER: \_\_\_\_\_

**ACTION: This Permit Application shall be processed within the timelines set forth in Tenn. Code Ann. § 13-24-409(b).**

APPLICATION COMPLETE      APPLICATION INCOMPLETE (If incomplete for any requested site, Town must notify Applicant within thirty (30) days of receipt of Application and specifically identify missing information per site in the space below.)

NOTES: [Note when complete if initially incomplete.]

APPROVE PERMIT      DENY PERMIT (If denied for any requested site, Town must identify each denied site and provide written explanation of the denial in the space below.)

NOTES:

TOWN PLANNER (or designee)

Date

Name/Signature/Date



## General Fund

\*\*Unaudited\*\*

	Jul	Aug	Sep	YTD Actual	Budgeted	% Act/Bud
Property Tax	\$ 717	\$ 2,135	\$ 36	\$ 2,888	\$ 283,500	1.0%
Sales Tax	\$ 128,716	\$ 124,132	\$ 119,652	\$ 372,500	\$ 1,642,000	22.7%
Gas Tax	\$ 15,418	\$ 14,835	\$ 16,457	\$ 46,710	\$ 178,000	26.2%
Bldg Permits/Impact Fees	\$ 65,173	\$ 114,446	\$ 77,291	\$ 256,910	\$ 1,076,000	23.9%
Alcohol	\$ 10,237	\$ 23,445	\$ 12,265	\$ 45,947	\$ 123,600	37.2%
Grants	\$ -	\$ -	\$ -	\$ -	\$ 572,000	0.0%
All Other	\$ 4,314	\$ 5,400	\$ 5,031	\$ 14,745	\$ 129,400	11.4%
<b>Total Revenues</b>	<b>\$ 224,575</b>	<b>\$ 284,393</b>	<b>\$ 230,732</b>	<b>\$ 739,700</b>	<b>\$ 4,004,500</b>	<b>18.5%</b>

Payroll expenditures	\$ 67,382	\$ 54,471	\$ 71,193	\$ 193,046	\$ 918,433	21.0%
Streets & Roads	\$ 4,246	\$ 3,631	\$ 10,003	\$ 17,880	\$ 210,000	8.5%
Professional Fees	\$ 38,120	\$ 11,378	\$ 38,061	\$ 87,559	\$ 210,500	41.6%
Operating Expenditures	\$ 28,316	\$ 57,190	\$ 7,770	\$ 93,276	\$ 397,750	23.5%
County Services	\$ 8,333	\$ 9,652	\$ 8,992	\$ 26,977	\$ 133,000	20.3%
Debt Service	\$ -	\$ -	\$ 144,105	\$ 144,105	\$ 301,267	47.8%
Capital Projects	\$ -	\$ 4,200	\$ 1,966	\$ 6,166	\$ 3,912,000	0.2%
<b>Total Expenditures</b>	<b>\$ 146,397</b>	<b>\$ 140,522</b>	<b>\$ 282,090</b>	<b>\$ 569,009</b>	<b>\$ 6,082,950</b>	<b>9.4%</b>

<b>Net change in Position</b>	<b>\$ 78,178</b>	<b>\$ 143,871</b>	<b>\$ (51,358)</b>	<b>\$ 170,691</b>	<b>\$ (2,078,450)</b>
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### General Fund Cash Position

Checking	\$ 1,094,839	\$ 1,013,378	\$ 897,015
Savings	\$ 5,588,085	\$ 5,791,923	\$ 5,795,160
Less: Reserve	\$ (1,030,000)	\$ (1,030,000)	\$ (1,030,000)
<b>Total Cash</b>	<b>\$ 5,652,924</b>	<b>\$ 5,775,301</b>	<b>\$ 5,662,175</b>

Less:

Note Balance (First Farmers)	\$ (576,500)	\$ (576,500)	\$ (461,200)
Note Balance (First Tennessee)	\$ (1,420,000)	\$ (1,420,000)	\$ (1,420,000)
Due to Wastewater Fund	\$ (318,365)	\$ (395,029)	\$ (418,963)
Accounts Payable	\$ (132,912)	\$ (35,591)	\$ (22,479)
<b>Total Available Funds</b>	<b>\$ 3,205,147</b>	<b>\$ 3,348,181</b>	<b>\$ 3,339,533</b>



## Wastewater Fund

\*\*Unaudited\*\*

	Jul	Aug	Sep	YTD Actual	Budgeted	% Act/Bud
Wastewater Fees	\$ 105,788	\$ 107,549	\$ 103,596	\$ 316,933	\$ 1,201,619	26.4%
Tap Fees	\$ 32,500	\$ 62,500	\$ 35,000	\$ 130,000	\$ 500,000	26.0%
Other	\$ 1,986	\$ 2,087	\$ 1,984	\$ 6,057	\$ 40,350	15.0%
<b>Total Revenues</b>	<b>\$ 140,274</b>	<b>\$ 172,136</b>	<b>\$ 140,580</b>	<b>\$ 452,990</b>	<b>\$ 1,741,969</b>	<b>26.0%</b>
Payroll Expenses	\$ 11,269	\$ 12,464	\$ 11,866	\$ 35,599	\$ 256,078	13.9%
Operating Expense	\$ 26,386	\$ 14,955	\$ 21,162	\$ 62,503	\$ 355,350	17.6%
Depreciation	\$ 37,500	\$ 37,500	\$ 37,500	\$ 112,500	\$ 450,000	25.0%
Interest Expense	\$ 889	\$ 898	\$ 879	\$ 2,666	\$ 9,500	28.1%
<b>Total Expenses</b>	<b>\$ 76,044</b>	<b>\$ 65,817</b>	<b>\$ 71,407</b>	<b>\$ 213,268</b>	<b>\$ 1,070,928</b>	<b>19.9%</b>
<b>Income from Operations</b>	<b>\$ 64,230</b>	<b>\$ 106,319</b>	<b>\$ 69,173</b>	<b>\$ 239,722</b>	<b>\$ 671,041</b>	

### Wastewater Funds

#### Cash Position

Checking	\$ 187,430	\$ 125,930	\$ 198,052
Savings	\$ 4,122,614	\$ 4,224,702	\$ 4,225,390
Less: Reserve	\$ (500,000)	\$ (500,000)	\$ (500,000)
<b>Total Cash</b>	<b>\$ 3,810,044</b>	<b>\$ 3,850,632</b>	<b>\$ 3,923,442</b>
Add:			
Accounts Receivable	\$ 160,488	\$ 180,092	\$ 160,112
Due from Gen Fund	\$ 318,365	\$ 395,029	\$ 418,963
Less:			
Note Balance (Franklin Synergy)	\$ (425,926)	\$ (416,667)	\$ (407,408)
Accounts Payable	\$ (25,167)	\$ -	\$ (1,708)
Deposits	\$ (2,775)	\$ (3,900)	\$ (5,400)
<b>Total Available Funds</b>	<b>\$ 3,835,029</b>	<b>\$ 4,005,186</b>	<b>\$ 4,088,001</b>





## Capital Projects FY2020

Fund	Project Name	Budgeted	Awarded	Contracted Amount	Actual Paid Out
GF	Town Hall Building	\$ 1,200,000			
GF	Office Furniture/Upgrade	\$ 50,000			\$ 1,966
GF	Software upgrade	\$ 100,000			
GF	Road Improvements	\$ 1,400,000			\$ 4,200
GF	Maintenance Equipment	\$ 197,000			
GF	Park Improvements	\$ 965,000			
<b>Total General Funds</b>		<b>\$ 3,912,000</b>		<b>\$ -</b>	<b>\$ 6,166</b>
WW	Repairs of Cell #1	\$ 500,000			
WW	Hill Property Drip Fields	\$ 3,100,000	W & O Constr. Barge Design	\$ 2,926,500 \$ 175,000	
WW	Equipment Replacements (items over \$5,000)	\$ 100,000			
<b>Total Wastewater Funds</b>		<b>\$ 3,700,000</b>		<b>\$ 3,101,500</b>	<b>\$ -</b>