

**Town of Thompson's Station
Municipal Planning Commission
Meeting Agenda
November 15, 2016**

Meeting Called To Order

Pledge Of Allegiance

Minutes-

Consideration Of The Minutes Of The October 25, 2016 Meeting.

Documents:

[10252016 MINUTES.PDF](#)

Public Comments-

Town Planner Report

New Business:

1. Final Plat For The Creation Of 38 Lots Within Section 10B Of The Fields Of Canterbury (FP: 2016-007).

Documents:

[ITEM 1 FOC 10B STAFF REPORT REVISED.PDF](#)
[ITEM 1 ENGINEER MEMO.PDF](#)
[ITEM 1 FOC 10B FINAL PLAT.PDF](#)

2. Site Plan For The Construction Of A 10,541 Square Foot Auditorium Located At Heritage Middle School 4803 Columbia Pike (SP: 2016-004).

Documents:

[ITEM 2 STAFF REPORT HMS ADDITION.PDF](#)
[ITEM 2 HMS SITE PLAN PACKET 2.PDF](#)
[ITEM 2 HMS SITE PLAN PACKET.PDF](#)

3. Approval Of The Construction Of Tollgate Intersection Improvements And The Establishment Of A Surety For These Traffic Improvements.

Documents:

[ITEM 3 STAFF MEMO TV TRAFFIC IMPROVEMENTS.PDF](#)
[ITEM 3 TDOT LETTER.PDF](#)
[ITEM 3 TOLLGATE INTERSECTION IMPROVEMENTS.PDF](#)

Adjourn

*This meeting will be held at 7:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Rd West*

Minutes of the Meeting
of the Municipal Planning Commission
of the Town of Thompson 's Station, Tennessee
October 25, 2016

Call to Order:

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 7:00 p.m. on the 25rd day of October, 2016 at the Thompson's Station Community Center with the required quorum. Members and staff in attendance were: Chairman Jack Elder; Vice Chairman Mike Roberts; Commissioner Ben Dilks; Commissioner Sarah Benson; Commissioner Don Blair; Commissioner Darren Burress; Commissioner Debra Bender; Town Planner Wendy Deats; Town Attorney Todd Moore and Town Clerk, Jennifer Jones. Town Administrator, Joe Cosentini was unable to attend.

Pledge of Allegiance.

Minutes:

The minutes of the September 27, 2016 meeting were previously submitted.

Commissioner Benson moved for approval of the September 27, 2016 meeting minutes. The motion was seconded and carried unanimously.

Public Comment:

None

Town Planner Report:

Mrs. Deats updated the Commission on the following:

- The Greenway Trail – Construction is near to completion.
- SIA Project – Staff has a preconstruction meeting with TDOT on Thursday, October 27, 2016
- Tollgate Village Traffic Signal – The traffic signal standards have changed and the applicant has submitted the changes to TDOT. There is currently not a time frame for completion.

Unfinished Business:

1. **Preliminary plat for the creation of 111 lots within Phase 16 in Tollgate Village (File: PP 2016-006).**

Mrs. Deats reviewed her report, and based on the Plat Suspension, recommended that the Planning Commission deny the preliminary plat for phase 16 within Tollgate Village.

Mr. Brett Smith and Mr. Bob Nichols with Ragan Smith and Associates came forward to speak on behalf of the applicant.

After a brief discussion, Commissioner Bender made a motion to accept the Staff recommendation of denial based on the lack of completed public roads and other infrastructure necessary to serve this Phase of Tollgate Village, and the absence of adequate surety to complete such roads and infrastructure which has resulted in the suspension of plats within Tollgate Village, and based upon (1) the lack of traffic signal installation or surety (2) lack of an updated traffic study addressing secondary access and traffic

mitigation and (3) lack of evaluation of the main pump station to determine necessary upgrades. The motion was seconded and carried unanimously.

2. Preliminary plat for the creation of 76 lots within Phase 17 in Tollgate Village (File: PP 2016-007).

Mrs. Deats reviewed her report and based on the Plat Suspension, recommended that the Planning Commission deny the preliminary plat for phase 17 within Tollgate Village.

After a brief discussion, Commissioner Blair made a motion to accept the Staff recommendation of denial based on the lack of completed public roads and other infrastructure necessary to serve this Phase of Tollgate Village, and the absence of adequate surety to complete such roads and infrastructure which has resulted in the suspension of plats within Tollgate Village, and based upon (1) the lack of traffic signal installation or surety (2) lack of an updated traffic study addressing secondary access and traffic mitigation and (3) lack of evaluation of the main pump station to determine necessary upgrades. The motion was seconded and carried unanimously.

New Business:

3. Final Plat for the creation of 47 lots within Bridgemore Village (FP 2016-006).

Mrs. Deats reviewed her report and recommended approval of the final plat for Section 5A of Bridgemore Village with the following contingencies:

1. Prior to the recordation of the final plat, plat shall be revised to accurately represent the drainage and the corrections shall be completed to the drainage infrastructure.
2. Prior to the recordation of the final plat, a surety will be required in the amount of \$245,000 for roads, drainage and erosion control.
3. Prior to the recordation of the final plat, a surety shall be required in the amount of \$196,000 for sewer.
4. As built shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

Mr. O'Leary with WES Engineers came forward to speak on behalf of the applicant.

Mr. Steve Clifton of Land Development Consulting came forward to speak on behalf of the Town.

After a brief discussion, Commissioner Burress made a motion to approve the final plat for Section 5A of Bridgemore Village with the Staff recommended contingencies plus the addition of contingency number 5. All front yard setbacks shall be 30 feet as approved on the preliminary plat for Bridgemore Village Phases 5-11 on May 26, 2015 by the Planning Commission. The motion was seconded and carried unanimously.

There being no further business, Commissioner Benson made a motion to adjourn. The motion was seconded and the meeting was adjourned at 7:56 p.m.

Jack Elder, Chairman

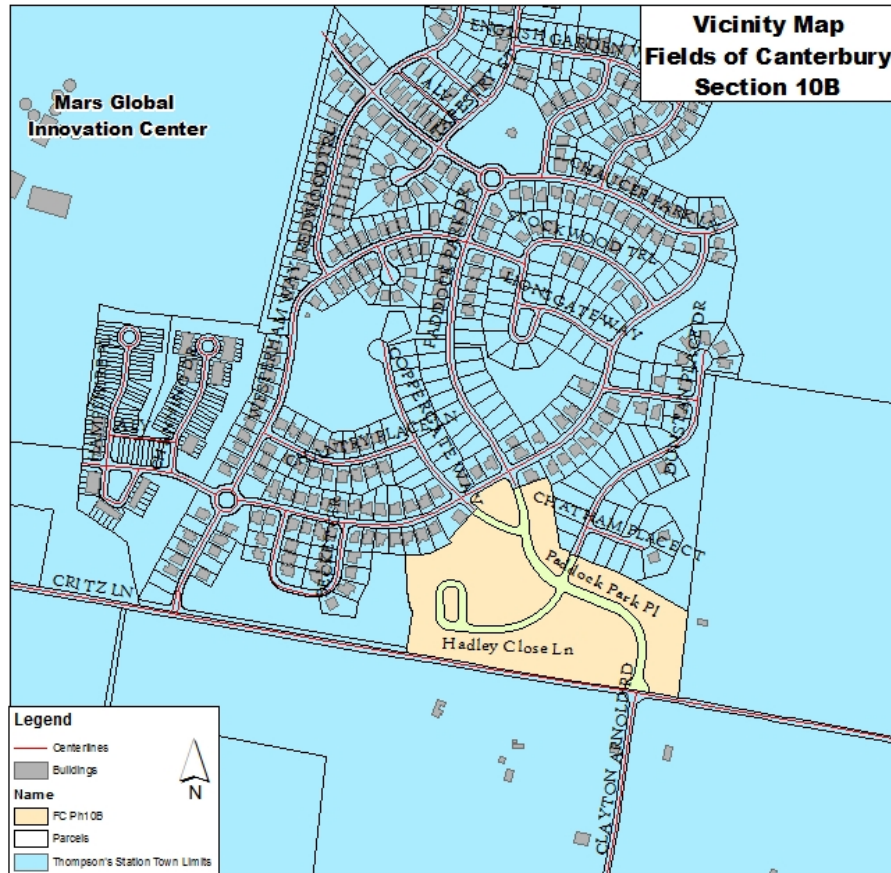
Attest: _____
Don Blair, Secretary

**Thompson's Station Planning Commission
Staff Report – Item 1 (File: FP 2016-008)
November 15, 2016**

Final Plat, Section 10B for the creation of 38 lots located within The Fields of Canterbury

PROJECT DESCRIPTION

A request to approve a final plat for Section 10B of The Fields of Canterbury to create 34 single-family lots and four open space lots.



BACKGROUND

The Fields of Canterbury received approval for the Phase 10 preliminary plat would allow the construction of 59 single family residences on 32.56 acres. Section 10A consists of 25 single-family residential lots which front Dunstan Place and Chatham Place Court. This plat consisting of 34 single family lots will complete the development of the phase.

ANALYSIS

Final Plat

The final plat for Section 10B includes 34 single-family residential lots and four open space lots. The single family lots will vary in size from .19 acres to .33 acres with lot widths greater than 50 feet. Front yard setbacks are 25 feet, side yard setbacks are five feet with 12.5 feet adjacent to rights-of-way, and 30-foot rear yard setbacks. All lots have roadway frontage along the Hadley Close Lane and Paddock Park Place providing access to all the proposed lots.

Open Space

The final plat consists of four open space lots totaling 7.51 acres. There are approximately 59 acres of recorded open space within the overall master plan. With the acreage from this plat, 78% of the open space will be recorded. Section 5.4.7 requires that “final plats within subdivisions with common open space must include a proportionate amount of the open space with each section.” Recordation of this plat would result in 76% of the development with the remaining open space within the final phase of the development.

Sureties

Sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans. The Fields of Canterbury Phase 10 construction plans are approved and improvements are underway within this phase. Roadway is complete to the binder course and curbs and drainage infrastructure is in place along with erosion control functioning as intended. Sewer is in place; however, flow is not applied to the system. As a result of the progress on site, the roads, drainage and erosion control performance bond shall be set at \$163,000 and the sanitary sewer bond shall be set at \$127,000.

RECOMMENDATION

With the incorporation of the recommended contingencies, the project will be consistent with the Land Development Ordinance therefore; Staff recommends that the Planning Commission approve the final plat with the following contingencies:

1. Prior to the recordation of the final plat, a surety will be required in the amount of \$163,000 for roads, drainage and erosion control.
2. Prior to the recordation of the final plat, a surety shall be required in the amount of \$127,000 for sewer.
3. As built shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

ATTACHMENT

Final Plat Map

Engineer Memo

11/7/2016

FOC 10B

34 Lots & 0.55 mi Road (2,904 ft)

Bond

Roadway is complete to binder course; curbs and drainage have been installed. EC has been installed and is functioning as intended.

Bond for Roads, grading, drainage, and erosion control: \$163,000

Sanitary sewer is in place and services are installed the system has not undergone routine testing which shall take place after the binder course is installed. Flow has not been applied to the system.

Bonds for sanitary sewer main and services: \$127,000

GENERAL NOTES

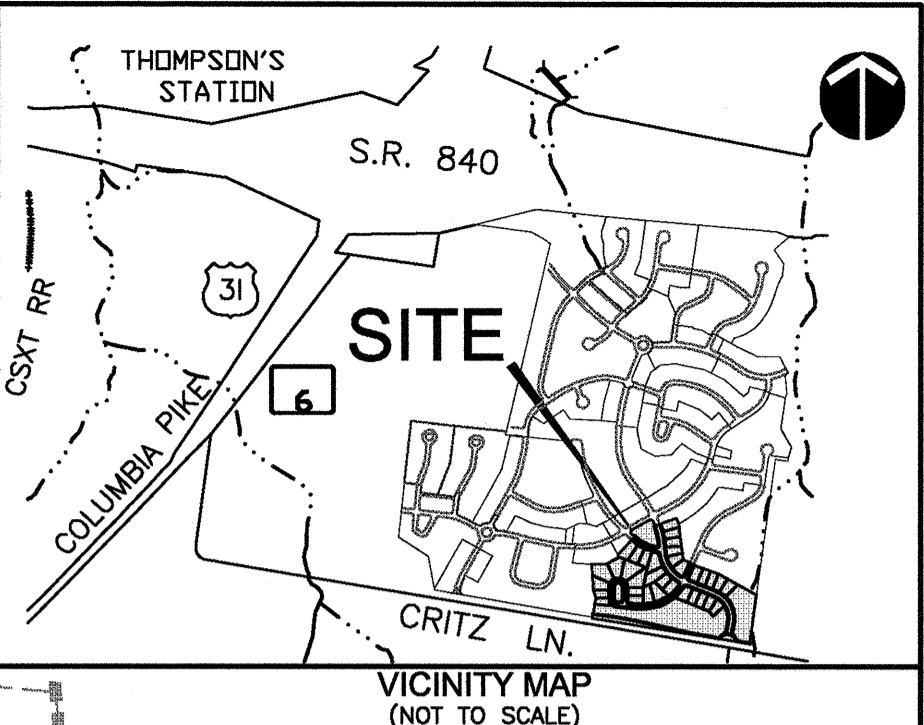
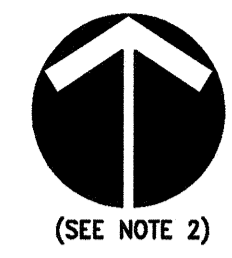
- THE PURPOSE OF THIS PLAT IS TO CREATE 34 SINGLE-FAMILY LOTS, 4 OPEN SPACE TRACTS, AND DEDICATE RIGHT-OF-WAY.
- BEARINGS SHOWN HEREON ARE BASED ON SURVEYS BY CRAWFORD LAND SURVEYORS, P.C. DATED AUGUST 10, 2004 AND MARCH 25, 2005.
- THE PROPERTY IS ZONED HIGH INTENSITY MINIMUM BUILDING SETBACKS: FRONT - 25' SIDE - 5' SIDE ADJACENT TO R.O.W. - 12.5' REAR - 30'
- WITHIN ALL NEW DEVELOPMENTS AND FOR OFF-SITE LINES CONSTRUCTED AS A RESULT OF, OR TO PROVIDE SERVICE TO, THE NEW DEVELOPMENT, ALL UTILITIES, SUCH AS CABLE TELEVISION, ELECTRICAL (EXCLUDING TRANSFORMERS AND THE MTEMC FEEDER LINE RUNNING NORTH/SOUTH ALONG THE DISTANCE OF THE TVA TRANSMISSION LINE EASEMENT), GAS, SEWER, TELEPHONE, AND WATERLINES SHALL BE PLACED UNDERGROUND. SEE VARIANCE GRANTED BY THE TOWN OF THOMPSON'S STATION M.P.C. APRIL 16, 2007 FOR THE FIELDS OF CANTERBURY REGARDING M.T.E.M.C. OVERHEAD POWERLINES.
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THE PROPERTY LIES WITHIN FLOOD ZONE "X", AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS NO. 47187C0335F AND 47187C0345F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT; COMMUNITY NO. 470424, PANEL NOS. 0335 AND 0345, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" UNDER "OTHER AREAS" AS "AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN."
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
- DOMESTIC WATER SUPPLY INFORMATION TAKEN FROM PLANS FOR HB&TS BY JAMES C. HAILEY AND CO., DATED AUGUST 4, 2014.
- ALL PUBLIC STREETS AND DRAINAGE STRUCTURES WITHIN THE RIGHTS-OF-WAY WILL BE MAINTAINED BY THE TOWN OF THOMPSON'S STATION.
- OPEN SPACE AREAS SHALL BE MAINTAINED BY THE HOMEOWNER'S ASSOCIATION.
- LOTS SHOWN THUS (*) ARE DESIGNATED AS CRITICAL LOTS AND HAVE NATURAL SLOPES IN EXCESS OF 15%. PER SECTION 3-102.104 OF THE SUBDIVISION REGULATIONS, PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, A SITE GRADING PLAN FOR DEVELOPMENT OF THE LOT SHALL BE SUBMITTED ADDRESSING SITE SPECIFIC NATURAL RESOURCE ISSUES TO THE TOWN OF THOMPSON'S STATION FOR REVIEW AND APPROVAL. NO BUILDING PERMIT WILL BE ISSUED ON SAID LOTS UNTIL AND UNLESS THE TOWN ENGINEER HAS RECEIVED AND APPROVED THE SITE PLAN.
- THE TOWN OF THOMPSON'S STATION IS NOT RESPONSIBLE FOR THE REPLACEMENT OR REPAIR OF ANY PRIVATE STRUCTURE WITHIN PUBLIC EASEMENTS SHOULD THE STRUCTURES BE DISTURBED IN THE PROCESS OF THE TOWN EXERCISING ITS EASEMENT RIGHTS.
- THE SURVEYOR WAS UNABLE TO FIND RECORDED EASEMENTS FOR THE UNDERGROUND GAS AND TELEPHONE LINES SHOWN HEREON.
- NO FENCE OR DRAINAGE OBSTRUCTION SHALL BE PERMITTED IN THE PUBLIC UTILITY AND DRAINAGE EASEMENT FOR SIDE YARD OF LOT 1052 AND REAR YARD OF LOTS 1053 AND 1054.

LOT	SQ. FT.±	ACRES±
1001	10,995	0.25
1002	10,412	0.24
1003	10,139	0.23
1004	10,467	0.24
1005	10,830	0.25
1006	13,008	0.30
1032	11,992	0.28
1033	10,091	0.23
1034	10,280	0.24
1035	10,931	0.25
1036	12,016	0.28
1037	9,707	0.22
1038	10,111	0.23
1039	9,485	0.22
1040	9,485	0.22
1041	12,294	0.28
1042	8,235	0.19

LOT	SQ. FT.±	ACRES±
1043	8,900	0.20
1044	13,007	0.30
1045	21,364	0.49
1046	17,279	0.40
1047	20,957	0.48
1048	18,396	0.42
1049	9,766	0.22
1050	10,635	0.24
1051	12,188	0.28
1052	15,232	0.35
1053	12,108	0.28
1054	10,691	0.25
1055	16,947	0.39
1056	16,294	0.37
1057	11,641	0.27
1058	12,177	0.28
1059	14,164	0.33

OPEN SPACE	SQ. FT.±	ACRES±
1093	83,142	1.91
1094	12,153	0.28
1095	35,062	0.80
1099	196,565	4.51

AREA SUMMARY TABLE		
TOTAL LOT AREA	-	9.89 AC.±
TOTAL R.O.W. AREA	-	2.77 AC.±
CRITZ LN. R.O.W. DEDICATION AREA	-	0.79 AC.±
OPEN SPACE AREA	-	7.51 AC.±
TOTAL SITE AREA	-	20.76 AC.±



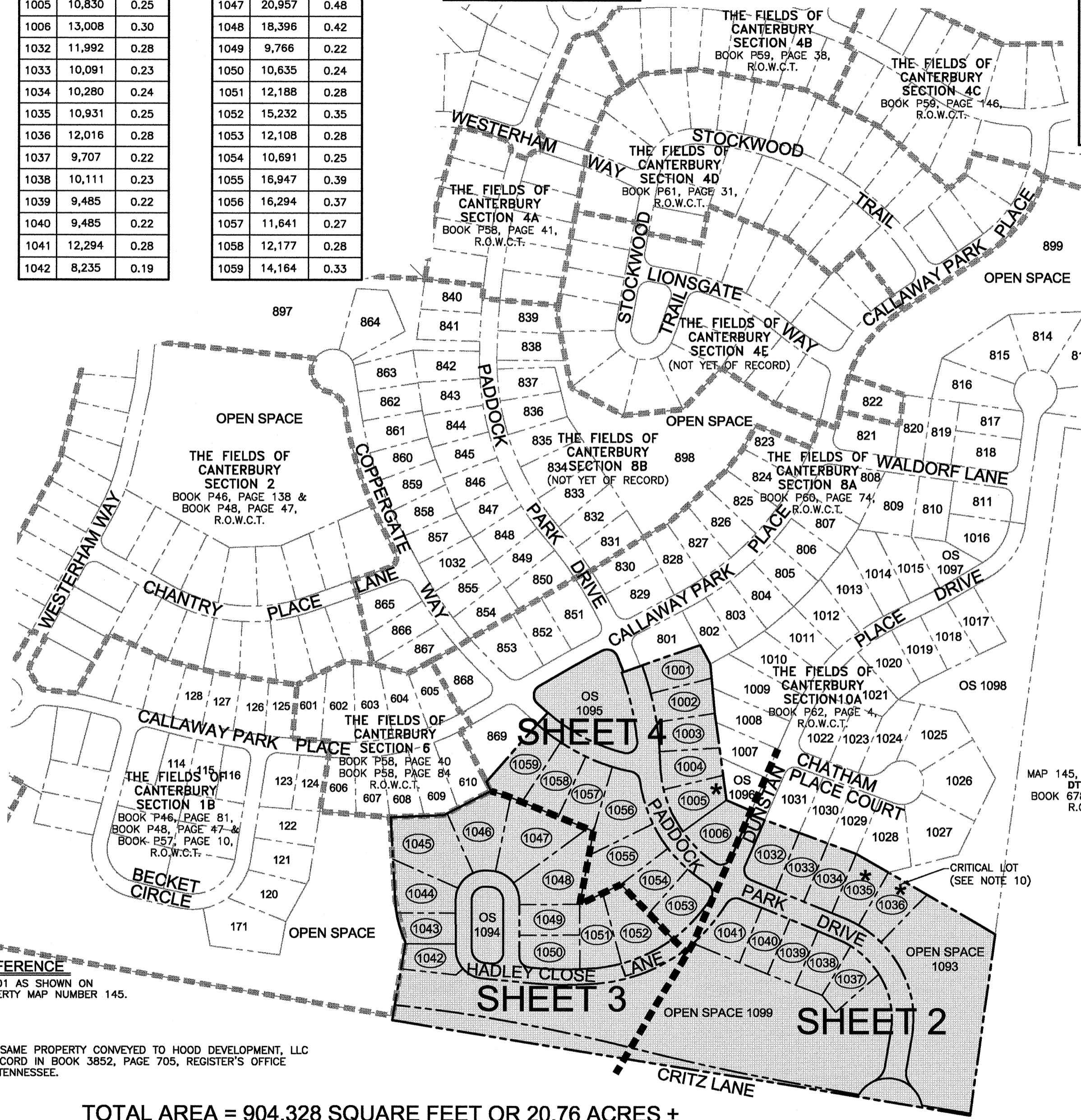
OWNER / DEVELOPER
HOOD DEVELOPMENT, LLC
 C/O PRESTON INGRAM
 121 FIRST AVENUE SOUTH, SUITE 210
 FRANKLIN, TENNESSEE 37064
 (615) 794-6401

SURVEYOR
RAGAN-SMITH ASSOCIATES, INC.
 C/O TOM DARNALL, RLS
 315 WOODLAND STREET
 NASHVILLE, TENNESSEE 37206
 (615) 244-8591

RECORDER'S INFORMATION

LEGEND
 OS OPEN SPACE
 R.O.W.C.T. REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE
 * CRITICAL LOT (SEE NOTE 10.)

REVISED: NOVEMBER 7, 2016
THE FIELDS OF CANTERBURY SECTION 10B
 LOTS 1001 - 1006, 1032-1059 AND OPEN SPACE 1093 - 1095 AND 1099
 THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE
 DRAWN BY: AMR JOB NO. 05-043
 DATE: OCTOBER 19, 2016 W.O. 7878
SHEET 1 OF 4



CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION
 I DO HEREBY CERTIFY THAT THE REQUIREMENTS SET FORTH IN RULES, REGULATIONS, BY-LAWS, POLICY AND OPERATIONAL BULLETINS, PLAT APPROVAL CHECKLIST AND TREE PLANTING GUIDELINES HAVE BEEN MET FOR MTEMC. ANY APPROVAL IS AT ALL TIMES CONTINGENT UPON CONTINUING COMPLIANCE WITH THE AFOREMENTIONED REQUIREMENTS.

DATE: 20__
 MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES
 I DO HEREBY CERTIFY THAT THE SUBDIVISION NAME AND STREET NAMES DENOTED ON THIS FINAL PLAT HAVE BEEN APPROVED BY THE WILLIAMSON COUNTY DEPARTMENT OF EMERGENCY COMMUNICATIONS.

DATE: 20__
 WILLIAMSON COUNTY OFFICE OF PUBLIC SAFETY

CERTIFICATE FOR ADDRESSES
 I DO HEREBY CERTIFY THAT THE ADDRESSES DENOTED ON THIS FINAL PLAT ARE THOSE ASSIGNED BY DEPARTMENT OF INFORMATION TECHNOLOGY (IT).

DATE: 20__
 IT DEPT. E-911 ADDRESSING COORDINATOR

CERTIFICATE OF OWNERSHIP & DEDICATION
 I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS EVIDENCED IN BOOK 3852, PAGE 705, R.O.W.C.T. AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE, AND THAT OFFERS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: 20__
 OWNER
 TITLE:

PROPERTY MAP REFERENCE
 BEING PARCEL NUMBER 3.01 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP NUMBER 145.

DEED REFERENCE
 BEING A PORTION OF THE SAME PROPERTY CONVEYED TO HOOD DEVELOPMENT, LLC BY WARRANTY DEED OF RECORD IN BOOK 3852, PAGE 705, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.

TOTAL AREA = 904,328 SQUARE FEET OR 20.76 ACRES ±

CERTIFICATE OF ACCURACY
 I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE TOWN OF THOMPSON'S STATION, TENNESSEE, REGIONAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON, TO THE SPECIFICATIONS OF THE SUBDIVISION REGULATIONS, AS APPROVED BY THE TOWN ENGINEER. THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10000 AS SHOWN HEREON.
 RAGAN - SMITH - ASSOCIATES, INC. AGRICULTURE
 11-7-16
 REGISTERED LAND SURVEYOR

CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS
 I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE PLAN SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 3-108 OF THE THOMPSON'S STATION SUBDIVISION REGULATIONS HAVE BEEN MET.
 WATER SYSTEM DATE: 20__ HB&TS UTILITY DISTRICT
 SEWER SYSTEM DATE: 20__ TOWN ADMINISTRATOR

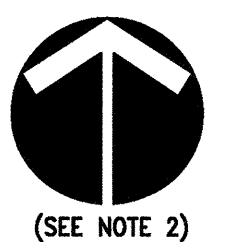
CERTIFICATION OF THE APPROVAL OF STREETS
 I HEREBY CERTIFY: (1) THAT ALL STREETS DESIGNATED ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO REGULATIONS FOR THOMPSON'S STATION, TENNESSEE, ROADWAY AND DRAINAGE REGULATIONS, OR (2) THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.
 DATE: 20__
 TOWN ENGINEER

CERTIFICATE OF APPROVAL FOR RECORDING
 I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THOMPSON'S STATION SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH VARIANCES, IF ANY, AS ARE NOTED IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.
 DATE: 20__
 SECRETARY OF PLANNING COMMISSION

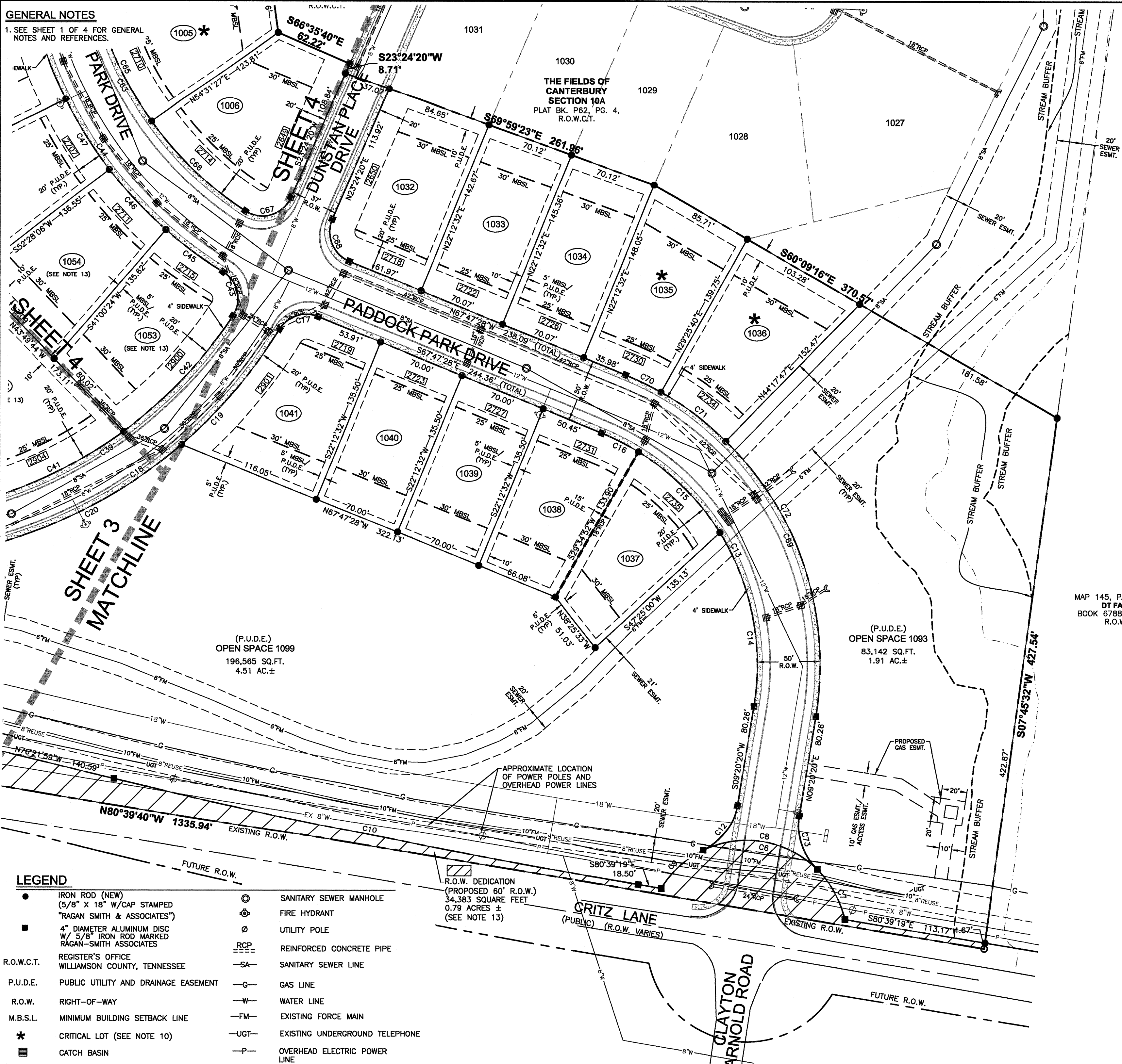
FINAL PLAT
 TOWN OF THOMPSON'S STATION PLANNING COMMISSION
 NET AREA: 20.76 AC.± TOTAL LOTS: 34
 ACRES NEW ROAD: 3.58± CIVIL DISTRICT: 11TH
 MILES NEW ROAD: 0.55± CLOSURE ERROR: 1:15000
 OWNER: HOOD DEVELOPMENT, LLC
 SURVEYOR: RAGAN - SMITH - ASSOCIATES, INC.
 SCALE: 1" = 200'

GENERAL NOTES

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES AND REFERENCES.



CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C6	80.00'	189.82'	135°57'05"	197.77	148.32'	N80°39'19"W
C7	80.00'	45.72'	32°44'49"	23.51	45.10'	S29°03'12"E
C8	80.00'	98.38'	70°27'45"	56.50	92.30'	N80°39'29"W
C9	80.00'	45.71'	32°44'08"	23.50	45.09'	N47°44'12"E
C12	50.00'	47.79'	54°45'56"	25.90	45.99'	N36°43'18"E
C13	200.00'	269.23'	77°07'47"	159.46	249.36'	N29°13'34"W
C14	200.00'	143.45'	41°05'45"	74.97	140.40'	N11°12'33"W
C15	200.00'	92.82'	26°35'29"	47.26	91.99'	N45°03'10"W
C16	200.00'	32.96'	9°26'33"	16.52	32.92'	N63°04'11"W
C17	25.00'	35.21'	80°41'50"	21.24	32.37'	S71°51'37"W
C19	393.50'	120.99'	17°36'59"	60.98	120.51'	S40°19'12"W
C68	25.00'	39.79'	91°11'48"	25.53	35.72'	S22°11'34"E
C69	250.00'	336.54'	77°07'47"	199.32	311.70'	N29°13'34"W
C70	250.00'	31.50'	7°13'08"	15.77	31.48'	S64°10'54"E
C71	250.00'	64.88'	14°52'07"	32.62	64.70'	S53°08'16"E
C72	250.00'	240.17'	55°02'32"	130.26	231.04'	S18°10'57"E
C73	50.00'	47.79'	54°45'56"	25.90	45.99'	S18°02'38"E



MAP 145, PARCEL 6.01
DT FARMS
BOOK 6788, PAGE 974
R.O.W.C.T.



REVISED: NOVEMBER 7, 2016
THE FIELDS OF CANTERBURY SECTION 10B
LOTS 1001 - 1006, 1032-1039 AND OPEN SPACE 1093 - 1095 AND 1099

THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE
DRAWN BY: AMR JOB NO. 05-043
DATE: OCTOBER 19, 2016 W.O. 7878
SHEET 2 OF 4

LEGEND

● IRON ROD (NEW) (5/8" X 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")	○ SANITARY SEWER MANHOLE
■ 4" DIAMETER ALUMINUM DISC W/ 5/8" IRON ROD MARKED RAGAN-SMITH ASSOCIATES	⊕ FIRE HYDRANT
○ REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE	○ UTILITY POLE
○ P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT	—RCP— REINFORCED CONCRETE PIPE
○ R.O.W. RIGHT-OF-WAY	—SA— SANITARY SEWER LINE
○ M.B.S.L. MINIMUM BUILDING SETBACK LINE	—G— GAS LINE
* CRITICAL LOT (SEE NOTE 10)	—W— WATER LINE
■ CATCH BASIN	—FM— EXISTING FORCE MAIN
	—UGT— EXISTING UNDERGROUND TELEPHONE
	—P— OVERHEAD ELECTRIC POWER LINE

R.O.W. DEDICATION (PROPOSED 60' R.O.W.)
34,383 SQUARE FEET
0.79 ACRES ±
(SEE NOTE 13)

FINAL PLAT

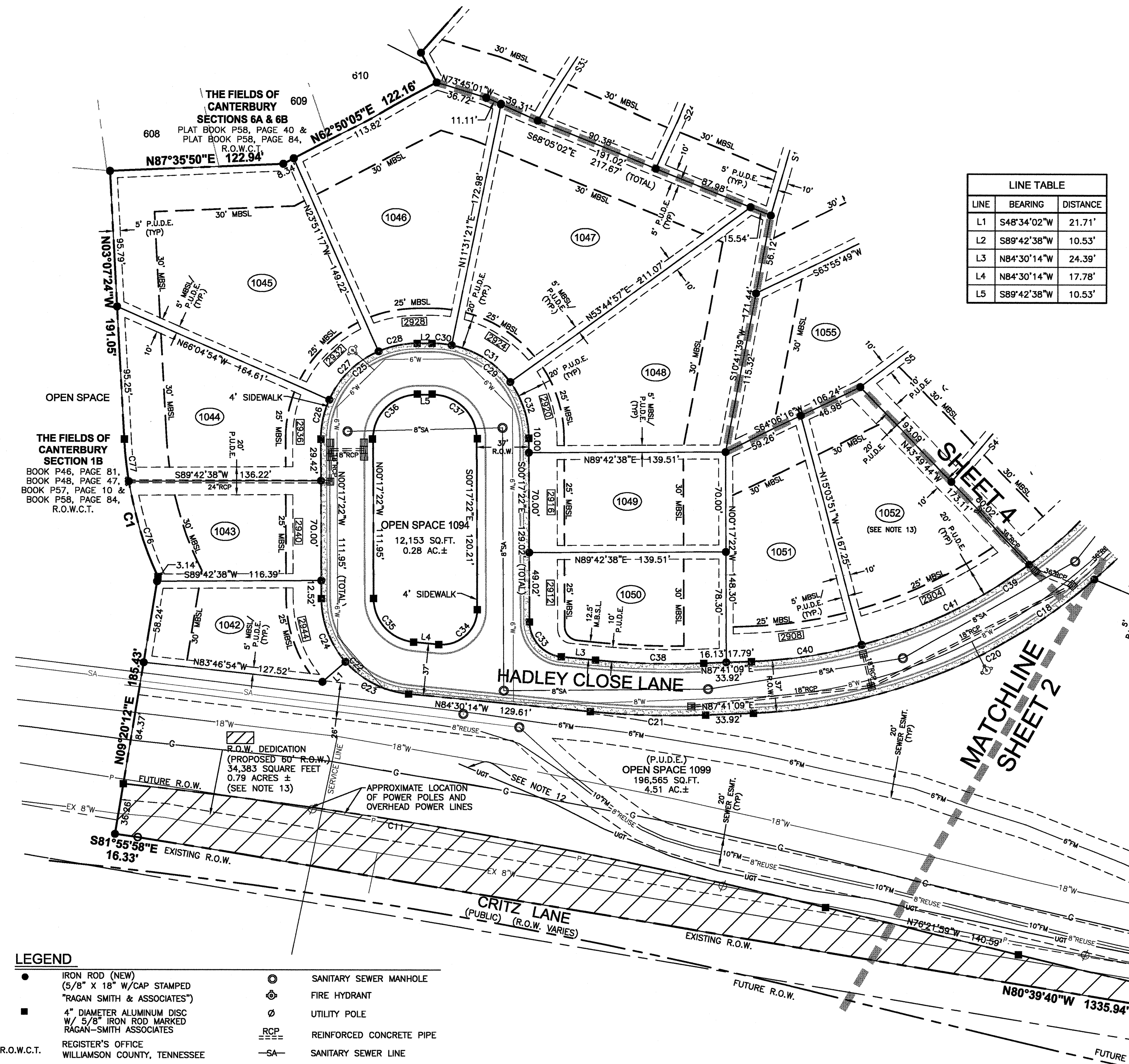
TOWN OF THOMPSON'S STATION PLANNING COMMISSION

NET AREA: 20.76 AC.±	TOTAL LOTS: 34
ACRES NEW ROAD: 3.56±	CIVIL DISTRICT: 11TH
MILES NEW ROAD: 0.55±	CLOSURE ERROR: 1:15,000

OWNER: HOOD DEVELOPMENT, LLC
SURVEYOR: RAGAN - SMITH - ASSOCIATES, INC.
SCALE: 1" = 50'

GENERAL NOTES

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES AND REFERENCES.



LINE TABLE

LINE	BEARING	DISTANCE
L1	S48°34'02"W	21.71'
L2	S89°42'38"W	10.53'
L3	N84°30'14"W	24.39'
L4	N84°30'14"W	17.78'
L5	S89°42'38"W	10.53'

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C1	265.00'	100.20'	21°39'48"	50.70	99.60'	S13°57'18"E
C11	3849.72'	506.08'	7°31'56"	253.41	505.72'	N80°07'57"W
C18	393.50'	385.80'	56°10'27"	210.00	370.53'	N59°35'55"E
C20	393.50'	264.81'	38°33'28"	137.64	259.84'	S68°24'25"W
C21	600.00'	81.79'	7°48'37"	40.96	81.73'	S88°24'33"E
C22	68.50'	100.68'	84°12'52"	61.91	91.86'	S42°23'48"E
C23	68.50'	51.49'	43°04'16"	27.03	50.29'	N62°58'06"W
C24	68.50'	49.19'	41°08'35"	25.71	48.14'	N20°51'40"W
C25	68.50'	107.60'	90°00'00"	68.50	96.87'	S44°42'38"W
C26	68.50'	28.94'	24°12'29"	14.69	28.73'	N11°48'52"E
C27	68.50'	50.48'	42°13'37"	26.45	49.35'	N45°01'55"E
C28	68.50'	28.17'	23°33'55"	14.29	27.98'	N77°55'40"E
C29	68.50'	107.60'	90°00'00"	68.50	96.87'	N45°17'22"W
C30	68.50'	14.12'	11°48'43"	7.09	14.10'	S84°23'01"E
C31	68.50'	50.48'	42°13'37"	26.45	49.35'	S57°21'51"E
C32	68.50'	42.99'	35°57'40"	22.23	42.29'	S18°16'12"E
C33	25.00'	36.75'	84°12'52"	22.59	33.53'	S42°23'48"E
C34	25.00'	41.79'	95°47'08"	27.66	37.09'	N47°36'12"E
C35	31.50'	46.30'	84°12'52"	28.47	42.24'	S42°23'48"E
C36	31.50'	49.48'	90°00'00"	31.50	44.55'	S44°42'38"W
C37	31.50'	49.48'	90°00'00"	31.50	44.55'	N45°17'22"W
C38	563.00'	76.75'	7°48'37"	38.43	76.69'	S88°24'33"E
C39	356.50'	338.96'	54°28'34"	183.52	326.33'	N60°26'52"E
C40	356.50'	79.33'	12°45'00"	39.83	79.17'	N81°18'39"E
C41	356.50'	132.47'	21°17'24"	67.01	131.71'	N64°17'27"E
C42	356.50'	127.16'	20°26'10"	64.26	126.48'	N43°25'40"E
C76	265.00'	70.14'	15°09'52"	35.27	69.93'	S17°12'16"E
C77	265.00'	30.06'	6°29'56"	15.05	30.04'	S06°22'23"E

LEGEND

● IRON ROD (NEW) (5/8" X 18" W/CAP STAMPED "RAGAN SMITH & ASSOCIATES")	⊙ SANITARY SEWER MANHOLE
■ 4" DIAMETER ALUMINUM DISC W/ 5/8" IRON ROD MARKED RAGAN-SMITH ASSOCIATES	⊙ FIRE HYDRANT
REGISTER'S OFFICE WILLIAMSON COUNTY, TENNESSEE	⊙ UTILITY POLE
P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT	==== REINFORCED CONCRETE PIPE
R.O.W. RIGHT-OF-WAY	-SA- SANITARY SEWER LINE
M.B.S.L. MINIMUM BUILDING SETBACK LINE	-G- GAS LINE
* CRITICAL LOT (SEE NOTE 10)	-W- WATER LINE
■ CATCH BASIN	-FM- EXISTING FORCE MAIN
	-UGT- EXISTING UNDERGROUND TELEPHONE
	-P- OVERHEAD ELECTRIC POWER LINE



REVISED: NOVEMBER 7, 2016
THE FIELDS OF CANTERBURY SECTION 10B
 LOTS 1001 - 1006, 1032-1059 AND OPEN SPACE 1093 - 1095 AND 1099
 THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE
 DRAWN BY: AMR JOB NO. 05-043
 DATE: OCTOBER 19, 2016 W.O. 7878
SHEET 3 OF 4

FINAL PLAT

TOWN OF THOMPSON'S STATION PLANNING COMMISSION

NET AREA: 20.76 AC.±	TOTAL LOTS: 34
ACRES NEW ROAD: 3.56±	CIVIL DISTRICT: 11TH
MILES NEW ROAD: 0.55±	CLOSURE ERROR: 1:15,000
OWNER: HOOD DEVELOPMENT, LLC	
SURVEYOR: RAGAN - SMITH - ASSOCIATES, INC.	
SCALE: 1" = 50'	0 25' 50' 100'

GENERAL NOTES

1. SEE SHEET 1 OF 4 FOR GENERAL NOTES AND REFERENCES

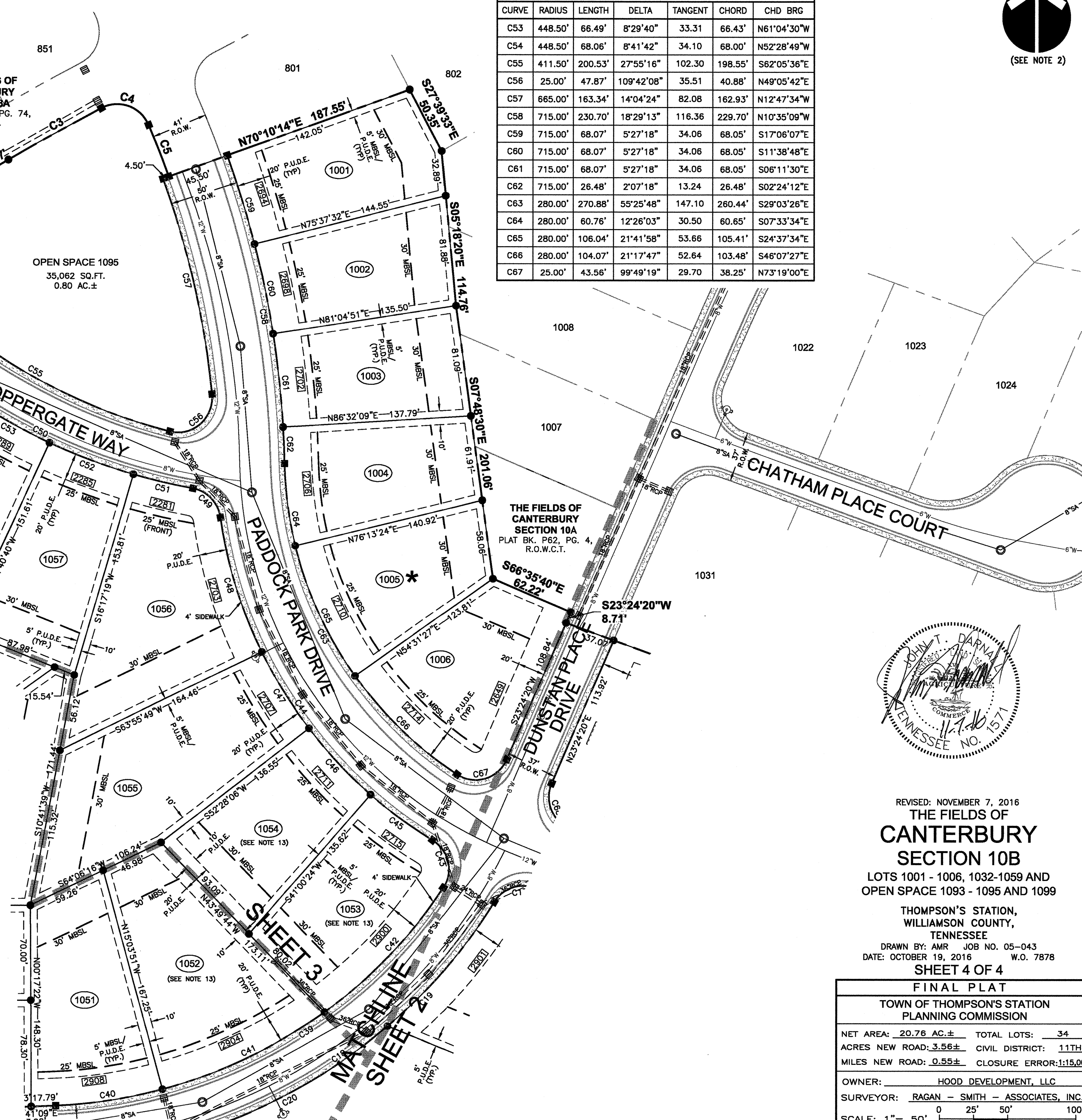


CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C53	448.50'	66.49'	8°29'40"	33.31	66.43'	N61°04'30"W
C54	448.50'	68.06'	8°41'42"	34.10	68.00'	N52°28'49"W
C55	411.50'	200.53'	27°55'16"	102.30	198.55'	S62°05'36"E
C56	25.00'	47.87'	109°42'08"	35.51	40.88'	N49°05'42"E
C57	665.00'	163.34'	14°04'24"	82.08	162.93'	N12°47'34"W
C58	715.00'	230.70'	18°29'13"	116.36	229.70'	N10°35'09"W
C59	715.00'	68.07'	5°27'18"	34.06	68.05'	S17°06'07"E
C60	715.00'	68.07'	5°27'18"	34.06	68.05'	S11°38'48"E
C61	715.00'	68.07'	5°27'18"	34.06	68.05'	S08°11'30"E
C62	715.00'	26.48'	2°07'18"	13.24	26.48'	S02°24'12"E
C63	280.00'	270.88'	55°25'48"	147.10	260.44'	S29°03'26"E
C64	280.00'	60.76'	12°26'03"	30.50	60.65'	S07°33'34"E
C65	280.00'	106.04'	21°41'58"	53.66	105.41'	S24°37'34"E
C66	280.00'	104.07'	21°17'47"	52.64	103.48'	S46°07'27"E
C67	25.00'	43.56'	99°49'19"	29.70	38.25'	N73°19'00"E

CURVE TABLE						
CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHD BRG
C2	25.00'	47.13'	108°01'23"	34.42	40.46'	S05°52'43"W
C3	1982.00'	77.70'	2°14'46"	38.85	77.69'	S61°00'48"W
C4	25.00'	41.27'	94°34'40"	27.08	36.74'	N70°34'30"W
C5	669.50'	40.39'	3°27'24"	20.20	40.38'	N21°33'28"W
C42	356.50'	127.16'	20°26'10"	64.26	126.48'	N43°25'40"E
C43	25.00'	40.13'	91°58'39"	25.88	35.96'	N12°46'45"W
C44	330.00'	292.31'	50°45'07"	156.53	282.85'	S33°23'31"E
C45	330.00'	56.30'	9°46'28"	28.22	56.23'	N53°52'50"W
C46	330.00'	66.02'	11°27'43"	33.12	65.91'	N43°15'45"W
C47	330.00'	66.02'	11°27'43"	33.12	65.91'	N31°48'02"W
C48	330.00'	103.98'	18°03'13"	52.43	103.55'	N17°02'34"W
C49	25.00'	31.17'	71°25'48"	17.97	29.19'	N43°43'52"W
C50	448.50'	245.11'	31°18'48"	125.70	242.07'	S63°47'22"E
C51	448.50'	44.89'	5°44'05"	22.46	44.87'	N76°34'43"W
C52	448.50'	65.67'	8°23'21"	32.89	65.61'	N69°31'01"W

LEGEND

- IRON ROD (NEW)
(5/8" X 18" W/CAP STAMPED
"RAGAN SMITH & ASSOCIATES")
- 4" DIAMETER ALUMINUM DISC
W/ 5/8" IRON ROD MARKED
RAGAN-SMITH ASSOCIATES
- R.O.W.C.T. REGISTER'S OFFICE
WILLIAMSON COUNTY, TENNESSEE
- P.U.D.E. PUBLIC UTILITY AND DRAINAGE EASEMENT
- R.O.W. RIGHT-OF-WAY
- M.B.S.L. MINIMUM BUILDING SETBACK LINE
- * CRITICAL LOT (SEE NOTE 10)
- CATCH BASIN
- SANITARY SEWER MANHOLE
- ⊕ FIRE HYDRANT
- UTILITY POLE
- RCP— REINFORCED CONCRETE PIPE
- SA— SANITARY SEWER LINE
- W— WATER LINE



REVISED: NOVEMBER 7, 2016
THE FIELDS OF CANTERBURY SECTION 10B
 LOTS 1001 - 1006, 1032-1059 AND OPEN SPACE 1093 - 1095 AND 1099
 THOMPSON'S STATION, WILLIAMSON COUNTY, TENNESSEE
 DRAWN BY: AMR JOB NO. 05-043
 DATE: OCTOBER 19, 2016 W.O. 7878
SHEET 4 OF 4

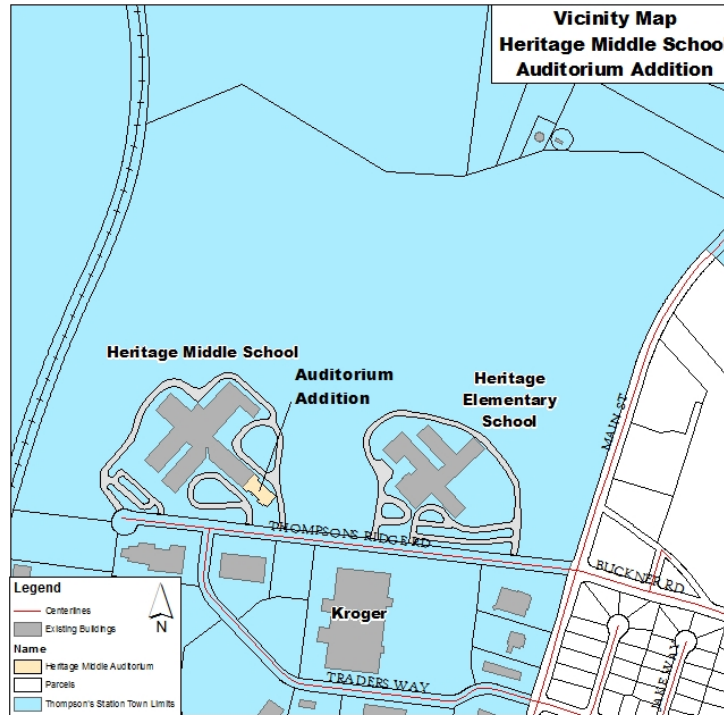
FINAL PLAT	
TOWN OF THOMPSON'S STATION PLANNING COMMISSION	
NET AREA: 20.76 AC.±	TOTAL LOTS: 34
ACRES NEW ROAD: 3.56±	CIVIL DISTRICT: 11TH
MILES NEW ROAD: 0.55±	CLOSURE ERROR: 1:15,000
OWNER: HOOD DEVELOPMENT, LLC	
SURVEYOR: RAGAN - SMITH - ASSOCIATES, INC.	
SCALE: 1" = 50'	

Thompson's Station Planning Commission
Staff Report – Item 2 (File: SP 2016-004 & DR 2016-003)
November 15, 2016

Site Plan for the construction of an auditorium for Heritage Middle School on a 111.98-acre site located at 4803 Columbia Pike.

PROJECT DESCRIPTION

The applicant, Williamson County Schools has submitted a site plan for the development of a 10,541 square foot auditorium at Heritage Middle School located on a 111.98-acre site along the west side of Columbia Pike.



BACKGROUND

The project site is a portion of currently developed with two schools and ball fields and is located within the CC (Community Commercial) zoning district. The site is bounded by residences to the north, east, south and west (across Clayton Arnold Road).

ANALYSIS

Site Plan

Site plan is a plan presenting the general details of the development proposal and review by the Planning Commission is required for all multi-family and non-residential developments to ensure “compliance with the development and design standards” (Section 5.4.4) of the Land Development Ordinance.

Zoning/Land Use

The CC zone permits the development of schools within this district. The project site is 111.98 acres (4,877,848 square feet) and is developed with a 108,909 square foot middle school (HMS) and an 81,000 square foot elementary school (HES). With the proposed addition of a 10,541 square foot auditorium to the middle school, the overall square footage of both schools on the project site is 200,450 square feet for a lot coverage of less than 1%. Building height is

measured in stories above ground and the code permits three stories. The proposed addition is one story with a maximum height of 29 feet, four inches.

The addition to the existing school complies with the required setbacks and is oriented toward Traders Way. No additional parking is required and pedestrian access will be provided to the front and rear of the building. Therefore, the project complies with the Land Development Ordinance.

Architecture

The auditorium addition will be constructed to match the existing school and will be reviewed by the Design Review Commission on December 7, 2016.

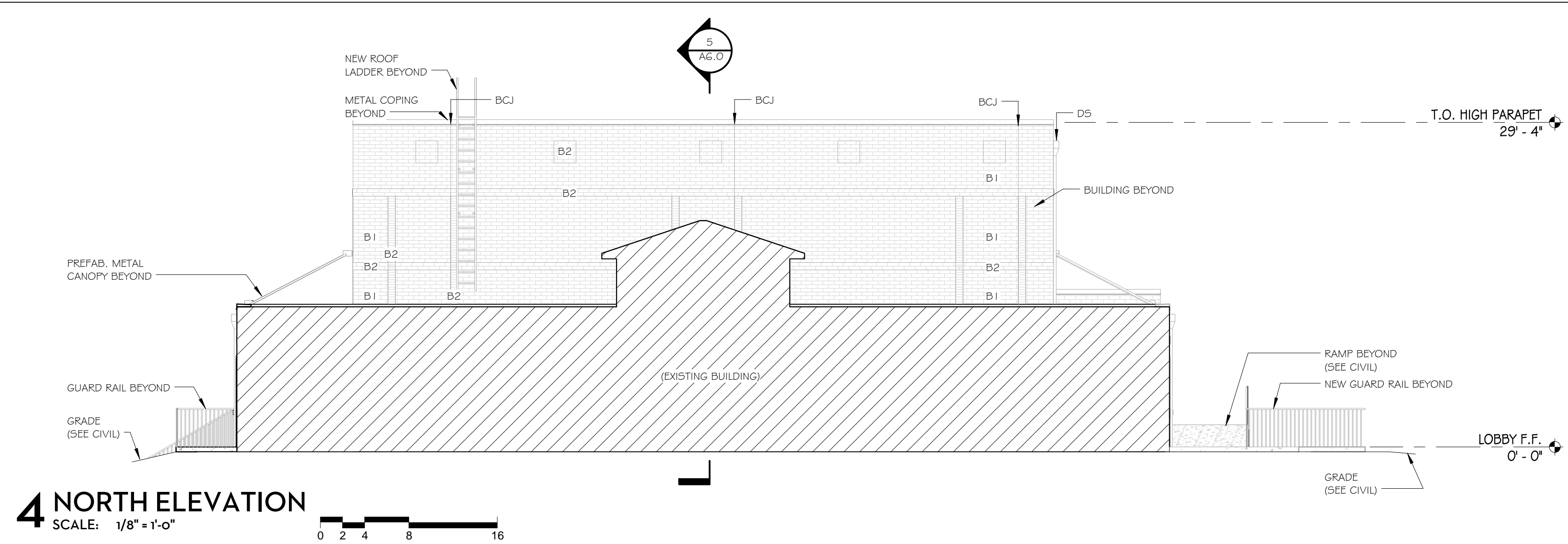
RECOMMENDATION

Based on the project's substantial compliance with the Land Development Ordinance, Staff recommends that the project be approved with the following contingencies:

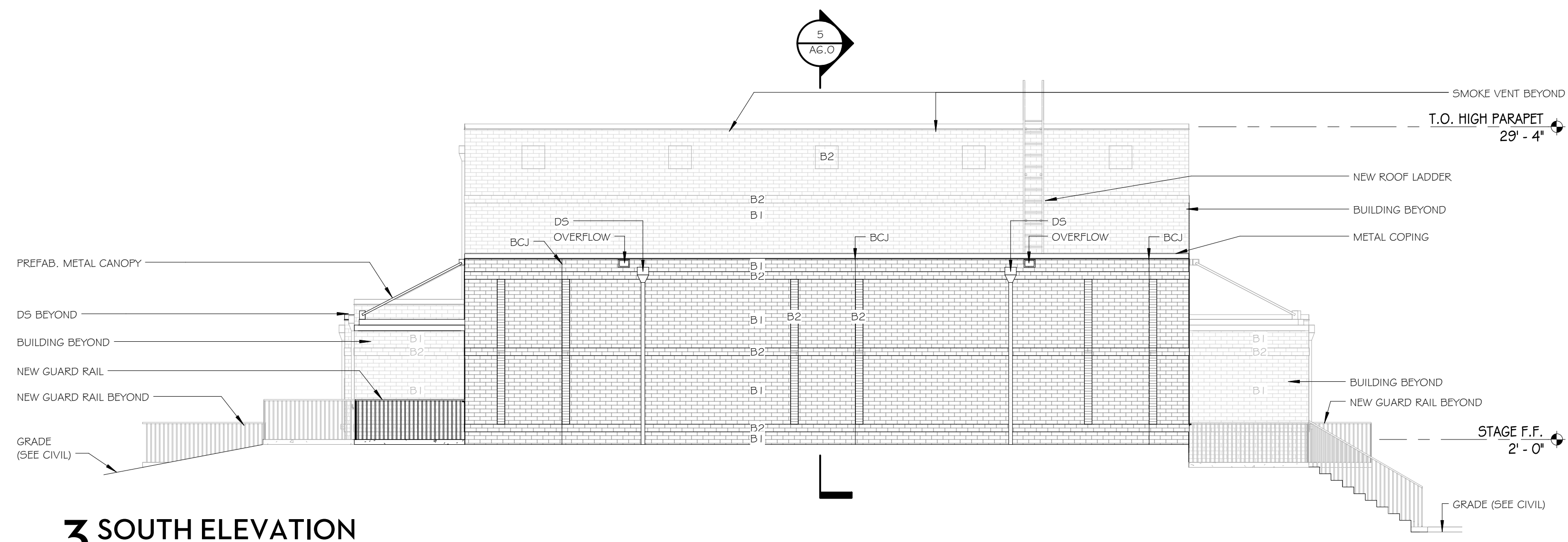
1. Prior to the issuance of grading permits, construction plans shall be submitted and approved. Any upgrades to the utility infrastructure necessary for the project shall be completed by the applicant.
2. Prior to the issuance of a building permit, design review approval shall be obtained.
3. Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.

ATTACHMENTS

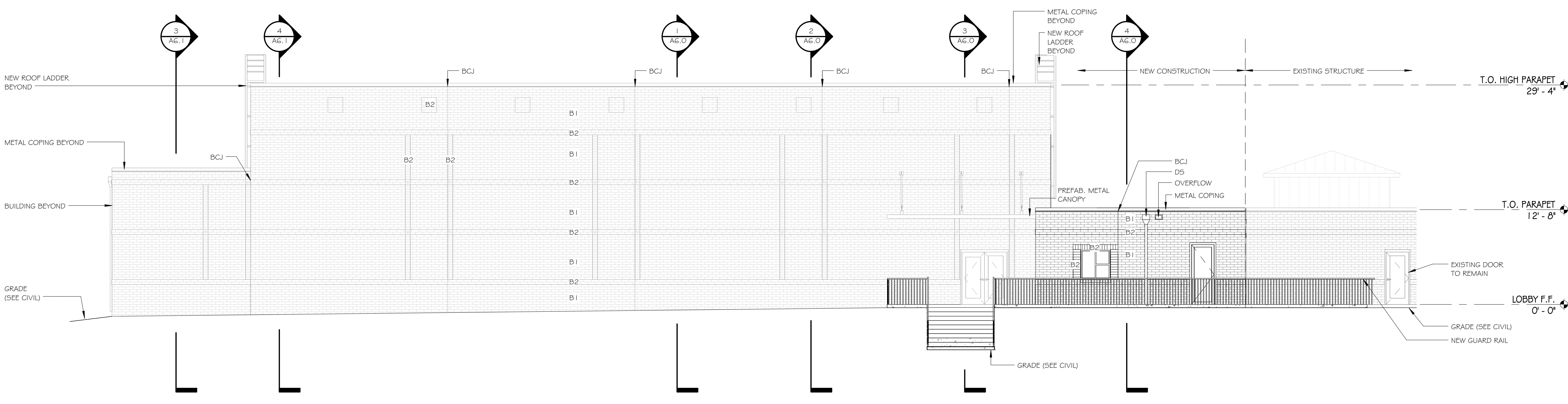
Site Plan Packet



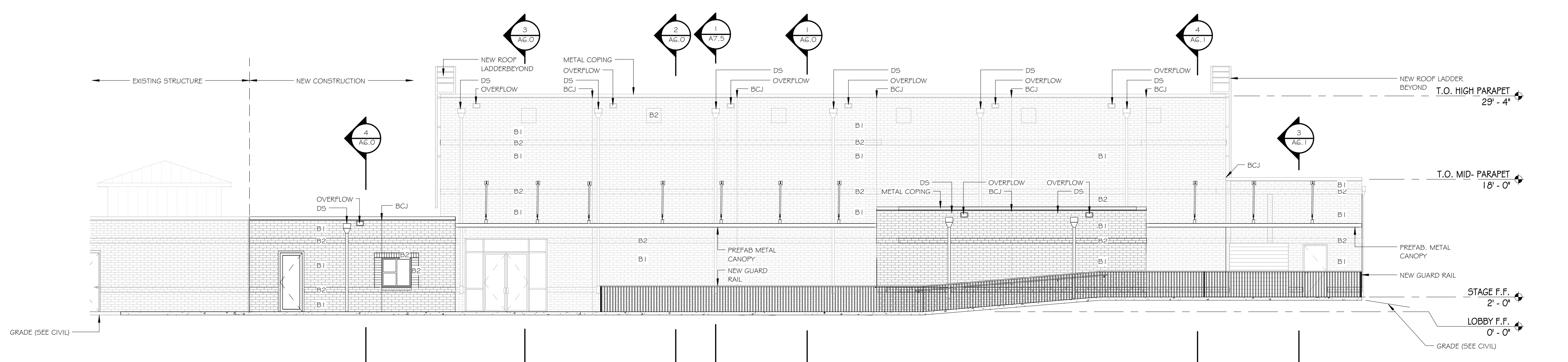
4 NORTH ELEVATION
SCALE: 1/8" = 1'-0"



3 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 EAST ELEVATION
SCALE: 1/8" = 1'-0"



1 WEST ELEVATION
SCALE: 1/8" = 1'-0"



GENERAL ELEVATION NOTES

- DO NOT SCALE ELEVATIONS. IF DIMENSIONS ARE IN QUESTION, CONTACT THE ARCHITECT IMMEDIATELY.
- ALL MATERIALS SHALL MATCH EXISTING CONDITIONS. SEE SPECIFICATIONS FOR PRODUCT COLORS AND MANUFACTURERS.
- CONTRACTOR SHALL CONSTRUCT 3'-0" X 6'-0" MOCK-UP PANEL OF THE PROPOSED MASONRY WORK WITH ALL BRICK COLORS AND DETAILS DEPICTED. COORDINATE WITH OWNER FOR LOCATION.
- ELEVATIONS ARE FOR GENERAL DESIGN INTENT. SEE PLANS AND WALL SECTIONS FOR DETAILED INFORMATION.

B1 = BRICK NO. 1
B2 = BRICK NO. 2

NOTE: NEW BRICK TO MATCH EXISTING BRICK TYPE & COLOR

NOTE: NEW BRICK CONTROL JOINT (PER MASONRY INSTITUTE RECOMMENDATIONS)

GOODWYN MILLS | CAWOOD
 3310 West End Avenue, Suite 420 | Nashville, TN 37203
 Tel: 615-333-7200 | GMCNETWORK.COM

ISSUE	DATE
DDI ADD SERVICES	2016.06.26
50% SET	09.02.2016
90% SET	10.04.2016

drawn by: Author
 checked by: SRB

**HERITAGE MIDDLE SCHOOL
 AUDITORIUM ADDITION**
 4803 COLUMBIA PIKE THOMPSON'S
 STATION, TN 37179
GMC # ANAS160009

**NOT FOR
 CONSTRUCTION**

EXTERIOR ELEVATIONS
A2.0
 sheet of

MATERIAL LEGEND

	COLOR	MANUFACTURER
BRICK 1	FLASD RANGE RADCLIFF	GENERAL SHALE BRICK
	HUNTERVILLE BLEND	BOREN BRICK
BRICK 2	TUMBLEWEED	INTERSTATE BRICK
METAL TRIM	ROYAL BLUE	BERKBRIDGE MANUFACTURING CO.
STOREFRONT	DEEP BLUE	KAWNEER
STL. RAILING	PAINTED TBD	TBD

NOTE: ALL EXTERIOR FINISHES SHALL MATCH EXISTING

THOMPSON'S STATION PLANNING
COMMISSION SUBMITTAL

10/26/2016 11:02:22 AM

HERITAGE MIDDLE SCHOOL

4803 COLUMBIA PIKE

THOMPSON'S STATION, TN37179

11th CIVIL DISTRICT



SHEET INDEX

- OVERALL PROPERTY C0.1**
- EXISTING CONDITIONS & DEMO PLAN C1.0**
- SITE PLAN C2.0**
- GRADING & DRAINAGE PLAN C3.0**
- UTILITY PLAN C4.0**
- SITE DETAILS 5.0**

ARCHITECT

GOODWYN | MILLS | CAWOOD

3310 WEST END AVENUE, SUITE 420 | NASHVILLE, TN 37203
TEL 615.333.7200 | GMCNETWORK.COM

SURVEYOR

Prepared By:
Initial Point
Land Surveying, Inc.
3324 Carl Road Franklin, TN 37064
Telephone: 615.790.4240
Fax: 615.794.6088
initialpoint@bellsouth.net
www.initialpoint.org

CIVIL ENGINEER

HUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE : (615)893 - 4084, FAX: (615)893 - 0080

Flood Reference

By means of graphic plotting upon Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Number: 47187C0345F, Dated: 09-29-2006, Zone: X, it has been determined that the Parcel described hereon does not lie within a flood hazard area.

Deed Reference

MAP 153, PARCEL 13.00

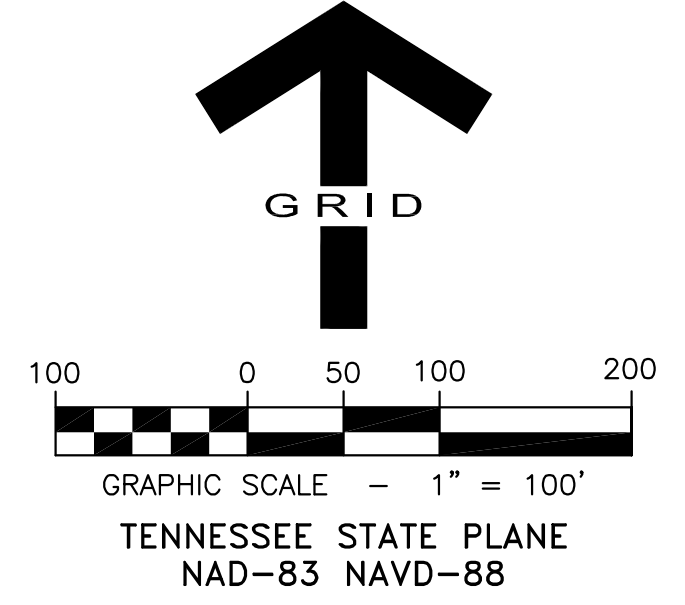
Being the same property conveyed to the Williamson County Board of Education, as of record in Deed Book 1674, Page 26, in the Register's Office for Williamson County, Tennessee.

Property Area

MAP 153, PARCEL 13.00

4,877,775 Square Feet (111.98 Acres ±)

Table with 3 columns: No., Size, Common Name. Lists various tree species such as OAK, CHERRY, PINE, and their quantities and sizes.



- 1. All distances were measured with E.D.M. equipment and have been adjusted for temperature.
2. This property is currently zoned: Commercial
3. This Survey has been prepared using the current deed of record and does not represent a title search by this Surveyor...

Utility Notes
This Surveyor has not physically located the underground utilities. Above grade and underground utilities shown hereon were taken from visible appurtenances at the site, public records and/or maps prepared by others.

In the state of Tennessee, per the "Underground Utility Damage Prevention Act", State Law requires anyone about to engage in either digging, excavation, moving of earth, demolition or any type of activity that disturbs the earth...

Tennessee One Call will then notify the member utilities of your proposed work. The utility company locator will then have 72 hours, excluding holidays and weekends, to locate those underground facilities.

While not required by law, in addition to calling Tennessee One Call, you may also want to contact any non-member utilities that you know are in the area of your proposed work.

The locate ticket you receive is only valid for 15 calendar days from the start date indicated on the ticket, after which time, it expires. If you wish to continue working, you must call in at least 3 working days before the expiration date to renew your locate ticket...

DIG SAFELY CALL TENNESSEE ONE CALL DIAL 811 or 1 (800) 351-1111 CALL US FIRST IT'S THE LAW!

Flood Reference
By means of graphic plotting upon Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Number: 4716700345F, Dated: 09-29-2006, Zone: X, it has been determined that the Parcel described hereon does not lie within a flood hazard area.

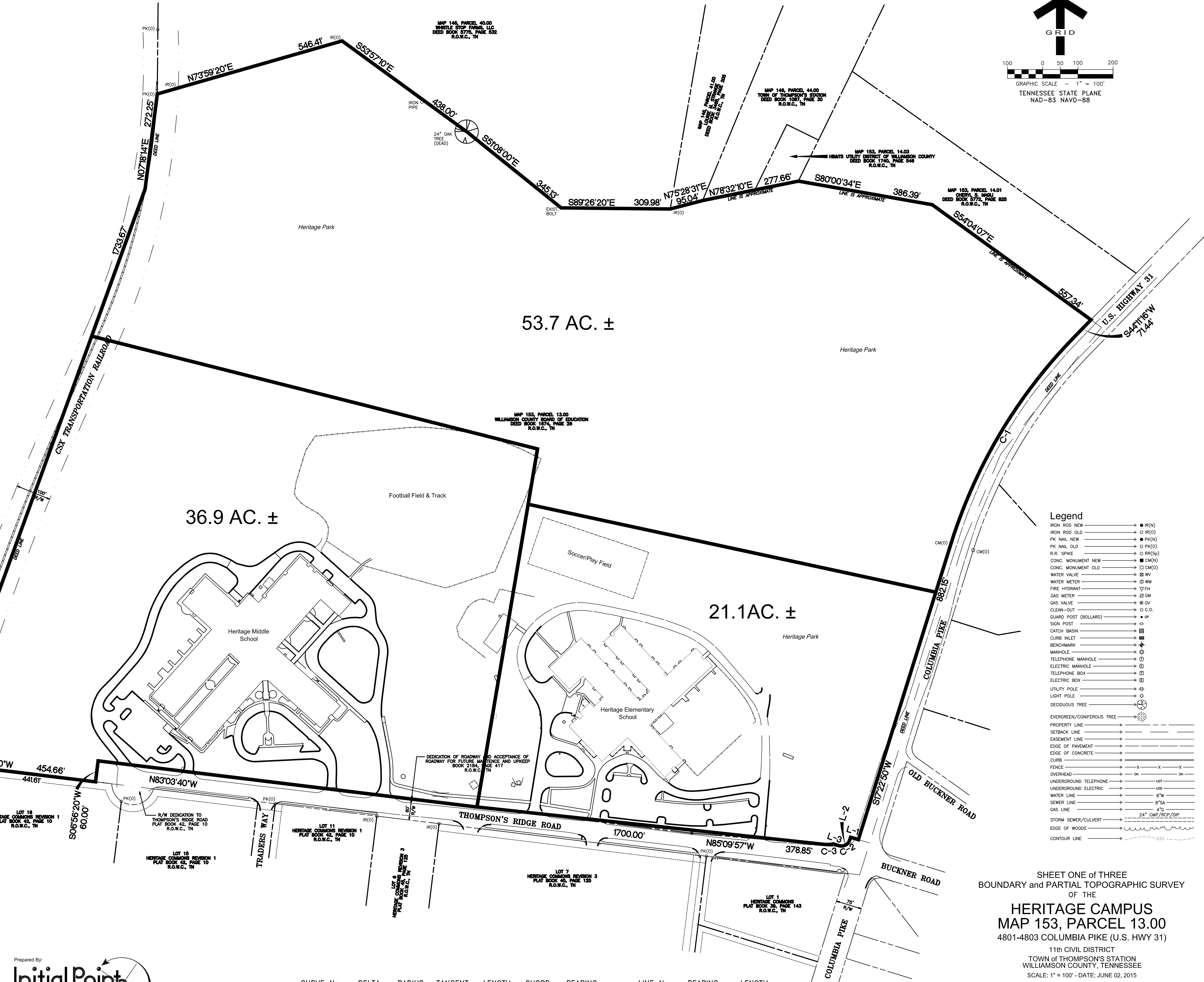
Deed Reference
MAP 153, PARCEL 13.00
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Property Area
MAP 153, PARCEL 13.00
4,877,775 Square Feet (111.98 Acres ±)

GPS Certification
A Topcon GPS-1 GPS network rover utilizing the TDOT GNSS Reference Network to establish horizontal control, Tennessee State Plane Grid (NAD-83), and vertical control (NAVD-88) was used for this survey.

Surveyor's Certification of Accuracy
I hereby certify this is a Category I (Urban and Subdivision) Survey and this Survey was performed in accordance with the Current Standards of Practice for Surveyors in Tennessee and the unadjusted closure is 1:10,000 or greater.

L. Kevin Morehead
Professional Surveyor
TN Registration No.: 2315
June 02, 2015
Date



Legend
Table mapping symbols to utility types: IR(N), IR(O), PK(N), PK(O), RR(Sp), CM(N), CM(O), GW, WM, FWH, SM, GV, C.O., CM(N), CM(O), GP, POPLAR, CHERRY, LOCUST, etc.

SHEET ONE of THREE
BOUNDARY and PARTIAL TOPOGRAPHIC SURVEY OF THE
HERITAGE CAMPUS
MAP 153, PARCEL 13.00
4801-4803 COLUMBIA PIKE (U.S. HWY 31)
11th CIVIL DISTRICT
TOWN of THOMPSON'S STATION
WILLIAMSON COUNTY, TENNESSEE
SCALE: 1" = 100' - DATE: JUNE 02, 2015
FILE NO. 1504G012
PREPARED FOR
Williamson County Board of Education
1320 West Main Street, Suite 202
Franklin, TN 37064

Table with 7 columns: CURVE No., DELTA, RADIUS, TANGENT, LENGTH, CHORD, BEARING. Lists curve data for C-1, C-2, and C-3.

Table with 3 columns: LINE No., BEARING, LENGTH. Lists line data for L-1, L-2, and L-3.



Prepared By:
Initial Point Land Surveying, Inc.
3324 Carl Road Franklin, TN 37064
Telephone: 615.790.4240
Fax: 615.794.6088
initialpoint@bellsouth.net
www.initialpoint.org

Original issue of this drawing is designated by a pressed embossing over the Surveyor's seal. Copyright © 2015 Initial Point Land Surveying, Inc.

Tree Table

No.	Size	Common Name	No.	Size	Common Name	No.	Size	Common Name	No.	Size	Common Name
1	8"	OAK	60	10"	WALNUT	119	10"	CEDRAR	178	10"	POPLAR
2	8"	OAK	61	12"	TREE	120	10"	CEDRAR	179	14"	PINE
3	8"	OAK	62	12"	TREE	121	10"	CEDRAR	180	8"	PINE
4	10"	CHERRY	63	12"	TREE	122	10"	CEDRAR	181	14"	OAK
5	10"	CHERRY	64	12"	TREE	123	10"	CEDRAR	182	8"	MAPLE
6	10"	CHERRY	65	10"	TREE	124	6"	CEDRAR	183	8"	TREE
7	10"	CHERRY	66	10"	TREE	125	10"	CEDRAR	184	6"	TREE
8	10"	CHERRY	67	12"	TREE	126	10"	CEDRAR	185	10"	PINE
9	10"	CHERRY	68	8"	TREE	127	10"	TREE	186	10"	POPLAR
10	10"	CHERRY	69	8"	TREE	128	10"	TREE	187	10"	POPLAR
11	10"	CHERRY	70	8"	TREE	129	10"	TREE	188	10"	POPLAR
12	12"	CHERRY	71	8"	TREE	130	10"	TREE	189	10"	POPLAR
13	10"	CHERRY	72	8"	TREE	131	10"	TREE	190	8"	TREE
14	10"	CHERRY	73	8"	TREE	132	8"	TREE	191	6"	ELM
15	10"	CHERRY	74	8"	TREE	133	8"	TREE	192	14"	PINE
16	10"	CHERRY	75	12"	TREE	134	8"	TREE	193	12"	PINE
17	10"	CHERRY	76	10"	TREE	135	8"	CHERRY	194	12"	PINE
18	10"	CHERRY	77	10"	TREE	136	10"	POPLAR	195	10"	POPLAR
19	10"	CHERRY	78	8"	TREE	137	10"	CHERRY	196	8"	MAPLE
20	10"	CHERRY	79	10"	TREE	138	10"	TREE	197	8"	MAPLE
21	10"	CHERRY	80	10"	TREE	139	10"	CHERRY	198	6"	TREE
22	12"	TREE	81	4"	TREE	140	10"	CHERRY	199	4"	MAGNOLIA
23	10"	TREE	82	8"	CHERRY	141	10"	CHERRY	200	8"	PEAR
24	10"	TREE	83	8"	OAK	142	8"	CHERRY	201	8"	PEAR
25	10"	TREE	84	12"	TREE	143	10"	CHERRY	202	6"	TREE
26	10"	TREE	85	8"	ASH	144	10"	CHERRY	203	4"	TREE
27	10"	TREE	86	8"	OAK	145	4"	TREE	204	10"	PEAR
28	10"	TREE	87	8"	OAK	146	10"	POPLAR	205	12"	PEAR
29	10"	TREE	88	4"	ASH	147	10"	POPLAR	206	8"	PEAR
30	10"	TREE	89	6"	OAK	148	6"	POPLAR	207	6"	PEAR
31	10"	TREE	90	6"	OAK	149	12"	POPLAR	208	6"	PEAR
32	10"	TREE	91	10"	TREE	150	12"	CHERRY	209	8"	REDBUD
33	10"	TREE	92	10"	TREE	151	6"	CHERRY	210	8"	REDBUD
34	10"	TREE	93	10"	TREE	152	10"	CHERRY	211	10"	PINE
35	10"	TREE	94	10"	TREE	153	4"	CHERRY	212	8"	REDBUD
36	10"	TREE	95	8"	OAK	154	6"	CHERRY	213	8"	REDBUD
37	10"	TREE	96	10"	OAK	155	6"	CHERRY	214	12"	PEAR
38	10"	TREE	97	10"	CEDRAR	156	4"	POPLAR	215	6"	PERSIMMON
39	10"	TREE	98	8"	CEDRAR	157	10"	CHERRY	216	12"	PERSIMMON
40	10"	TREE	99	8"	CEDRAR	158	10"	CHERRY	217	8"	REDBUD
41	10"	TREE	100	10"	CEDRAR	159	14"	TREE	218	8"	REDBUD
42	10"	TREE	101	10"	CEDRAR	160	14"	TREE	219	8"	REDBUD
43	10"	TREE	102	12"	CHERRY	161	8"	ELM	220	8"	REDBUD
44	10"	TREE	103	12"	CHERRY	162	8"	ELM	221	8"	REDBUD
45	10"	TREE	104	12"	CHERRY	163	10"	ASH	222	6"	MAPLE
46	10"	TREE	105	12"	CHERRY	164	8"	CHERRY	223	10"	TREE
47	10"	TREE	106	12"	CHERRY	165	10"	CHERRY	224	10"	TREE
48	10"	TREE	107	8"	CHERRY	166	10"	PINE	225	4"	TREE
49	10"	TREE	108	8"	CHERRY	167	10"	PINE	226	4"	TREE
50	10"	TREE	109	8"	CHERRY	168	10"	PINE	227	6"	MAGNOLIA
51	10"	TREE	110	12"	CHERRY	169	6"	POPLAR	228	6"	MAGNOLIA
52	10"	TREE	111	10"	OAK	170	10"	CHERRY	229	6"	MAGNOLIA
53	10"	TREE	112	10"	CEDRAR	171	4"	CHERRY	230	4"	CHERRY
54	10"	TREE	113	10"	CEDRAR	172	6"	LOCUST	231	6"	LOCUST
55	10"	TREE	114	10"	CEDRAR	173	10"	LOCUST	232	6"	LOCUST
56	10"	TREE	115	10"	CEDRAR	174	8"	LOCUST	233	6"	LOCUST
57	10"	TREE	116	10"	CEDRAR	175	10"	CHERRY	234	6"	CHERRY
58	10"	TREE	117	10"	CEDRAR	176	12"	CHERRY	235	6"	CHERRY
59	10"	TREE	118	10"	CEDRAR	177	8"	POPLAR	236	6"	POPLAR

- General Notes**
- All distances were measured with E.D.M. equipment and have been adjusted for temperature.
 - This property is currently zoned: Commercial
 - This Survey has been prepared using the current deed of record and does not represent a title search by this Surveyor or a guarantee of title, and is subject to any state of facts a current and accurate title search may reveal.
 - Surveyor's liability for this document shall be limited to the original purchaser/client and does not extend to any unnamed person or entity without an expressed recertification by the Surveyor whose signature appears upon this map of survey.
 - The word "certify" or "certificates" as shown hereon and used hereon means expression of professional opinion regarding the facts of the map of survey and does not constitute a warranty or guarantee, expressed or implied.

- Utility Notes**
- This Surveyor has not physically located the underground utilities. Above grade and underground utilities shown hereon were taken from visible appearances at the site, public records and/or maps prepared by others. Although reasonable care and effort has been taken by this Surveyor, this Surveyor makes no guarantee that the underground utilities shown hereon comprise all public and private utilities, active or abandoned, in the survey area. This Surveyor does not warrant that the underground utilities are in the exact location indicated. Therefore, reliance upon the type, size and location of all utilities shown hereon should be done so with this circumstance considered. Detailed verification of the existence, location and depth of all utilities should be made prior to any excavation or construction upon the survey area. It is the responsibility of the owner/client to verify all utility availability and any and all costs of service that may be required by the appropriate utility company or agency.

In the state of Tennessee, per the "Underground Utility Damage Prevention Act", State Law requires anyone about to engage in either digging, excavation, moving of earth, demolition or any type of activity that disturbs the earth and therefore possibly involving a danger to damaging underground utility lines, to notify Tennessee One Call, of their intent to dig.

Tennessee One Call will then notify the member utilities of your proposed work. The utility company locator will then have 72 hours, excluding holidays and weekends, to locate those underground facilities.

While not required by law, in addition to calling Tennessee One Call, you may also want to contact any non-member utilities that you know are in the area of your proposed work.

The locate ticket you receive is only valid for 15 calendar days from the start date indicated on the ticket, after which time, it expires. If you wish to continue working, you must call in at least 3 working days before the expiration date to renew your locate ticket, at which time you would be given a new ticket number.

Flood Reference
By means of greater liability upon Federal Emergency Management Agency Flood Insurance Rate Map (FIRM) Number: 471000404E, Date: 08-29-2005, Zone: X, it has been determined that the above described location does not lie within a flood hazard area.

Deed Reference
MAP 153, PARCEL 13.00
Being the same property conveyed to the Williamson County Board of Education, as of record in Deed Book 1674, Page 26, in the Register's Office for Williamson County, Tennessee.

Property Area
MAP 153, PARCEL 13.00
4,877,775 Square Feet (111.98 Acres ±)

LOT 16 HERITAGE COMMONS REVISION 1
PLAT BOOK 42, PAGE 10
R.O.W.C. TN

LOT 15 HERITAGE COMMONS REVISION 1
PLAT BOOK 42, PAGE 10
R.O.W.C. TN

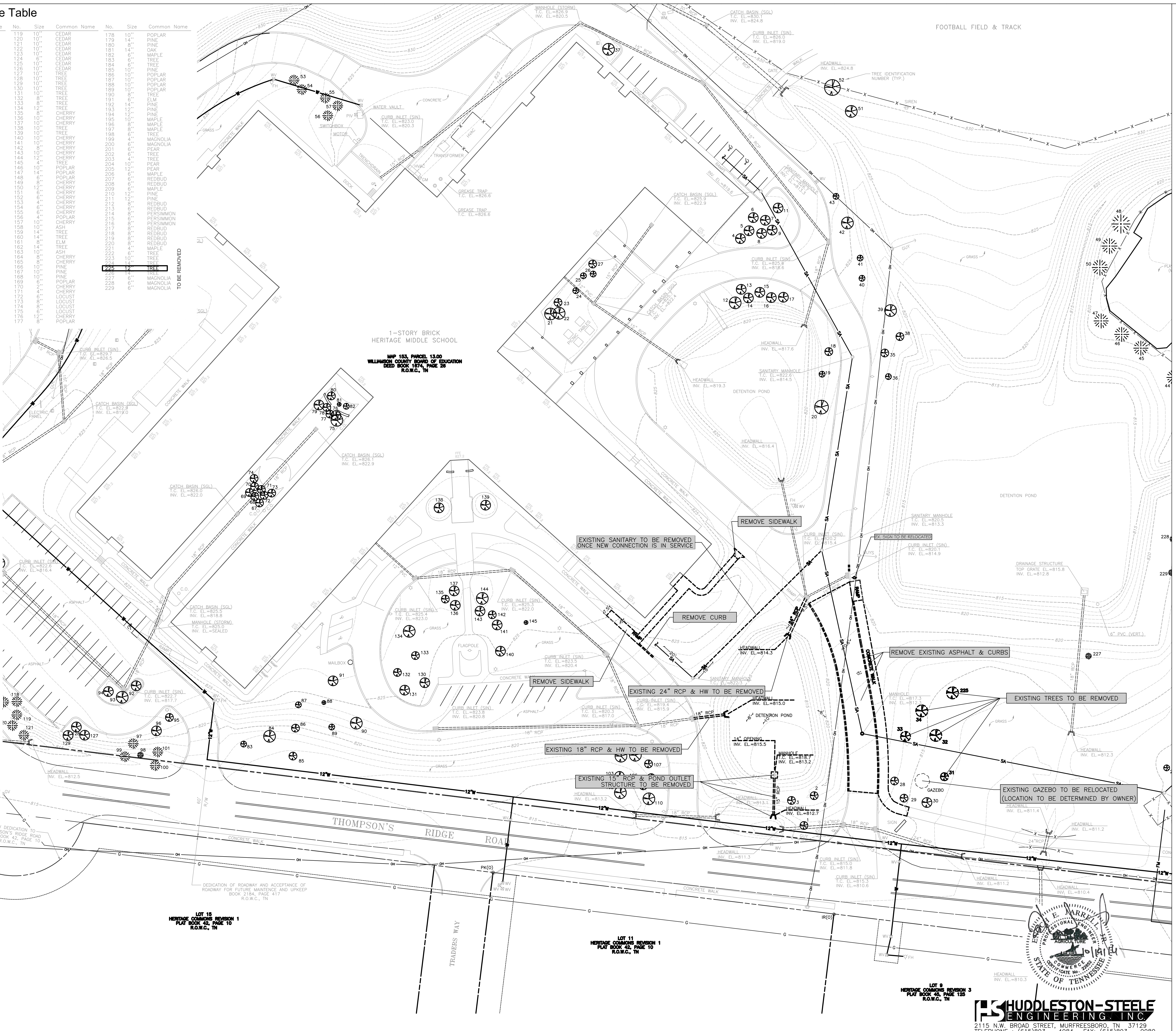
LOT 11 HERITAGE COMMONS REVISION 1
PLAT BOOK 42, PAGE 10
R.O.W.C. TN

LOT 9 HERITAGE COMMONS REVISION 3
PLAT BOOK 42, PAGE 125
R.O.W.C. TN

GRID

GRAPHIC SCALE - 1" = 30'

TENNESSEE STATE PLANE
NAD-83 NAVD-88



EXISTING CONDITIONS & DEMO PLAN HERITAGE MIDDLE SCHOOL AUDITORIUM

4803 COLUMBIA PIKE
THOMPSON'S STATION, TN 37179

PLANNING COMMISSION SUBMITTAL

C1.0

GMC # ANAST160009

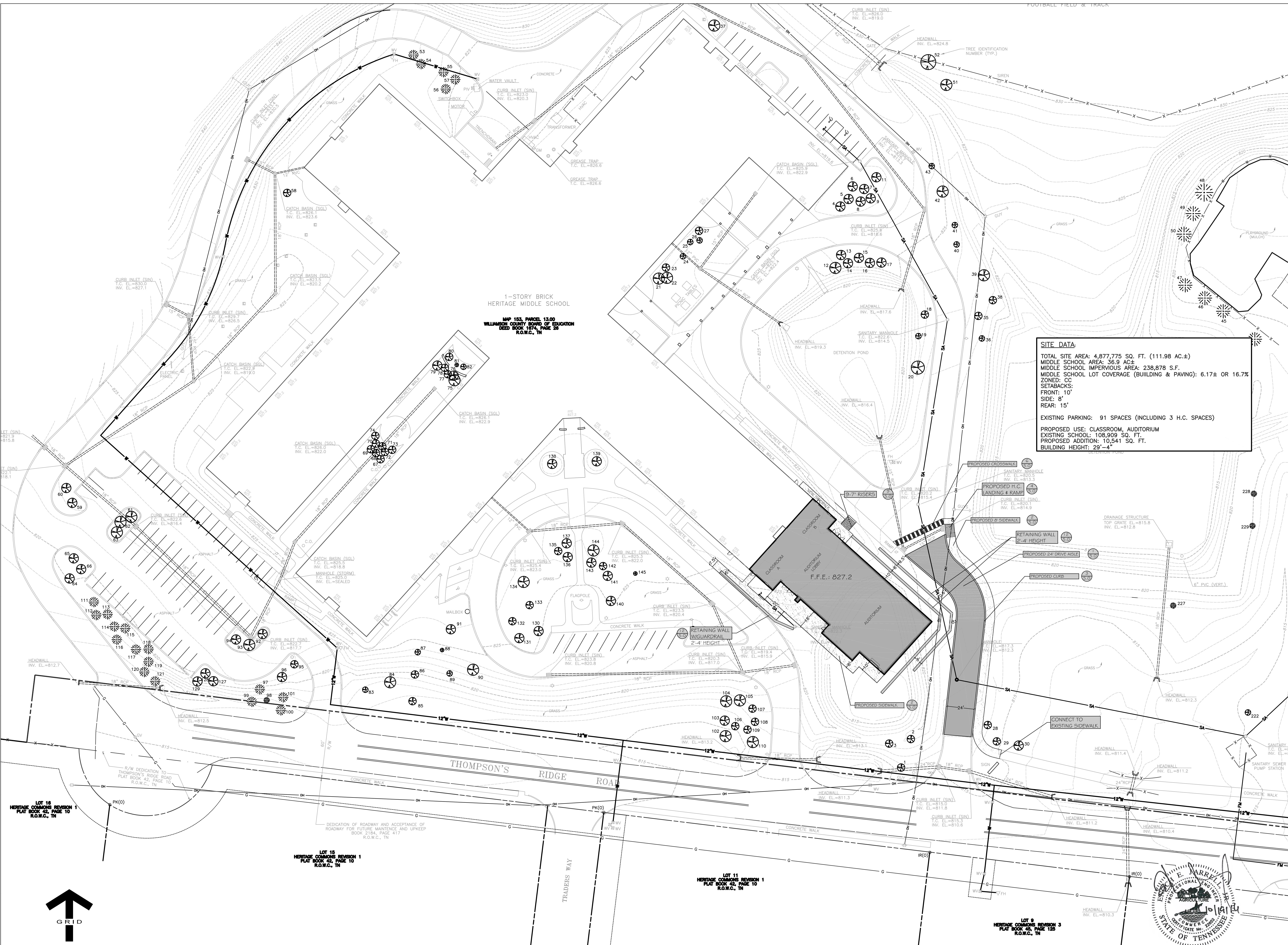
GOODWYN MILLS CAWOOD

3310 WEST END AVENUE, SUITE 420 | NASHVILLE, TN 37203
TEL 615.333.7200 | GMCNETWORK.COM

Project	Issue	DATE
HERITAGE MIDDLE SCHOOL AUDITORIUM	Issue	11/17/16
REVISION PER STAFF COMMENTS	Revised	

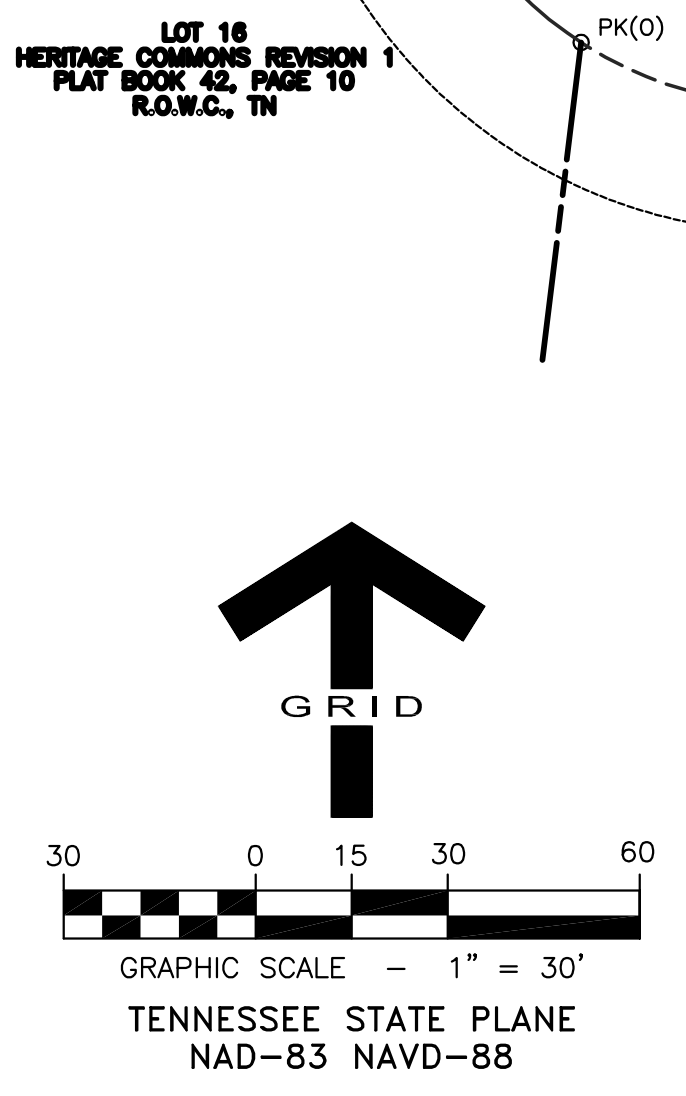
drawn by: Author
checked by: Checker

SHUDDLESTON-STEELE ENGINEERING INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: (615)893-4084, FAX: (615)893-0080



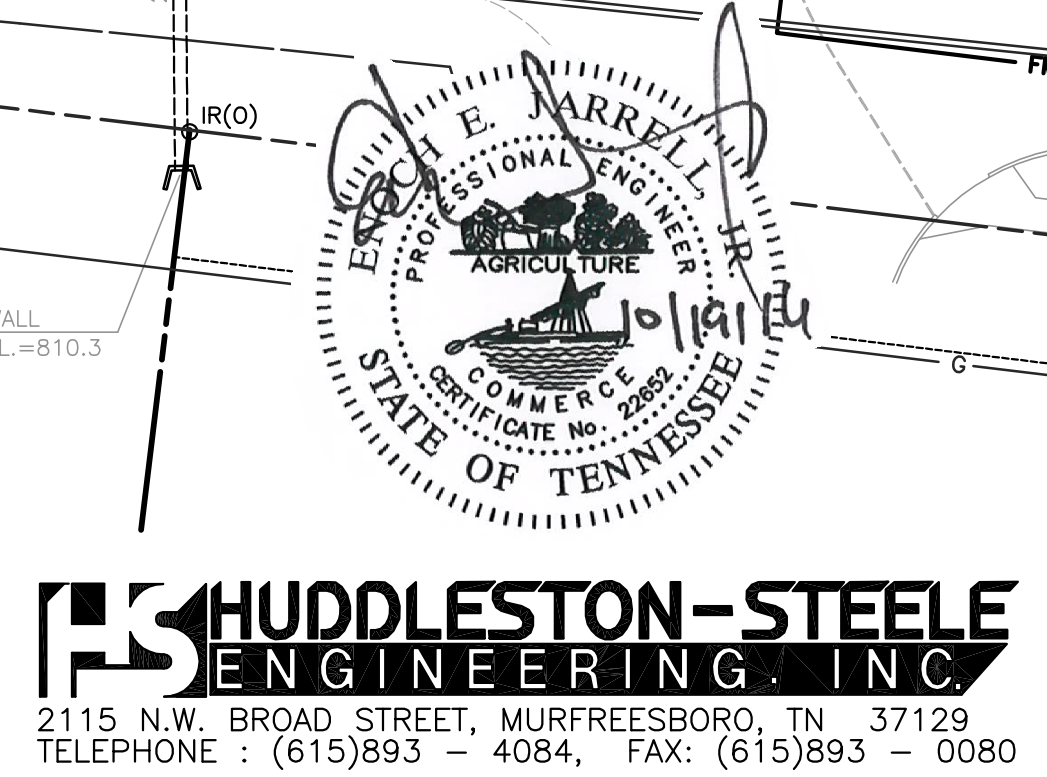
1-STORY BRICK
HERITAGE MIDDLE SCHOOL
MAP 153, PARCEL 13.00
WILLIAMSON COUNTY BOARD OF EDUCATION
DEED BOOK 1574, PAGE 29
R.O.W.C., TN

SITE DATA:
 TOTAL SITE AREA: 4,877,775 SQ. FT. (111.98 AC.±)
 MIDDLE SCHOOL AREA: 36.9 AC.±
 MIDDLE SCHOOL IMPERVIOUS AREA: 238,878 S.F.
 MIDDLE SCHOOL LOT COVERAGE (BUILDING & PAVING): 6.17± OR 16.7%
 ZONED: CC
 SETBACKS:
 FRONT: 10'
 SIDE: 8'
 REAR: 15'
 EXISTING PARKING: 91 SPACES (INCLUDING 3 H.C. SPACES)
 PROPOSED USE: CLASSROOM, AUDITORIUM
 EXISTING SCHOOL: 108,909 SQ. FT.
 PROPOSED ADDITION: 10,541 SQ. FT.
 BUILDING HEIGHT: 29'-4"

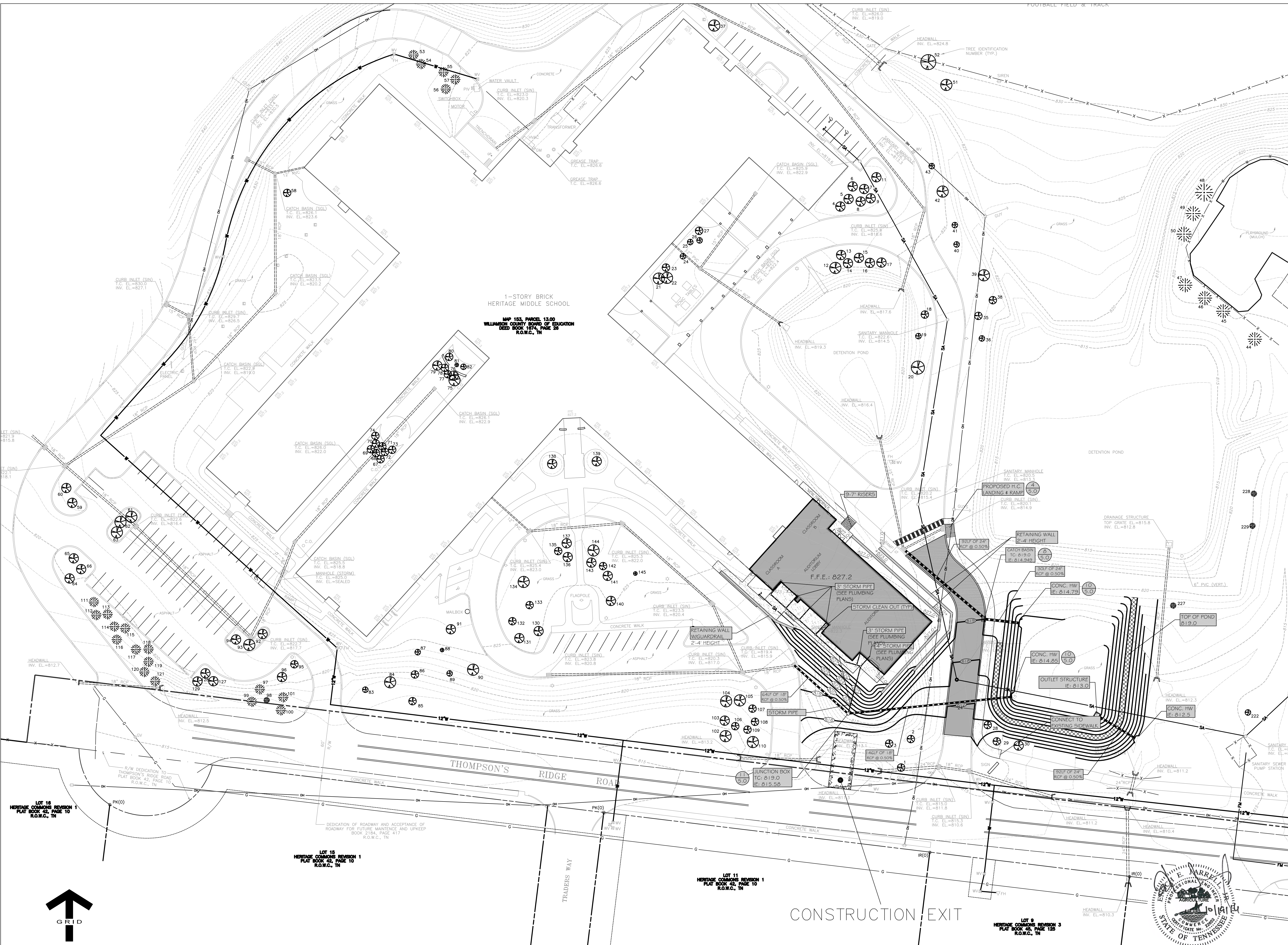


SITE LAYOUT PLAN
 HERITAGE MIDDLE SCHOOL AUDITORIUM
 4803 COLUMBIA PIKE
 THOMPSON'S STATION, TN 37179
 PLANNING COMMISSION
 C2.0 SUBMITTAL
 GMC # ANAST160009
 Project Issue Date
 Status Date
 Revised Per Staff Comments
 11/17/16
 drawn by: Author
 checked by: Checker

GOODWYN MILLS CAWOOD
 3310 WEST END AVENUE, SUITE 420
 NASHVILLE, TN 37203
 TEL 615.333.7200 | GCMNETWORK.COM



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 2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
 TELEPHONE : (615)893 - 4084, FAX: (615)893 - 0080



1-STORY BRICK
HERITAGE MIDDLE SCHOOL

MAP 153, PARCEL 13.00
WILLIAMSON COUNTY BOARD OF EDUCATION
DEED BOOK 1574, PAGE 25
R.O.W.C., TN

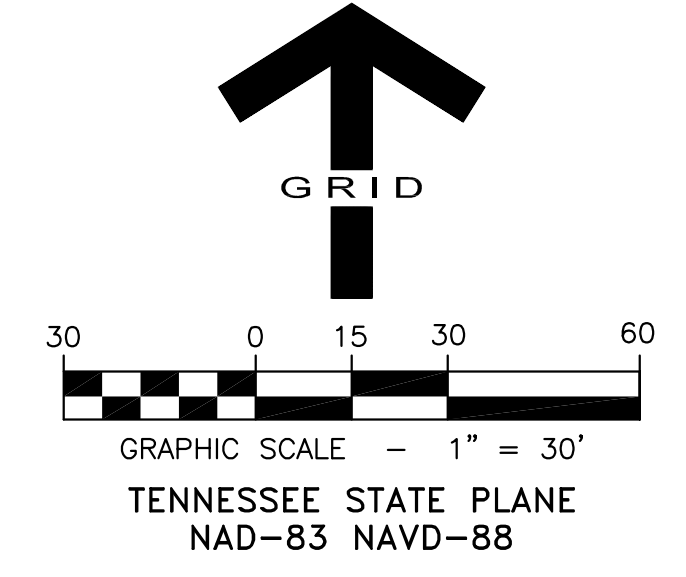
CONSTRUCTION EXIT

LOT 16
HERITAGE COMMONS REVISION 1
PLAT BOOK 42, PAGE 10
R.O.W.C., TN

LOT 15
HERITAGE COMMONS REVISION 1
PLAT BOOK 42, PAGE 10
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LOT 11
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PLAT BOOK 42, PAGE 10
R.O.W.C., TN

LOT 9
HERITAGE COMMONS REVISION 3
PLAT BOOK 42, PAGE 125
R.O.W.C., TN

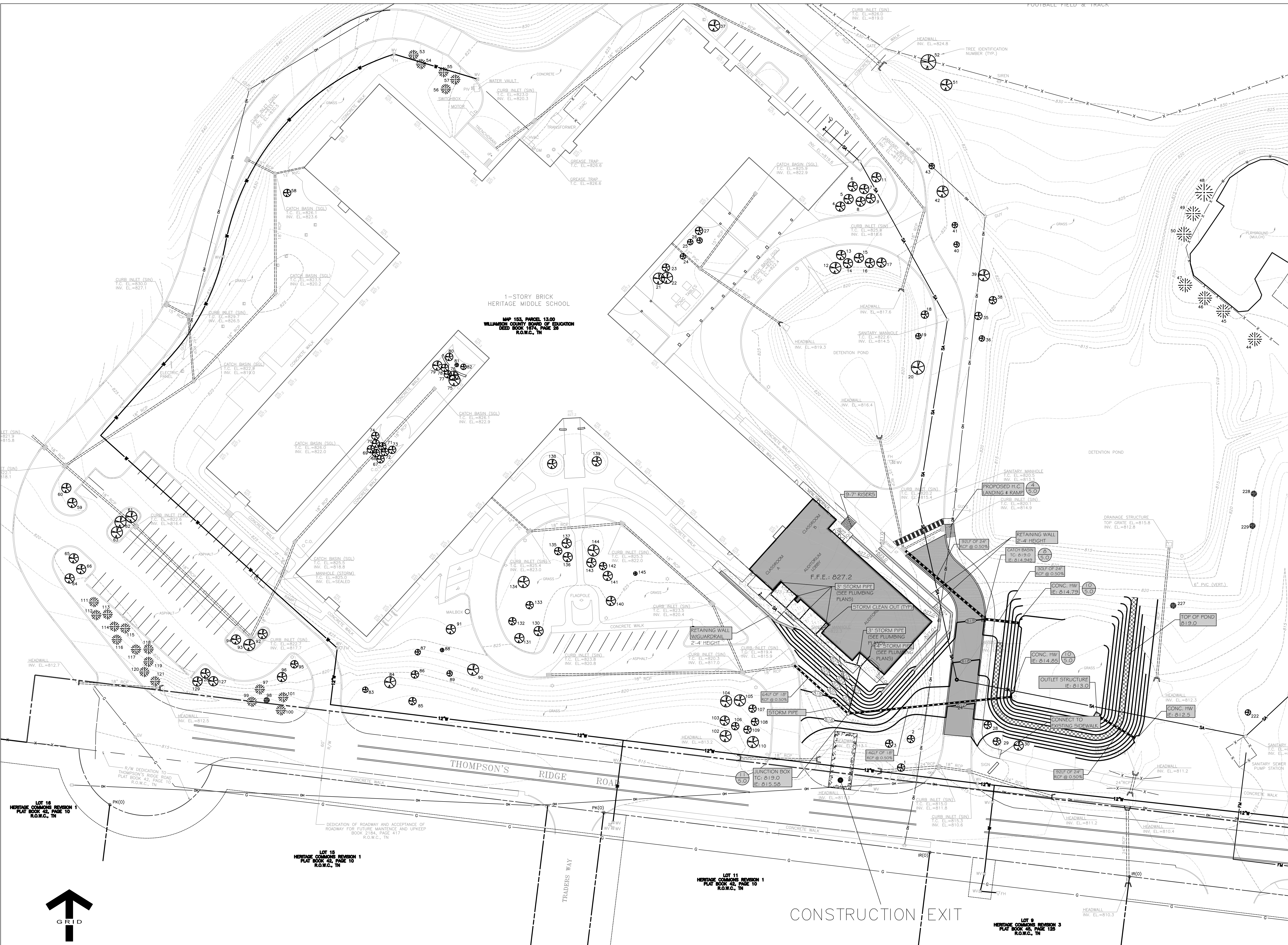


SHUDDLESTON-STEELE
ENGINEERING, INC.
2115 N.W. BROAD STREET, MURFREESBORO, TN 37129
TELEPHONE: (615)893-4084, FAX: (615)893-0080

GRADING & DRAINAGE PLAN
HERITAGE MIDDLE SCHOOL AUDITORIUM
4803 COLUMBIA PIKE
THOMPSON'S STATION, TN 37129
PLANNING COMMISSION
C3.0 SUBMITTAL
GMC # ANAS160009

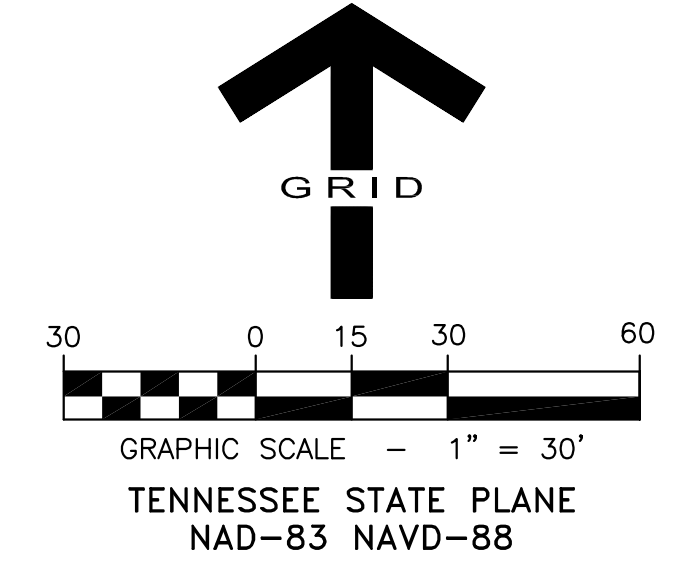
DATE
Project Issue
Status Date
REVISED PER 11/17/16
STAFF COMMENTS
drawn by: Author
checked by: Checker

GOODWYN MILLS CAWOOD
3310 WEST END AVENUE, SUITE 420 | NASHVILLE, TN 37203
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1-STORY BRICK
HERITAGE MIDDLE SCHOOL
MAP 153, PARCEL 13.00
WILLIAMSON COUNTY BOARD OF EDUCATION
DEED BOOK 1574, PAGE 25
R.O.W.C., TN

CONSTRUCTION EXIT



HERITAGE MIDDLE SCHOOL AUDITORIUM

4803 COLUMBIA PIKE
THOMPSON'S STATION, TN 37179

PLANNING
COMMISSION
SUBMITTAL

GMC # ANAS160009

C3.1

INITIAL EROSION CONTROL

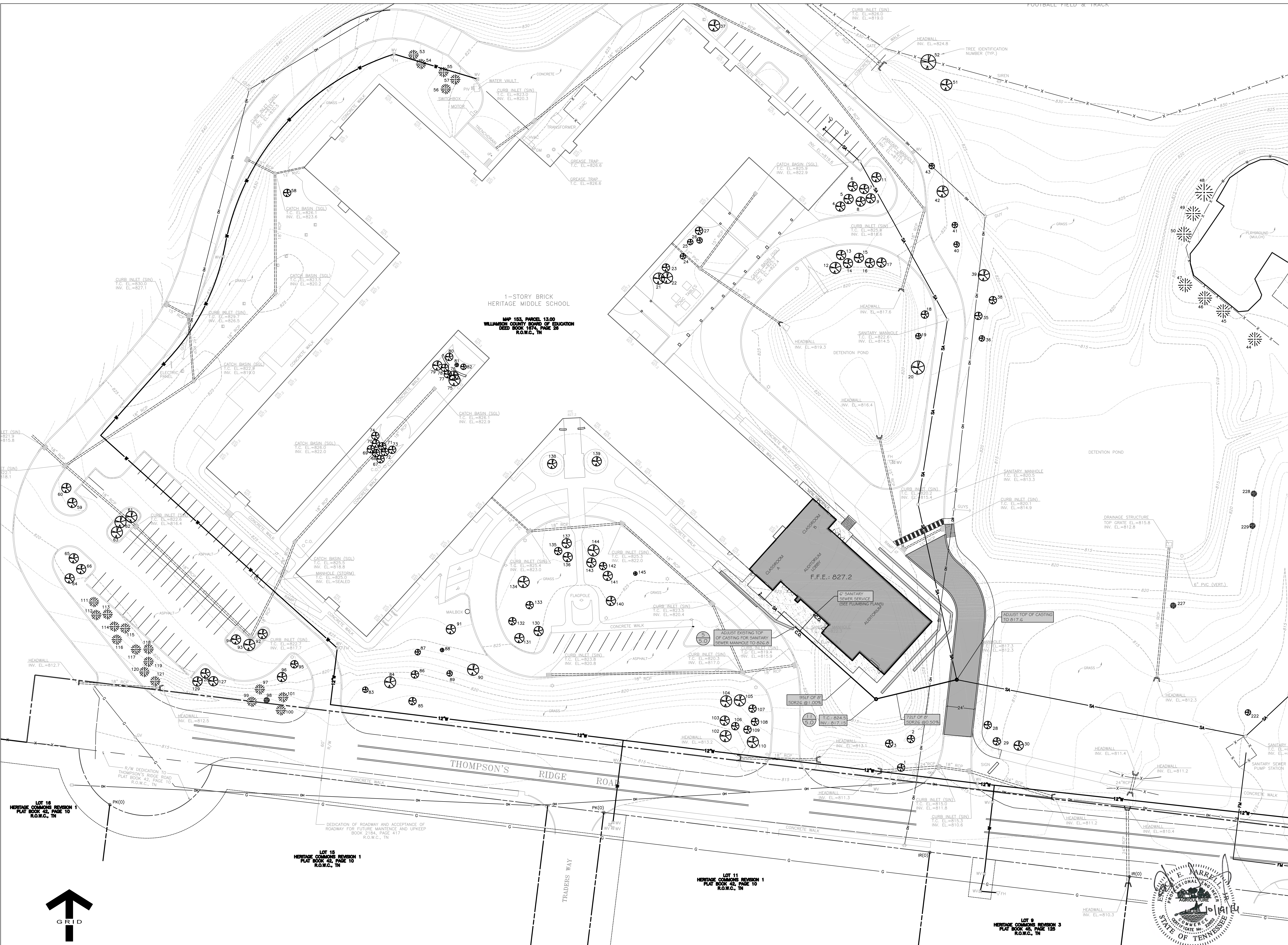
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TEL 615.333.7200 | GCMNETWORK.COM

Project	Issue	DATE
HERITAGE MIDDLE SCHOOL AUDITORIUM <td>Issue <td></td> </td>	Issue <td></td>	
4803 COLUMBIA PIKE	Status	11/17/16
THOMPSON'S STATION, TN 37179	REVISED PER	
PLANNING COMMISSION SUBMITTAL	STAFF COMMENTS	

drawn by: Author
checked by: Checker

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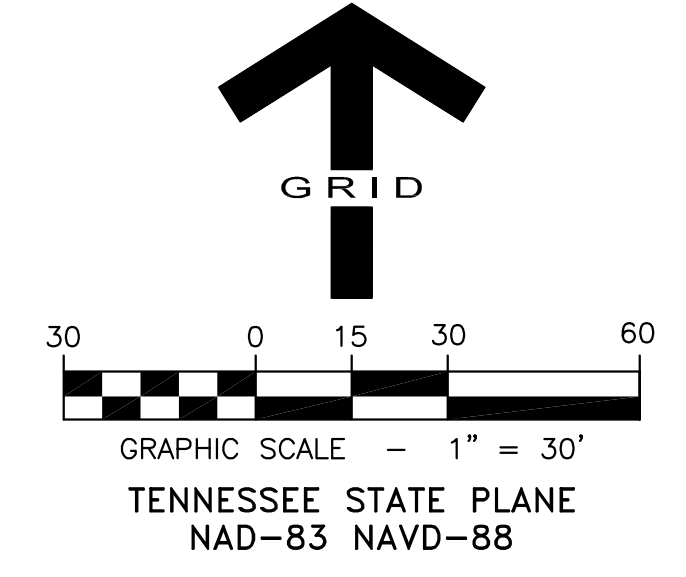
1-STORY BRICK
HERITAGE MIDDLE SCHOOL
MAP 153, PARCEL 13.00
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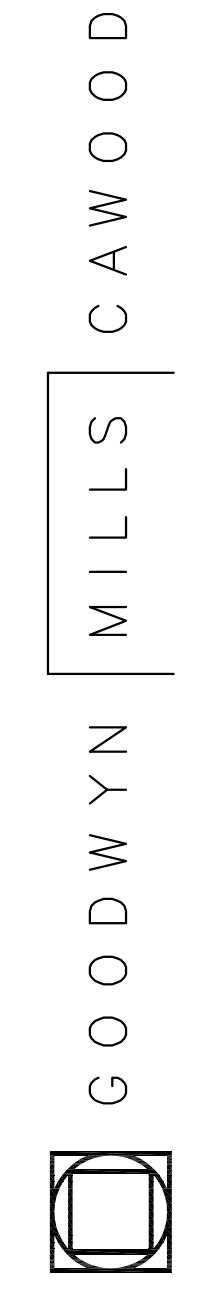


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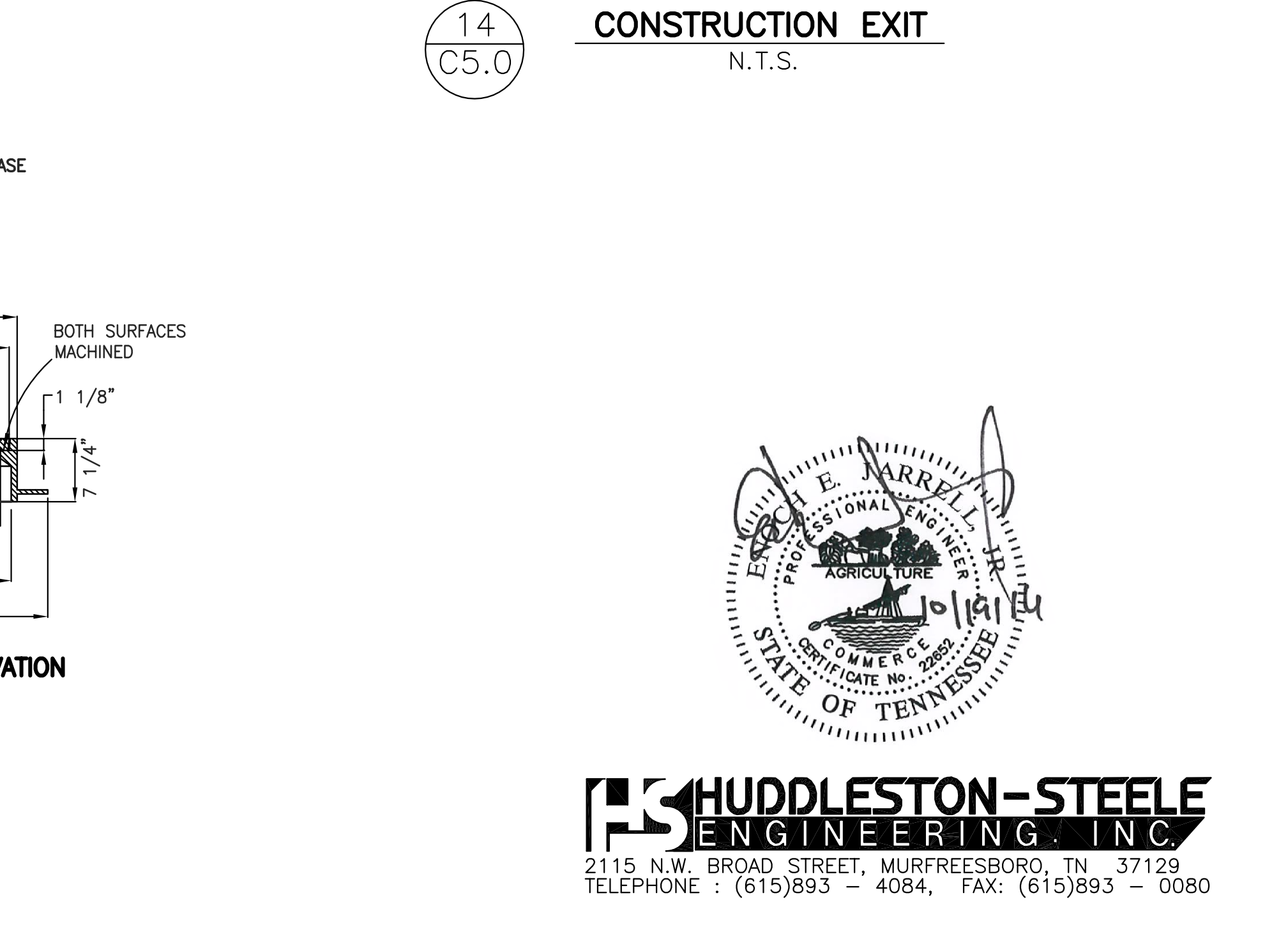
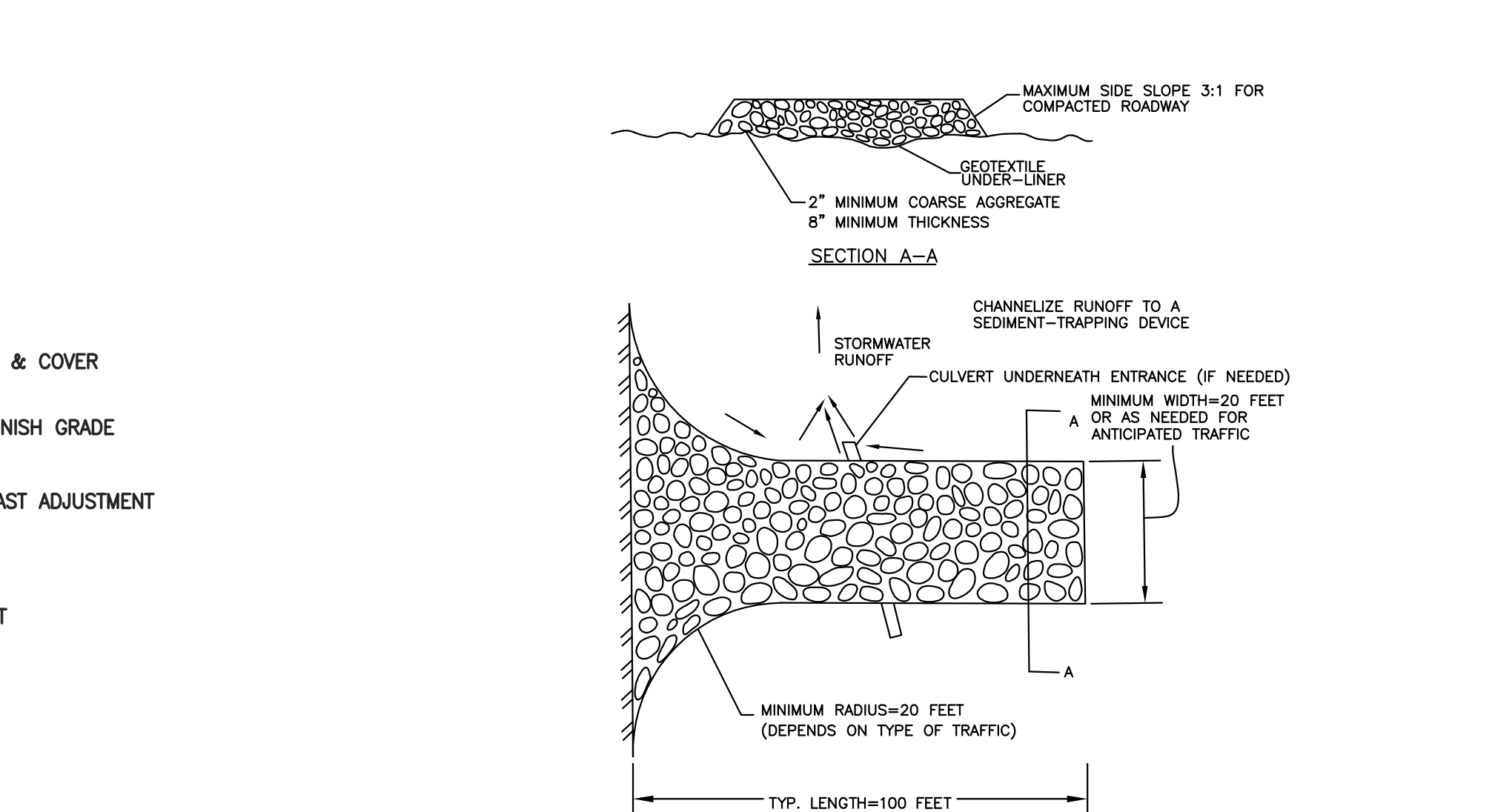
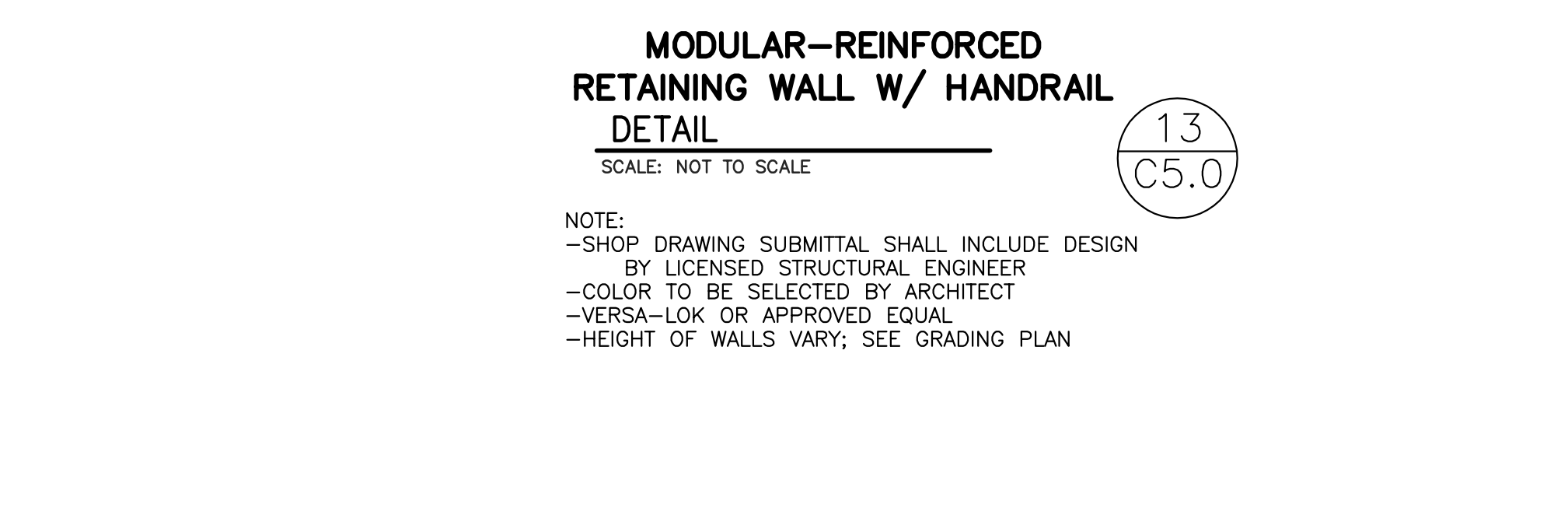
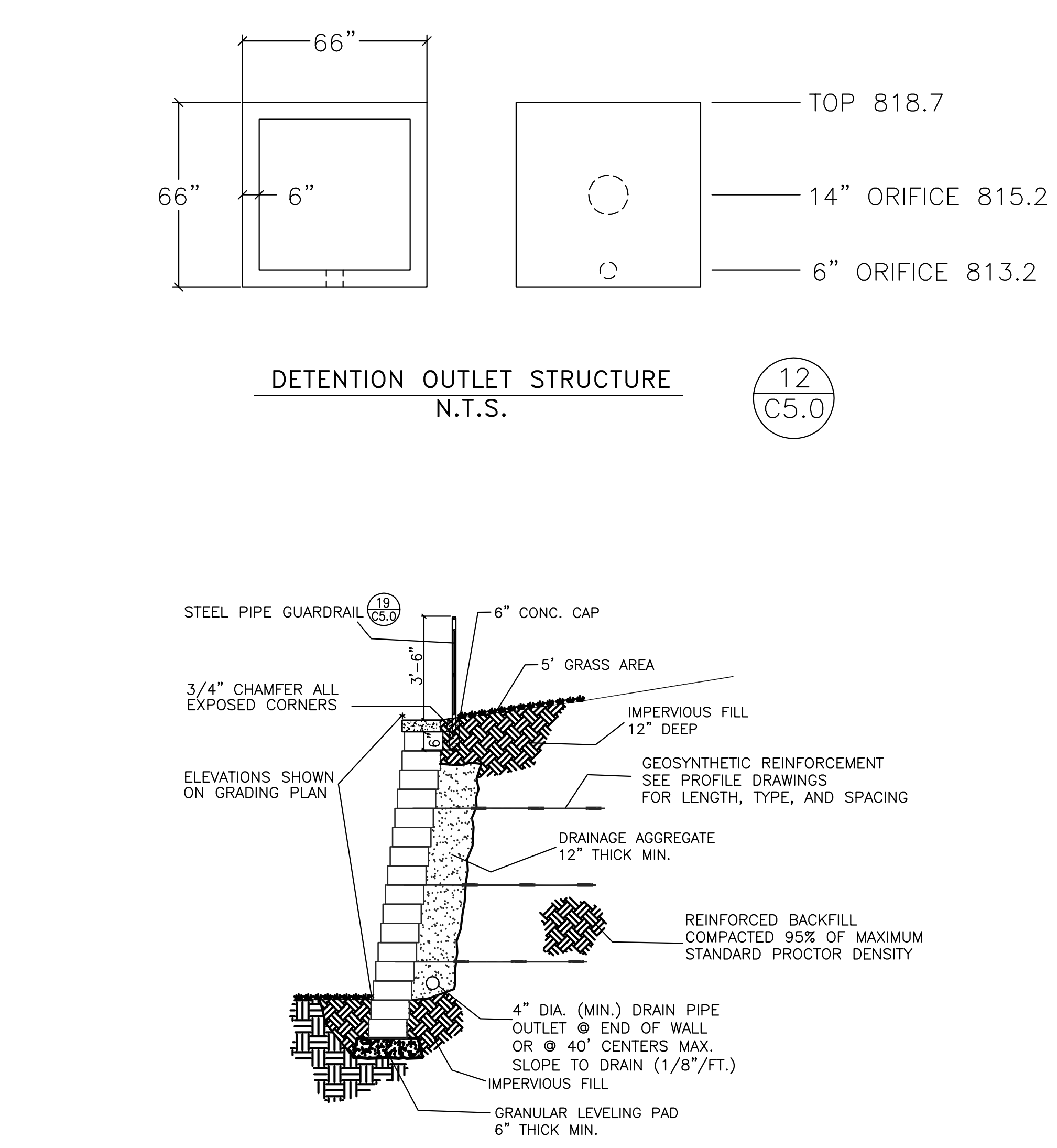
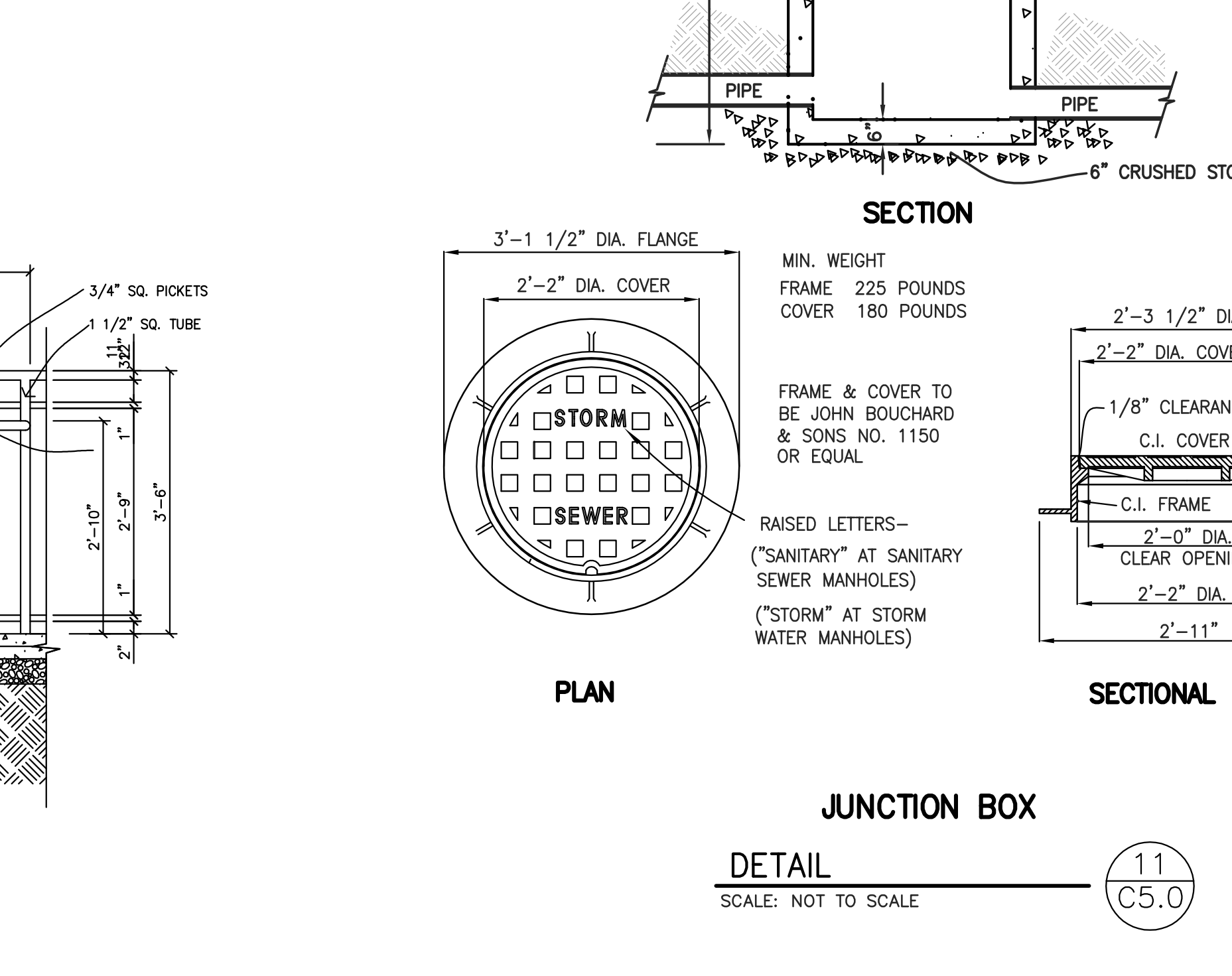
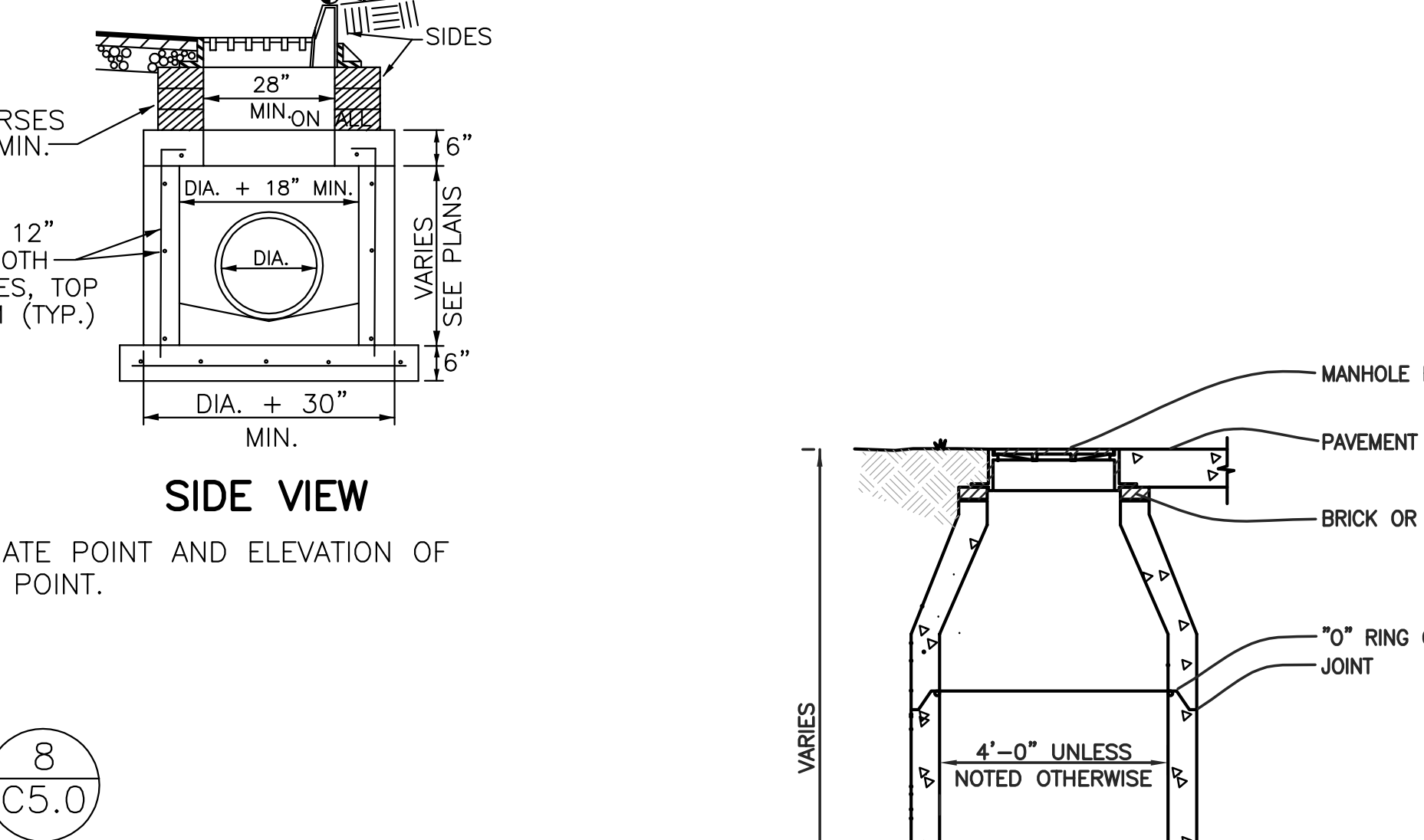
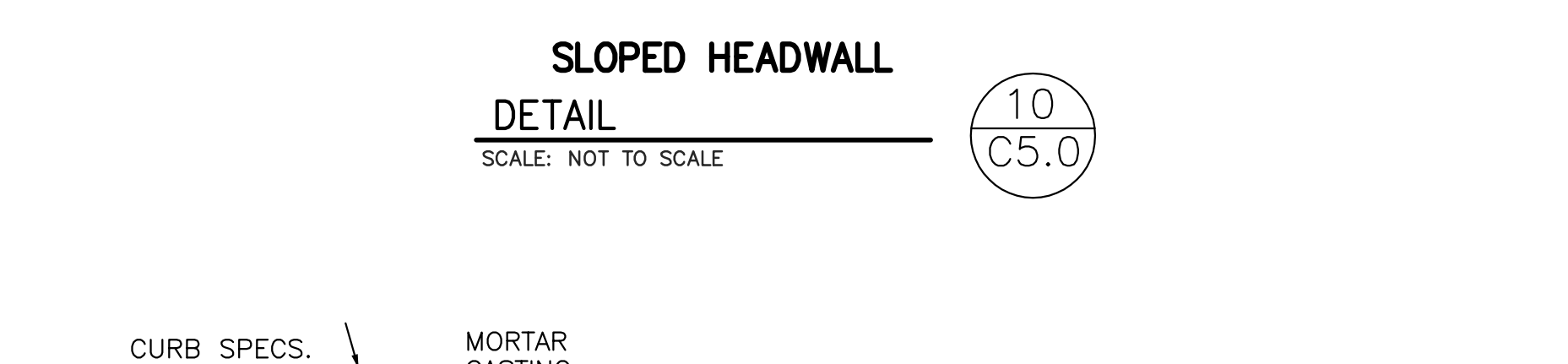
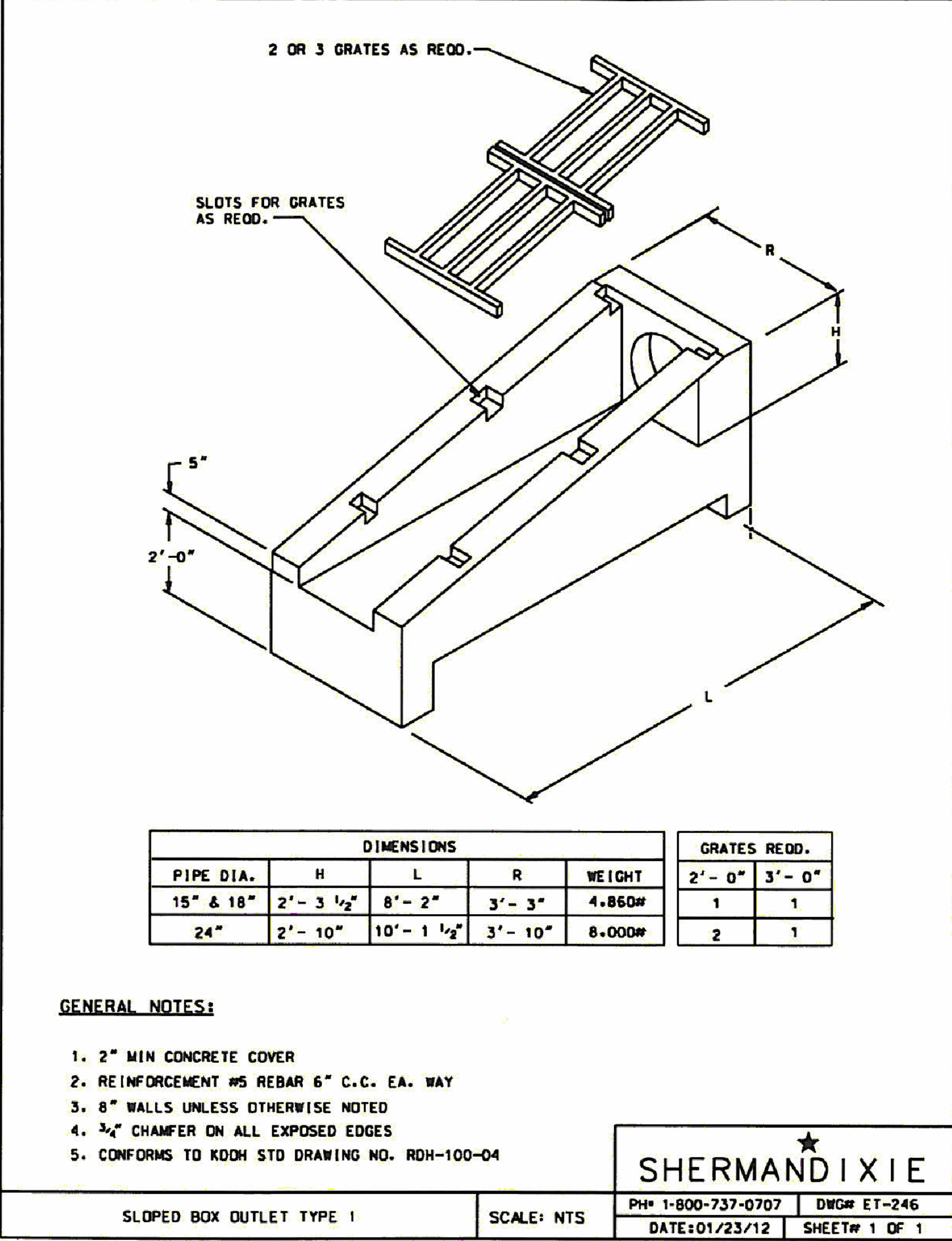
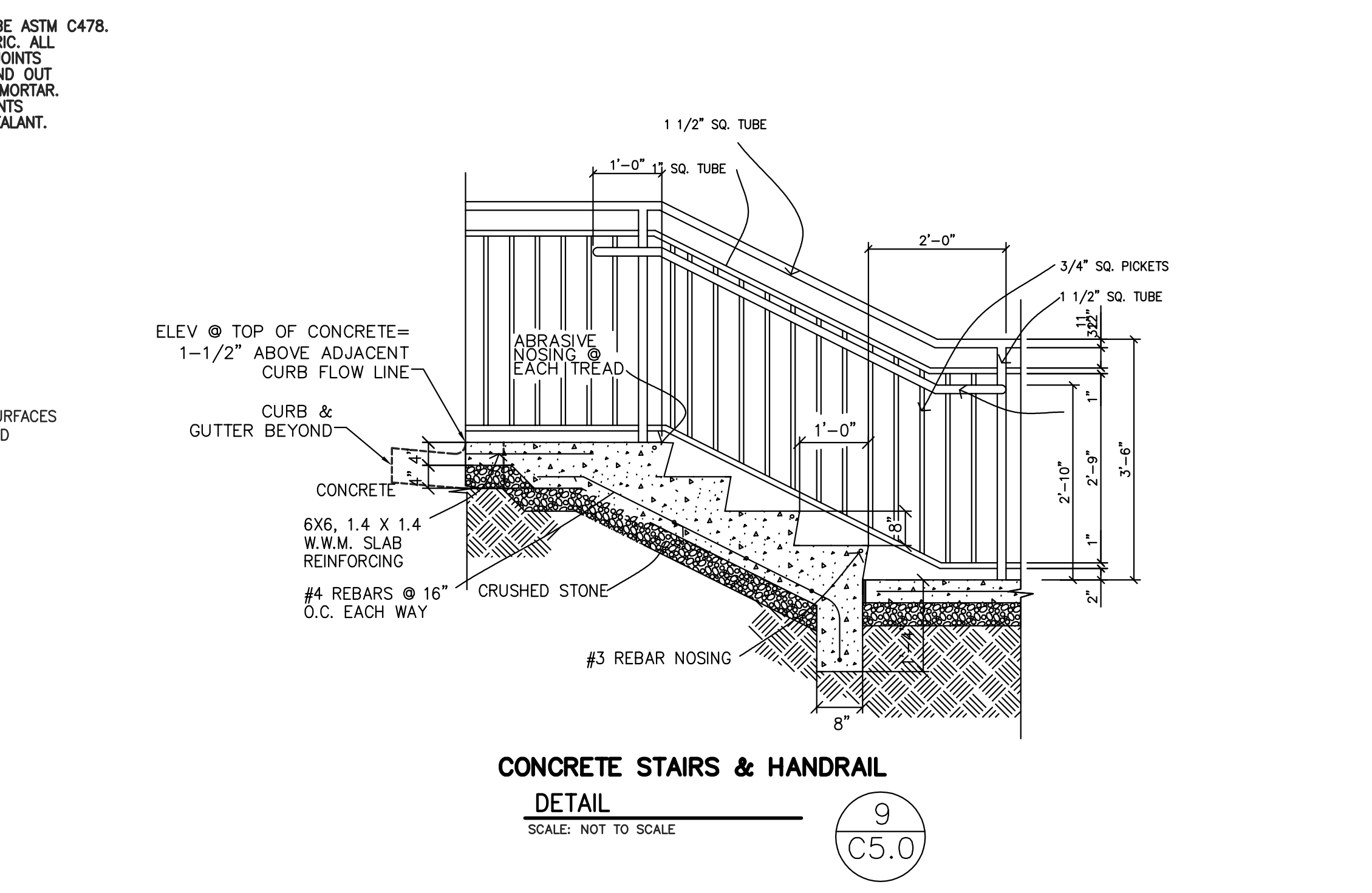
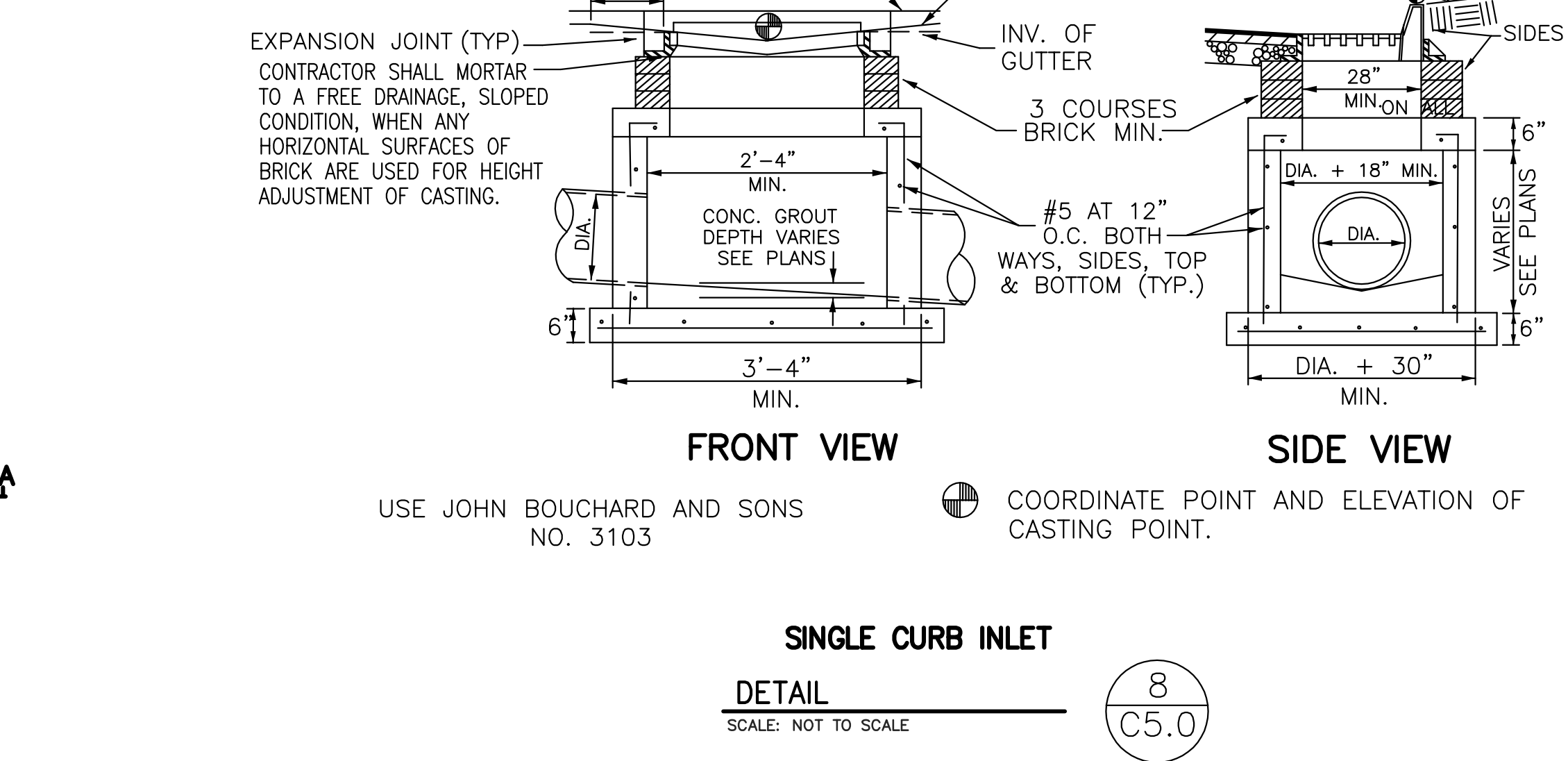
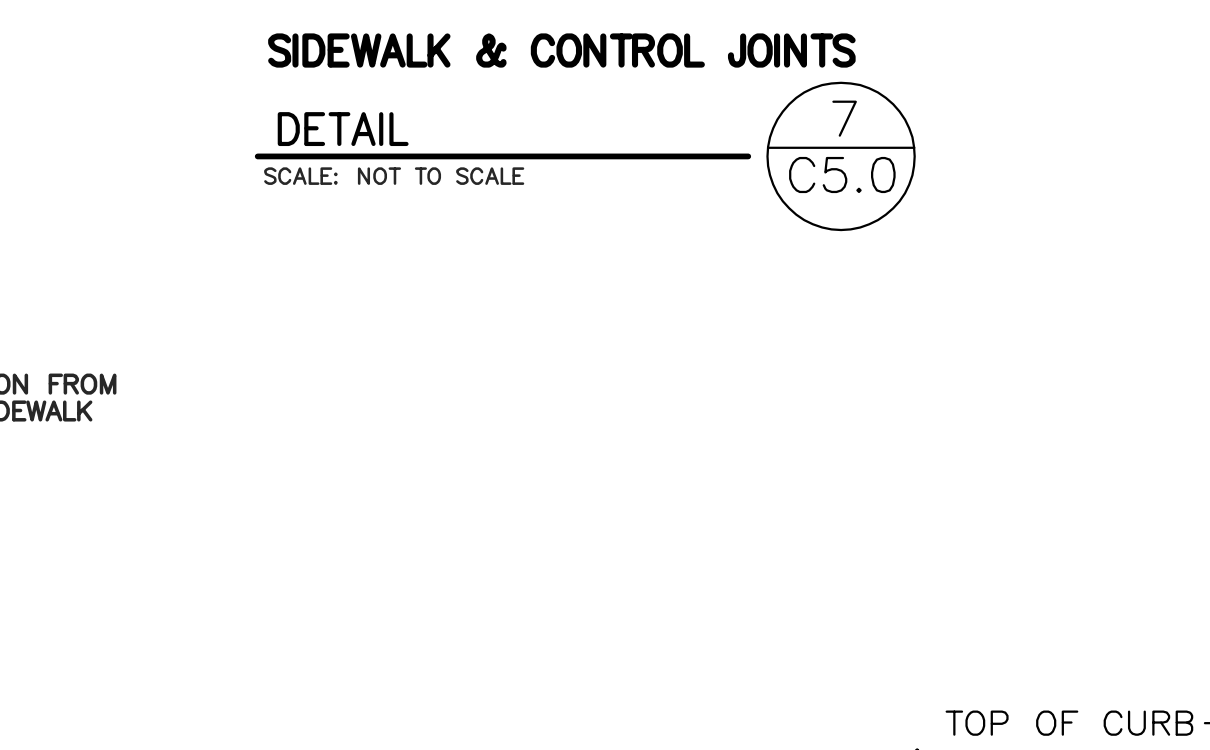
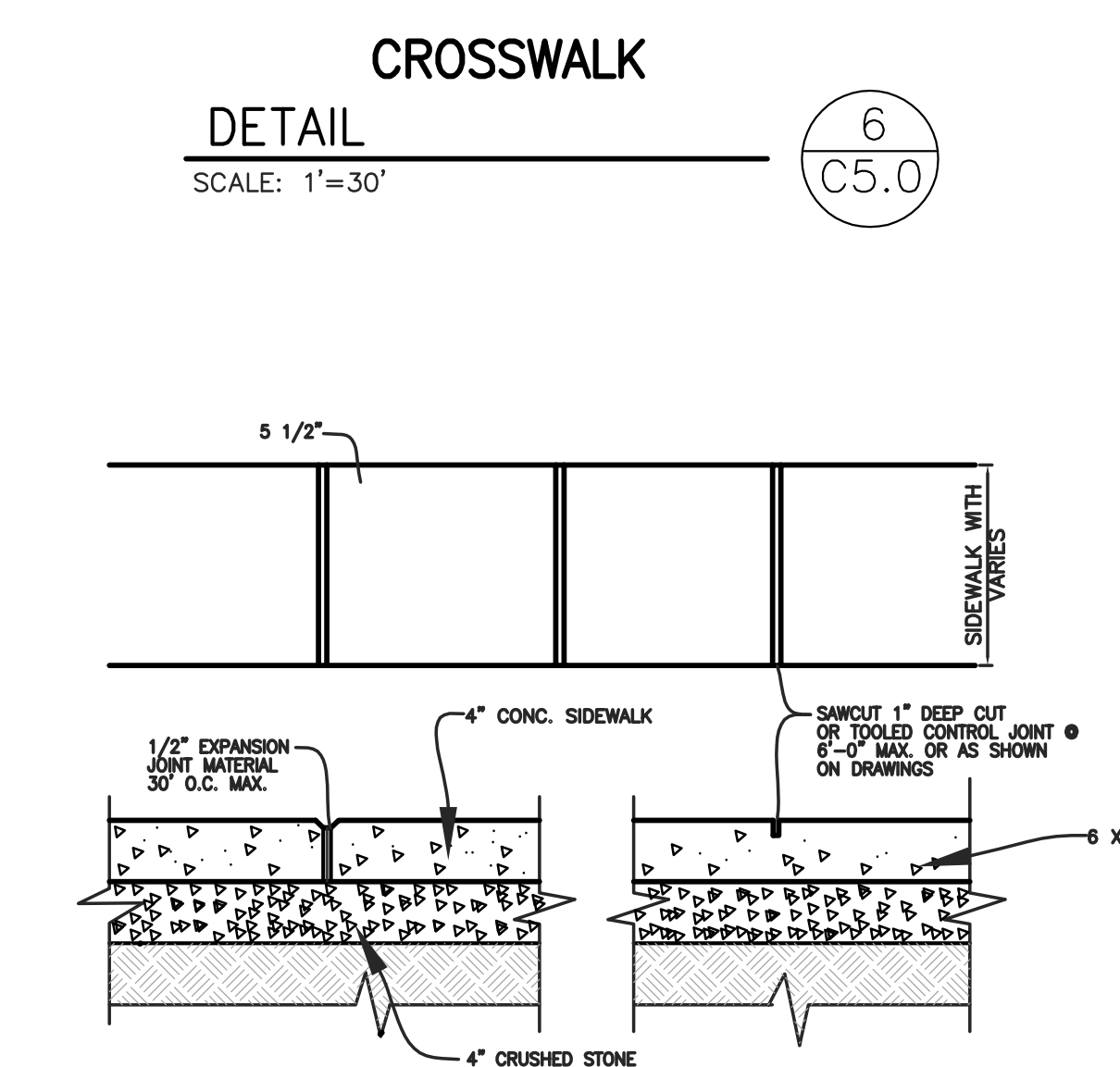
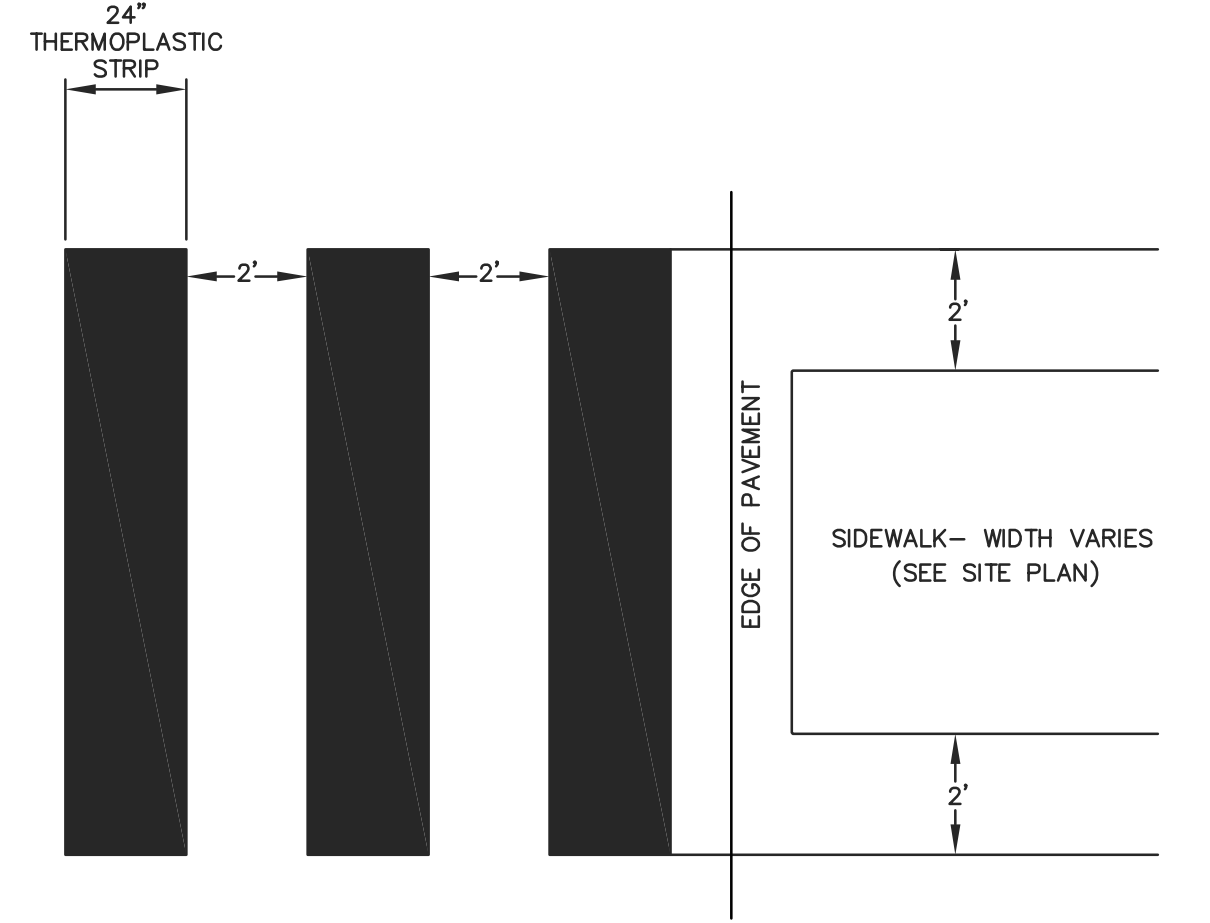
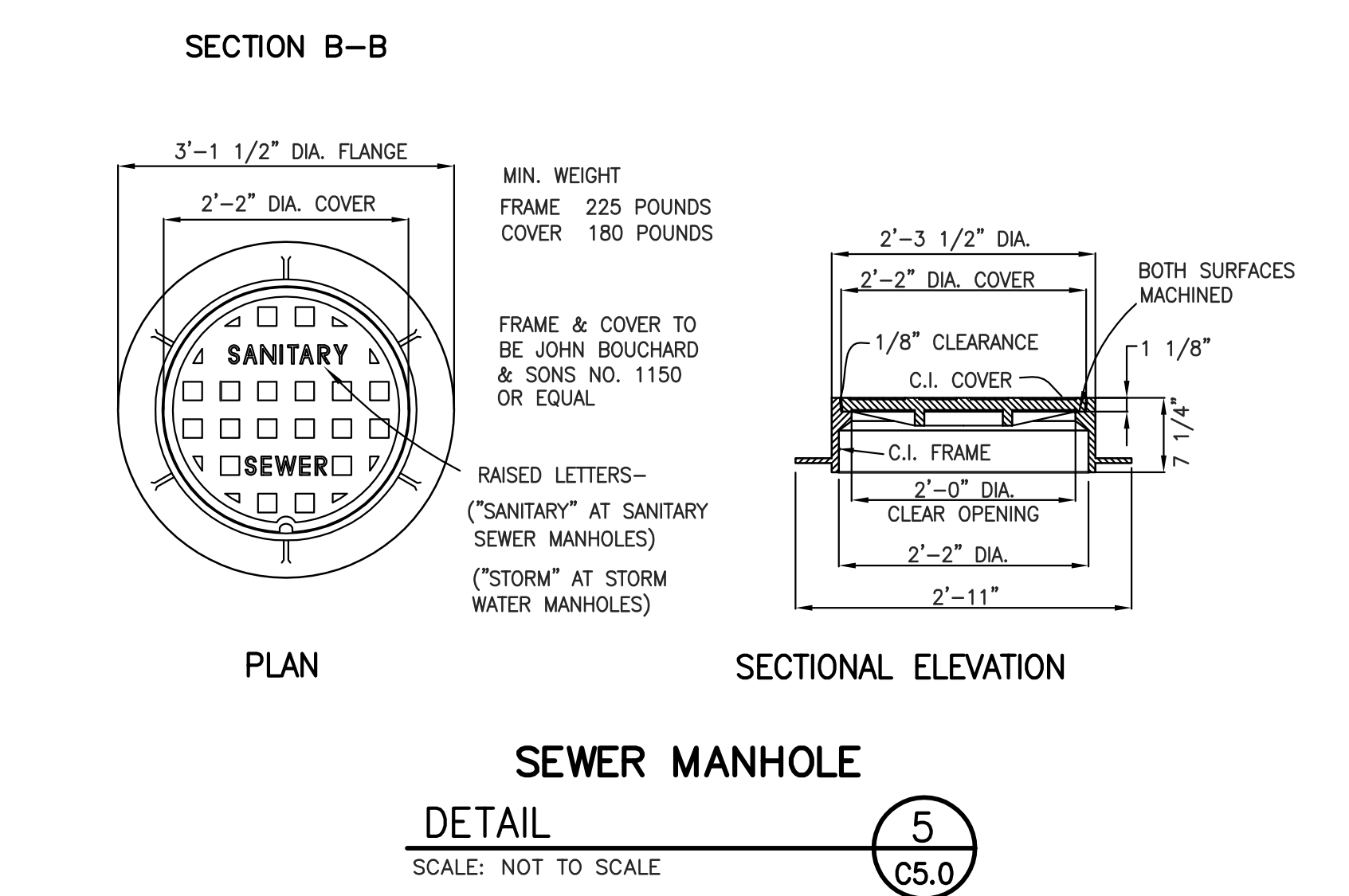
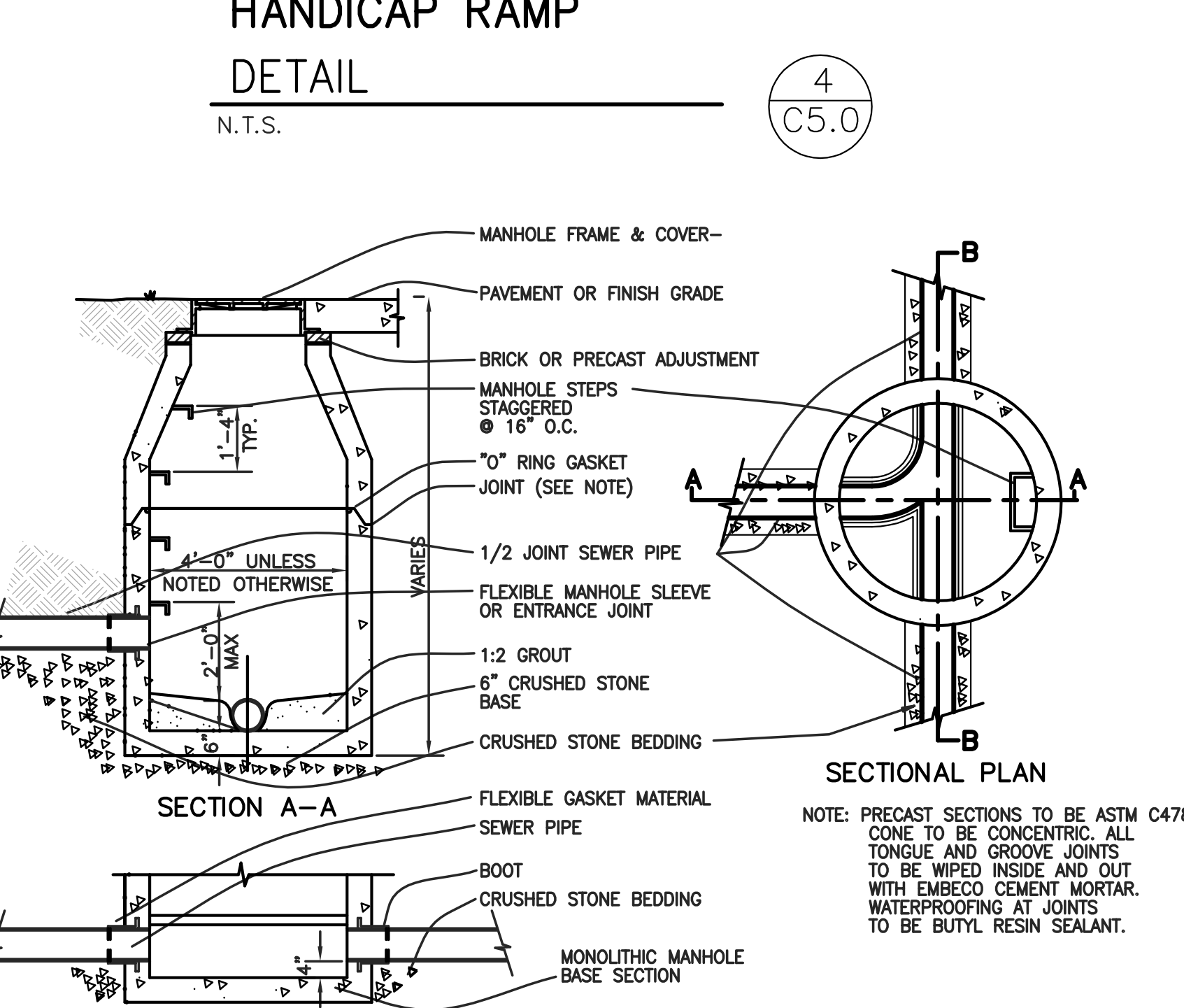
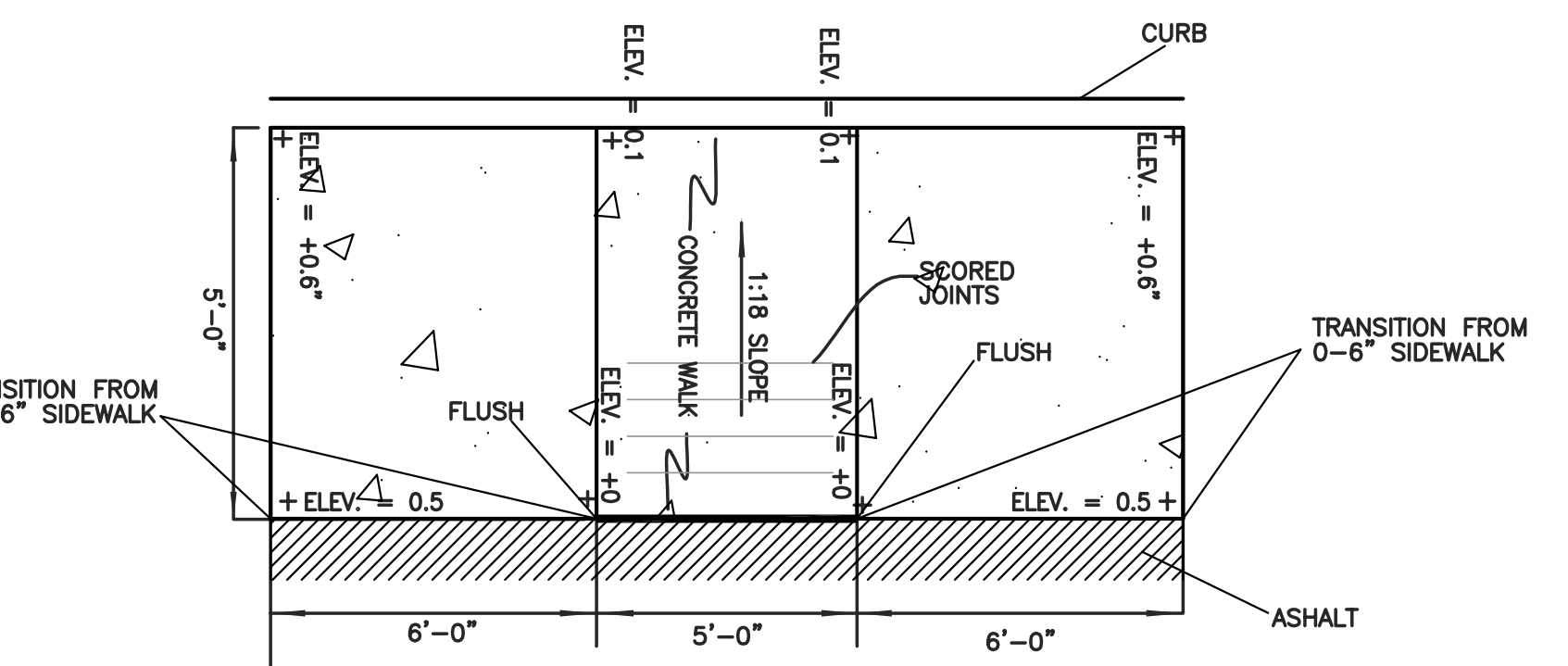
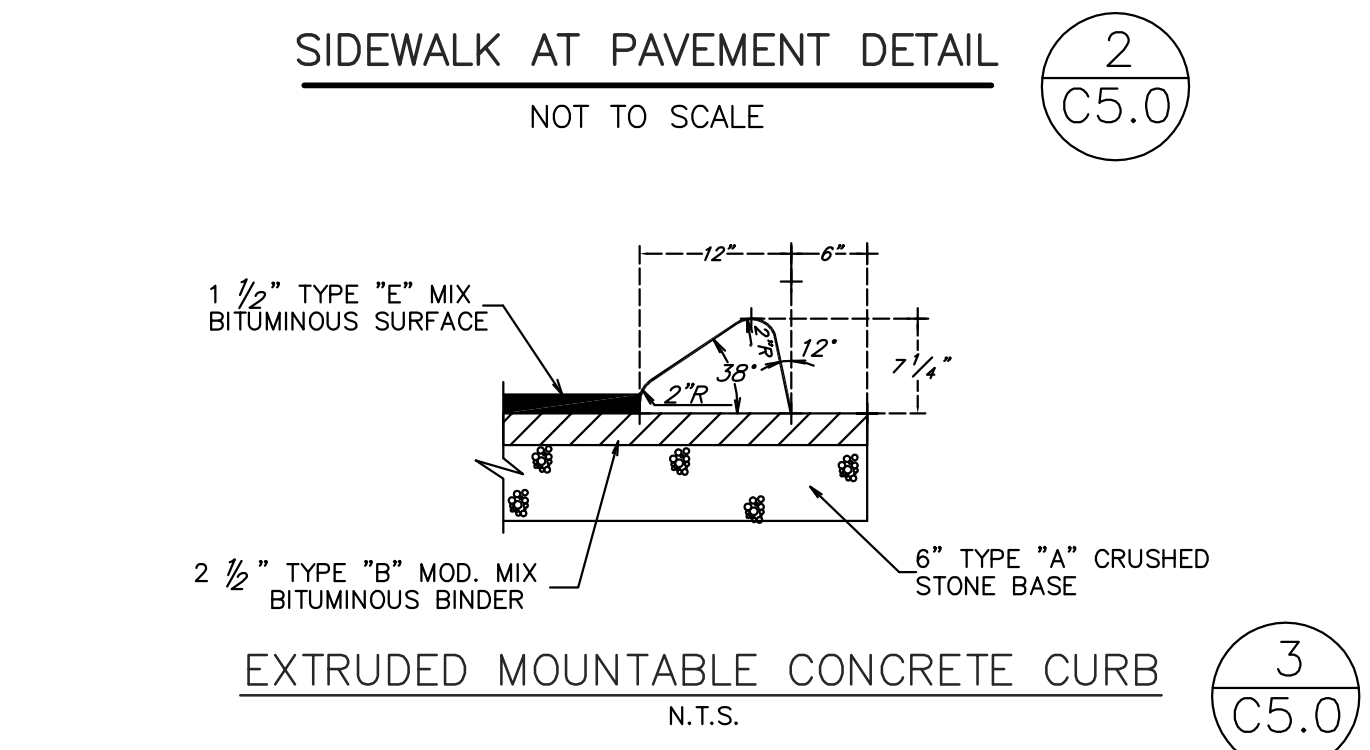
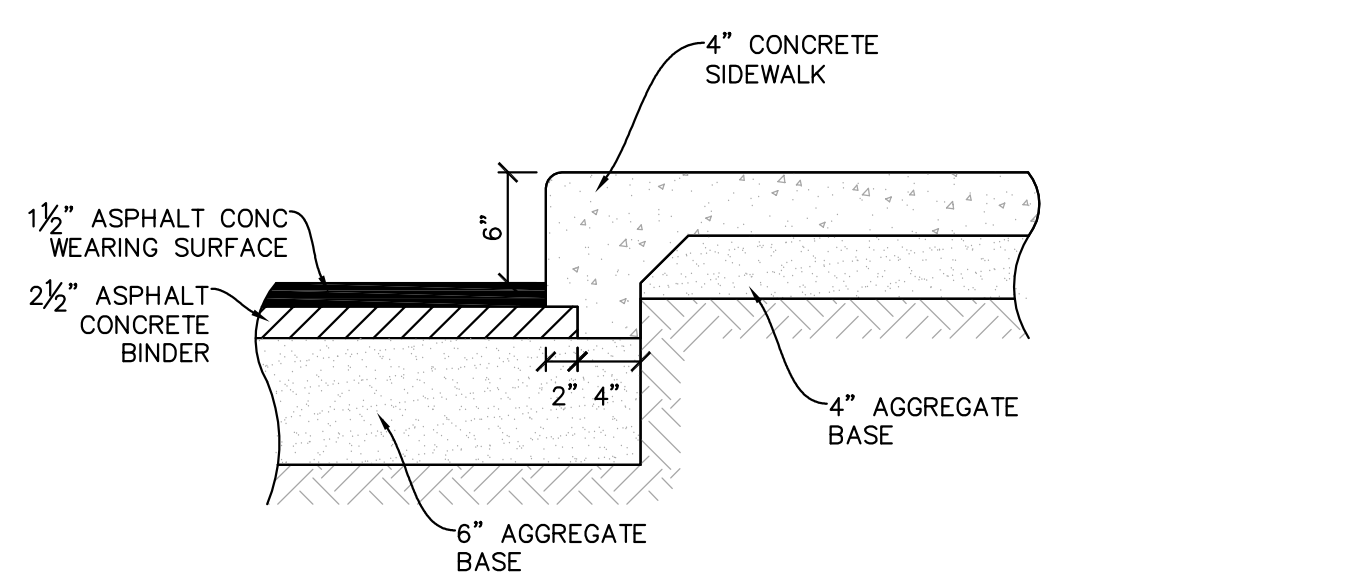
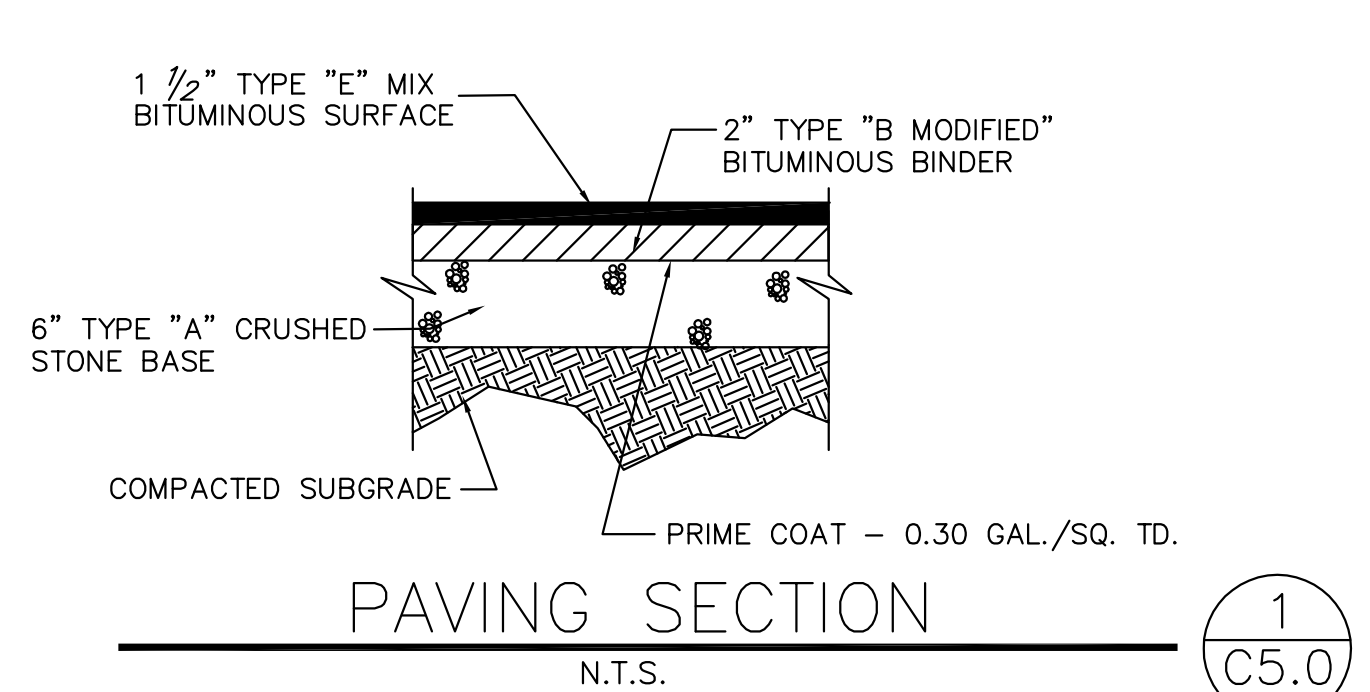
SITE UTILITY PLAN
HERITAGE MIDDLE SCHOOL AUDITORIUM
4803 COLUMBIA PIKE
THOMPSON'S STATION, TN 37179
PLANNING
COMMISSION
C4.0 SUBMITTAL
GMC # ANAS160009

Project	Issue	DATE
REVISED PER STAFF COMMENTS	11/17/16	

drawn by: Author
checked by: Checker



GOODWYN MILLS CAWOOD
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TEL 615.333.7200 | GCMNETWORK.COM



Phone: (615) 794-4333
Fax: (615) 794-3313
www.thompsons-station.com



1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

DATE: November 15, 2016
TO: Planning Commission
FROM: Wendy Deats, Town Planner
SUBJECT: Item 3 – Tollgate Traffic Signal

On July 28, 2015, a preliminary plat was approved by the Planning Commission for phase 15 with contingencies, three of which dealt with traffic mitigation:

5. Prior to the submittal of the final plat for Phase 15, an updated traffic study with a specific scope being a schedule of improvements for traffic mitigation including a secondary access shall be reviewed and approved by the Town.
6. A traffic signal shall be installed at the intersection of State Route 6 (Columbia Pike) and Tollgate Boulevard at the expense of the Developer.
7. Prior to approval of the final plat, the Developer shall report and update their schedule for the traffic signal installation and a bond will be required to ensure completion of the signal.

Intersection improvements were submitted to the Town and the Tennessee Department of Transportation (TDOT) for intersection improvements at Columbia Pike/Tollgate Boulevard. These improvements include a southbound right turn lane and the installation of a wire traffic signal. TDOT has reviewed the plans and issued the Town a letter of "no objection" for the signal on November 1, 2016.

The Town Engineer has reviewed the plans and recommends that the improvements move forward in the approval process. A surety is required for the traffic signal; therefore, the developer has submitted a cost estimate. Based on our review of the cost estimate, Staff recommends the surety be set at \$126,000. In addition, the Town Engineer recommends a surety in the amount of \$95,000 for the additional improvements at the intersection.

Following Town approval, it will be necessary for the developer to obtain a grading permit from TDOT to work within the right-of-way to construct and install the turn lane and signal.

Recommendation

Staff recommends the Planning Commission approve the traffic improvement plans for the intersection of Columbia Pike/Tollgate Boulevard with the following contingencies:

1. Prior to the approval of installation of the traffic improvements, the Town Engineer shall approve the construction plans.
2. Prior to the approval of construction plans, the applicant shall post a surety in the amount of \$221,000 for the intersection improvements.

Attachments

Tollgate Intersection Improvements
TDOT Letter dated November 1, 2016



**STATE OF TENNESSEE
DEPARTMENT OF TRANSPORTATION**

REGION 3 TRAFFIC OFFICE
6603 CENTENNIAL BOULEVARD
NASHVILLE, TENNESSEE 37243-0360
(615) 350-4189

JOHN C. SCHROER
COMMISSIONER

BILL HASLAM
GOVERNOR

November 1, 2016

Wendy Deats
Town of Thompson's Station
City Planner
P.O. Box 100
Thompson's Station, TN 37179

Re: Traffic Study
Intersection of SR6 and Tollgate Road
Thompson Station, Williamson County

Dear Ms. Deats:

Per your request, the TDOT Region 3 Traffic Office reviewed the traffic study at the intersection of SR6 and Tollgate Road that was conducted as part of a TDOT Roadway Safety Audit Review.

Based on the conclusions/recommendations of the traffic study, the Region 3 Traffic Office does not object if the city elects to install a traffic signal at the subject intersection.

Since the subject intersection is located inside the city limits of Thompson's Station, the city would be responsible for funding/securing funding, installing and maintaining the traffic signal. Feel free to proceed with the installation if you elect to do so.

Please let me know if I can answer any questions or be of further assistance.

Sincerely,

Phil Trammel, PE
Region 3 Traffic Engineer
Tennessee Department of Transportation
6601 Centennial Blvd.
Nashville, TN 37243

INTERSECTION IMPROVEMENTS FOR TOLLGATE VILLAGE COLUMBIA PIKE AT TOLLGATE BOULEVARD

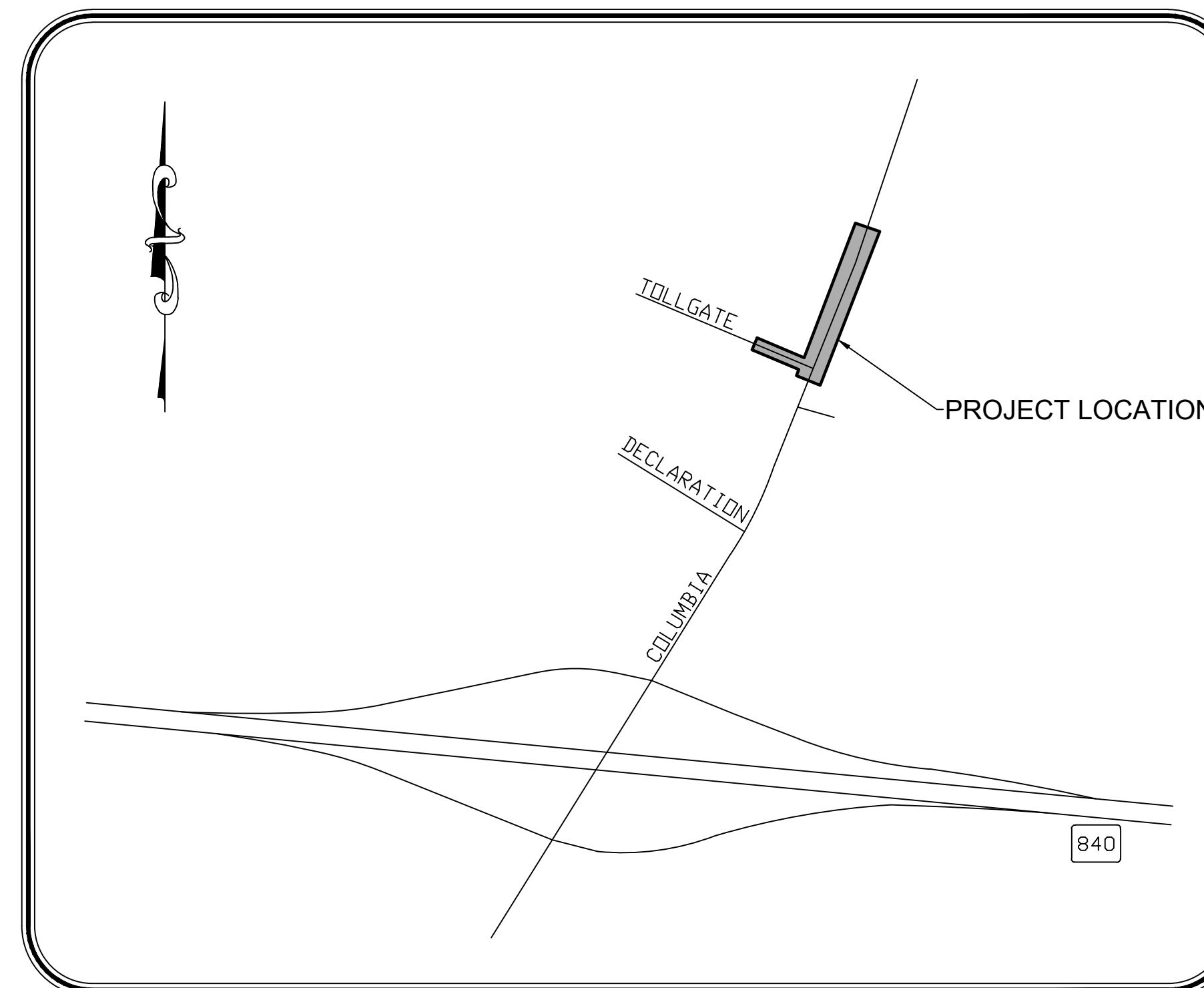
CONTACTS

PROJECT REPRESENTATIVE

MR. BRIAN ROWE
MBSC TN HOMEBUILDER, LLC.
312 SOUTH GAY STREET, SUITE 202
KNOXVILLE, TENNESSEE 37902
(865) 771-9982
BRIANROWE@HENRYANDWALLACE.COM

CIVIL

RAGAN-SMITH ASSOCIATES, INC.
MR. BRANDON BAXTER, P.E., PTOE
315 WOODLAND STREET
NASHVILLE, TN 37206
(615) 244-8591
BBAXTER@RAGANSMITH.COM



LOCATION MAP
N.T.S.

INDEX OF SHEETS

SHEET	DESCRIPTION
CVR	COVER SHEET
CIVIL PLANS	
R1.0	TYPICAL SECTION
R1.1	NOTES & DETAILS
R2.0	PRESENT LAYOUT
R3.0	PROPOSED LAYOUT
R4.0	GRADING PLAN
R5.0	PAVEMENT MARKING AND SIGNAGE PLAN
R6.0	TRAFFIC SIGNAL PLAN

INTERSECTION IMPROVEMENTS
 FOR
TOLLGATE VILLAGE

TOWN OF THOMPSON'S STATION, TENNESSEE

RAGAN SMITH
 LAND PLANNERS • CIVIL ENGINEERS
 LANDSCAPE ARCHITECTS • SURVEYORS
 NASHVILLE 811 STREET SUITE 202
 CHATTANOOGA, TENNESSEE 37408
 (615) 244-8591 • www.ragan-smith.com • (615) 244-8591



JOB NO.	10-081	DESIGNED:	BSB	DRAWN:	TRG	SCALE:	N.T.S.	DATE:	07/12/2016
WK. ORDER	9260	TO-18-16 (R.S.B.) Rev. PER TDOT COMMENTS REVISIONS							



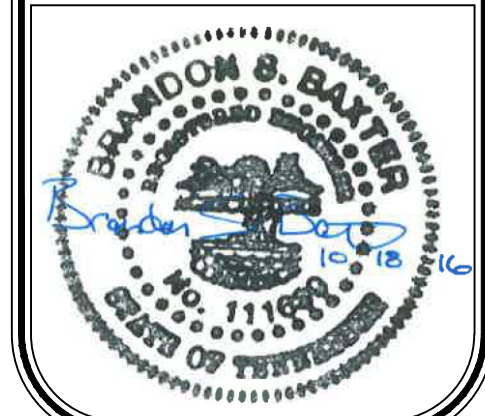
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TOWN OF THOMPSON'S STATION, TENNESSEE

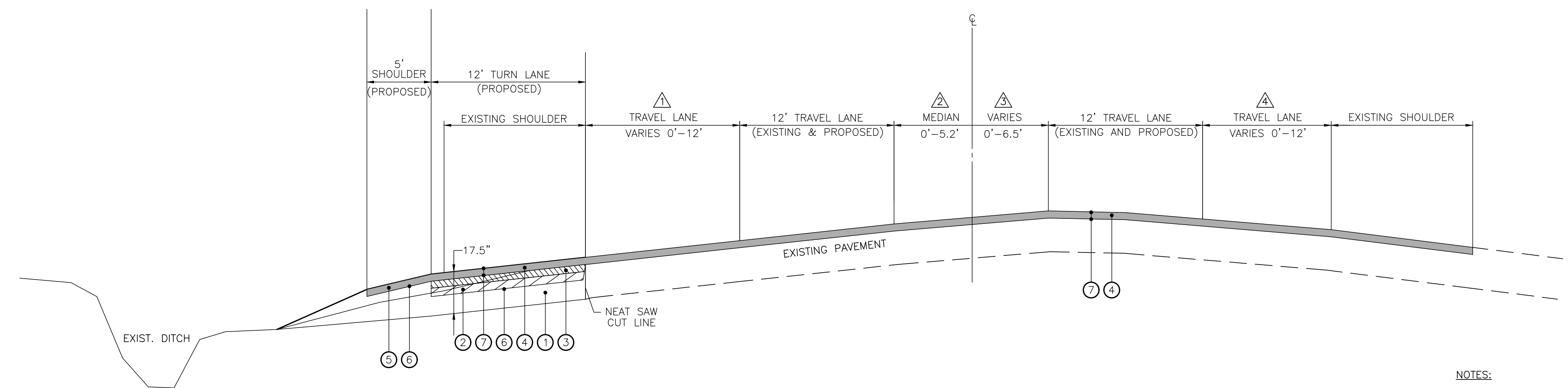
COVER SHEET

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INTERSECTION IMPROVEMENTS
 FOR
TOLLGATE VILLAGE
 TOWN OF THOMPSON'S STATION, TENNESSEE



COLUMBIA PIKE
 STA. 13+92.07 TO STA 21+46.66

- NOTES:**
- △ WIDTH IS 12.0' FROM STA 13+92.07 TO STA 20+00. WIDTH VARIES FROM 12.0' AT STA. 20+00 TO 0.0' AT STA. 21+46.66.
 - △ WIDTH VARIES FROM 5.2' AT STA. 14+14.37 TO 4.2' AT STA. 16+92.58. WIDTH IS 4.2' FROM STA. 16+92.58 TO STA. 18+53.78. WIDTH VARIES FROM 4.2' AT STA. 18+53.78 TO 0.0' AT STA. 20+27.97. WIDTH IS 0.0' FROM STA. 20+27.97 TO STA. 21+46.66.
 - △ WIDTH VARIES FROM 5.7' AT STA 14+14.37 TO 0.0' AT STA 18+07.94. WIDTH IS 0.0' FROM STA 18+07.94 TO STA 21+46.66.
 - △ WIDTH IS 12.0' FROM STA 14+14.37 TO STA 17+14.36. WIDTH VARIES FROM 12.0' AT STA. 17+14.36 TO 0.0' AT STA. 21+46.66.

PROPOSED PAVEMENT SCHEDULE	
<p>① MINERAL AGGREGATE BASE 10" THICK 303-01 MINERAL AGGREGATE TYPE "A" BASE, GRADING "D"</p>	<p>⑤ BITUMINOUS SURFACE 1.5" THICK 411-01.07 ASPHALT CONCRETE MIX (PG64-22)(ACS) GRADING "E" SHOULDERS (APPROX. 132.5 LBS. PER SQ. YD.)</p>
<p>② BITUMINOUS AGGREGATE BASE 4" THICK 307-01.01 ASPHALT CONCRETE MIX (PG64-22) (BPMB-HM) GRADING "A" (APPROX. 460 LBS. PER SQ. YD.)</p>	<p>⑥ PRIME COAT 402-01 BITUMINOUS MATERIAL FOR PRIME COAT (PC) AT 0.31-0.35 GAL. PER SQ. YD. 402-02 AGGREGATE FOR COVER MATERIAL (PC) AT 8-12 LBS. PER SQ. YD.</p>
<p>③ BITUMINOUS BINDER AT 2" THICK 307-01.08 ASPHALT CONCRETE MIX (PG64-22)(BPMB-HM),GRADING "B-M2" (APPROX. 226 LBS. PER SQ. YD.)</p>	<p>⑦ TACK COAT 403-01 BITUMINOUS MATERIAL FOR TACK COAT (TC) AT 0.02 GAL. PER SQ. YD.</p>
<p>④ BITUMINOUS SURFACE 1.5" THICK 411-01.10 ASPHALT CONCRETE MIX (PG64-22)(ACS) GRADING "D" (APPROX. 132.5 LBS. PER SQ. YD.)</p>	<p>NOTE: ALL PAVEMENT ITEM NUMBERS USED IN THE ABOVE SCHEDULE ARE TDOT ITEMS.</p>

JOB NO.	10-081	DESIGNED:	BSB	DRAWN:	TRG	SCALE:	N.T.S.	DATE:	07/12/2016
WK. ORDER	9260	<input checked="" type="checkbox"/> TO-18-A-E (S.S.B.) Rev. PER TDOT COMMENTS REVISIONS							

TYPICAL SECTION

R1.0

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RSA STANDARD NOTES

GENERAL NOTES

- N1. THE CONTRACTOR SHALL GIVE ALL NECESSARY NOTICES AND OBTAIN ALL PERMITS, AND PAY ALL LEGAL FEES AND CONSTRUCTION TESTING FEES ASSOCIATED WITH THE PROJECT. HE SHALL ALSO COMPLY WITH ALL CITY, COUNTY AND STATE BUILDING LAWS, ORDINANCES OR REGULATIONS RELATING TO BUILDING SIDEWALKS, STREETS, WATER MAINS, SEWERS, BLASTING, ETC.
- N2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR AND SHALL BEAR ALL EXPENSES FOR THE FIELD STAKING OF THE SITE LAYOUT NECESSARY FOR THE PROPER EXECUTION OF THE WORK. THE CONTRACTOR WILL BE HELD RESPONSIBLE FOR THE DAMAGE OR LOSS OF ANY REFERENCE POINTS, MONUMENTS, HUBS AND LOT CORNERS STAKED BY OTHERS DURING THE CONSTRUCTION OF HIS WORK AND SHALL BEAR THE COST OF REPLACING SAME.
- N3. THE CONTRACTOR IS TO CHECK AND VERIFY ALL MEASUREMENTS, LEVELS, ETC., BEFORE ORDERING MATERIALS AND PROCEEDING WITH THE WORK, AND IS TO BE RESPONSIBLE FOR THE SAME.
- N4. THE CONTRACTOR MUST UNDERSTAND THAT THE WORK IS ENTIRELY AT HIS RISK UNTIL SAME IS ACCEPTED AND HE WILL BE HELD RESPONSIBLE FOR ITS SAFETY BY THE OWNER.
- N5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE DONE TO THE PREMISES OR ADJACENT PREMISES, OR INJURIES TO THE PUBLIC DURING THE CONSTRUCTION OF THE WORK, CAUSED BY HIMSELF, HIS SUBCONTRACTORS OR THE CARELESSNESS OF ANY OF HIS EMPLOYEES. NOTHING IN THE GENERAL NOTES SHALL RELIEVE THE CONTRACTOR FROM HIS RESPONSIBILITIES TOWARD THE SAFETY AND CONVENIENCE OF THE GENERAL PUBLIC AND THE RESIDENTS ALONG THE PROPOSED CONSTRUCTION AREA.
- N6. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY WORKS SUCH AS BRACING, SHEETING AND SHORING, BLASTING PROTECTION, WARNING LIGHTS AND BARRICADES, ETC. AS MAY BE NECESSARY FOR THE PROTECTION OF LIFE AND PROPERTY FOR HIS OWN EMPLOYEES AND THE GENERAL PUBLIC. THE CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE SAFETY STATUTES AND RULES REQUIRING CERTAIN PROTECTIVE PERSONAL APPAREL SUCH AS HARD HATS, EAR PLUGS, EYE SHIELDS, PROTECTIVE SHOES, ETC. THE OWNER AND ENGINEER ASSUME NO RESPONSIBILITY OR LIABILITY FOR ACTIONS TAKEN BY THE CONTRACTOR ENDANGERING LIFE OR PROPERTY.
- N7. THE LOCATION OF EXISTING PIPING AND UNDERGROUND UTILITIES, SUCH AS WATER AND GAS LINES, ELECTRICAL, FIBER OPTIC AND TELEPHONE CONDUITS, ETC., AS SHOWN ON THE PLANS HAVE BEEN DETERMINED FROM THE BEST AVAILABLE INFORMATION BY ACTUAL SURVEYS, OR TAKEN FROM THE RECORDS AND DRAWINGS OF THE EXISTING UTILITIES. THE OWNER AND ENGINEER DO NOT ASSUME RESPONSIBILITY FOR THE POSSIBILITY THAT, DURING CONSTRUCTION, UTILITIES OTHER THAN THOSE SHOWN MAY BE ENCOUNTERED OR THAT ACTUAL LOCATION OF THOSE SHOWN MAY BE DIFFERENT FROM THE LOCATIONS DESIGNATED ON THE CONTRACT DRAWINGS. IN AREAS WHERE IT IS NECESSARY THAT EXACT LOCATIONS BE KNOWN OF UNDERGROUND UTILITIES, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, FURNISH ALL LABOR AND TOOLS TO EITHER VERIFY AND SUBSTANTIATE OR DEFINITELY ESTABLISH THE POSITION OF UNDERGROUND UTILITIES.
- N8. THE CONTRACTOR SHALL EXERCISE EXTREME CAUTION FOR ANY ACTIVITY THAT WILL PLACE EQUIPMENT OR PERSONNEL WITHIN CONTACT RANGE OF OVERHEAD OR UNDERGROUND ELECTRICAL OR GAS TRANSMISSION LINES. ANY SUCH ACTIVITY WITHIN A NOTED UTILITY EASEMENT OR THE PROXIMITY OF ELECTRICAL OR GAS LINE UTILITIES SHOULD BE COORDINATED WITH THE PROPER UTILITY BEFORE COMMENCING WITH ANY WORK. IT IS INCUMBENT UPON THE CONTRACTOR TO BECOME FAMILIAR WITH THE SITE AND TO VERIFY TO HIS SATISFACTION THE LOCATION, NATURE AND EXTENT OF ALL OVERHEAD AND UNDERGROUND UTILITIES THAT WILL BE IMPACTED BY THE CONSTRUCTION EFFORTS REQUIRED FOR THIS PROJECT. THE CONTRACTOR SHALL INSTALL ALL NECESSARY WARNING OR SAFETY SIGNAGE, BARRICADES, OR NOTICES, ETC. TO INSURE THE SAFETY OF HIS EMPLOYEES AND THE GENERAL PUBLIC IN THE PROJECT AREA.
- N9. IN TENNESSEE, IT IS A REQUIREMENT BY LAW, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS, NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE, OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. NOTIFICATION BY CALLING THE TENNESSEE ONE CALL SYSTEM, INC. AT 1-800-351-1111 IS REQUIRED.
- N10. PORTIONS OF THE WORK SHOWN ON THESE PLANS MAY REQUIRE TRENCH AND/OR MASS EXCAVATION. IN SOME CASES, THIS WILL REQUIRE THE REMOVAL OF ROCK. IN THE USE OF EXPLOSIVES FOR THE SUBSEQUENT EXCAVATION OF ROCK MATERIAL, ALL APPLICABLE LOCAL AND STATE REQUIREMENTS REGARDING THE USE AND STORAGE OF EXPLOSIVE MATERIAL WILL BE FOLLOWED. THE PROPER PERMITS WILL BE SECURED AND PRE-BLAST SURVEYS WILL BE CONDUCTED IN AREAS WHERE ADJACENT PROPERTIES OR IMPROVEMENTS OFF OF THE PROJECT PROPERTY COULD BE IMPACTED. IN PORTIONS OF THE PROJECT WHERE TRENCH EXCAVATION IS REQUIRED, THE CONTRACTOR WILL BECOME FAMILIAR WITH ALL APPLICABLE TRENCH SAFETY REQUIREMENTS AND REGULATIONS AND TAKE THE NECESSARY MEASURES TO INSURE THE SAFETY OF HIS EMPLOYEES AND ANY OTHER INDIVIDUALS HAVING A NEED TO BE IN AND AROUND THE WORK.
- N11. IF, DURING CONSTRUCTION OF THIS PROJECT, A QUESTION OF INTENT OR CLARITY ARISES FROM THE CONSTRUCTION PLANS, THE CONTRACTOR WILL IMMEDIATELY BRING THE MATTER TO THE ATTENTION OF THE CIVIL ENGINEER FOR RESOLUTION BEFORE THE AFFECTED WORK ITEMS ARE INITIATED OR PURSUED FURTHER.
- N12. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY ANY AFFECTED OFFSITE PROPERTY OWNER TWO WEEKS PRIOR TO CONSTRUCTION ON SAID OFFSITE PROPERTY. THIS NOTIFICATION IS REQUIRED EVEN WITH CONSTRUCTION BEING CONFINED WITHIN EXISTING EASEMENT(S). ACCESS TO ALL PRIVATE PROPERTIES SHALL BE PROVIDED AND MAINTAINED AT ALL TIMES DURING THE CONSTRUCTION OF THE PROJECT.
- N13. CARE SHALL BE TAKEN TO PROTECT ANY UTILITIES, TREES, BUILDINGS, ETC. WHICH ARE TO REMAIN AND NOT TO BE DISTURBED BY THE CONSTRUCTION.
- N14. THE CONTRACTOR SHALL BE REQUIRED TO REMOVE AND RESET ANY MAILBOXES WHERE AND AS DIRECTED BY THE ENGINEER AND OR OWNER.
- N15. PORTIONS OF THIS PROJECT MAY REQUIRE DISRUPTION, LANE CLOSURES AND POSSIBLE RE-ROUTING OF VEHICULAR TRAFFIC. AS THAT PART OF THE WORK IS UNDERTAKEN, THE CONTRACTOR WILL TAKE APPROPRIATE MEANS TO INSURE THE SAFETY OF THE GENERAL PUBLIC TRAVELING THE ROADWAYS THAT ARE IMPACTED. THE CONTRACTOR SHALL USE THE TRAFFIC CONTROL RELATED NOTES AND DETAILS IN THIS PLAN SET, THE CURRENT EDITION OF THE MUTCD, AND HIS EXPERIENCE TO DEVELOP A MASTER TRAFFIC CONTROL PLAN FOR THOSE PORTIONS OF THE WORK THAT IMPACT TRAFFIC ON PUBLIC ROADWAYS. THIS PLAN WILL BE REQUIRED TO BE SUBMITTED TO THE JURISDICTIONAL AUTHORITY FOR REVIEW AND APPROVAL BEFORE IMPLEMENTATION.
- N16. THE CONTRACTOR'S AUTHORIZED FIELD REPRESENTATIVE SHALL NOTIFY THE TOWN OF THOMPSON'S STATION PRIOR TO COMMENCING ANY WORK ON THE PUBLIC ROW.

GRADING NOTES

- G1. THE EXISTING CONTOURS SHOWN ARE FROM FIELD RUN SURVEY BY RAGAN-SMITH ASSOCIATES, INC. CONTOUR INTERVAL IS ONE FOOT.
- G2. ALL GRADING, PUBLIC ROADWAY CONSTRUCTION AND DRAINAGE APPURTENANCES TO BE BUILT AND INSTALLED AS PER THE SPECIFICATIONS OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION. BEFORE ANY SURFACE TREATMENT IS PUT DOWN, SUBGRADE MUST BE PROOFROLLED.
- G3. TOPSOIL STRIPPED FROM THE AREAS TO BE GRADED WILL BE STOCKPILED ON SITE AS DIRECTED BY THE OWNER AND ENGINEER AND SHALL LATER BE USED IN FINAL DRESSING AND SEEDBED PREPARATION. SAID STOCKPILES WILL BE LOCATED SO AS NOT TO INTERFERE WITH ACTIVITIES OF OTHER PORTIONS OF THE WORK ON THE PROJECT. ALL MATERIAL SHALL BE DISPOSED OF IN UPLAND (NON-WETLAND) AREAS AND ABOVE ORDINARY HIGH WATER OF ANY ADJACENT WATERCOURSE.
- G4. THE CONTRACTOR WILL PLACE AND STORE IN STOCKPILES CONSTRUCTION MATERIAL, INCLUDING BUT NOT LIMITED TO CRUSHED STONE, TOPSOIL, EXCAVATED WORK AND/OR ROCK, IN SUCH A WAY AS NOT TO IMPOSE A POTENTIAL FOR SLIDES OR MOVEMENT OF THE MATERIAL THAT WOULD CAUSE INJURY OR DEATH TO THE CONTRACTOR'S EMPLOYEES OR ANY OTHER INDIVIDUAL THAT MIGHT BE ON THE PROJECT SITE. THIS WOULD INCLUDE BUT NOT NECESSARILY BE LIMITED TO THE SECURING OF STOCKPILE MATERIALS BY FENCING OR OTHER MEANS TO PRECLUDE UNWARRANTED VISITORS OR TRESPASSERS ON THE PROJECT SITE. STOCKPILED MATERIALS SHALL NOT IMPAIR NECESSARY SIGHT DISTANCES FOR PUBLIC ROADWAYS, DRIVEWAYS, CONSTRUCTION ENTRANCES, ETC.
- G5. THE STOCKPILING OR STORAGE OF TREES, VEGETATION AND OTHER DELETERIOUS MATTER OR MATERIALS DEEMED "UNSUITABLE" BY THE ENGINEER SHALL NOT BE ALLOWED ON SITE. SAID MATERIALS SHALL BE PROPERLY DISPOSED OF OFF THE SITE, THE COST AND RESPONSIBILITY OF WHICH SHALL BE THE CONTRACTOR'S.
- G6. IF NOT OTHERWISE DICTATED BY THE GEOTECHNICAL REPORT, THE PLACING AND SPREADING OF ANY FILL MATERIAL IS TO BE STARTED AT THE LOWEST POINT AND BROUGHT UP IN HORIZONTAL LAYERS OF 8 INCH THICKNESS. SAID FILL MATERIAL IS TO BE SOIL AND ROCK ONLY, FREE OF SOD, ROOTS, FROZEN SOILS OR ANY OTHER DECOMPOSABLE MATERIAL. THE RELATIVE COMPACTION OF EACH LAYER SHALL NOT BE LESS THAN 95% OF THE STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D-698)
- G7. ANY OFF-SITE MATERIAL REQUIRED TO COMPLETE THE PROJECT EMBANKMENTS SHALL BE APPROVED BY THE ENGINEER. OFF-SITE BORROW OR WASTE AREAS ARE TO BE INCLUDED IN THE TOTAL PROJECT DISTURBED AREA IF THE BORROW OR WASTE AREA IS EXCLUSIVE TO THE PROJECT. IF THE BORROW OR WASTE AREA IS NOT EXCLUSIVE TO THE PROJECT, THEN THE CONTRACTOR SHALL PROVIDE DOCUMENTATION THAT THE SITE IS APPROVED BY THE REGULATORY AGENCIES, MEETS FEDERAL AND STATE ENVIRONMENTAL REGULATIONS AND DOES NOT IMPACT WATERS OF THE STATE.
- G8. ANY SURPLUS EXCAVATION SHALL BE REMOVED FROM THE SITE AS DIRECTED BY THE OWNER AND/OR CIVIL ENGINEER.

DRAINAGE NOTES

- D1. T.C. EL. REFERS TO TOP OF GRATE OF CASTINGS FOR CURB INLETS. THE T.C. EL. IS DEFINED AS THE ELEVATION AT THE CENTER POINT OF THE GRATE AT THE CURB FACE. FOR OTHER DRAINAGE STRUCTURES THE T.C. EL. IS DEFINED AS THE ELEVATION AT THE CENTER OF THE STRUCTURE. OFFSET DISTANCES ARE MEASURED FROM THE ROADWAY CENTERLINE TO THE T.C. EL. POINT. DRAINAGE STRUCTURE CASTING SHALL BE DRY SET WHEN BUILT AND MORTAR SET LATER WHEN ADJUSTED TO GRADE OF FINAL SURFACE TREATMENT.
- D2. ALL DRAINAGE COMPUTATIONS ARE BASED ON A 50-YEAR STORM FREQUENCY; LOCATION SPECIFIC RUNOFF COEFFICIENT; AREA IN ACRES; AND THE RATIONAL FORMULA OF Q=CIA.

GEOTECHNICAL NOTE

- GE01 NO GEOTECHNICAL STUDY HAS BEEN CONDUCTED ON THIS SITE. HOWEVER, THE DESIGN FOR THE SITE IMPROVEMENTS SHOWN ON THIS PLAN HAS RELIED ON EXPERIENCE WITH SIMILAR PROJECTS AND SIMILAR SOIL/SITE CONDITIONS. IF, IN THE PURSUIT OF THIS WORK BY THE CONTRACTOR, CONDITIONS OR CIRCUMSTANCES ARE ENCOUNTERED THAT ARE DIFFERENT THAN REFLECTED IN THESE PLANS OR THAT APPEAR TO IMPACT THE SCOPE OF THE WORK, THE CONTRACTOR WILL IMMEDIATELY NOTIFY THE CIVIL ENGINEER, AND THE OWNER/DEVELOPER BEFORE ANY REMEDIAL COURSE OF ACTION OR DESIGN CHANGE IS INITIATED. ALL PARTIES (OWNER, CIVIL ENGINEER, PROPER GOVERNMENTAL AGENCIES, AND CONTRACTOR) MUST BE IN AGREEMENT AND THE MAGNITUDE OF THE COST/TIME REQUIRED FOR THE MEASURES ESTABLISHED.

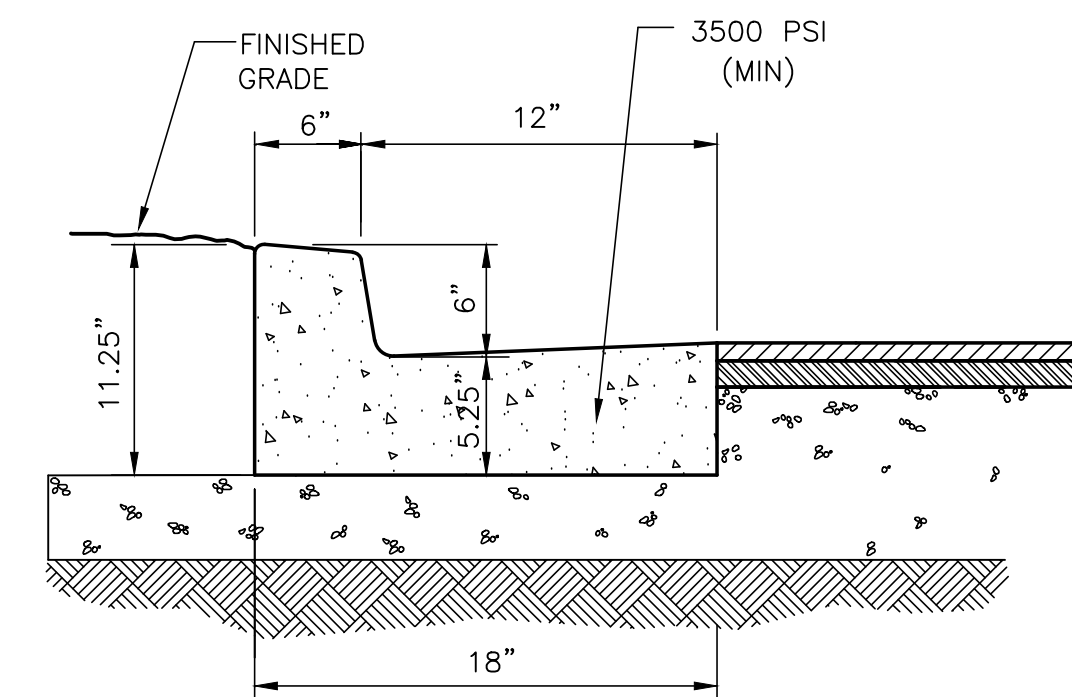
RSA SPECIAL NOTES

PROJECT SPECIFIC NOTES

- S1. CONTRACTOR TO ADJUST EXITING UTILITY CASTINGS AS NECESSARY.
- S2. PAVEMENT DIMENSIONS SHOWN ARE FROM EDGE OF PAVEMENT TO EDGE OF PAVEMENT.
- S3. THIS PROJECT WILL BE SUBJECT TO THE INSPECTION AND FINAL APPROVAL OF THE TOWN OF THOMPSON'S STATION AND THE TENNESSEE DEPARTMENT OF TRANSPORTATION.
- S4. TRAFFIC SIGNAL NOTES ARE SHOWN ON SHEET R6.0.

TDOT STANDARD DRAWINGS

DWG. NO.	DESCRIPTION
RD-S-11	DESIGN AND CONSTRUCTION DETAILS FOR ROADSIDE SLOPE DEVELOPMENT
RD-S-11A	ROADSIDE DITCH DETAILS FOR DESIGN AND CONSTRUCTION
T-M-1	DETAILS OF PAVEMENT MARKINGS FOR CONVENTIONAL ROADS AND MARKING ABBREVIATIONS
T-M-2	DETAILS OF PAVEMENT MARKINGS FOR CONVENTIONAL ROADS
T-M-3	MARKING STANDARDS FOR TRAFFIC ISLANDS, MEDIANS & PAVED SHOULDERS ON CONVENTIONAL ROADS
T-M-4	STANDARD INTERSECTION PAVEMENT MARKINGS
T-M-5	MARKING DETAILS FOR EXPRESSWAYS & FREEWAYS
T-M-6	MARKING DETAIL FOR EXPRESSWAY & FREEWAY INTERCHANGES
T-SG-2	LOOP LEAD-INS, CONDUIT AND PULL BOXES
T-SG-3	STANDARD NOTES AND DETAILS OF INDUCTIVE LOOPS
T-SG-4	SPAN WIRE AND MESSENGER CABLE DETAILS
T-SG-5	CONTROLLER CABINET DETAILS
T-SG-7	SIGNAL HEAD ASSEMBLIES AND PEDESTRIAN PUSH BUTTON SIGNS
T-SG-7A	TYPICAL SIGNAL HEAD PLACEMENT
T-SG-7E	TYPICAL SIGNAL HEAD PLACEMENT - THREE-LANE APPROACHES
T-SG-7F	TYPICAL SIGNAL HEAD PLACEMENT - THREE-LANE APPROACHES
T-SG-8	STRAIN POLE DETAILS FOR SPAN MOUNTED SIGNALS
T-SG-9A	MISCELLANEOUS SIGNAL DETAILS
T-SG-10	MAST ARM POLE AND STRAIN POLES FOUNDATION DETAILS
T-SG-12	TYPICAL WIRING FOR SIGNAL HEADS AND DETECTION LOOPS



CURB & GUTTER SECTION
NOT TO SCALE

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INTERSECTION IMPROVEMENTS
FOR
TOLLGATE VILLAGE
TOWN OF THOMPSON'S STATION, TENNESSEE

WK. ORDER	9260
DESIGNED:	B.S.B.
DRAWN:	T.R.G.
SCALE:	NTS
DATE:	07/12/2016

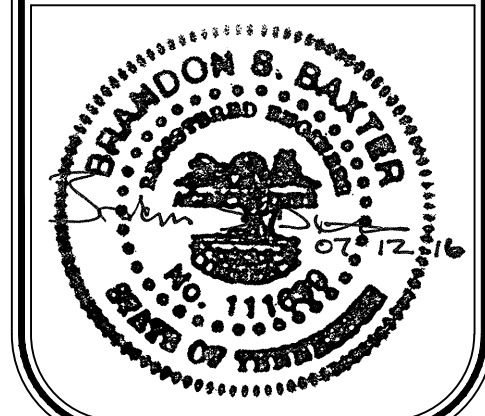
10-18-16 (R.S.B.) Rev.
PER: TDOT COMMENTS

REVISIONS

NOTES & DETAILS

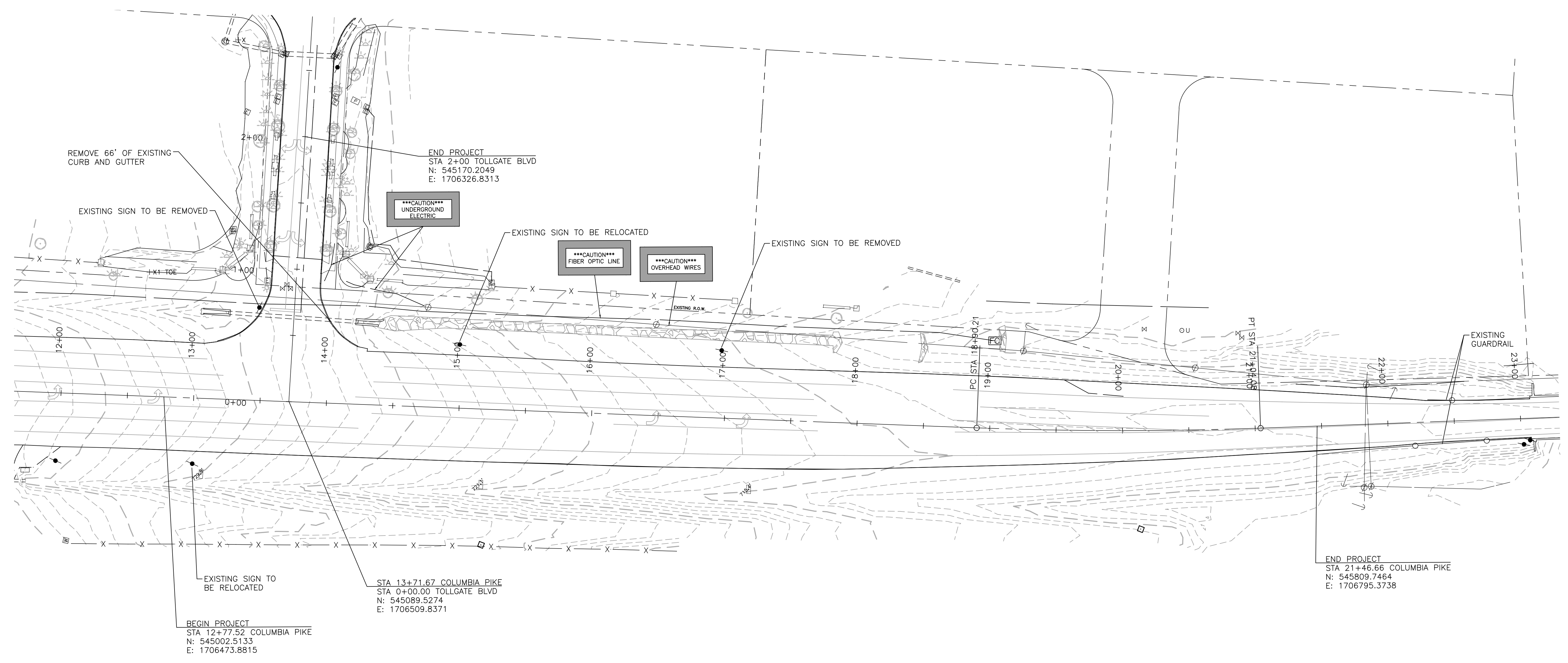
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INTERSECTION IMPROVEMENTS FOR TOLLGATE VILLAGE

TOWN OF THOMPSON'S STATION, TENNESSEE



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 PLOTTED BY TIFANY E. GORMAN ON 12/22/2016 1:58:04 PM. LAST UPDATED BY TIFANY E. GORMAN 12/22/2016 1:58:04 PM

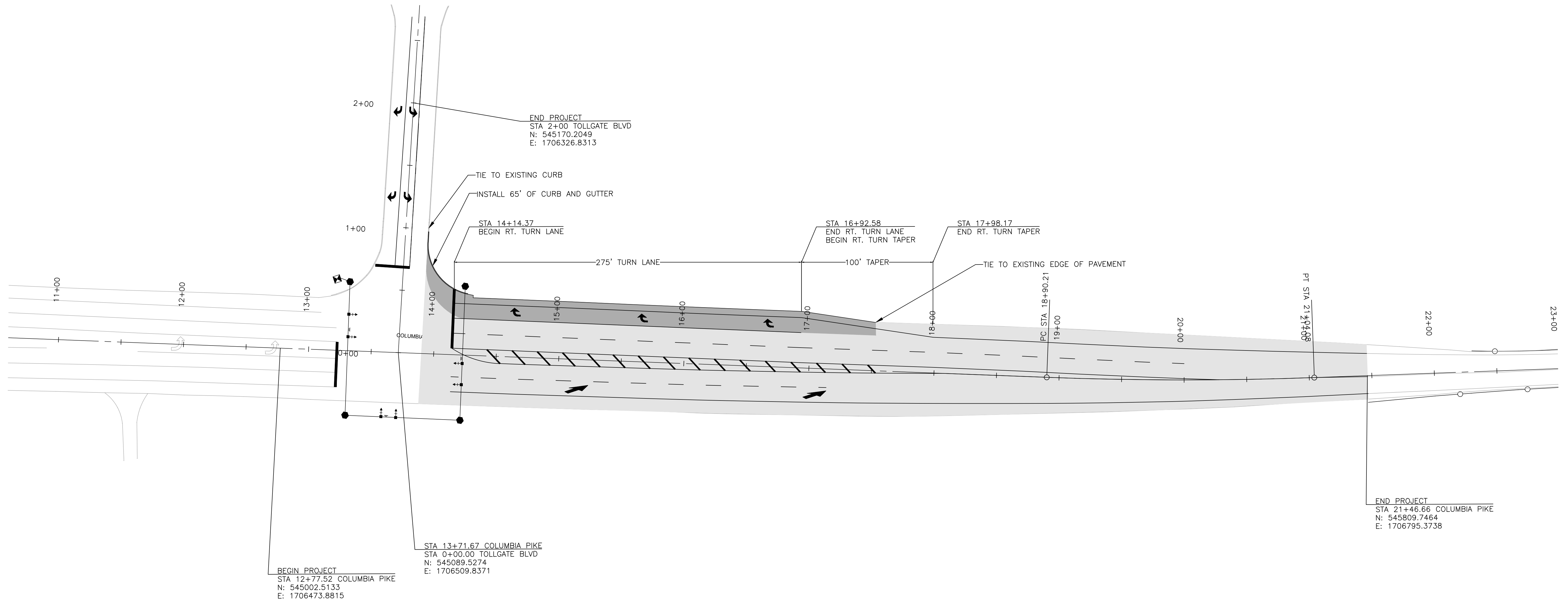
811
 Know what's below.
 Call before you dig.

JOB NO.	10-081	DESIGNED:	BSB	SCALE:	1" = 40'
WK. ORDER	9260	DRAWN:	TRG	DATE:	07/12/2016
					REVISIONS

PRESENT LAYOUT

R2.0

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 PLOTTED BY TIFANY T. DUBIANO ON 10/10/2016 8:43 AM - LAST UPDATED BY TIFANY T. DUBIANO 10/10/2016 8:43 AM





BEGIN PROJECT
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 E: 1706473.8815

STA 13+71.67 COLUMBIA PIKE
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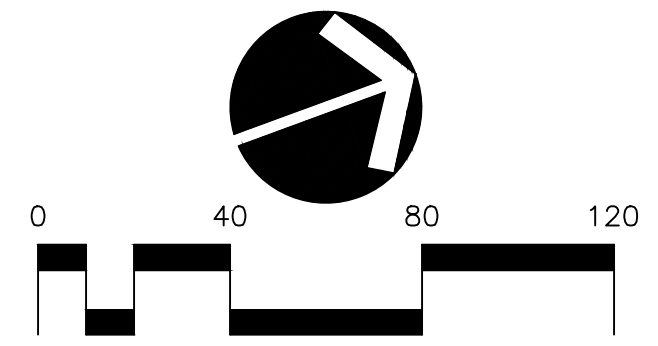
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END PROJECT
 STA 21+46.66 COLUMBIA PIKE
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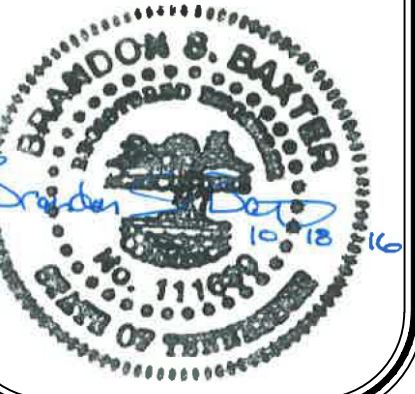
 FULL DEPTH PAVEMENT
 1.5" MILL AND OVERLAY



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INTERSECTION IMPROVEMENTS FOR TOLLGATE VILLAGE

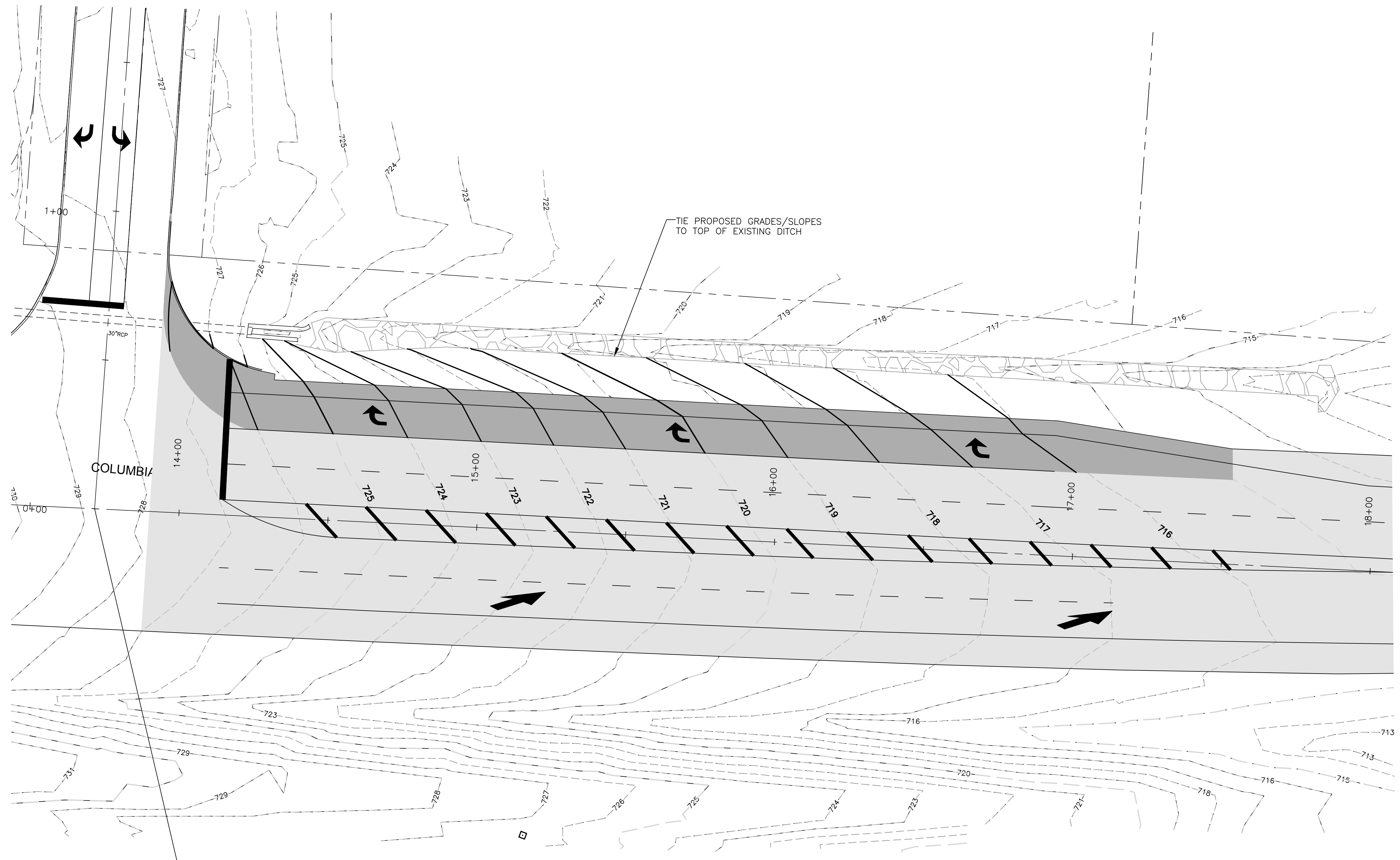
TOWN OF THOMPSON'S STATION, TENNESSEE

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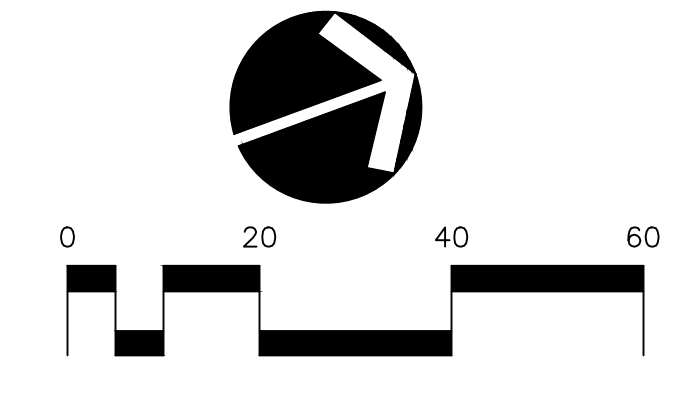
PROPOSED LAYOUT

R3.0

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 PLOTTED BY TIFANY E. GORMAN ON 10/10/16 10:25 AM. LAST UPDATED BY TIFANY E. GORMAN ON 10/10/16 10:25 AM.



STA 13+71.67 COLUMBIA PIKE
 STA 0+00.00 TOLLGATE BLVD
 N: 545089.5274
 E: 1706509.8371



INTERSECTION IMPROVEMENTS
 FOR
TOLLGATE VILLAGE
 TOWN OF THOMPSON'S STATION, TENNESSEE

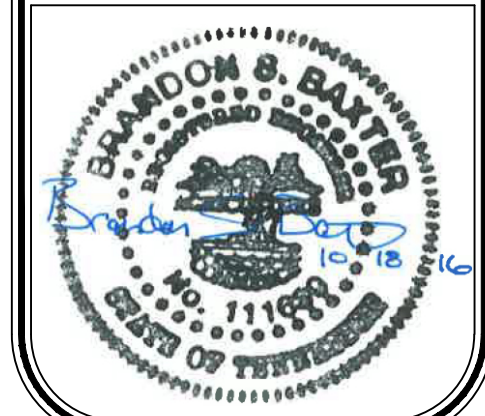
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JOB NO.	10-081	DESIGNED:	BSB	DRAWN:	TRG	SCALE:	1" = 20'	DATE:	07/12/2016
WK. ORDER	9260	REVISED:		DATE:		REVISIONS:			

GRADING PLAN

R4.0



LEGEND AND NOTES

ALL MARKINGS AND RUMBLE STRIPES SHALL BE IN ACCORDANCE WITH THE CURRENT EDITION OF THE M.U.T.C.D. AND TDOT SPECIFICATIONS.

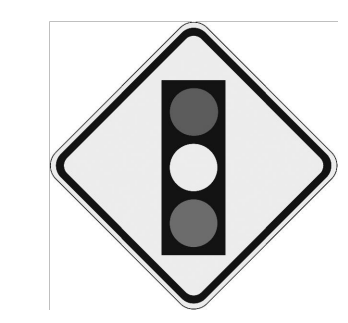
MARKING ABBREVIATIONS

SSWL	— SINGLE SOLID WHITE LINE
SBWL	— SINGLE BROKEN WHITE LINE
DSYL	— DOUBLE SOLID YELLOW LINE

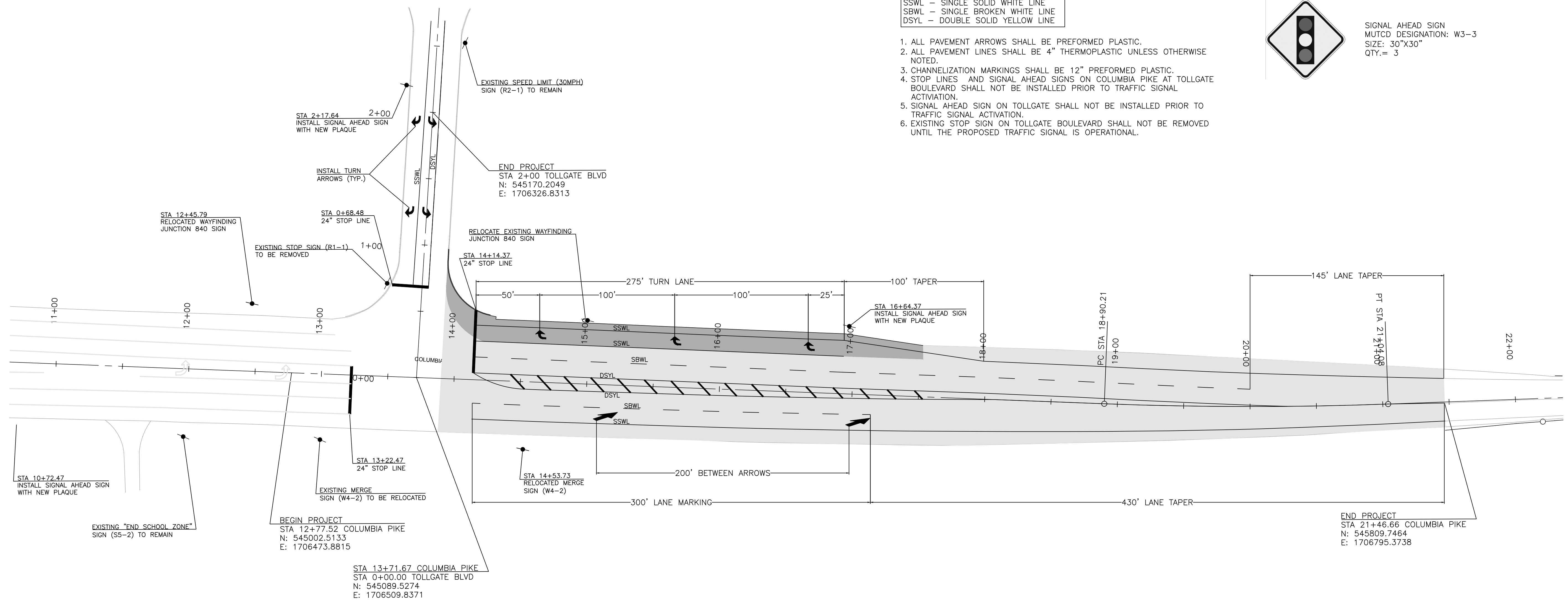
1. ALL PAVEMENT ARROWS SHALL BE PREFORMED PLASTIC.
2. ALL PAVEMENT LINES SHALL BE 4" THERMOPLASTIC UNLESS OTHERWISE NOTED.
3. CHANNELIZATION MARKINGS SHALL BE 12" PREFORMED PLASTIC.
4. STOP LINES AND SIGNAL AHEAD SIGNS ON COLUMBIA PIKE AT TOLLGATE BOULEVARD SHALL NOT BE INSTALLED PRIOR TO TRAFFIC SIGNAL ACTIVATION.
5. SIGNAL AHEAD SIGN ON TOLLGATE SHALL NOT BE INSTALLED PRIOR TO TRAFFIC SIGNAL ACTIVATION.
6. EXISTING STOP SIGN ON TOLLGATE BOULEVARD SHALL NOT BE REMOVED UNTIL THE PROPOSED TRAFFIC SIGNAL IS OPERATIONAL.

NEW SIGN DETAILS

NEW
 NEW PLAQUE
 MUTCD DESIGNATION: W16-15P
 SIZE: 24"x12"
 QTY.= 3



SIGNAL AHEAD SIGN
 MUTCD DESIGNATION: W3-3
 SIZE: 30"x30"
 QTY.= 3



INTERSECTION IMPROVEMENTS
 FOR
TOLLGATE VILLAGE
 TOWN OF THOMPSON'S STATION, TENNESSEE

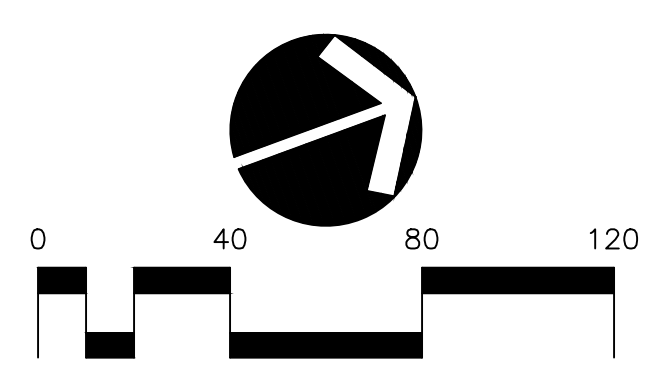
WK. ORDER	9260
DESIGNED:	BSB
DRAWN:	TRG
SCALE:	1" = 40'
DATE:	07/12/2016

REVISIONS

10-18-16 (B.S.B.) Rev.
 PER TDOT COMMENTS

PAVEMENT MARKING AND SIGNAGE

R5.0



© 2016 RAGAN SMITH TRANSPORTATION INTERSECTION MARKING AND SIGNAGE. 2016 PAVEMENT MARKING AND SIGNAGE. PLOTTED BY TIFANY N. GORDON ON 10/10/16 8:27 AM. LAST UPDATED BY TIFANY N. GORDON ON 10/10/16 8:27 AM.

SIGNALIZATION NOTES

- ALL EQUIPMENT AND INSTALLATION SHALL MEET THE STANDARDS PRESCRIBED IN THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND SHALL COMPLY WITH SECTIONS 730 OF THE TENNESSEE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND THE STANDARD ROADWAY AND STRUCTURE DRAWINGS, ALONG WITH APPLICABLE TOWN OF THOMPSON'S STATION SPECIFICATIONS.
- ALL NEW LOOPS AND LEAD-INS TO THE PULL BOX OR POLES ARE TO BE ONE CONTINUOUS LENGTH OF #14 AWG (CROSS UNIC POLYETHYLENE) SINGLE CONDUCTOR STRANDED CABLE. ALL LEADS FROM THE PULL BOX TO THE CONTROLLER ARE TO BE ONE CONTINUOUS LENGTH OF 14 AWG (CROSS UNIC POLYETHYLENE) 2-CONDUCTOR STRANDED CABLE. ALL LEADS ARE TO BE TWISTED AT LEAST THREE TIMES PER FOOT. ALL LOOP LEAD-INS ARE TO BE LABELED AT SPLICES AND IN THE CONTROLLER CABINET.
- ALL LOOPS SHALL BE 6' X 50' WITH A DOUBLE RUN OF WIRE UNLESS OTHERWISE NOTED ON PLANS. LOOPS SHALL BE SEALED WITH 3M LOOP SEALANT.
- LOOP DETECTOR AMPLIFIERS SHALL BE SINGLE CHANNEL AND DESIGNED TO ACCURATELY COUNT VEHICLES ENTERING ALL LOOPS EVEN WHEN PRECEDING VEHICLES REMAIN PRESENT OVER THE LOOP.
- DETECTOR SYSTEMS SHALL HAVE DELAY AND EXTEND CAPABILITIES.
- A LIGHTNING ARRESTOR SHALL BE PROVIDED ACROSS THE LEAD-IN EXTERNAL TO DETECTOR LOOP AMPLIFIER.
- SPLICES WILL BE PERMITTED ONLY IN PULL BOXES, HANDHOLES OR CABINET AND SHALL BE WATERPROOF.
- ALL PERMANENT CONDUIT SHALL BE HIGH IMPACT SCHEDULE 80 ELECTRIC PVC UNLESS OTHERWISE SHOWN ON THE PLANS. ALL BORED AND JACKED CONDUIT SHALL BE RIGID GALVANIZED STEEL (RGS). ALL CONDUIT SHALL BE LAID NOT LESS THAN 18" BELOW THE PAVEMENT GRADE.
- ALL PERMANENT TRAFFIC SIGNAL EQUIPMENT PROVIDED SHALL MEET THE CURRENT STANDARD FOR TRAFFIC CONTROL SYSTEMS PUBLISHED BY THE NATIONAL ELECTRICAL MANUFACTURER'S ASSOCIATION (NEMA).
- ALL PERMANENT SIGNAL HEADS SHALL BE FABRICATED OF ALUMINUM AND SHALL HAVE 12" L.E.D. LENSES. SIGNAL HEAD HOUSINGS, DOORS, AND VISORS SHALL BE PAINTED BLACK.
- CONTRACTOR SHALL SUPPLY ALL APPURTENANCES REQUIRED TO HAVE A COMPLETE AND OPERABLE TRAFFIC SIGNAL.
- LABEL LOOPS IN CABINET IN ACCORDANCE WITH T.D.O.T. STANDARD DRAWING T-SG-12.
- ANY SIGNAL HEADS, WHEN VISIBLE TO DRIVERS, BUT NOT OPERATIONAL, SHALL BE COMPLETELY COVERED.
- THE LOCATION OF UTILITIES SHOWN WITHIN THESE PLANS ARE APPROXIMATE ONLY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL EXISTING UTILITIES BY CONTACTING THE UTILITY COMPANIES INVOLVED. SOME UTILITIES CAN BE LOCATED BY CALLING THE TENNESSEE ONE CALL SYSTEM, INC. AT 1-800-351-1111.
- THE CONTRACTOR WILL EXERCISE EXTREME CAUTION IN THE USE OF EQUIPMENT IN AND AROUND OVERHEAD ELECTRICAL WIRES AND SERVICES. IF AT ANY TIME IN THE PURSUIT OF THIS WORK THE CONTRACTOR MUST WORK IN CLOSE PROXIMITY OF THE ABOVE-NOTED WIRES, THE ELECTRIC COMPANY SHALL BE CONTACTED PRIOR TO SUCH WORK AND THE PROPER SAFETY MEASURES TAKEN.
- THE CONTRACTOR IS RESPONSIBLE FOR ASSURING THE SIGNAL HEADS HAVE THE REQUIRED 16'-6" CLEARANCE BETWEEN THE PROPOSED ROAD GRADE AND THE SIGNAL HEADS AND OTHER CLEARANCES BETWEEN EXISTING AND PROPOSED UTILITIES, MESSENGER CABLES, GUYS, ETC., AS REQUIRED BY CODE. ANY ADDITIONAL WORK NEEDED TO HAVE A COMPLETE AND OPERABLE SIGNAL INCLUDING ADDITIONAL POLES, HARDWARE, GUYS, CONDUIT, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE INCLUDED IN THE CONTRACT PRICE.
- THE CONTRACTOR SHALL NOTIFY EACH INDIVIDUAL UTILITY OWNER OF HIS PLAN OF OPERATION IN THE AREA OF THE UTILITIES. PRIOR TO COMMENCING WORK, THE CONTRACTOR SHALL CONTACT THE UTILITY OWNERS AND REQUEST THEM TO PROPERLY LOCATE THEIR RESPECTIVE UTILITY ON THE GROUND. THIS NOTIFICATION SHALL BE GIVEN AT LEAST THREE (3) BUSINESS DAYS PRIOR TO COMMENCEMENT OF OPERATIONS AROUND THE UTILITY.
- THE PROPOSED LOCATIONS FOR THE SIGNAL SUPPORT POLES, AS SHOWN ON THESE PLANS, ARE APPROXIMATE. SOME FIELD ADJUSTMENT MAY BE REQUIRED IN ORDER TO AVOID CONFLICT WITH EITHER OVERHEAD OR UNDERGROUND UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING AND STAKING THE OPTIMUM LOCATIONS FOR THESE POLES. IF THE OPTIMUM LOCATION DIFFERS FROM THE LOCATIONS SHOWN ON THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECEIVING APPROVAL FROM THE ENGINEER AND THE TOWN OF SMYRNA BEFORE INSTALLATION BEGINS.
- THE CONTRACTOR SHALL PREPARE A TRAFFIC CONTROL PLAN TO BE APPROVED BY THE TOWN OF THOMPSON'S STATION AND T.D.O.T. PRIOR TO BEGINNING CONSTRUCTION. TRAFFIC CONTROL SHALL BE PROVIDED IN COMPLIANCE WITH THE CURRENT EDITION OF THE MUTCD.

SPECIAL NOTES – LIGHT EMITTING DIODES

- ALL CIRCULAR INDICATIONS AND ONLY CIRCULAR INDICATIONS WITHIN ALL VEHICULAR SIGNAL HEADS PROPOSED FOR THIS PROJECT SHALL CONSIST OF AN LED (LIGHT EMITTING DIODE) SIGNAL MODULE UNLESS OTHERWISE NOTED ON PLANS.
- ALL LED'S SHALL MEET THE MINIMUM STANDARDS AS OUTLINED IN CHAPTER 2A AND INCLUDING PROVISIONS OF TECHNICAL NOTES IN THE CHAPTER APPENDIX OF THE PUBLICATION EQUIPMENT AND MATERIAL STANDARDS OF THE INSTITUTE OF TRANSPORTATION ENGINEERS (ITE), PUBLISHED BY ITE, NOVEMBER 1997.
- INCANDESCENT OR SCREW-IN MODULES ARE NOT ACCEPTABLE.
- COMPATIBILITY WITH CONFLICT MONITORS AND LOAD SWITCHES SHALL BE TESTED AND CONFIRMED.
- MANUFACTURER SHALL PROVIDE A ONE-YEAR WARRANTY FOR OPERATION OF THE UNIT.

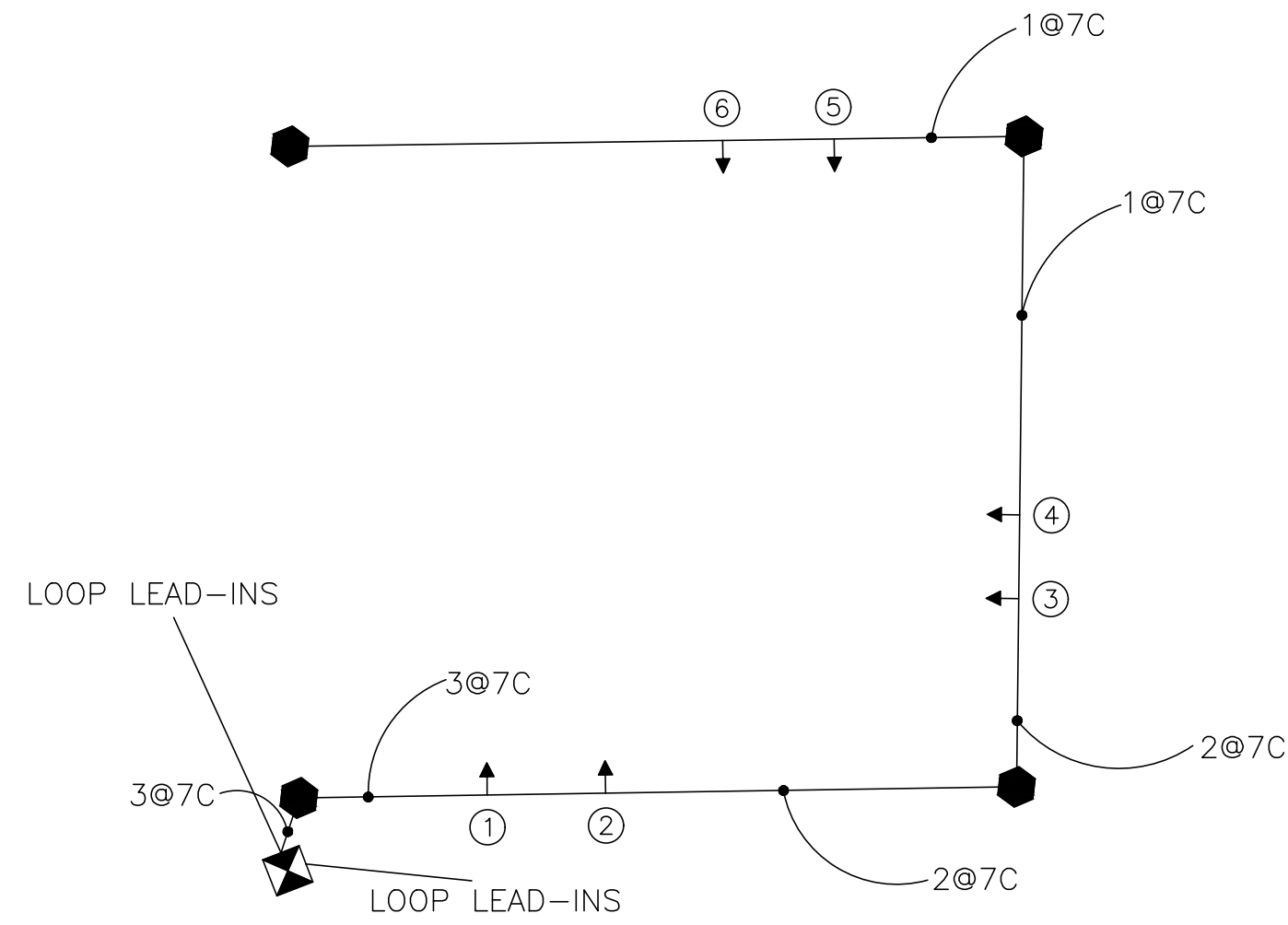
BASIC OR FULLY ACTUATED TIMINGS (SECONDS)

PHASE	INITIAL INTERVAL	VEHICLE INTERVAL	MAX	CLEARANCE YELLOW	ALL RED	MEMORY POSITION (1)	LEFT-TURN OPERATION (2)
1	-	-	-	-	-	-	-
2	10	3	90	4.3	1.7	-	-
3	-	-	-	-	-	-	-
4	7	3	35	3.2	2.3	L	PERM
5	4	3	30	4.3	1.7	NL	P+P
6	10	3	90	4.3	1.7	-	-
7	-	-	-	-	-	-	-
8	-	-	-	-	-	-	-

(1) NL = NON-LOCKING, L = LOCKING
 (2) PERM = PERMITTED, PROT = PROTECTED, P + P = PROTECTED/PERMITTED

LEGEND

- SIGNAL SUPPORT POLE WITH MAST ARM
- SIGNAL HEAD WITH BACKPLATE
- TRAFFIC SIGNAL CONTROLLER CABINET
- VEHICLE DETECTION LOOP (6' X 50')
- OVERHEAD SIGN



SIGNAL WIRING DIAGRAM

SIGNAL PHASING DIAGRAM

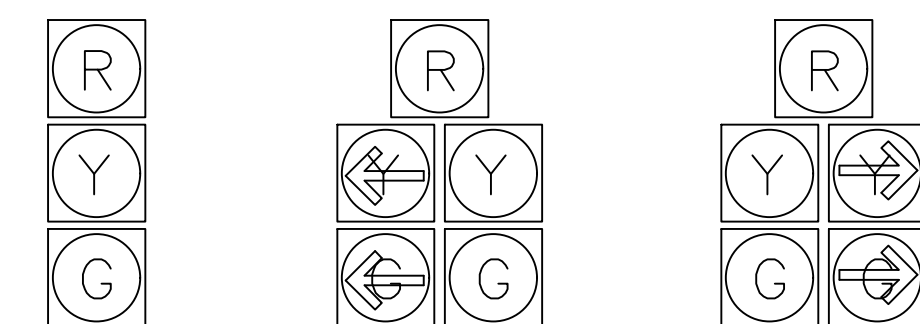
1	2	3	4
INACTIVE	↑	INACTIVE	↘
5	6	7	8
↙	↓	INACTIVE	INACTIVE

— PROTECTED MOVEMENT
 - - - PERMITTED BUT NOT PROTECTED

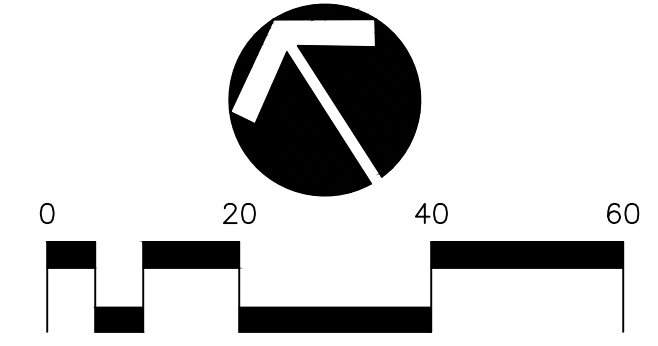
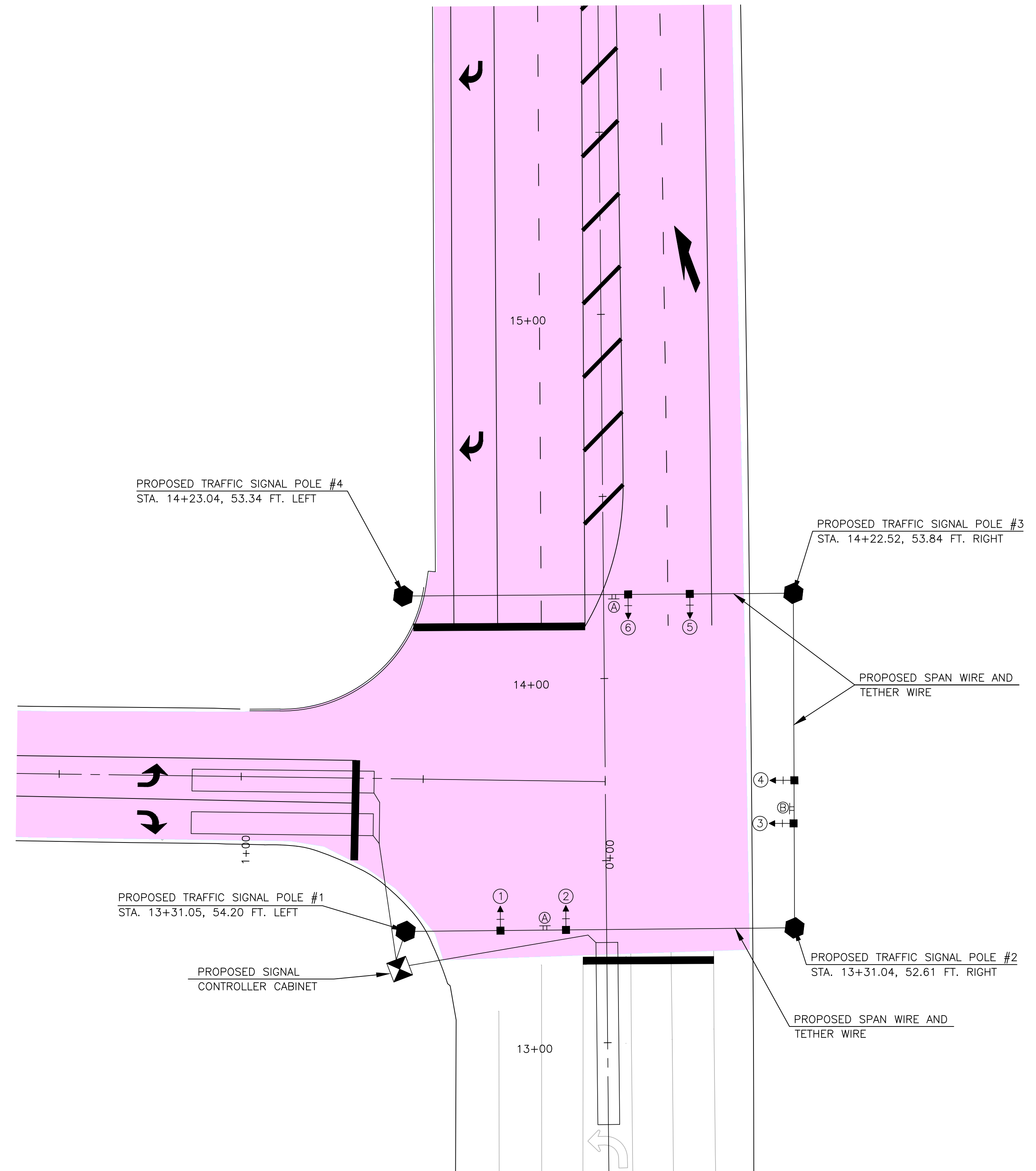
(A) Tollgate Boulevard

(B) Columbia Pike

STREET NAME SIGN DETAIL



SIGNAL HEAD DISPLAY
 (NOTE: ALL SIGNAL HEADS SHALL HAVE L.E.D. DISPLAYS)



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INTERSECTION IMPROVEMENTS FOR TOLLGATE VILLAGE
 TOWN OF THOMPSON'S STATION, TENNESSEE

1" = 20'
 PER 100' COMMENTS
 REVISIONS

WK. ORDER: 9260
 JOB NO.: 10-081
 DESIGNED: BSB
 DRAWN: TRG
 SCALE: 1" = 20'
 DATE: 07/12/2016

TRAFFIC SIGNAL PLAN

R6.0

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