

**Town of Thompson's Station
Design Review Commission
Meeting Agenda
November 20, 2019**

Meeting Called To Order

Pledge Of Allegiance

Minutes-

- **Consideration Of The Minutes Of The March 6, 2019 Meeting.**

Documents:

[03062019 MINUTES.PDF](#)

New Business:

- 1. Design Review For A 6,950 Square Foot Financial Institution And A Future 7,400 Square Foot Commercial Building Located At 1101/1105 Elliston Way Within The Tollgate Village Neighborhood (SP 2019-003; DR 2019-003).**

Documents:

[DRC STAFF REPORT.PDF](#)
[ITEM 1 LIBERTY FINANCIAL PLANS.PDF](#)

Adjourn

This meeting will be held at **4:00 p. m.** at the Thompson's Station Community Center
1555 Thompson's Station Road West

Town of Thompson's Station
Design Review Commission
Minutes of the Meeting
March 6, 2019

Call to Order.

The meeting of the Design Review Commission of the Town of Thompson's Station was called to order at 4:00 p.m. on Wednesday, November 7, 2018 with the required quorum. Members and staff in attendance were Commissioners Huntly Gordon, Steve Bennett, Kim Peterson and Charles Starck, Town Planner Wendy Deats and Town Clerk Jennifer Jones. Commissioner Sarah Alexander was unable to attend.

Consideration of Minutes.

The minutes of the November 7, 2018 meeting were previously submitted.

Commissioner Bennett moved for the approval of November 7, 2018 minutes. The motion was seconded and carried unanimously.

1. Design Review for the addition of classrooms and cafeteria at Independence High School located at 1776 Declaration Way (SP 2019-001; DR 2019-001).

Based on the project's substantial compliance with the Land Development Ordinance and Design Guidelines, Staff recommends that the Design Review Commission approve the project.

2. Design Review for the construction of the new town hall located at 1555 Thompson's Station Road West (SP 2019-002; DR 2019-002).

Based on the project's compliance with the Land Development Code and Design Guidelines, Staff recommends the Planning Commission approve the design.

There being no further business, the meeting was adjourned at 4:29 p.m.

Kim Peterson, Chairman

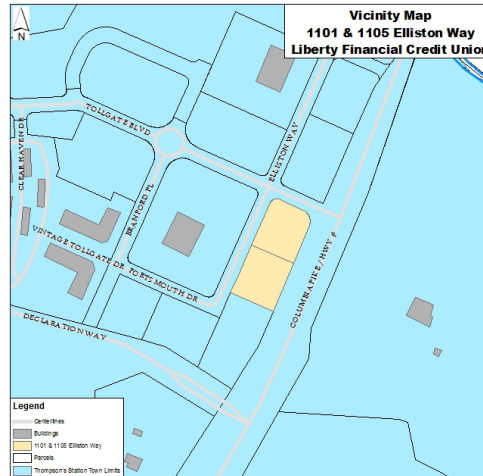
Steve Bennett, Vice Chairman

Thompson's Station Design Review Commission
Staff Report - (SP 2019-003, DR 2019-003)
November 20, 2019

Request for a 6,950 square foot financial institution and a future 7,400 square foot commercial building located at 1101/1105 Elliston Way within the Tollgate Village neighborhood.

REQUEST

The applicant, Hafer, on behalf of Liberty Financial is requesting design approval for the development of a 6,950 square foot financial service building and a future 7,400 square foot commercial building within the Neighborhood Commercial (NC) zoning district in the community of Tollgate Village.



BACKGROUND

On June 25, 2019, the Planning Commission reviewed the proposal and approved the project with the following contingencies:

1. *Prior to the issuance of grading or building permits for phase 1, approval of the project design by the Design Review Commission shall be obtained.*
2. *Prior to the approval of construction drawings, the pedestrian path of travel shall be noted on the site plan and shall match the treatment used for the entry driveways and additional landscaping shall be incorporated around the trash enclosure.*
3. *Prior to the issuance of grading or building permits for phase 1, construction drawings shall be reviewed and approved. Any corrections or issues with the drawings related to regulations may be subject to further Planning Commission review. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.*
4. *Within 60 days of project approval, a performance surety in the amount of \$38,835 for onsite landscaping improvements shall be submitted for phase 1.*
5. *Prior to installation of the landscaping for phase 1, the applicant shall meet with staff to confirm location of all landscaping.*
6. *Prior to the installation of any signage, a sign application shall be submitted and all signs shall conform to the LDO.*
7. *Prior to the issuance of building permit for phase 2 of the project, the applicant shall obtain approval of the necessary sewer.*
8. *Prior to the issuance of a building permit for phase 2 of the project, the applicant shall submit an opinion of probable cost with a 15% contingency and the surety shall be submitted.*

9. Prior to the issuance of building permits for phase 2 of the project, floor plans and parking analysis for each use shall be submitted and shall meet the requirements set forth within the Land Development Ordinance.
10. Any change of use or expansion of the project site shall conform to the requirements set forth within the Zoning Ordinance and shall be approved prior to the implementation of any changes to the project.

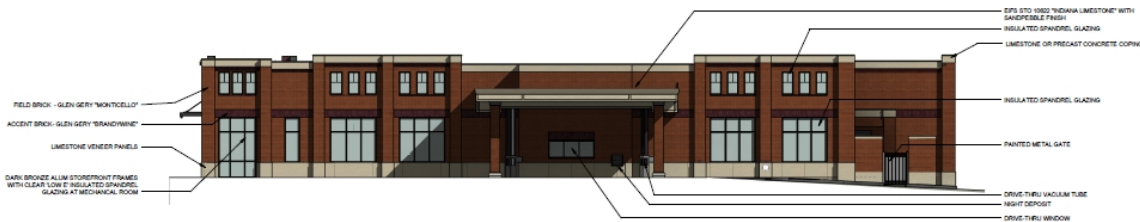
ANALYSIS

Project Description

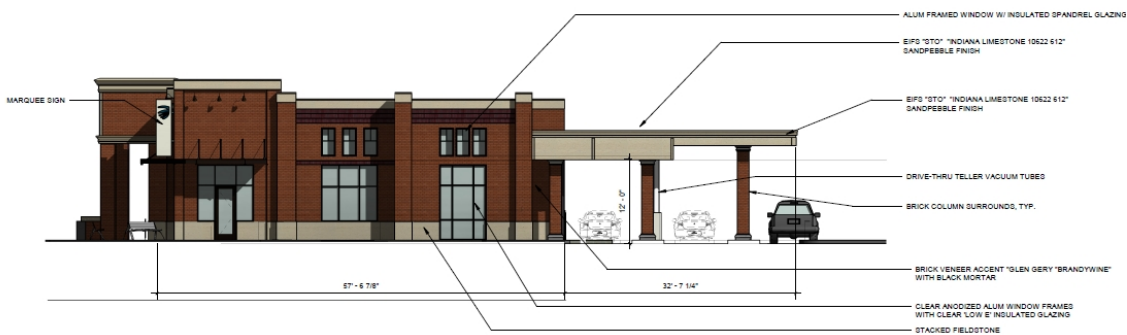
The project site which consists of two parcels is 1.99 acres and is located along east side of Elliston Way with additional frontage on Tollgate Boulevard and Columbia Pike. The proposal consists of two phases: a one-story financial service building with a drive through three bay drive through canopy on the south lot (phase 1) and a 7,400 square foot commercial building on the north lot (phase 2).



NORTH ELEVATION - TOLLGATE BLVD
1/8" = 1'-0"



EAST ELEVATION - COLUMBIA PIKE
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION - ELLISTON WAY
1/8" = 1'-0"

The project site, containing two parcels has a slight slope toward the rear property line and bordered by three roadways. The financial service building is located on the southern parcel along Elliston Way setback behind the required landscaping with the parking located predominantly in the rear of the site. The building has a maximum height of 23 feet with an attached canopy. The building and the canopy are predominantly brick with some accent limestone along lower elevation. The building meets the minimum glazing requirement for the lower level and has a second row of aluminum framed spandrel windows with turned brick as an accent along the roofline and a sandstone finish and a metal coping/fascia at the roofline.

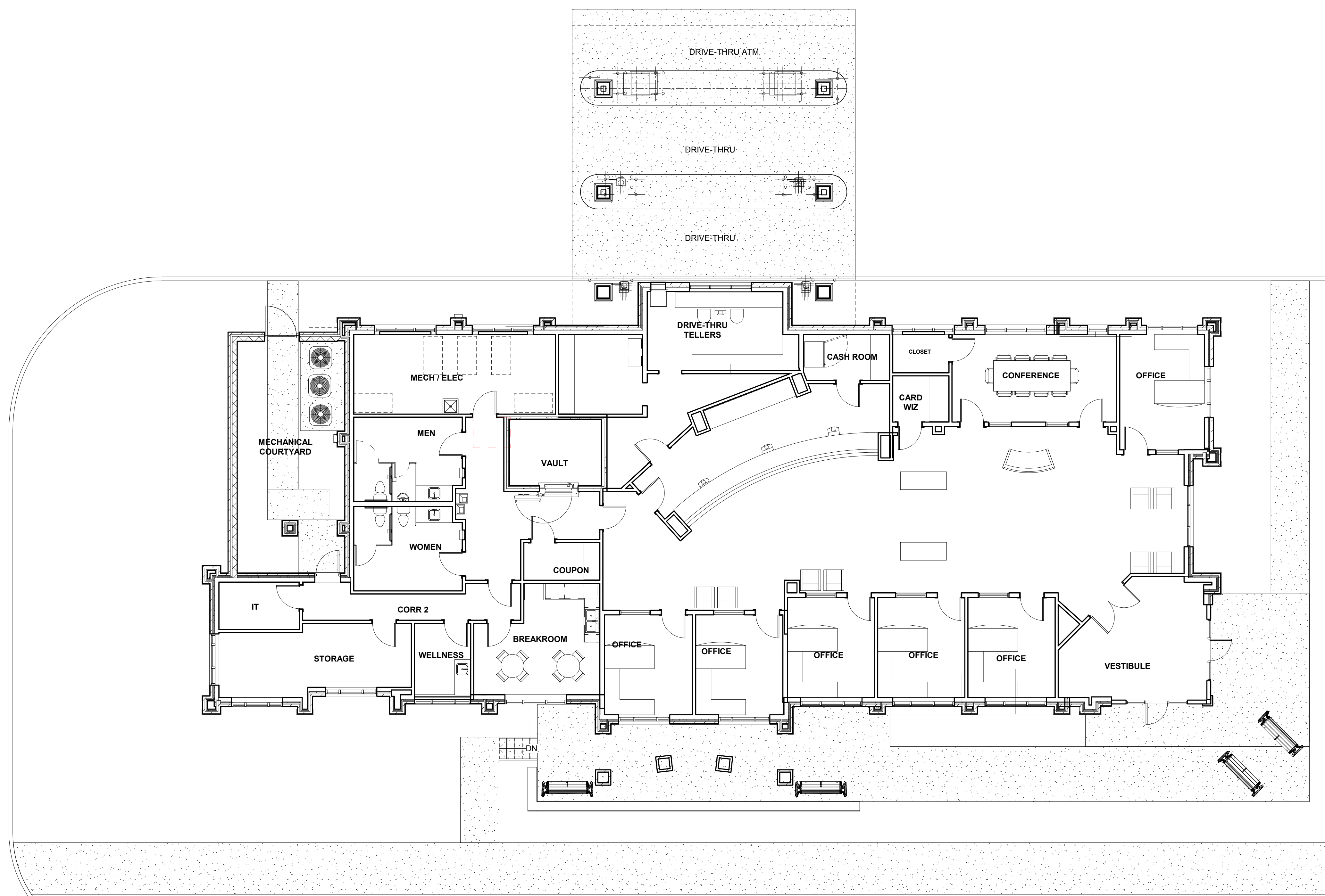
RECOMMENDATION

Based on the project's consistency with the Town's Design Guidelines, Staff recommends the Design Review Commission approve the design with the following contingencies:

1. *Prior to the issuance of grading or building permits for phase 2, approval of the project design by the Design Review Commission shall be obtained.*
2. *Prior to the issuance of a sign permit, the applicant shall submit a request for sign approval in accordance with the Land Development Ordinance.*

ATTACHMENTS

DRC packet



SCHEMATIC FLOOR PLAN

1/8" = 1'-0"

Revisions:

#	Description	Date

Designed By: _____ Drawn By: _____ Checked By: _____

The drawings, specifications and other documents, including those in electronic form prepared by Hafer for this project are instruments of Service, and may be used solely with respect to this project. The documents may not be reproduced or modified by a third party without first obtaining the express written consent of Hafer. Authorized use of electronic media or file does not guarantee that these files contain complete and accurate information. In order to insure the accuracy of the information contained and that no changes or modifications have been made, these files must be compared to the project's contract documents with stamped and sealed certification and applicable approved modifications.

Sheet Title:

SCHEMATIC FLOOR PLAN

Architect's Project No. _____ Date: _____

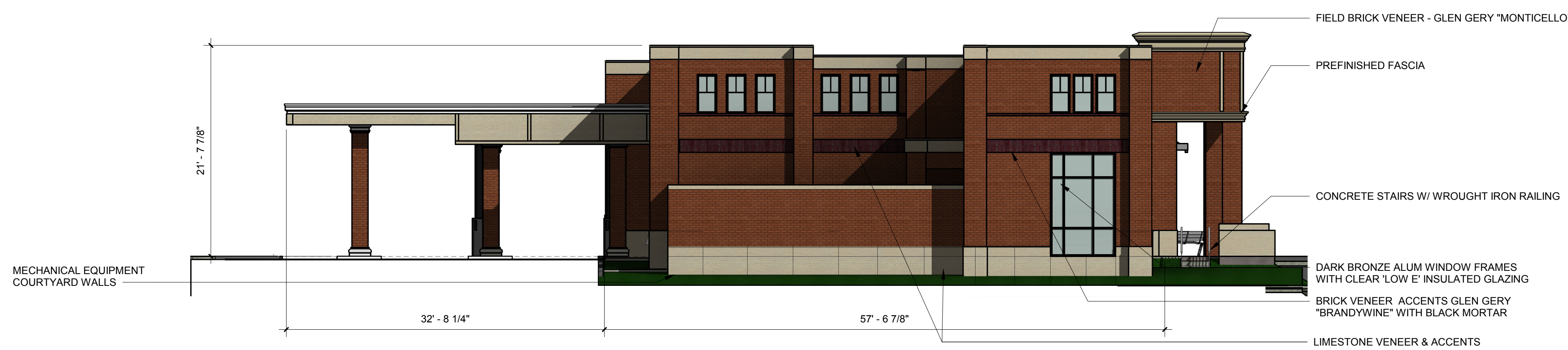
1808-258 _____ 10/25/19

Drawing No: _____

SD-1


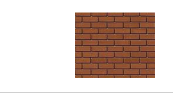
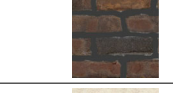





EAST ELEVATION - COLUMBIA PIKE

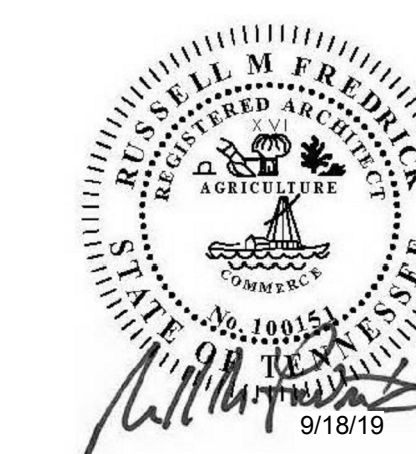
1/8" = 1'-0"


NORTH ELEVATION - TOLLGATE BLVD

1/8" = 1'-0"

MATERIAL LEGEND

MATERIAL	
	LIMESTONE
	FIELD BRICK - GLEN GERY "MONTICELLO" with NATURAL MORTAR
	ACCENT BRICK - GLEN GERY "BRANDYWINE" with BLACK MORTAR
	EIFS - "STO" "INDIANA LIMESTONE 10622 612" W/ SANDPEBBLE FINISH
	PRE-CAST CONCRETE FASCIA - "LIMESTONE"
	STOREFRONT SYSTEM DOORS AND WINDOWS - "ANODIZED ALUMINUM"
	HOLLOW METAL DOOR / PAINT - "BROWN"



Revisions:

#	Description	Date

Designed By: _____ Drawn By: _____ Checked By: _____

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 Sheet Title:
SCHEMATIC ELEVATIONS & MATERIALS

 Architect's Project No. **1808-258** Date: **10/25/19**

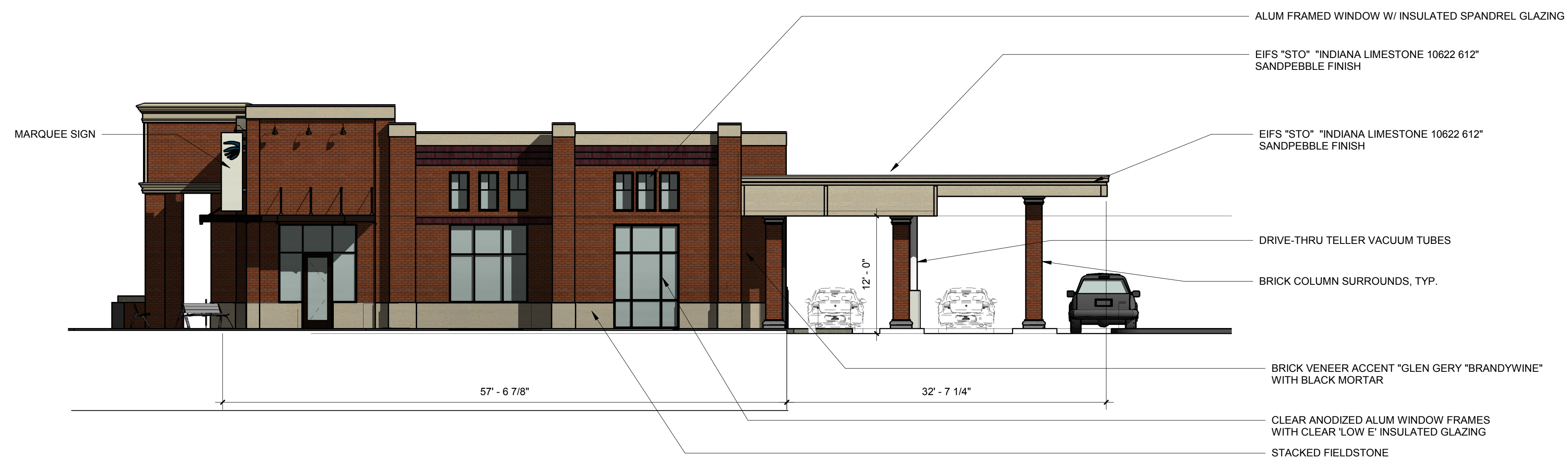
Drawing No:

SD-2



WEST ELEVATION - ELLISTON WAY

1/8" = 1'-0"



SOUTH ELEVATION

1/8" = 1'-0"

MATERIAL LEGEND	
MATERIAL	
	LIMESTONE
	FIELD BRICK - GLEN GERY "MONTICELLO" with NATURAL MORTAR
	ACCENT BRICK - GLEN GERY "BRANDYWINE" with BLACK MORTAR
	EIFS - "STO" "INDIANA LIMESTONE 10622 612" W/ SANDPEBBLE FINISH
	PRE-CAST CONCRETE FASCIA - "LIMESTONE"
	STOREFRONT SYSTEM DOORS AND WINDOWS - "ANODIZED ALUMINUM"
	HOLLOW METAL DOOR / PAINT - "BROWN"

Revisions:		
#	Description	Date

Designed By: _____ Drawn By: _____ Checked By: _____

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Sheet Title:
SCHEMATIC ELEVATIONS & MATERIALS

Architect's Project No. _____ Date: _____
1808-258 **10/25/19**

Drawing No: _____

SD-3