

Town of Thompson's Station
Municipal Planning Commission
Meeting Agenda
November 28, 2017

Meeting Called To Order

Pledge Of Allegiance

Minutes-

Consideration Of The Minutes Of The October 24, 2017 Meeting

Documents:

[10232017 MINUTES.PDF](#)

Public Comments-

Planner Report

- Littleberry Concept Plan

Documents:

[PLANNER REPORT.PDF](#)
[LITTLEBERRY CONCEPT PLAN.PDF](#)

Unfinished Business:

1. Land Development Ordinance Amendment - Sign Standards (Zone Amend 2017-008)

Documents:

[ITEM 1 DRAFT SIGN STANDARDS AFTER PC WORKSHOP.PDF](#)
[ITEM 1 LDO AMENDMENT SIGNS AND DRIVEWAY WIDTHS.PDF](#)

New Business:

2. Site Plan Approval For The Development Of A Restaurant And Gas Station/Convenience Store Within Roderick Place (SP 2017-007; DR 2017-005)

Documents:

[ITEM 2 STAFF REPORT \(RODERICK SITE PLAN\).PDF](#)
[ITEM 2 PLANS FOR RODERICK.PDF](#)

3. Final Plat For The Creation Of Section 6C Consisting Of 28 Single-Family Lots And Three Open Space Lots Within Phase 6 Of Bridgemore Village (FP 2017-008)

Documents:

[ITEM 3 STAFF REPORT.PDF](#)
[ITEM 3 FINAL PLAT BV6C.PDF](#)
[ITEM 3 PHASE PLAN.PDF](#)

**4. Specific Plan Amendment For The Expansion Of Graystone Quarry Located At
4520 Graystone Quarry Ln, Franklin, TN 37064 (CP 2017-007)**

Documents:

[ITEM 4 STAFF REPORT GRAYSTONE.PDF](#)
[ITEM 4 GRAYSTONE PLAN PACKET.PDF](#)
[ITEM 4 GRAYSTONE TRAFFIC STUDY.PDF](#)

Adjourn

*This meeting will be held at 7:00 p.m. at the Thompson's Station Community Center
1555 Thompson's Station Rd West*

Minutes of the Meeting
of the Municipal Planning Commission
of the Town of Thompson 's Station, Tennessee
October 23, 2017

Call to Order:

The meeting of the Municipal Planning Commission of the Town of Thompson's Station was called to order at 7:00 p.m. on the 23rd day of October 2017 at the Thompson's Station Community Center with the required quorum. Members and staff in attendance were: Chairman Jack Elder; Vice Chairman Mike Roberts; Commissioner Shaun Alexander; Alderman Ben Dilks; Commissioner Trent Harris; Commissioner Bob Whitmer; Town Administrator Joe Cosentini; Town Planner Wendy Deats; Town Attorney Todd Moore and Town Clerk, Jennifer Jones. Commissioner Brinton Davis was unable to attend.

Pledge of Allegiance.

Minutes:

The minutes of the September 26th, 2017 meeting were previously submitted.

Commissioner Roberts made a motion to approve of the September 26th, 2017 meeting minutes. The motion was seconded and carried unanimously.

Public Comment:

Brad Wilson – 3064 Americus Dr. – Concerns about sewer for proposed Twice Daily. Excited to see commercial/multi-family development proposal for the front of Tollgate Village.

Karen Resch – 3150 Hazelton Dr. – Concerns about commercial development in the front of Tollgate Village.

Unfinished Business:

- 1. Land Development Ordinance Amendment as presented by Alderman Shepard (Zone Amend 2017-006).**

Mrs. Deats reviewed her Staff report and Staff is requesting the Planning Commission provide a recommendation to the Board of Mayor and Aldermen related to these amendments to the Land Development Ordinance.

After discussion, the planning commission made a decision to make a motion on each item to be amended.

Commissioner Roberts made a motion to accept Staff's recommendation on Section 1.2.2 to include statements g. Development should occur with a balanced mix of residential and commercial products and statement h. Residential development should include both a balanced and diverse mix of housing products, and exclude statement i. The motion was seconded and carried by a vote of 5 to 1 with Alderman Dilks casting the opposing vote.

Commissioner Whitmer made a motion to accept Staff’s recommendation on Section 1.2.3 and 1.2.8 to add the word “balanced” to both sections. The motion was seconded and carried by all.

Commissioner Roberts made a motion to accept Staff’s recommendation to include new section proposed to express intent within the Article 4 (Section 4.1.1) – Zoning of the Land Development Ordinance as follows:

The long-term intention of the Land Development Ordinance is to guide development in a balanced manner while preserving the small-town character of Thompson’s Station. The Land Development Ordinance will help the Town create the right balance of housing by:

- **Ensuring new development preserves the distinctive, historical, and small-town character of Thompson’s Station for future generations.**
- **Encouraging a mix of housing options and lot sizes to provide opportunities to accommodate a diverse population and wide variety of income levels.**
- **Raising the quality standard of new and replacement construction in the Town.**

The motion was seconded and carried by a vote of 5 to 1 with Commissioner Whitmer casting the opposing vote.

Commissioner Harris made a motion to accept Staff’s recommendation to deny the addition of language to specify a set percentage requirement for single family housing throughout the Town (excluding the G3 sector) in Section 4.1.2. The motion was seconded and failed with a tied vote of 3 to 3.

New Business:

- 2. Site plan approval for the construction of a 11,430-square foot retail building (Thompson Machinery) located at 4545 Columbia Pike (SP 2017-006).**

Mrs. Deats reviewed her report and based upon approval of the special exception permit for the land use and the project’s consistency with the Land Development Ordinance, Staff recommends that the Planning Commission approve the site plan with the following contingencies:

1. The project shall comply with all Board of Zoning Appeals conditions of approval.
2. Prior to the issuance of building permits, TDOT approval shall be obtained for access on Columbia Pike (SR6).
3. Prior to issuance of grading or building permits, construction plans shall be submitted and approved. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.
4. Prior to the installation of a building permit, approval from the Design Review Commission shall be obtained.
5. Prior to the issuance of a building permit, the landscape plan shall be revised to include additional shrubs along the south property line and the parking area within 25 feet of Columbia Pike.
6. Prior to installation of the landscaping, the applicant shall meet with staff to confirm location of all landscaping.

7. Prior to the installation of any lighting on site, a photometric survey shall be submitted and subject to Planning Commission review and approval.
8. Prior to the installation of signage, a master sign plan approval shall be obtained.
9. Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.

Brett Creasman with Kimley Horn came forward to speak on behalf of the applicant.

After discussion, Commissioner Whitmer made a motion to approve Staff's recommendation of approval with contingencies. The motion was seconded and carried by all.

3. Site plan approval for construction of a gas station/convenience center (Twice Daily) located at 4570 Columbia Pike (SP 2017-004).

Mrs. Deats reviewed her Staff report citing that the project did not comply with the Town's LDO for lot coverage, impervious surface maximums, parking and does not have sewer available to serve the site. Therefore, based upon the lack of availability of sewer and the lack of compliance with the Town's Land Development Ordinance, Staff recommends denial of the request for site plan to build a gas station, drive through coffee shop and convenience center.

Charleton Bell with Tri-Star Energy came forward to speak on behalf of the applicant.

After discussion, Commissioner Roberts made a motion to approve Staff's recommendation of denial. The motion was seconded and carried by all.

4. Site plan approval for five mixed use buildings located along Tollgate Boulevard within Tollgate Village (SP 2017-005).

Mrs. Deats reviewed her report citing the project does not comply with the Town's LDO for parking, setbacks, building frontage, density, use type within buildings and lot coverage. Therefore, based upon the project's lack of compliance with the Town's Land Development Ordinance, Staff recommends the request for site plan approval be denied.

Brett Smith with Ragan Smith and David McGowan with Regent Homes came forward to speak on behalf of the applicant.

After discussion, the item was withdrawn by the applicant.

5. Rezone of 20.2 acres from Neighborhood Commercial to D3 – High Intensity zoning along Tollgate Boulevard (Rezone 2017-006).

Mrs. Deats reviewed her report citing the request is not consistent with the Town's General Plan goals and policies to create a "balanced mix of uses" locating commercial uses in proximity to major thoroughfares and SR840. Therefore, based on the findings that the proposed rezone does not meet the intent of the General Plan and may have a deleterious effect on the community, Staff recommends to

Page 4

the Planning Commission to recommend that the Board of Mayor and Aldermen deny the request to amend the zoning map to rezone 20.2 acres of land (portion of Map 132 Parcel 001.00; portion of Map 132, Parcel 001.10; portion of Map 132, Parcel 001.07; and Map 132, Parcel 001.08) from the NC zone to the D3 zone.

Brett Smith with Ragan Smith and David McGowan with Regent Homes came forward to speak on behalf of the applicant.

After discussion, the item was withdrawn by the applicant.

6. Preliminary Plat for the creation of eight (8) single-family lots and the re-subdivision of Lot 3304 located on Americus Drive and Tollgate Boulevard (PP 2017-006).

Mrs. Deats reviewed her report and the preliminary plat, as submitted, is not consistent with the approved development plan and does not comply with the Town's LDO, therefore, Staff recommends denial of the preliminary plat for phase 18 which includes the re-subdivision of phase 33.

Brett Smith, with Ragan Smith came forward to speak on behalf of the applicant.

After discussion, Commissioner Roberts made a motion to defer Item 6 to the November Planning Commission meeting. The motion was seconded, but failed with a vote of 2 to 4.

After further discussion, Alderman Dilks made a motion to approve Staff's recommendation of denial of the preliminary plat for Phase 18 which includes the re-subdivision of Phase 33. The motion was seconded and carried by a vote of 5 to 1 with Commissioner Roberts casting the dissenting vote.

There being no further business, Commissioner Alexander made a motion to adjourn. The motion was seconded and the meeting was adjourned at 9:28 p.m.

Jack Elder, Chairman

Attest:

Brinton Davis, Secretary



DATE: November 20, 2017
TO: Planning Commission
FROM: Wendy Deats, Town Planner
SUBJECT: Planner Report 11/28/2017

Littleberry Concept Plan (CP 2017-006):

The Great Tennessee Land Company has submitted a concept plan for review for the development of 87 homes on 87.1 acres located along the east side of Pantall Road, south of Critz Lane and east of State Route 840.



Zoning/Concept Plan

The land is located within the D1 zoning district which is intended for “low density residential development” (Section 1.2.7) and permits a density of one unit an acre. The required minimum lot width is 85 feet and the average lot sizes proposed on the concept plan 100 feet by 150 feet. Setbacks are not identified on the concept plan; however, the zone requires a 25-foot front yard setback with 20 feet for a secondary frontage, a 20-foot aggregate side yard setback with a minimum of 5 feet and a 30-foot rear yard setback. Driveway widths are permitted to be a maximum of 12 feet except on the secondary frontage up to 24 feet is permitted. Driveway length is required to be a minimum of 20 feet, exclusive of sidewalks and front-loaded garages are required to be recessed behind the front façade by two feet.

The minimum open space requirement is 45% of the overall neighborhood. The concept plan proposes 46.1 acres or 53% of the project site to be set aside as open space. The subdivision exceeds 50 units and is therefore required to have one amenity for the development. The concept plan illustrates an amenity center along with approximately 1.25 miles of trails throughout the neighborhood.

Phone: (615) 794-4333
Fax: (615) 794-3313
www.thompsons-station.com



1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

Traffic

The project has frontage on Pantall Road and Baugh Road. Access is proposed at two locations along Pantall Road, however, no access is proposed along Baugh Road. The developer is working with Gillian Fischbach on the preparation of the traffic study which will be reviewed by the Town's Consulting Traffic Engineer.

Natural Resources

Ridgeline Hilltop Preservation/Slopes

The site does not contain any land within the Ridgeline Hilltop Preservation Area and does not contain slopes in excess of 15%.

Trees

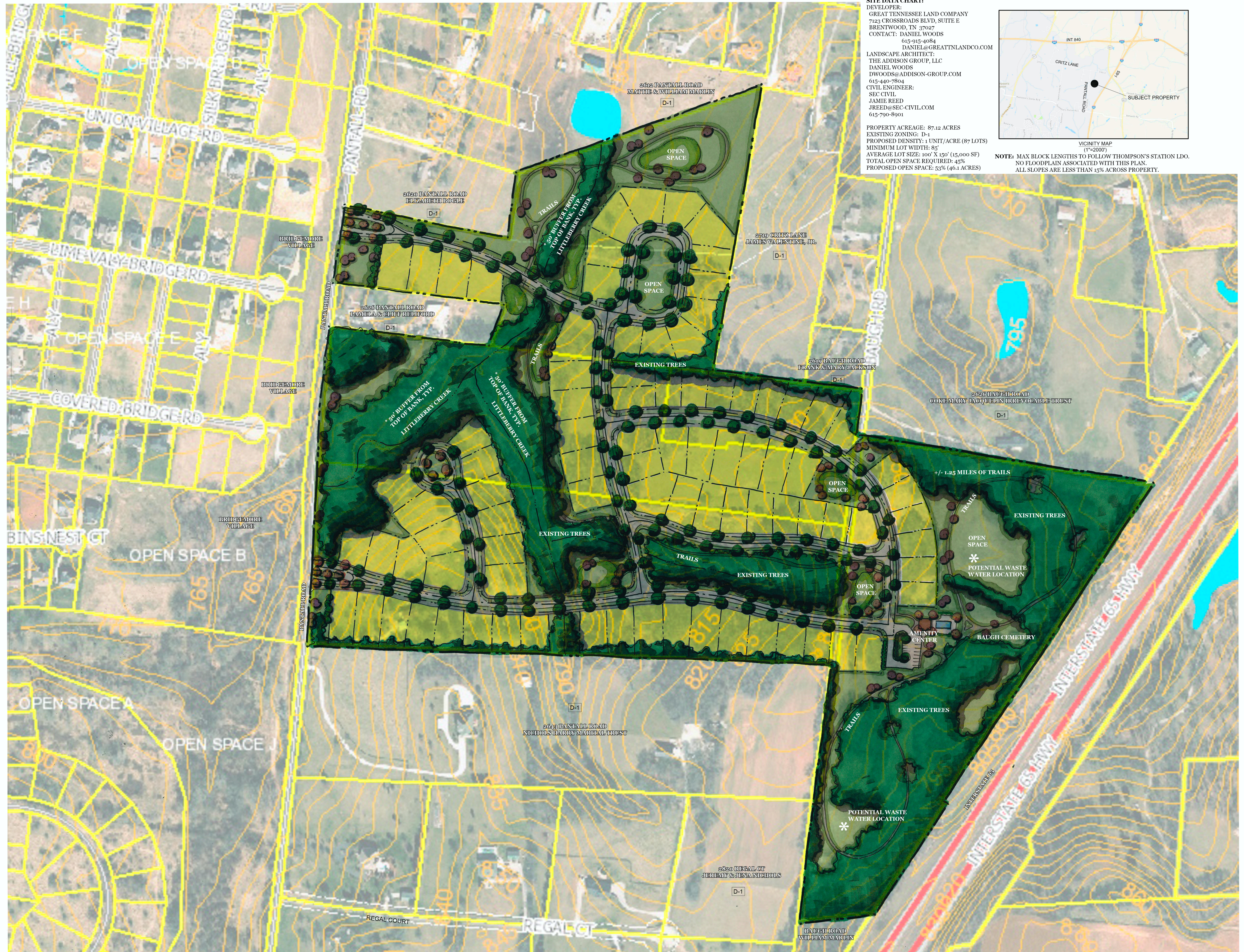
A tree inventory has not been submitted for review, however, the applicant has stated that 65-70% of the existing trees will remain undisturbed. Any trees over 18 inches in diameter that are proposed for removal will be required to have a replacement ratio of one and half inches for every inch removed.

Additional Studies

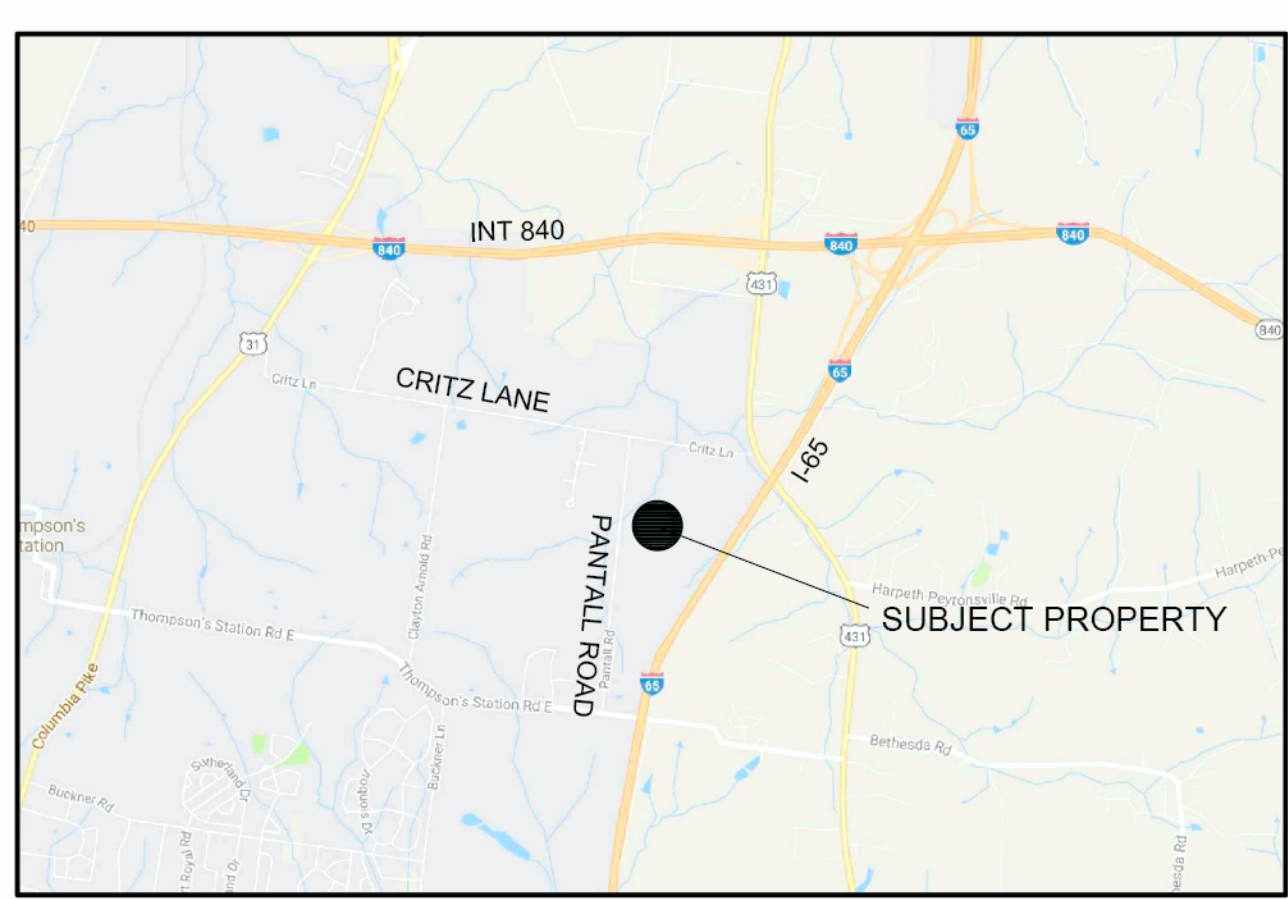
A phase 1 environmental assessment and a geotechnical report are submitted and under review. Any recommended mitigation will be incorporated into future approvals for the project. A preliminary stormwater narrative was submitted and four intermittent streams cross the property and drain to the north into the Harpeth River. Stormwater detention is proposed on site and will be reviewed further during the platting process.

Attachments

Applicant Justification Letter
Proposed Site Development Plan



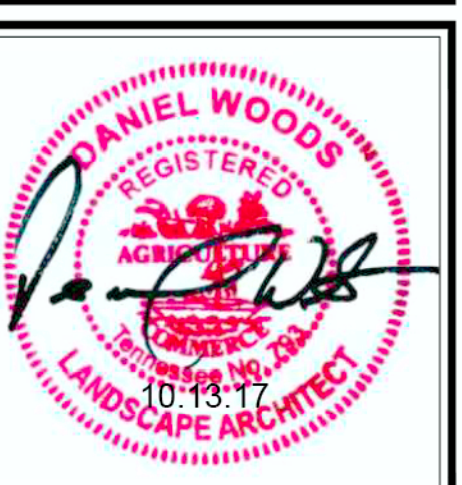
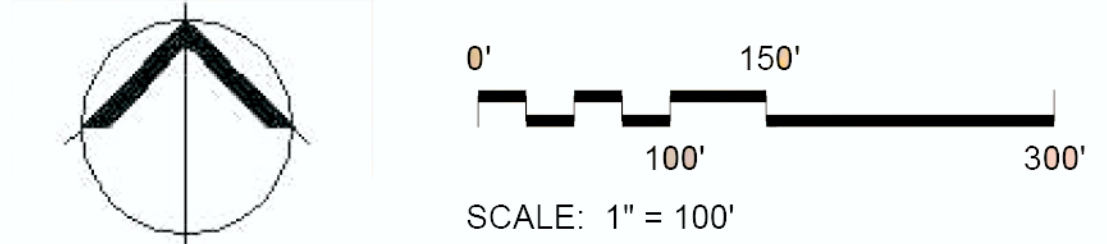
SITE DATA CHART:
 DEVELOPER:
 GREAT TENNESSEE LAND COMPANY
 7123 CROSSROADS BLVD, SUITE E
 BRENTWOOD, TN 37027
 CONTACT: DANIEL WOODS
 615-915-4084
 DANIEL@GREATTNLANDCO.COM
 LANDSCAPE ARCHITECT:
 THE ADDISON GROUP, LLC
 DANIEL WOODS
 DWOODS@ADDISON-GROUP.COM
 615-440-7804
 CIVIL ENGINEER:
 SEC CIVIL
 JAMIE REED
 JREED@SEC-CIVIL.COM
 615-790-8901



PROPERTY ACREAGE: 87.12 ACRES
 EXISTING ZONING: D-1
 PROPOSED DENSITY: 1 UNIT/ACRE (87 LOTS)
 MINIMUM LOT WIDTH: 85'
 AVERAGE LOT SIZE: 100' X 150' (15,000 SF)
 TOTAL OPEN SPACE REQUIRED: 45%
 PROPOSED OPEN SPACE: 53% (46.1 ACRES)

NOTE: MAX BLOCK LENGTHS TO FOLLOW THOMPSON'S STATION LDO.
 NO FLOODPLAIN ASSOCIATED WITH THIS PLAN.
 ALL SLOPES ARE LESS THAN 15% ACROSS PROPERTY.

CONCEPTUAL MASTER PLAN



DATE: 10/13/17	REVISIONS:	SHEET NO.
	1.0	SP1.0

4.17 Sign Standards; Purposes and Intent.

This section establishes the standards for the number, size, location and physical characteristics of signs that are visible from the public right-of-way.

The Town finds it necessary for the promotion and preservation of the public health, safety, welfare and aesthetics of the Town for signs to be regulated. The Town also finds: (1) Signs have a direct impact on the image of the community; (2) An opportunity for viable identification of community businesses and institutions should be established; (3) Uncontrolled and unlimited signs result in roadside clutter and the obstruction of views of other vehicles and pedestrians; (4) The right to express noncommercial messages in any zoning district must be protected, subject to reasonable restrictions on size, height, location and number; and (5) Uncontrolled and unlimited signs adversely impact the image and aesthetic attractiveness of the community and thereby undermine economic value and growth.

These regulations are not intended to restrict the content of any signs. However, for purposes of interpretation of this section, non-commercial content or copy may be substituted for commercial content on any otherwise legal sign.

The purposes and intent of this section are as follows:

- (a) **Safety.** To provide for the safety of vehicular and pedestrian traffic by regulating the number, size, location and other physical characteristics of signs and to allow for effective communication while at the same time, assuring that the public is not endangered, annoyed or distracted by the unsafe, disorderly, indiscriminate or unnecessary use of such signs.
- (b) **Aesthetics.** To regulate signs in a manner that reduces visual clutter and integrates signs with elements of the site and surrounding properties by limiting the size, location, and design of signs so that pedestrians and motorists are able to view buildings, structures, and the natural landscape features of the Town.
- (c) **Activities and Services Identification.** To allow for signs that clearly identify the market place, community services and the other opportunities provided within the Town.

4.17.1 Definitions.¹ For the purposes of this sign ordinance, the following terms are defined as follows:

Abandoned sign. Any sign and/or its supporting sign structure which remains without a message or placed on a property in conjunction with a particular use, that use having been subsequently discontinued for (1) the period of time provided under T.C.A. § 13-7-208(g) if the use is an industrial, commercial or other business use; or (2) a period of 180 days or more, for all other types of uses.

Auxiliary sign. A sign, that has a purpose secondary to the use of the lot on which it is located, including signs with messages such as "bakery," "pharmacy" to provide identification of ancillary or secondary uses.

¹ Ordinance should delete current definitions in section 1.3 and replace them with those listed in 4.17.1.

Awning sign. Any sign attached to, or made part of, an awning.

Bandit sign. Any sign placed within a public right-of-way, public property or on private property that is visible from a public right of way or public property intended to advertise, notify or otherwise communicate any commercial message. Bandit signs shall include lawn signs, snipe signs or any other similar signs.

Banner. Any sign, not including flags as defined herein, made of fabric or other flexible material that is mounted to a pole or otherwise mounted to allow movement caused by wind, or mounted on the ground and supported by poles.

Billboard. Any permanent off-site sign.

Canopy sign. A sign that is attached to a canopy or other covered walkway to commercial uses.

Changeable copy sign. A sign that is characterized by changeable copy, letters, symbols or numbers.

Commercial message. Any wording, logo, symbol, image or other representation that directly or indirectly names, advertises or calls attention to a business, product, service or other commercial activity in order to draw attention to a business.

Directional sign. A permanent sign erected for purposes of identification, direction or public safety.

Display case sign. A glazed enclosure for the display of directories or printed materials.

Electronic message display or electronic sign. Any sign that displays still images, scrolling images or moving images, including video and animation, utilizing a series or grid of lights that may be changed through electronic means, including but not limited to cathode ray, light emitting diode (LED) display, plasma screen, liquid crystal display (LCD), fiber optic or other electronic media or technology.

Elevation. Elevation means the view of the side, front, or rear of a given structure.

Freestanding sign means any sign that is anchored in the ground and that is independent of any building.

Flag means any fabric or bunting containing distinctive colors, patterns or symbols that is used as a symbol of a governmental, commercial or non-commercial entity.

(1) Commercial flag means any flag which displays a commercial message, as defined herein.

(2) Non-commercial flag means any flag not displaying a commercial message, as defined herein.

Hand held sign. A sign that is held by or otherwise mounted on a person.

Incidental sign. A sign, generally informational, that has a purpose secondary to the use of the lot on which it is located, including signs with messages such as "no parking", "entrance", "exit", "loading only", "no trespassing", "no hunting", "phone", "ATM", etc.

Marquee sign. A canopy or roof-like projection over the entrance to a theater, hotel, or other building, usually bearing a sign on its face or sides.

Monument sign. A self-supporting sign located on a base installed at grade and has no air space, columns, or supports visible between the ground and bottom of the sign.

Noncommercial message. Wording, logo, symbol, image, or representation that does not name, advertise or call attention to a business or commercial product, service or activity.

Nonconforming sign. Any existing permanent sign or sign structure which does not conform to the provisions of this article ordinance, but was lawfully erected and complied with the sign regulations in effect at the time it was erected.

Painted (wall) sign. A sign or information that is painted directly on the wall face of a building.

Permanent sign means any sign that is intended for other than temporary use or a limited period. A permanent sign is generally affixed or attached to the exterior of a building, or to a pole or other structure, by adhesive or mechanical means, or is otherwise characterized by construction materials, a foundation or anchoring indicative of an intent to display the sign for more than a limited period.

Portable sign. Any sign designed or intended to be readily relocated, and not permanently affixed to the ground or to a structure, regardless of modifications that limit its movability. For the purposes of this article ordinance, portable signs shall not be considered Temporary signs as defined herein.

Projecting sign. A sign which is attached to and projects perpendicular from a structure or building face.

Public right-of-way. Land dedicated for public use, usually for a public street, public infrastructure and/or waterway. For the purposes of this article ordinance, such rights-of way shall be considered to extend a minimum of ten feet from the edge of pavement, or to the dedicated right-of-way boundary, whichever is further.

Pylon sign. An on-site sign that is separated from the ground and supported by one or more poles, pole covers or columns.

Real estate sign. A temporary sign erected by the owner or the owner's agent, advertising the real property upon which the sign is located for rent, lease or sale.; or a temporary sign advertising the development of a subdivision and the sale of lots.

Residential districts. Means a Zoning District primarily intended for residential uses including zones D1, D2 and D3 zoned subdivisions (or phases thereof) that allow for only residential uses. Transect, Commercial and Industrial zones are not residential districts.

Roof sign. Any sign erected wholly or partially above the roof line.

Sandwich/Sidewalk sign. A sign composed of two surfaces displaying a message or graphic and set up in a triangular shape.

Sign. Any device, fixture, placard, or structure that uses color, form, graphic, illumination, symbol, or writing to advertise, announce, or identify a person or entity, or to communicate information of any kind. "Sign" does not include: (1) Seasonal or holiday displays that do not contain a commercial message. (2) Outdoor murals, sculptures or other artworks; provided that where such outdoor art is part of a site that is subject to the planning commission's jurisdiction, the outdoor art shall be subject to the planning commission's review and approval.

Sign administrator or zoning administrator. The person(s) designated by the Town Administrator as the staff member assigned to oversee the enforcement and interpretation of this article ordinance.

Sign area. The area measured within the perimeter lines of the sign that bears the advertisement; or in the case of messages, figures, or symbols, including those attached directly to any part of a building. The term "sign area" shall include that area included in the smallest rectangle that can be made to circumscribe the message, figure, or symbol displayed for the purpose of advertisement.

Sign Area, Monument. Signs having a permanent base shall include the entire surface area of the sign on which copy could be placed, including the supporting structure or bracing of a sign and any decorative architectural treatments or caps as part of the sign area. Signs containing two faces that are back to back, the area of only one (1) face shall apply to the sign area computation.

Snipe sign. Any sign that is affixed by any means to trees, utility poles, fences or other objects, where the sign is not an incidental sign allowed herein.

Suspended sign. A small, pedestrian-oriented sign that projects perpendicular from a structure such as a canopy.

Temporary sign. Any sign, banner, valance or advertising display constructed of cloth, canvas, fabric, cardboard, plywood or other light material with or without a frame, and designed or intended to be displayed for a short period of time.

Wall Mural. Any sign designed and painted directly on the exterior wall of a structure as artwork to identify the use or uses within the building.

Wall sign. A wall area of a non-residential building built along the entire width of a principal or secondary frontage allocated for the placement of a sign above a shopfront or at the cornice.

Window sign. Any sign placed inside a window or upon a window pane. For purposes of this article ordinance, window signs may be permanent or temporary and are subject to applicable provisions herein.

4.17.2 General Provisions.

(a) *Nonconforming signs.* The utilization of a nonconforming sign, as defined in this article ordinance, may continue until the sign becomes an abandoned sign, as defined in this article ordinance or the use of the property on which the sign is located changes. In the event of a change in the use of the property, all nonconforming signs must be removed or modified to

comply with the provisions of this article ordinance. All new signs on the property must comply with the provisions of this article ordinance.

(b) *Calculations-measurement standards.* The following principles shall control the computation of sign area and sign height:

(1) *Computation of the area of individual signs.* The sign area shall be determined by computing the area of the smallest square, rectangle, circle or triangle that will encompass the extreme limits of the sign face, including any open areas within the sign face (see definition, "sign area."). Signs having a permanent base shall include the entire surface area of the sign on which copy could be placed, the supporting structure or bracing of a sign and any decorative caps as part of the sign area. Signs containing two faces that are back to back, the area of only one (1) face shall apply to the sign area computation.

(2) *Computation of height.* Sign height is measured from the average level of the grade below the sign to the topmost point of the sign. Average grade shall be the lower of existing grade prior to construction or newly established grade after construction. Any berming, filling, or excavating solely for the purpose of locating the sign, shall be computed as part of the sign height.

(c) *Design, construction and maintenance of signs.* All signs shall be designed, constructed and maintained in accordance with the follow standards:

(1) *General provisions.* All signs shall comply with applicable provisions of the adopted building and electrical codes. Except for banners, flags, temporary signs, sandwich board signs and window signs allowed hereunder, all signs shall be constructed of permanent materials that are permanently attached to the ground or a structure. All signs shall be maintained in good structural condition, in compliance with all applicable codes.

(2) *Spacing.* All permanent freestanding signs on any premises shall be spaced at minimum 150-foot intervals along each public way that views the premises, unless otherwise provided for by this article ordinance.

(3) *Sight distance triangle.* All entrance signs and freestanding signs located near the corners of an intersection, shall be located outside of the sight distance triangle. Such triangle shall be composed of two lines, measured at a distance of 20 feet running along each leg of the road or driveway pavement surfaces, and a third connecting line to form a triangular area. This area shall be free of any permanent or temporary signs that may inhibit a clear sight visibility for motorists.

(4) *Sign illumination.* Sign illumination shall only be achieved through the following standards:

a. A white, steady, stationary light of reasonable intensity may be directed solely at the sign. The light source shall be shielded from adjacent buildings and streets, and shall not be of sufficient brightness to cause glare or other nuisances to adjacent land uses.

b. Internal illumination shall provide steady, stationary lighting through translucent materials.

c. If the sign or sign structure is internally illuminated or backlit by any means, the entire lighted area shall be included within the allowable signage calculation for the site. This standard shall also apply to signs affixed to any portion of a building as an architectural feature, such as but not limited to awnings, canopies or roof lines.

d. All electrical service to ground mounted signs shall be placed underground. Electrical service to other signs shall be concealed from public view.

(5) *Setback.* All permanent signs shall be set back at least five feet from the public right-of-way, unless otherwise specified by this article ordinance. No permanent sign shall be located within a public utility or drainage easement.

(6) *Master Sign Plan Approval.* All new developments requiring subdivision plat or site plan approval shall submit a master sign plan for approval prior to construction. The master sign plan shall include a site plan showing the location of all proposed signs on the project site in relation to all existing and proposed buildings and structures. Scaled drawings showing the proposed design for all signs, including any proposed lighting for such signs. All signs within a development shall be compatible in design quality. The Master Sign Plan shall be reviewed by the Planning Commission in conjunction with the proposed subdivision plat or site plan.

(7) *Design Review Approval.* All nonresidential signs, multi-family signs and residential entrance signs shall be subject to review and approval by the Design Review Commission.

4.17.3 Prohibited Signs.

The following signs are prohibited in all zoning districts:

- (a) Signs which resemble or conflict with traffic control signs or by use of words, phrases, symbols or shape interfere with or may confuse traffic.
- (b) Pylon signs.
- (c) Bandit signs or any signs attached to public or utility poles, fences or walls visible from a public right-of-way.
- (d) Billboards and other off-premises signs, unless specifically authorized herein.
- (e) Moving, revolving or flashing signs.
- (f) Searchlights.
- (g) Inflatable signs.
- (h) Roof signs.

- (i) Signs within the public right-of-way except as may be specifically authorized, such as sidewalk signs.
- (j) Signs on parked on non-operational or unlicensed vehicles visible from a public right-of-way.
- (k) Portable signs.
- (l) Any signs that pose a safety hazard based on its construction or location, including any sign that obstructs visibility necessary for traffic safety.
- (m) Streamers and spinners.
- (n) Electronic digital message signs, except as specifically authorized herein.

4.17.4 Permitted Signs

(a) ***Signs allowed in all zoning districts.*** The signs listed below are allowed in all zoning districts, provided that such signs are on private property unless otherwise provided; that such signs are maintained in a manner that does not create a safety hazard; and that the specific restrictions set forth for each type of sign listed below shall apply wherever such a sign is erected, displayed or maintained.

(1) Any sign erected, maintained or otherwise posted, owned or leased by the federal government, the state or the city, or any official sign or notice issued or required to be displayed on private property by any court or public agency, whether permanent or temporary.

(2) A directional sign or a warning or information sign erected or authorized by any public agency, whether permanent or temporary.

(3) A private street or road name sign, located at an intersection, that does not exceed two square feet per face and does not include any commercial message.

(4) Incidental signs, as defined in this article ordinance, not exceeding two square feet in area per face.

(5) Signs denoting a property as historic and placed by or on behalf of a public agency.

(6) One building marker, limited to four square feet of sign face, may be displayed on the face of a building.

(7) Street numbers on building façades, not to exceed 12 inches in height, and street numbers and names on mailboxes.

(b) ***Signs permitted in all residential districts (including D1, D2, D3 residential zone)*** In addition to the signs permitted as otherwise provided herein, the following signs are permitted within all residential districts subject to the specifications described below:

(1) ***Subdivision entrance signs.*** Such signs shall be located at the primary entrance(s) to a development as identified on a preliminary plan approved by the planning commission. The signs shall be located on private property within a platted sign or landscape

easement or within the subdivision's common open space. The sign location shall be subject to the approval of the planning commission. Such signs shall be maintained by an established homeowners' or property owners' association.

Specifications: Sign area - 120 square feet per sign maximum per entrance, which may be divided among not more than two freestanding sign faces (no single sign face shall exceed 60 square feet); maximum of three entrance locations per subdivision; sign height - six feet, maximum; setback - ten feet, minimum.

During the period when a subdivision is under development and until the permanent subdivision entrance sign(s) is/are erected, one temporary sign per entrance may be erected within the subdivision on property owned by the developer. No such sign shall exceed 32 square feet in area on one sign face; ten feet in width; and six feet in height.

(2) *Homeowners' association signs.* One permanent freestanding sign with changeable non-commercial content may be erected and maintained by a subdivision's homeowners' or property owners' association. The sign shall be located on the subdivision's common open space or private property within the subdivision.

Specifications: Sign area - 20 square feet, maximum, which may be divided by two sign faces; sign height - six feet, maximum.

(3) *Residence signs.* One permanent freestanding sign per residence shall be allowed, with non-commercial content including but not limited to resident names or the name of the home.

Specifications : Sign area - Two square feet, maximum, except that residential tracts of ten acres or more shall be allowed two such sign faces not to exceed 12 square feet per face; sign height - four feet, maximum.

(4) *Temporary signs, including banners, and residential development signs.* In addition to the other signs identified in this subsection, temporary, freestanding, non-commercial signs may be posted on any lot in a residential district at any given time. This category includes, but is not limited to: real estate signs; political signs; garage sale signs; baby announcements; lost pet signs; social/special event announcements; or any other non-commercial messages. Home occupation signs shall be considered commercial signs, and are not allowed within any residential district.

Specifications : Sign area for lots of five acres or less - 20 square feet, maximum, which may be divided into a maximum of five signs, provided that no single sign may exceed eight square feet in area; sign area for lots exceeding five acres - 32 square feet, maximum, which may be contained on one sign or multiple signs; sign height for all lots - six feet, maximum. Where a temporary sign contains two back-to-back sign faces, the sign area shall be computed using only one of the sign faces.

Time Limitations: Temporary signs shall not be displayed on any lot in a residential district for more than 60 days in a calendar year. Real estate signs shall not be subject to this 60 day time limitation, but may only be displayed when the lot on which the sign is located is being offered for sale or lease.

(5) *Non-commercial flags.*

Specifications : No flag shall exceed 40 square feet; flag pole height - 25 feet, maximum. No more than one flag pole may be erected on a lot consisting of five acres or less; for lots exceeding five acres, one additional flag pole per acre may be erected not to exceed a maximum of three flags. Flag poles on properties exceeding five acres shall not exceed 50 feet in height. Flag poles must meet minimum yard setback requirements.

(6) All signs listed in section 4.17.4(ab).

Unless specifically permitted herein all other signs are prohibited.

(c) **Signs Permitted as by zoning district.** The types of signs, number of signs, maximum sign area and maximum copy height are permitted and regulated for each zoning district as shown on Table 4.25 and 4.26. Additional requirements and regulations for signs within Transect districts are shown on Table 4.27. Unless otherwise specifically permitted within these tables or below, any signs not permitted within a zone are prohibited. All permitted signs must conform to the stated regulations and specifications. In the event of any conflict between provisions within the tables and text of this sign ordinance, the more restrictive regulations and specifications shall apply.

TABLE 4.25 GENERAL TRANSECT SIGN RESTRICTIONS

SIGN TYPE	T3	T4	T5	NUMBER	MAX. SIGN AREA	MAX. COPY HEIGHT
Auxiliary			P	1	10 s.f.	n/a
Awning		P	P	1 sloping plane plus 1 valence per awning	75% of sloping plane; 75% of valence	16 in. on sloping plane; 8 in. on valence
Banner			P	1 per frontage	48 s.f.	n/a
Canopy			P	1 per canopy	2 s.f. per linear foot of shop-front	30 in. max.
Directional		P	P	n/a	12 s.f.	n/a
Display Case			P	1 per business	6 s.f.	n/a
Fuel Pricing				1 per business	32 s.f.	n/a
Marquee			P	1 per entry	n/a	n/a
Monument			P	1 per frontage	36 s.f.	n/a
Projecting		P	P	1 per tenant	6 s.f.	8 in.
Sidewalk / Sandwich		P	P	1 per tenant	9 s.f.	n/a
Suspended		P	P	1 per entry	6 s.f.	8 in.
Wall			P	1 per frontage	3 s.f. per 1 linear ft. up to 90% of the building width	18 in. / 36 in. for more than one line of copy
Window		P	P	1 per window	25% of glazed area	12 in.

TABLE 4.26 GENERAL USE DISTRICT SIGN RESTRICTIONS

SIGN TYPE	NC	CC	IL	IM	NUMBER	MAX. SIGN AREA	MAX. COPY HEIGHT
Auxiliary	P	P	P	P	2	10 s.f.	n/a
Awning	P	P	P	P	1 sloping plane plus 1 valence per awning	75% of sloping plane; 75% of valence	16 in. on sloping plane; 8 in. on valence
Banner		P	P	P	1 per frontage	48 s.f.	n/a
Canopy	P	P	P		1 per canopy	2 s.f. per linear foot of shop-front	30 in. max.
Directional	P	P	P	P	4	25 s.f.	n/a
Fuel Pricing		P	P	P	1 per business	32 s.f.	n/a
Marquee	P				1 per entry	n/a	n/a
Monument	P	P	P	P	1 per frontage	80 s.f.	8 ft.
Projecting	P	P	P		1 per tenant	1.5 s.f. per 1 linear ft.	n/a
Wall	P	P	P	P	1 per frontage	1.5 s.f. per 1 linear ft.	24 in. / 36 in. for more than one line of copy
Window	P	P	P		1 per window	25% of glazed area	12 in.

(d) **Signs permitted in Transect, Commercial and Industrial zoning districts.** In addition to the signs permitted by zoning district as shown on Table 4.25 and 4.26 or as otherwise specifically permitted herein, the following signs are permitted within all Transect, Commercial and Industrial zoning districts subject to the specifications described below:

(1) **Gas station business signs.** In addition to any other signs allowed on the property, gas stations shall be allowed to display the following signs:

a. **Fuel pricing signs.** One (1) fuel pricing sign may be approved per gas service station, which may include non-flashing electronic digital messaging.

Specifications: Shall be located within a landscape planter a minimum of 15 feet from the right-of-way and may not exceed 32 square feet in sign area and five (5) feet in height. Fuel pricing signs are prohibited on the pump canopy. All fuel pricing signs shall be reviewed by the DRC and shall be designed and constructed of materials consistent with the primary building.

b. **Gasoline pump signs.** Signage may be mounted on each pump façade.

Specifications: not to exceed a total of two square feet per pump.

c. **Canopy signs.** When the property includes an enclosed principal structure, the area of all canopy signs shall be calculated and deducted from the total allowable wall sign area. Except for the measurable area of the canopy sign, no internal illumination or back lighting of the canopy surface or canopy roof line shall be allowed.

Specifications: See Table 4.26

d. **Signs displaying information required by state and federal law pertaining to the sale of motor fuel or kerosene.** Signs displaying such information shall not be counted toward the number of signs otherwise allowed on the property, provided that no other content is displayed on such signs beyond that required by law.

(2) **Monument Signs.** Monument signs with a maximum height of eight (8) feet and a maximum square footage of 80 square feet shall be permitted with a minimum of 100 feet of linear road frontage with the approval of a sign permit. If more than one parcel makes up a commercial center, the sign shall include the name of the businesses within the entire commercial center. Two monument signs may be permitted for sites with more than one road frontage exceeding 750 feet and over five acres in size. Monument signs shall be separated by 150 feet.

(3) **Window Signs.** Window signs with a maximum square footage of 25% of total window area may be permitted with the approval of a sign permit.

(4) **Directional Signs.** On-site directional signs shall be no more than two (2) square feet in sign area and shall not exceed four (4) feet in height. A maximum of four (4) directional signs will be allowed to provide physical direction to drive-thrus, entrances, etc. Sites with complex internal circulation, multiple entrances/exits, or five acres or more may be permitted additional signage under a sign plan.

(5) **Auxiliary Signs.** Auxiliary wall signs may be permitted for ancillary uses and shall not exceed 10 square feet in sign area. A maximum of two signs may be allowed and shall be placed on the elevation with the primary entrance.

(6) **Temporary signs.** Temporary freestanding signs, excluding sandwich signs, shall be limited to two per lot at any given time. Temporary freestanding signs shall not be displayed on a lot for more than 60 days in any calendar year. and a display period not to exceed 60 days per lot for all such signs in any calendar year.. Real estate signs shall not be subject to this 60 day time limitation, but may only be displayed when the lot on which the sign is located is being offered for sale or lease. All businesses shall apply for a temporary sign permit for a specific time prior to erecting a temporary sign. During any period when a parcel is offered for sale or property within the parcel is offered for lease, one additional temporary freestanding sign may be displayed without the need for a permit.

Specifications: Sign area - 12 square feet sign maximum, which may be divided by a maximum of two sign faces; sign height - 4 feet, maximum. Temporary signs shall be located at least ten feet from the back of the street curb, edge of pavement or stabilized shoulder, unless a greater distance is required to remove such sign from the public right-of-way or sight distance triangle. No temporary signs shall be permitted within any median which is within a public right-of-way.

(76) Non-commercial flags.

Specifications: No flag shall exceed 40 square feet; flag pole height - 25 feet, maximum. No more than one flag pole may be erected on a lot consisting of five acres or less; for lots exceeding five acres, one additional flag pole per acre may be erected not to exceed a maximum of three flags. Flag poles on properties exceeding five acres shall not exceed 50 feet in height. Flag poles must meet minimum yard setback requirements.

4.17.5 Transect, Commercial and Industrial Sign Regulations. All signs permitted in Transect, Commercial and Industrial Zones as shown on Tables 4.25 and 4.26 shall be subject to the Regulations and requirements as shown on Table 4.27.





TABLE 4.27 SPECIFIC TRANSECT ZONING DISTRICT SIGN REGULATIONS		
AWNING SIGN		
Requirements	A. Valence sign area must maintain a 1 in. border.	
CANOPY SIGN		
Requirements	A. Canopy signs copy may not exceed 30 in. in height. B. Canopy signs may be externally illuminated or neon. C. Fixtures must be shielded to prevent glare. D. Conduit, raceways, and wiring may not be exposed to view from the sidewalk.	
MARQUEE SIGN		
Requirements	A. Marquee signs copy may project to within 2 ft. of the curb. B. Marquee signs must maintain 10 ft. clearance above sidewalk. C. Marquee signs may be combined with a canopy sign or projecting sign. D. Fixtures must be shielded to prevent glare. E. Conduit, raceways, and wiring may not be exposed to view from the sidewalk.	
MONUMENT SIGN		
Requirements	A. Monument signs may not exceed 8 ft. in height or width. B. Monument signs must be located at or behind the setback. C. Fixtures must be shielded to prevent glare. D. Conduit, raceways, and wiring may not be exposed to view from the sidewalk.	

TABLE 4.27 SPECIFIC TRANSECT ZONING DISTRICT SIGN REGULATIONS

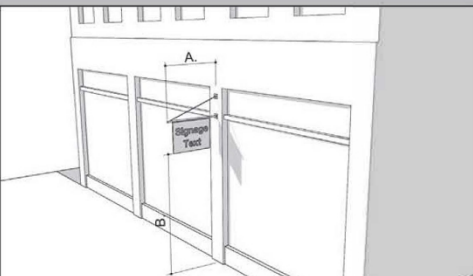
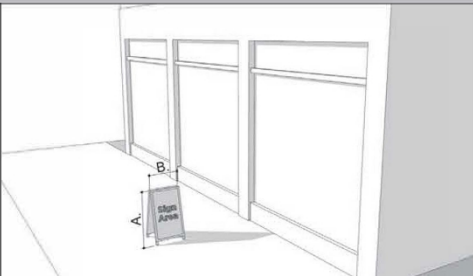
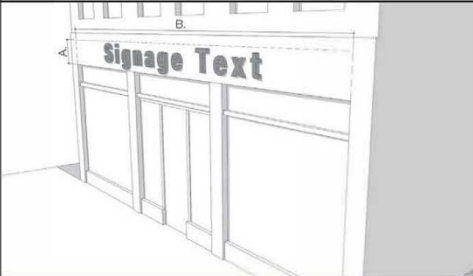
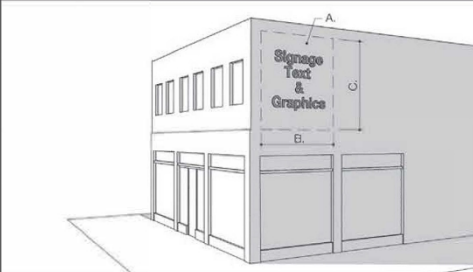

PROJECTING SIGN	
Requirements	<p>A. Projecting signs may project up to 2 ft. from the facade.</p> <p>B. Projecting signs must maintain 8 ft. clearance above sidewalk.</p> <p>C. Projecting signs may be double sided.</p> 
SIDEWALK SIGN	
Requirements	<p>A. Sign height may not exceed 42 in.</p> <p>B. Sign width may not exceed 30 in.</p> <p>C. Signs may not be located within 3 ft. of curb.</p> 
WALL SIGN	
Requirements	<p>A. Wall signs copy may not exceed 18 in. in height.</p> <p>B. Wall signs may be up to 90% of the building width.</p> <p>C. Wall signs may be externally illuminated.</p> <p>C. Fixtures must be shielded to prevent glare.</p> <p>D. Conduit, raceways, and wiring may not be exposed to view from the sidewalk.</p> 
WALL MURAL SIGN	
Requirements	<p>A. Only text or graphics painted directly on the wall or a graphic mural are permitted.</p> <p>B. Sign width is restricted to 50 ft. maximum.</p> <p>C. Sign height is restricted to building height.</p> 

TABLE 4.27 SPECIFIC TRANSECT ZONING DISTRICT SIGN REGULATIONS

WINDOW SIGN	
Requirements	<p>A. Window signs may not exceed 25% of the glazed area.</p> <p>B. Copy text may not exceed 12 in. in height.</p> <p>C. The following window signs are permitted: letters painted directly on the window, neon signs, LED signs, signs hung behind the glass, vinyl applique letters applied to the window.</p>



4.17.6 Administration and enforcement.

(a) *Regulatory enforcement.* The sign administrator is hereby authorized and directed to enforce all of the provisions of this article ordinance. This authority empowers the sign administrator to perform any necessary inspections, or to have such inspections conducted on the sign administrator's behalf. The sign administrator may direct that citations be issued for violations of the provisions of this article ordinance.

(b) *Violation notice.* The sign administrator shall order the removal of any sign erected or maintained in violation of this article ordinance, providing the owner or tenant of the premises upon which the offending sign is located is given ten days' written notice to comply with the provisions of this article ordinance. If, after ten days, the property owner or tenant has failed to comply with this article ordinance, a citation to municipal court shall be issued. When good faith efforts to bring a sign into compliance have begun within ten days of the notice of violation, the sign administrator may extend the time period for compliance with this article ordinance to a period not to exceed 30 days. In cases where the owner of the premises has previously been notified of violations on two or more occasions, a citation may be issued without prior written notice.

(c) *Impoundment/disposal of signs.* The sign administrator, the municipal codes officer and their designees shall have the authority to remove without notice any illegal sign on the public right-of-way or other public property, or any illegal sign attached to fences, posts, utility poles or natural features such as trees. Such signs shall be considered litter and shall be subject to disposal.

(d) *Letter of compliance.* Prior to erecting or displaying a sign, a property owner or tenant or the agent of a property owner or tenant may submit a written request to the sign administrator for verification that the sign as proposed complies with the requirements of this article ordinance. The sign administrator may require that any person requesting such verification complete such forms or submit such information as may be needed by the sign administrator to make a determination.


4.17.76 Severability clause

If any subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of the ordinance.

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1550 Thompson's Station Road W.
P.O. Box 100
Thompson's Station, TN 37179

DATE: November 17, 2017
TO: Planning Commission
FROM: Wendy Deats,  Town Planner
SUBJECT: Item 1 - LDO Amendment Request File 2017-008

Sign Standards

The Planning Commission held work sessions in April and June 2017 to discuss amending the sign standards. On July 25, 2017, the Planning Commission recommended to the Board of Mayor and Aldermen a new section for the sign standards. On September 12, 2017, the Board of Mayor and Aldermen passed on first reading the amendment. However, on October 10, 2017, after further discussion, the Board requested that the Planning Commission review the amendment again.

On October 30, 2017, another Planning Commission work session was held to further discuss potential changes to the standards. Staff has modified the standards to add some clarity to the language and establish time limitations on a maximum timeframe for temporary signs.

Driveway Width Standards for Industrial zones

Staff recommends a modification to the following tables:

Table 4.15 and Table 4.16 IL and IM Lot Standards (page 91-92). Revise the table pertaining to access width maximum of 24 feet. The industrial zones tend to have land uses such as manufacturing which require larger truck traffic. A maximum width of 24 feet for these industrial zones may result in a conflict for trucks attempting to enter and exit the site. Therefore, Staff is recommending either the removal of the access width requirement or an increase of the requirement to a width that is adequate.

Attachments

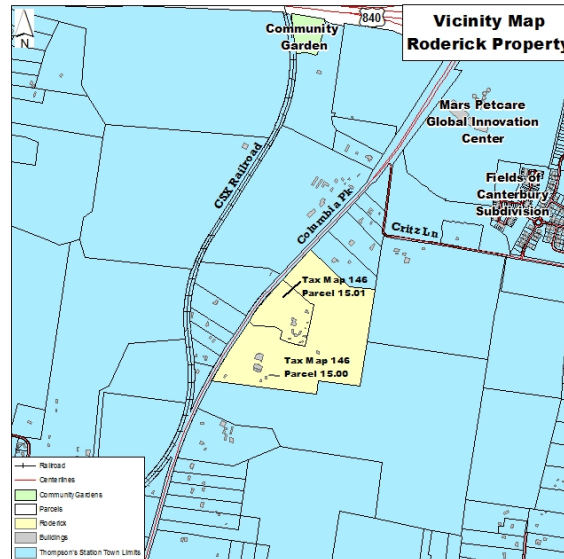
Draft Sign Standards

Thompson's Station Planning Commission
Staff Report – Item 2 (File: SP 2017-007 & DR 2017-005)
November 28, 2017

Site Plan for the development of (Roderick Market) a restaurant and convenience store with a gas station within Roderick Place.

PROJECT DESCRIPTION

The applicant, Kiser/Vogrin Design has submitted a site plan application for the development of a restaurant and convenience store with a gas station on a 2.57-acre site located along the east side of Columbia Pike, north of Thompson's Station Road, south of Critz Lane within Roderick Place.



BACKGROUND

The project site was rezoned in November 2006 to Specific Plan and a concept plan with envisioning book was approved as part of the rezone process. A revision to the concept plan was approved in October 2007, which included 174 residential units and 127,606 square feet of commercial uses.

On November 17, 2015, the Planning Commission approved the site plan for the development of a restaurant and gas station with a convenience store with the following contingencies:

1. *Prior to the issuance of any grading or building permits, the applicant shall submit a preliminary plat to establish a single lot for the purposes of development. The plat shall incorporate the roadway connection to Columbia Pike as approved by the Board of Mayor and Aldermen and TDOT.*
2. *Prior to issuance of grading permits, construction plans shall be submitted and approved. The location of the driveway entrance shall be located a minimum of 200 feet from any intersection. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.*
3. *Prior to the issuance of building permits, the site plan shall be modified to incorporate enhanced paving at the project entrance which shall match the pedestrian pathway on site. All mechanical equipment locations shall be identified and screening provided.*
4. *Prior to the issuance of building permits, the applicant shall post a letter of credit for the landscaping in the amount of \$24,000.*

5. *Prior to the installation of the landscaping, the applicant shall meet with the staff to confirm location of all landscaping.*
6. *Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.*
7. *The parking area shall be revised to either reduce the parking area by four spaces or incorporate the low impact design improvements to the parking lot.*

However, the Land Development Ordinance states that site plan approval “*shall be valid for one (1) year from date of approval. If, in the opinion of the Town Planner substantial construction on the principal structure, including but not limited to foundations, walls, and roofs has not commenced within one (1) year, the site plan approval by the Town Planner shall expire and a new application will be required. The new application will be required to conform to the current code requirements at the time of the new application.*” No building permit was issued for this project and construction was never started, therefore, the site plan approval has expired and a new application submitted for review and approval.

ANALYSIS

Site Plan

The applicant is proposing the development of a 5,761-square foot one story building containing a restaurant with patio dining and a convenience store with gas facilities on 2.57 acres.

Zoning/Land Use

Commercial land uses are set forth within the approved concept plan and envisioning (pattern) book for the Specific Plan zone. The project is consistent with the approved plan for the development of a restaurant and convenience store/gas station in this location.

Non-residential Development Standards

Additional standards are applicable to non-residential land uses that are not addressed in the approved envisioning (pattern) book.

Lot coverage for automotive facilities shall include all buildings and canopies on site and shall not exceed 25%. Total amount of impervious surface shall be limited to 40%. The total lot coverage proposed is 10% and the total impervious surface is 38%.

Parking shall be predominantly located in the rear of the site behind the main structure, where feasible. In cases where a portion of the parking fronts a public right of way, a landscaped hedge shall be provided to screen all parking spaces. The overnight parking or storage of any vehicles shall be fully screened from all public rights-of-way. All parking is located in the rear of the site.

A maximum height of 25 feet is permitted for all structures. The building will be a maximum of 25 feet in height.

Internal pedestrian access shall be provided and shall consist of paved walkways, decorative treatments, etc. to clearly identify the pedestrian path. A pedestrian path of travel is shown on the plans from the canopy to the building. Material has not been identified for this walkway; therefore, Staff recommends a contingency for the pathway to match the decorative entrance treatment.

All non-residential buildings shall be reviewed by the Design Review Committee. The project was approved by the Design Review Commission contingent on Planning Commission approval.

Canopy fascia shall match the color and materials of the other buildings on site. No more than two points of ingress/egress shall be permitted and no more than 35% of the street frontage shall be dedicated to curb cuts. Driveways shall be located a minimum of 200 feet from any intersection. The gas pump canopy is attached to the main building with the use of similar materials. The site has one driveway, which required to be 200 feet minimum distance from the corner for clearance.

Entry drives shall be designated to incorporate enhanced paving, landscaping and other features which complement the building architecture. The plan does not address this requirement; therefore, Staff recommends the driveway entrance incorporate enhanced paving to complement the site entrance.

Parking

Parking is not addressed in the envisioning (pattern) book and therefore subject to the LDO. All parking will be provided on site and located in the rear of the site. Based on the allowable uses, 48 parking spaces and four bicycle parking is required. The project proposed 48 spaces and includes five bicycle parking spaces. The parking will be landscaped with the inclusion of a landscaped island every eight to 11 spaces (as required by the standards approved in the envisioning book).

Lighting

Lighting is not addressed in the envisioning (pattern) book and therefore subject to the LDO. The project site will have lighting on site for the parking areas and building. A photometric plan was submitted and demonstrates that lighting shall not exceed the maximum illumination permitted at property lines. Therefore, no spillover is anticipated as demonstrated by the photometric survey completed for the lighting.

Open Space

Open space requirements are set forth within the approved envisioning (pattern) book for the Specific Plan zone. The open space requirement is 40% for residential land uses and 50% for non-residential land uses. The overall site has approval of a preliminary plat for the market area showing two open space lots totaling approximately 56% for the proposed commercial area. As the overall development proceeds, open space will continue to be platted to meet all open space requirements.

Landscaping

The landscaping requirements are set forth within the envisioning (pattern) book for the Specific Plan zone. The project includes a street buffer of 15 feet in width to be planted along Columbia Pike and shall be planted with one tree for every 50 feet along Columbia Pike. Landscape buffers are required along the remaining property lines to provide a street buffer and a buffer between residential and nonresidential land uses. In addition, parking lot landscape islands are required every 12 spaces. The landscaping consists of Black Gum, Scarlet Oaks, Nuttall Oaks, Cypress, and Japanese Cedar trees. In addition, a variety of shrubs and grasses will be provided throughout the site. The landscaping is consistent with the approved plans;

however, Staff does recommend that a landscaping bond be posted and a pre-installation meeting for landscaping occur.

RECOMMENDATION

Based on the project's consistency with the approved plans, Staff recommends that the project be approved with the following contingencies:

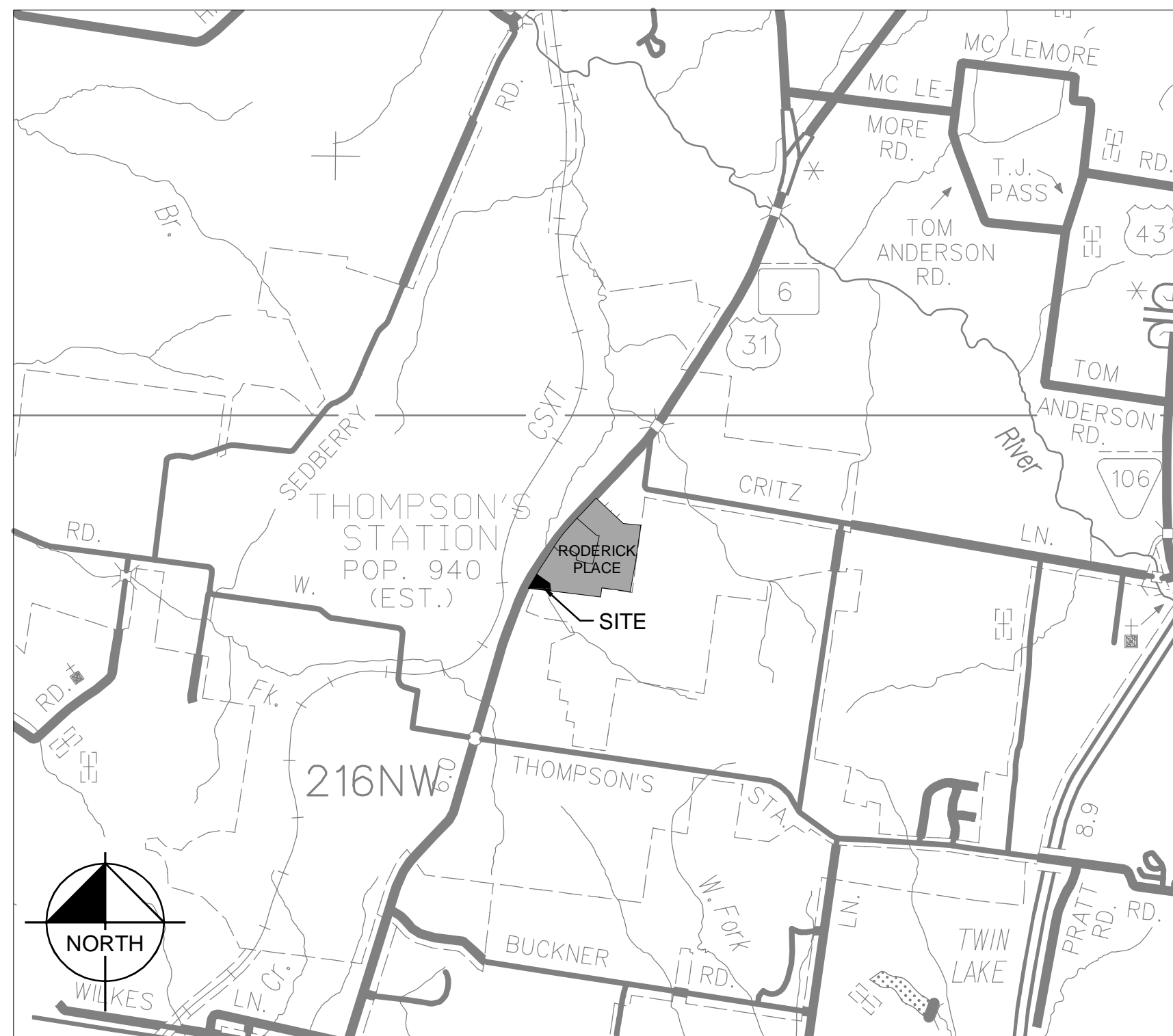
1. Prior to the issuance of any grading or building permits, a final plat shall be recorded for the commercial and open space lots. The plat shall incorporate the roadway connection to Columbia Pike as approved by TDOT.
2. Prior to issuance of grading permits, construction plans shall be submitted and approved. The location of the driveway entrance shall be located a minimum of 200 feet from any intersection. Any upgrades to the utility infrastructure necessary for the project shall be incorporated into the construction plans and shall be completed by the applicant.
3. Prior to the issuance of building permits, the site plan shall be modified to incorporate enhanced paving at the project entrance which shall match the pedestrian pathway on site. All mechanical equipment locations shall be identified and screening provided.
4. Prior to the issuance of building permits, the applicant shall post a letter of credit for the landscaping in the amount of \$32,000.
5. Prior to installation of the landscaping, the applicant shall have a pre-installation meeting with staff.
6. Any change of use or expansion of the project site shall conform to the requirements set forth within the Land Development Ordinance and shall be approved prior to the implementation of any changes to the project.

ATTACHMENTS

Site Plan Packet

SITE PLANS FOR
RODERICK MARKET
 THOMPSON'S STATION, TENNESSEE
 OCTOBER 9, 2017

SITE DATA TABLE	
PROJECT NAME:	RODERICK MARKET
PARCEL ADDRESS:	4624 COLUMBIA PIKE THOMPSON'S STATION, TN
TAX MAP AND PARCEL NUMBER:	MAP 146, PARCEL 15.00
ZONING:	SPECIFIC PLAN - HIGH INTENSITY DISTRICT COMMERCIAL
LAND USE:	4.28 AC (186,528 SF) (LOT 1, 2, 3)
SITE ACREAGE:	2.57 AC (111,918 SF) (LOT 1 & 3)
PROJECT ACREAGE:	0.98 AC (42,592 SF)
IMPERVIOUS AREA:	3.30 AC (143,936 SF)
PERVIOUS AREA:	
PROPOSED BUILDING SF:	5,761 SF
RESTAURANT:	3,768 SF
CONVENIENCE STORE:	1,993 SF
RESTAURANT FRONT/SIDE PORCH:	547 SF
MARKET FRONT PORCH:	435 SF
REAR COVERED PORCH:	1,388 SF
ENCLOSED TRASH/UTILITY AREA:	377 SF
PROP. FUEL CANOPY AND CONNECTOR SF:	2,631 SF
FAR PERMITTED:	23% (27,741 SF)
FAR PROVIDED:	9.23% (11,139 SF)
PROPOSED BUILDING HEIGHT:	25' HT MAX
PARKING INFORMATION:	
PARKING REQUIRED:	
RESTAURANT (1 SPACE/4 SEATS) (101 INSIDE ± 48 OUTSIDE):	38 SPACES
CONVENIENCE STORE (6 SPACES/1000 SF) (1993 SF):	6 SPACES
FUEL (1.5 SPACES/1000 SF) (2631 SF):	4 SPACES
TOTAL PARKING REQUIRED:	48 SPACES
PARKING PROVIDED:	48 TOTAL SPACES 44 STANDARD SPACES 4 ACCESSIBLE SPACES
BICYCLE SPACES REQUIRED:	4 SPACES
BICYCLE SPACES PROVIDED:	5 SPACES
OPEN SPACE AREA REQUIRED:	50% MIN. (93,264 SF)
OPEN SPACE AREA PROVIDED:	56% (103,805 SF)
IMPERVIOUS SITE AREA REQUIRED:	MAX. 40%
IMPERVIOUS SITE AREA:	23%



VICINITY MAP
NOT TO SCALE

SHEET INDEX	
C0-00	COVER SHEET
C1-00	EXISTING CONDITIONS PLAN
C2-00	SITE PLAN
C4-00	GRADING AND UTILITY PLAN
L1-00	MATERIALS PLAN
L2-00	OVERALL LANDSCAPE PLAN
L2-01	RODERICK MARKET LANDSCAPE PLAN
L2-02	DETENTION POND LANDSCAPE PLAN
L3-00	LANDSCAPE NOTES AND DETAILS
A1-00	ARCHITECTURAL ELEVATIONS
A1-10	COLOR ARCHITECTURAL ELEVATIONS
A1-20	COLOR ARCHITECTURAL ELEVATIONS
EO.01	SITE PHOTOMETRIC PLAN



UTILITY AND GOVERNING AGENCIES CONTACT LIST		
TOWN OF THOMPSON'S STATION	WATER DEPARTMENT	LANDSCAPE ARCHITECT
POST OFFICE BOX 100 THOMPSON'S STATION, TN 37179	HB&TS 505 DOWNS BOULEVARD FRANKLIN, TENNESSEE 37064 (615) 794-7796 CONTACT: TOM PUCKETT	KISER+VOGRIN DESIGN 5005 MERIDIAN BLVD. STE. 100 FRANKLIN, TENNESSEE 37067 PHONE: (615) 620-7171 CONTACT: JEFF ROSIAK
OWNER	ELECTRIC	ENGINEER
C & L DEVELOPMENT LLC PO BOX 241 THOMPSON'S STATION, TN 37179 PHONE: (615) 595-5877 CONTACT: LEON HERON	MIDDLE TN ELECTRIC 2156 EDWARD CURD LN. FRANKLIN, TN 37067 PHONE: (615) 595-4693 CONTACT: DALE HOOD	KIMLEY-HORN AND ASSOCIATES, INC. 214 OCEANSIDE DRIVE NASHVILLE, TENNESSEE 37204 PHONE: (615) 564-2877 CONTACT: BRETT CREASMAN, P.E.
GAS	SURVEYOR	ARCHITECT
ATMOS ENERGY 200 NOAH DRIVE FRANKLIN, TN 37064 PHONE: (615) 794-2596 CONTACT: RON MYATT	HARRAH & ASSOC. 504 AUTUMN SPRINGS CT. FRANKLIN, TN 37067 PHONE: (615) 778-0863 PHONE: (615) 778-0865 CONTACT: ROGER HARRAH, RLS	906 STUDIO ARCHITECTURE 237 SECOND AVENUE SOUTH FRANKLIN, TENNESSEE 37064 (615) 988-9065 CONTACT: MICHAEL HATHAWAY

PREPARED BY:
Kimley»Horn

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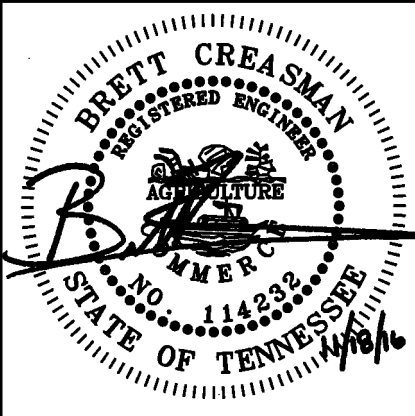
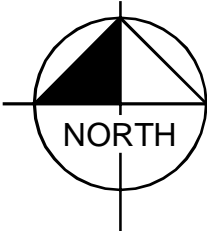
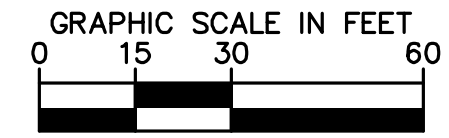
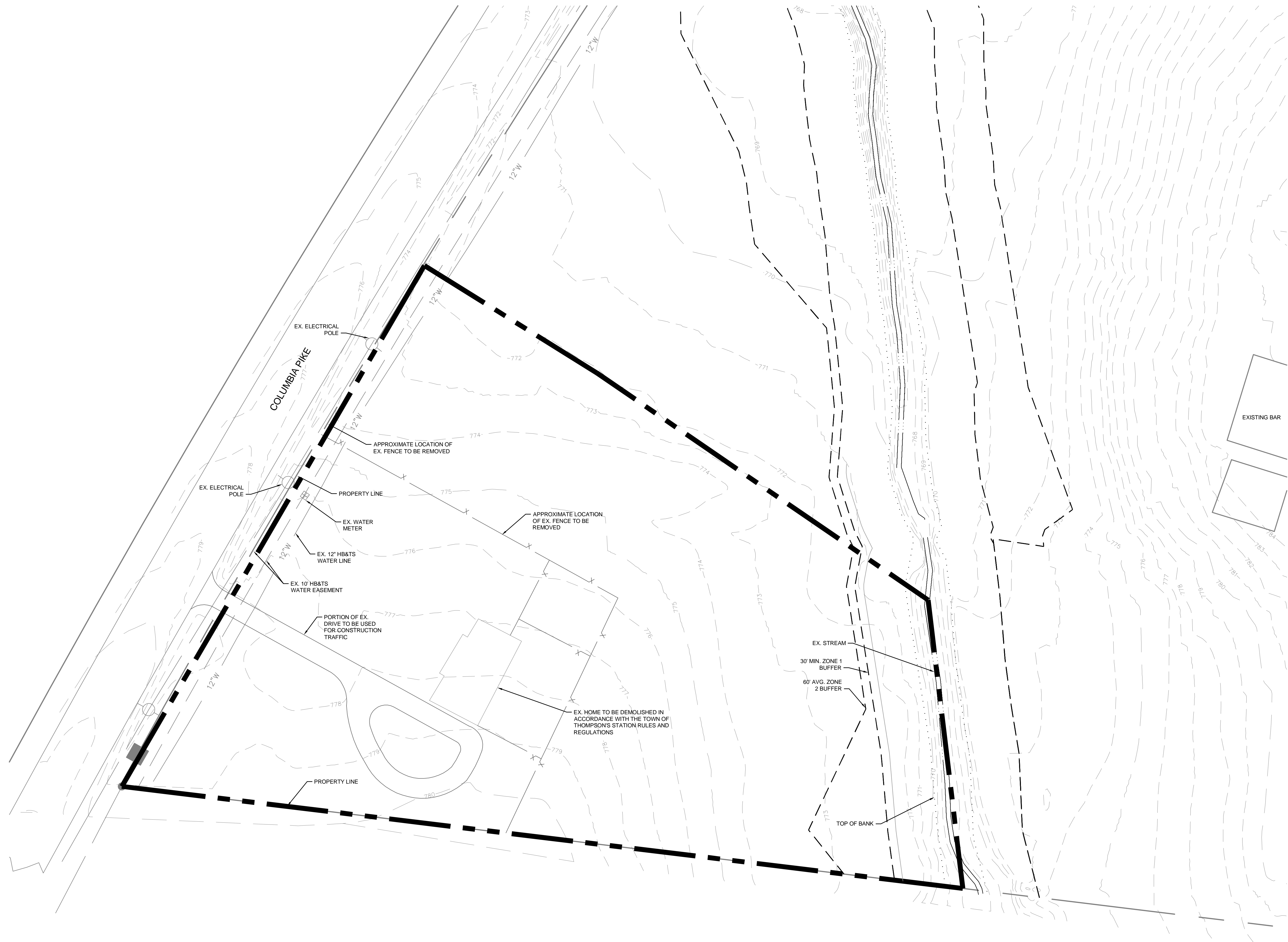


PLAN REVISIONS		
REVISION NO.	DATE	REMARKS
FILE NUMBER 118096000	SHEET NUMBER CO-00	TOTAL SHEETS 13

Drawing name: K:\NSH_LDEV\118096000 - Roderick Place\4 - CADD\Plan Sheets\Village Market\ReApproval\CO-00 COVER SHEET - 118096000.dwg CO-00 Oct 09, 2017 11:00am by: claudia.forrester

RODERICK PLACE VILLAGE MARKET - THOMPSON'S STATION, TN

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No.	REVISIONS	DATE	BY
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2	COMMENTS FROM TOTS	11/02/16	CMF
3	COMMENTS FROM TOTS	11/18/16	CMF

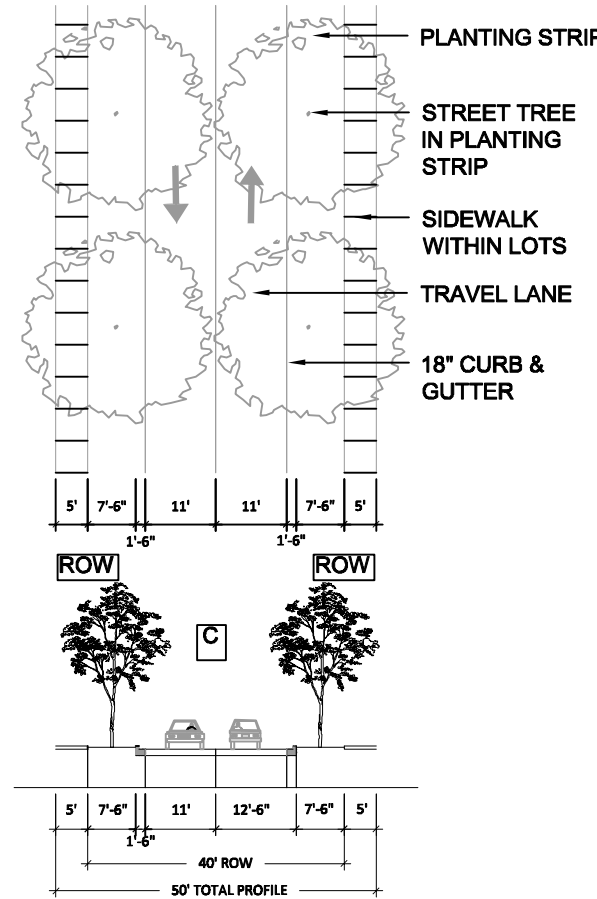
DESIGNED BY:	RJA
DRAWN BY:	RJA
CHECKED BY:	BRC
DATE:	3/16/16
KHA PROJECT NO. 118096000	

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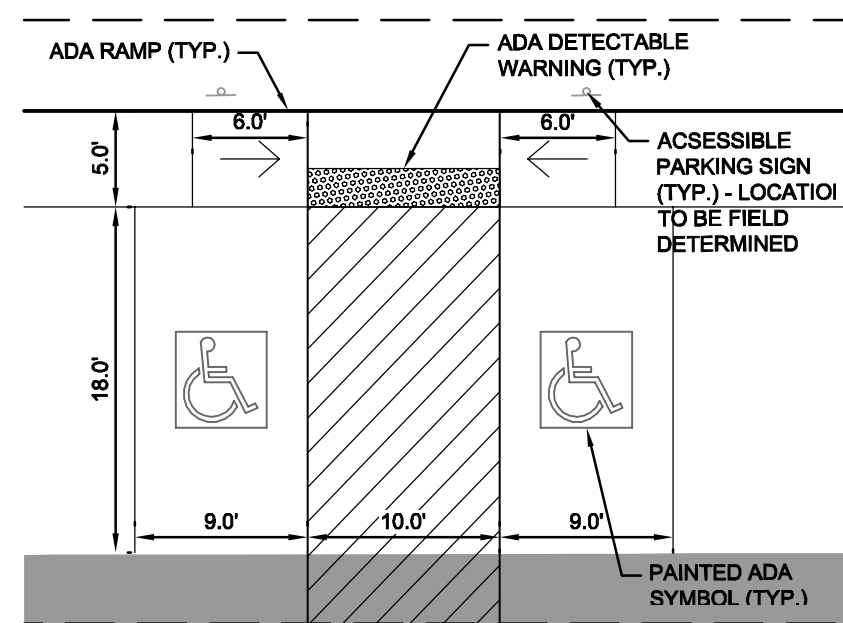
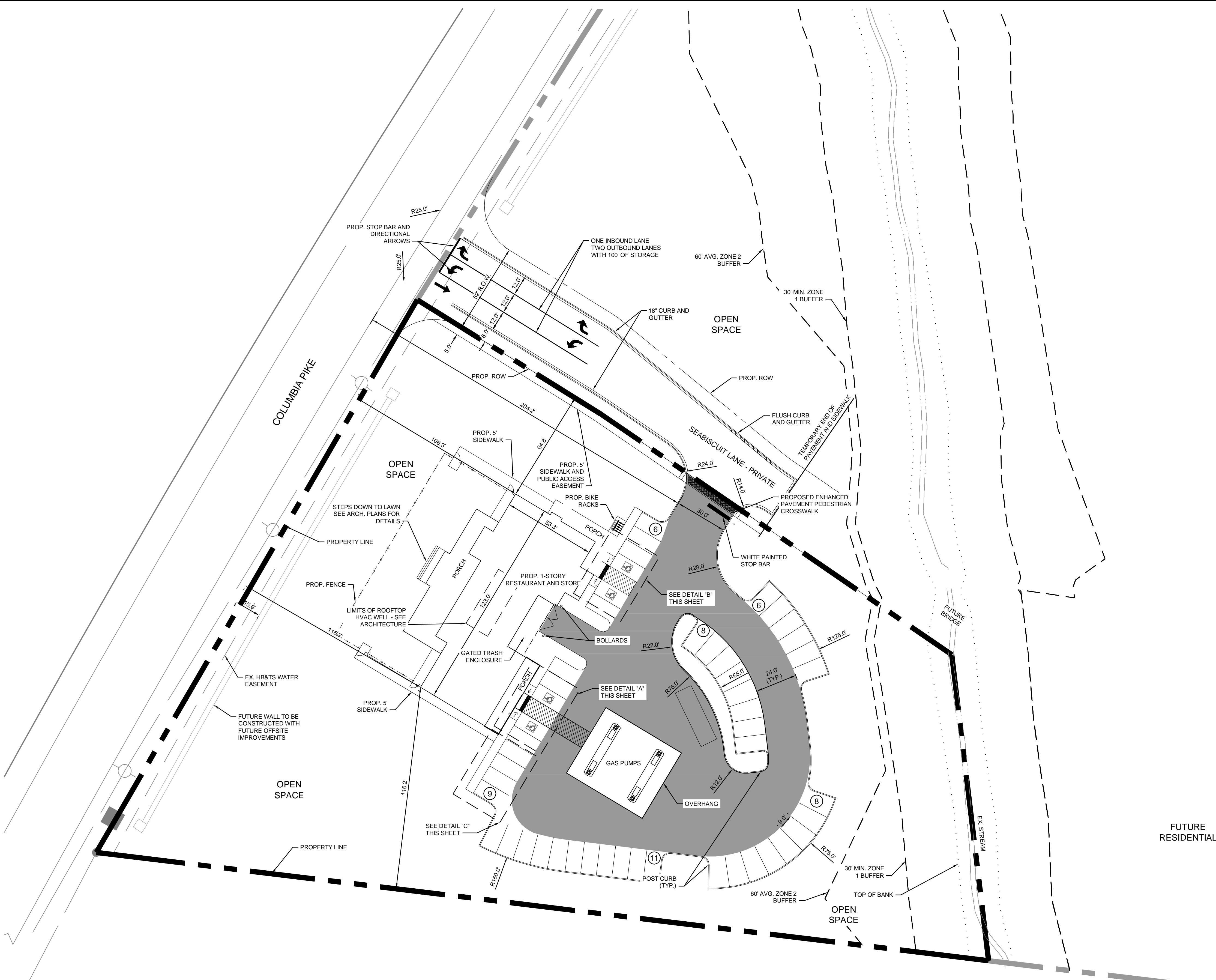
SITE DATA TABLE	
PROJECT NAME:	RODERICK MARKET
PARCEL ADDRESS:	4624 COLUMBIA PIKE THOMPSON'S STATION, TN
TAX MAP AND PARCEL NUMBER:	MAP 146, PARCEL 15.00
ZONING:	SPECIFIC PLAN - HIGH INTENSITY DISTRICT COMMERCIAL
LAND USE:	4.28 AC (186,528 SF) (LOT 1, 2, 3)
SITE ACREAGE:	2.57 AC (111,918 SF) (LOT 1 & 3)
PROJECT ACREAGE:	0.98 AC (42,592 SF)
IMPERVIOUS AREA:	3.30 AC (143,936 SF)
PERVIOUS AREA:	
PROPOSED BUILDING SF:	5,761 SF
RESTAURANT:	3,768 SF
CONVENIENCE STORE:	1,993 SF
RESTAURANT FRONT/SIDE PORCH:	547 SF
MARKET FRONT PORCH:	435 SF
REAR COVERED PORCH:	1,388 SF
ENCLOSED TRASH/UTILITY AREA:	377 SF
PROP. FUEL CANOPY AND CONNECTOR SF:	2,631 SF
FAR PERMITTED:	23% (27,741 SF)
FAR PROVIDED:	9.23% (11,139 SF)
PROPOSED BUILDING HEIGHT:	25' HT MAX
PARKING INFORMATION:	
PARKING REQUIRED:	
RESTAURANT (1 SPACE/4 SEATS) (101 INSIDE ± 48 OUTSIDE):	38 SPACES
CONVENIENCE STORE (6 SPACES/1000 SF) (1993 SF):	6 SPACES
FUEL (1.5 SPACES/1000 SF) (2631 SF):	4 SPACES
TOTAL PARKING REQUIRED:	48 SPACES
PARKING PROVIDED:	48 TOTAL SPACES 44 STANDARD SPACES 4 ACCESSIBLE SPACES
BICYCLE SPACES REQUIRED:	4 SPACES
BICYCLE SPACES PROVIDED:	5 SPACES
OPEN SPACE AREA REQUIRED:	50% MIN. (93,264 SF)
OPEN SPACE AREA PROVIDED:	56% (103,805 SF)
IMPERVIOUS SITE AREA REQUIRED:	MAX. 40%
IMPERVIOUS SITE AREA:	23%

- NOTES:
- ALL DIMENSIONS ARE TO THE FACE OF CURB UNLESS OTHERWISE NOTED.
 - ALL PAVEMENT SHOWN OUTSIDE OF THE HEAVY DUTY AREAS SHALL BE LIGHT DUTY ASPHALT PAVEMENT.
 - TRASH COLLECTION TO BE PROVIDED BY A PRIVATE TRASH SERVICE.
 - STREET TREES SHOWN ON THE PROPOSED ROAD SECTION ARE CONCEPTUAL. REFER TO LANDSCAPE PLANS FOR ACTUAL LOCATIONS.

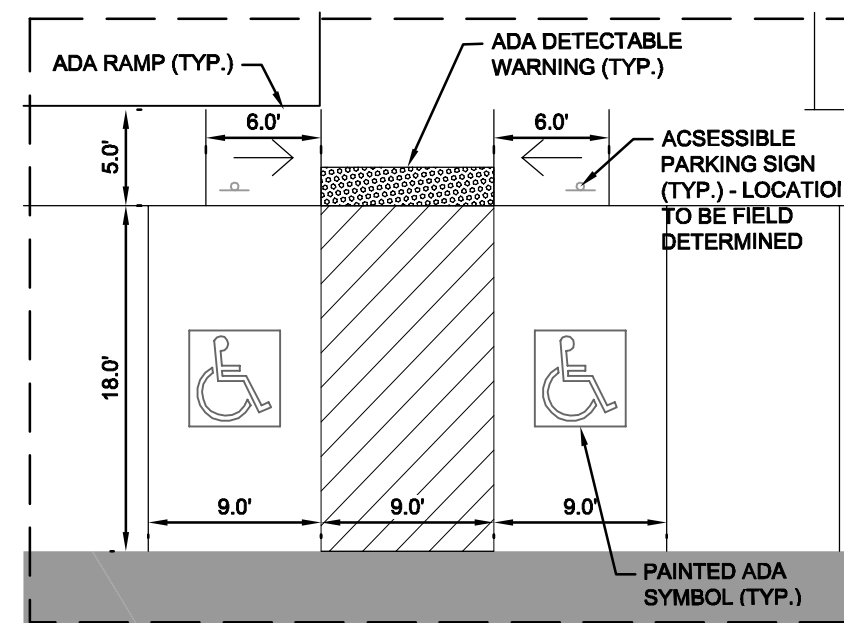
PAVEMENT LEGEND



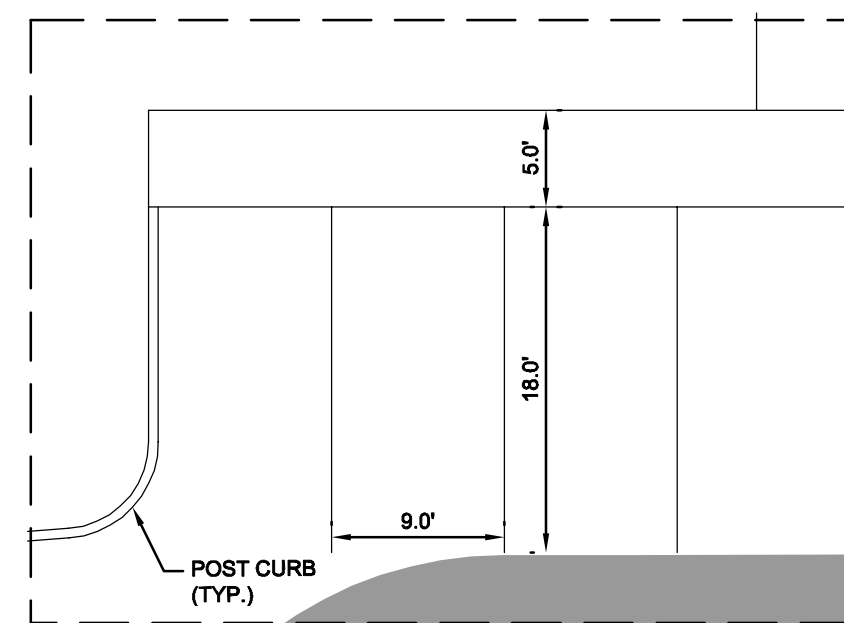
LOCAL ROAD - PUBLIC
NTS



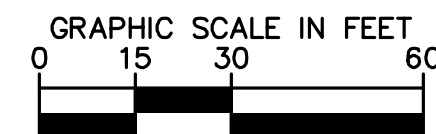
ADA PARKING - DETAIL "A"
SCALE: 1"=10'



ADA PARKING - DETAIL "B"
SCALE: 1"=10'



TYP. PARKING STALL - DETAIL "C"
SCALE: 1"=10'

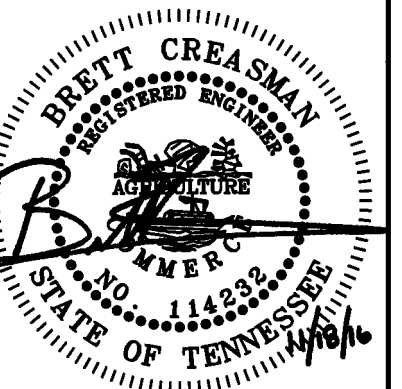


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RODERICK MARKET

THOMPSON'S STATION, TENNESSEE



REVISIONS	DATE	BY	COMMENTS
1	08/01/16	CMF	COMMENTS FROM TOTS
2	11/02/16	CMF	COMMENTS FROM TOTS
3	11/18/16	CMF	COMMENTS FROM TOTS

DESIGNED BY:	CJM
DRAWN BY:	CJM
CHECKED BY:	BRC
DATE:	3/16/16
KHA PROJECT NO.	118096000

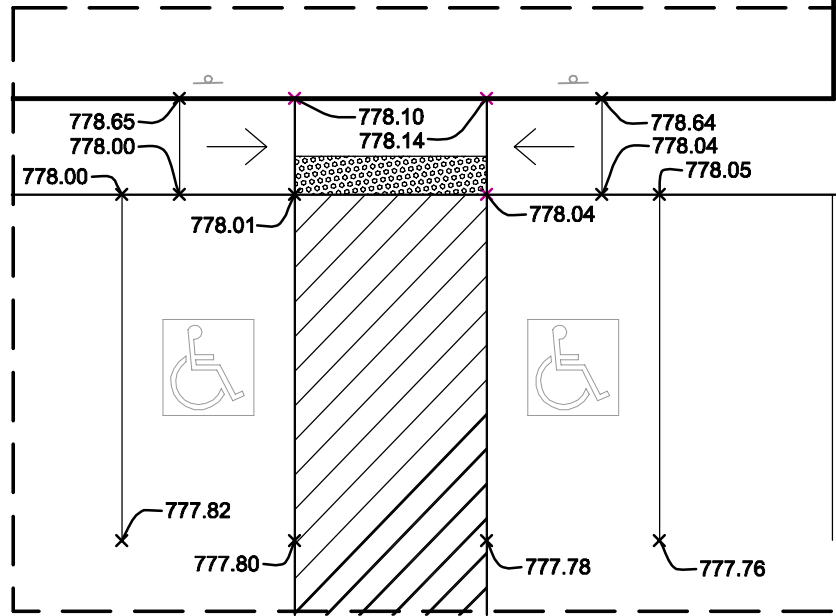
SITE PLAN

SHEET NUMBER

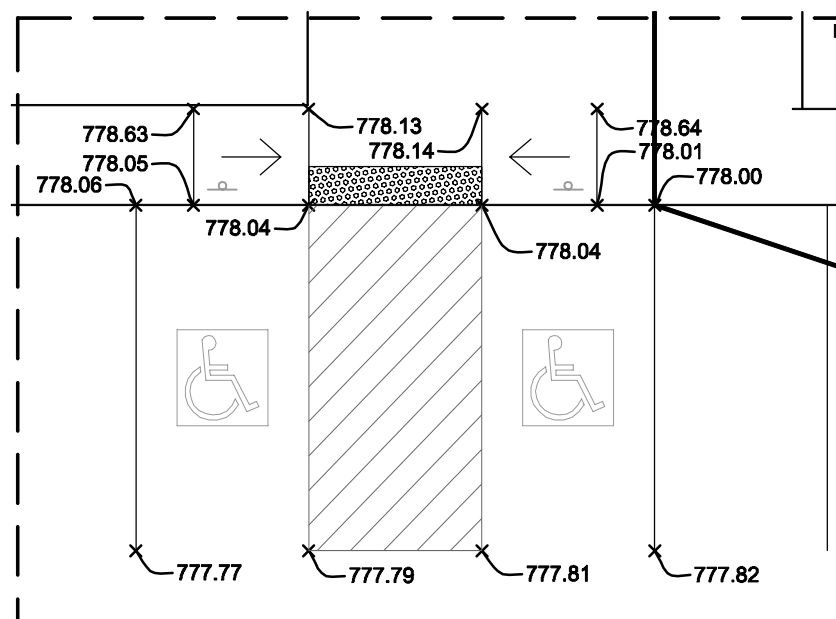
C2-00

LIMITS OF DISTURBANCE ± 3.02 AC (± 131,720 SF)

- NOTES:
1. THE PROPERTY OWNER SHALL BE RESPONSIBLE FOR OWNING AND MAINTAINING THE PUMPS, UNDERGROUND LINES, AND GREASE TRAPS ON THE PROPERTY.
 2. THERE IS NOT AN INCREASE IN STORM WATER RUN-OFF TO PUBLIC ROW.
 3. ALL FIRE PROTECTION PIPING TO BE INSTALLED BY A TENNESSEE REGISTERED FIRE SPRINKLER CONTRACTOR.
 4. DOMESTIC REDUCED PRESSURE BACKFLOW PREVENTER IS LOCATED INTERNAL TO BUILDING. PER HB&TS REQUIREMENTS, NO CONNECTIONS CAN BE MADE TO THE DOMESTIC WATERLINE PRIOR TO THE BACKFLOW PREVENTER.
 5. THE TOWN'S RESPONSIBILITY FOR THE FORCE MAIN WILL START AT THE NORTHERN PROPERTY LINE AND RUN TO THE CONNECTION POINT AT THE NEW PUMP STATION.
 6. A TRACER WIRE ACCESSIBLE FROM CLEANOUTS AND VALVE BOXES SHALL BE INSTALLED OVER THE ENTIRE FORCE MAIN LENGTH.
 7. THE PUMP STATION DISCHARGE SHOULD HAVE A STAINLESS FLEX CONNECTION AT THE OUTLET TO PREVENT THE LINE FROM BREAKING IF THE STATION SETTLES.
 8. THE FORCE MAIN SHALL HAVE 30" MIN. BEDDING AND 12" MIN. BACKFILL.
 9. THERE ARE NO KNOWN THREATENED AND ENDANGERED SPECIES WITHIN A MILE. IF THREATENED AND ENDANGERED SPECIES SHOULD BE FOUND, THE CONTRACTOR SHALL NOTIFY THE ENGINEER.

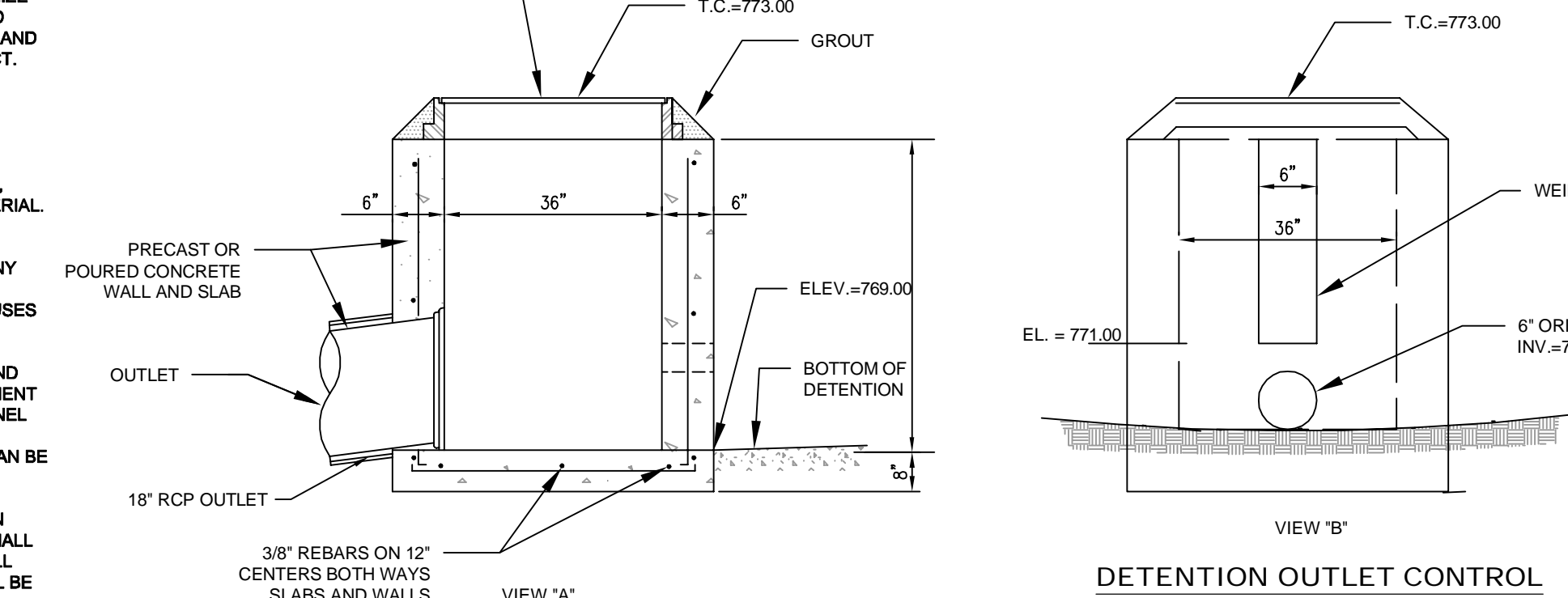
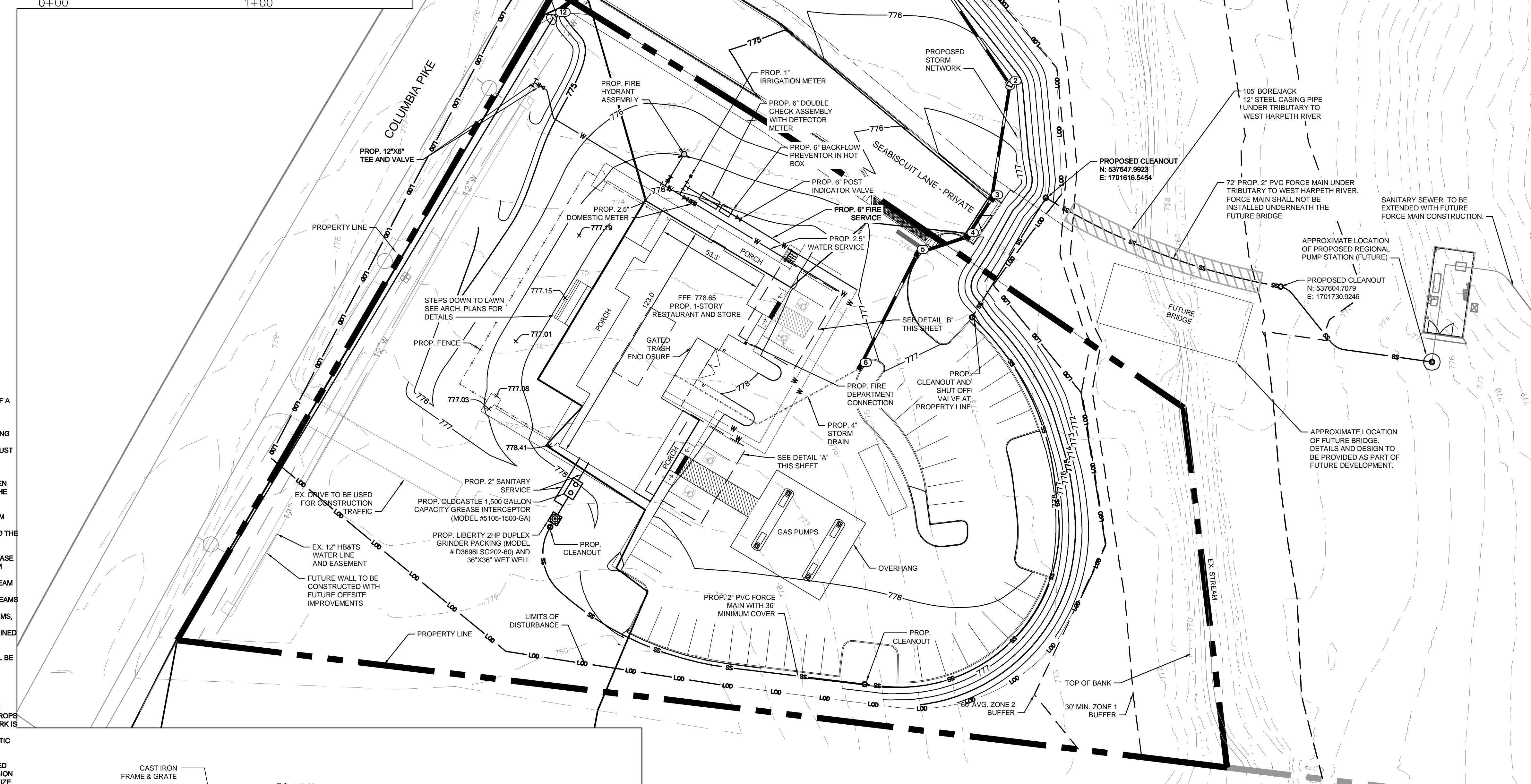
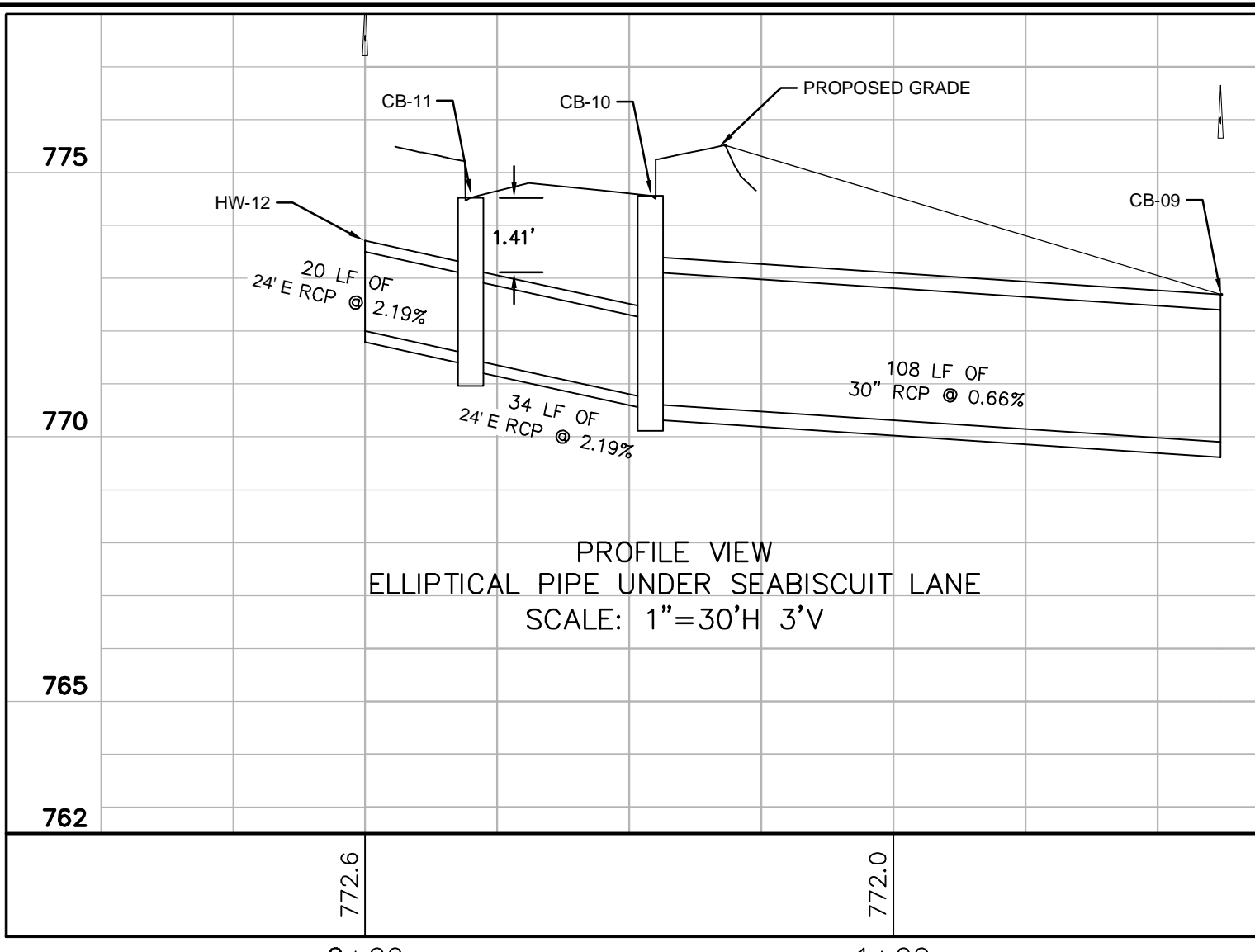


ADA PARKING - DETAIL "A"
SCALE: 1"=10'



ADA PARKING - DETAIL "B"
SCALE: 1"=10'

- NOTES FOR THE BORE/JACK UNDER TRIBUTARY TO WEST HARPEETH RIVER:
- NO BLASTING WILL BE PERMITTED IN THE EXCAVATION OF TRENCHES THAT PARALLEL OR LIE WITHIN 50 FEET OF A STREAM OR WETLAND, INCLUDING ALL STREAM CROSSINGS.
 - CROSSINGS THAT UTILIZE HORIZONTAL DIRECTIONAL DRILLING ARE AUTHORIZED, PROVIDED THAT:
 - ENTRY AND EXIT LOCATIONS ARE AT LEAST 50 FEET FROM THE STREAM BANK OR WETLAND MARGIN.
 - THE DEPTH OF BORE BELOW THE STREAMBED IS SUFFICIENT TO REASONABLY PREVENT RELEASE OF DRILLING FLUID, BASED ON THE PARENT MATERIAL.
 - A SITE-SPECIFIC CONTINGENCY AND CONTAINMENT PLAN FOR INADVERTENT RELEASE OF DRILLING FLUID MUST BE ESTABLISHED PRIOR TO COMMENCEMENT OF WORK. THIS PLAN MUST INCLUDE NOTIFICATION TO THE DIVISION UPON RELEASE TO SURFACE WATERS.
 - FOR OPEN TRENCHING TECHNIQUES, JACK AND BORE, AND AUGER BORING, UP TO 5 CROSSINGS MAY BE AUTHORIZED. FOR GRAVITY SEWER LINES, GROUNDWATER LOSS WILL BE PREVENTED BY BACKFILLING ALL OPEN TRENCH STREAM CROSSINGS WITH FLOWABLE FILL OR CONCRETE BETWEEN MANHOLES ON EITHER SIDE OF THE STREAM. MANHOLES SHALL NOT BE LOCATED IN WETLANDS.
 - THE ALIGNMENT OF NEW UTILITY LINE CROSSINGS SHALL INTERSECT THE STREAM CHANNEL AS CLOSE TO 90 DEGREES OR AS PERPENDICULAR AS POSSIBLE. ALIGNMENT SHALL BE NO LESS THAN 45 DEGREE ANGLE FROM THE CENTERLINE OF THE STREAM.
 - NEW UTILITY LINE CROSSINGS SHALL BE LOCATED SUCH AS TO AVOID PERMANENT ALTERATION OR DAMAGE TO THE INTEGRITY OF THE STREAM CHANNEL OR WETLAND. LARGE TREES, STEEP BANKS, ROCK OUTCROPPINGS ETC., SHOULD BE AVOIDED.
 - THE CROSSING SHALL BE DESIGNED TO PREVENT THE IMPONDMENT OR LOSS OF NORMAL OR BASE FLOWS. BASE FLOW IS THE USUAL OR NORMAL FLOW OF THE STREAM THAT IS SUPPLIED PRIMARILY BY GROUNDWATER FROM SPRINGS AND SEEPS, BUT NOT AFFECTED BY RAPID RUNOFF DURING AND AFTER RAINFALL. IN THE CASE OF STREAMS WITH BEDROCK STREAMBEDS, SPECIAL PROVISIONS SHALL BE MADE TO PREVENT THE LOSS OF STREAM FLOW DUE TO FRACTURING OF THE BEDROCK.
 - THE EXCAVATION AND FILL ACTIVITIES ASSOCIATED WITH THE UTILITY LINE CROSSING OF NON-NAVIGABLE STREAMS SHALL BE KEPT TO A MINIMUM AND SHALL BE SEPARATED FROM FLOWING WATERS. THE CROSSING SHALL BE CONSTRUCTED IN THE DRY TO THE MAXIMUM EXTENT PRACTICABLE. BY DIVERTING FLOW UTILIZING COFFERDAMS, BERMS, TEMPORARY CHANNELS OR PIPES. TEMPORARY DIVERSION CHANNELS SHALL BE PROTECTED BY NON-ERODIBLE MATERIAL AND LINED TO THE EXPECTED HIGH WATER LEVEL. FOR NAVIGABLE STREAMS AS DEFINED BY §10 OF THE RIVERS AND HARBORS ACT OF 1899, THE EXCAVATION AND FILL ACTIVITIES ASSOCIATED WITH UTILITY LINE CROSSING MAY BE ACCOMPLISHED WITHIN THE FLOWING WATER.
 - ALL SPOIL MATERIAL FROM TRENCH EXCAVATION, BORE PITS AND OTHER EARTH DISTURBING ACTIVITIES SHALL BE DEPOSITED IN AN UPLAND LOCATION AND STABILIZED WITHIN 7 DAYS IN ORDER TO PREVENT EROSION INTO WATERS OF THE STATE.
 - ALL DEWATERING ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT THE DISCHARGE OF SEDIMENT-LADEN WATER INTO WATERS OF THE STATE.
 - CLEARING, GRUBBING, AND OTHER DISTURBANCE TO RIPARIAN VEGETATION SHALL BE KEPT AT THE MINIMUM NECESSARY FOR SLOPE CONSTRUCTION AND EQUIPMENT OPERATIONS. UNNECESSARY RIPARIAN VEGETATION REMOVAL, INCLUDING TREES, IS PROHIBITED. NON-NATIVE, NON-INVASIVE ANNUALS MAY BE USED AS COVER CROPS UNTIL NATIVE SPECIES ARE ESTABLISHED. NATIVE RIPARIAN VEGETATION MUST BE REESTABLISHED AFTER WORK IS COMPLETED.
 - THIS ACTIVITY MAY NOT RESULT IN THE PERMANENT DISRUPTION TO THE MOVEMENT OF FISH OR OTHER AQUATIC LIFE.
 - ACTIVITIES OCCURRING IN KNOWN OR LIKELY HABITAT OF STATE OR FEDERALLY LISTED THREATENED, ENDANGERED, DEEMED IN NEED OF MANAGEMENT, OR SPECIES OF SPECIAL CONCERN MAY NOT BE AUTHORIZED WITHOUT PRIOR COORDINATION WITH THE TENNESSEE WILDLIFE RESOURCES AGENCY (TWRA) AND TDEC DIVISION OF NATURAL AREAS (DNA) TO DETERMINE IF ANY SPECIAL CONDITIONS ARE REQUIRED TO AVOID AND/OR MINIMIZE HARM TO THE LISTED SPECIES OR THEIR HABITAT. ADVERSE EFFECTS TO FEDERALLY LISTED THREATENED AND ENDANGERED SPECIES ARE NOT PERMITTED WITHOUT PRIOR AUTHORIZATION FROM THE UNITED STATES FISH AND WILDLIFE SERVICE (USFWS) AS REQUIRED BY SECTION 7 OR SECTION 10 UNDER THE ENDANGERED SPECIES ACT.
 - BACKFILL ACTIVITIES MUST BE ACCOMPLISHED IN A MANNER THAT STABILIZES THE STREAMBED AND BANKS TO PREVENT EROSION. ALL CONTROLS MUST BE RETURNED TO PRE-PROJECT CONDITIONS TO THE EXTENT PRACTICABLE, AND THE COMPLETED ACTIVITIES MAY NOT DISRUPT OR IMPOUND STREAM FLOW.
 - THE USE OF MONOFILAMENT-TYPE EROSION CONTROL NETTING OR BLANKET IS PROHIBITED.
 - WHERE PRACTICABLE, ALL ACTIVITIES SHALL BE ACCOMPLISHED IN THE DRY. ALL SURFACE WATER FLOWING TOWARDS THIS WORK SHALL BE DIVERTED USING COFFERDAMS AND/OR BERMS CONSTRUCTED OF SANDBAGS, CLEAN ROCK (CONTAINING NO FINES OR SOILS), STEEL SHEETING, OR OTHER NON-ERODIBLE, NON-TOXIC MATERIAL. ALL SUCH DIVERSION MATERIALS SHALL BE REMOVED UPON COMPLETION OF THE WORK.
 - ALL ACTIVITIES MUST BE CARRIED OUT IN SUCH A MANNER AS WILL PREVENT VIOLATIONS OF WATER QUALITY CRITERIA AS STATED IN TDEC RULE 0400-40-03. THIS INCLUDES, BUT IS NOT LIMITED TO, THE PREVENTION OF ANY DISCHARGE OR USE OF MATERIALS THAT MAY BE HARMFUL TO HUMANS, TERRESTRIAL OR AQUATIC LIFE, OR CAUSES A CONDITION IN WHICH VISIBLE SOLIDS, BOTTOM DEPOSITS OR TURBIDITY IMPAIRS THE DESIGNATED USES OF WATERS OF THE STATE.
 - EROSION PREVENTION AND SEDIMENT CONTROL MEASURES MUST BE IN PLACE AND FUNCTIONAL BEFORE ANY EARTH MOVING OPERATIONS BEGIN, AND SHALL BE DESIGNED ACCORDING TO THE DEPARTMENT'S EROSION AND SEDIMENT CONTROL HANDBOOK (REVISED 2012) AND EROSION CONTROL HANDBOOK. PERMANENT VEGETATIVE STABILIZATION USING NATIVE SPECIES OF ALL DISTURBED AREAS IN OR NEAR THE STREAM CHANNEL MUST BE INITIATED WITHIN 15 DAYS OF PROJECT COMPLETION (SEE ALSO LANDSCAPING WITH NATIVES AT THEPC.ORG). NON-NATIVE, NON-INVASIVE ANNUALS MAY BE USED AS COVER CROPS UNTIL NATIVE SPECIES CAN BE ESTABLISHED.
 - STREAM BEDS SHALL NOT BE USED AS LINEAR TRANSPORTATION ROUTES FOR CONSTRUCTION EQUIPMENT. TEMPORARY STREAM CROSSINGS SHALL BE LIMITED TO ONE POINT IN THE CONSTRUCTION AREA AND EROSION CONTROL MEASURES SHALL BE UTILIZED WHERE STREAM BANK VEGETATION IS DISTURBED. THE CROSSING SHALL BE CONSTRUCTED SO THAT STREAM OR WETLAND FLOW IS NOT OBSTRUCTED. FOLLOWING CONSTRUCTION, ALL MATERIALS USED FOR THE TEMPORARY CROSSING SHALL BE REMOVED AND DISTURBED STREAM BANKS SHALL BE RESTORED AND STABILIZED IF NEEDED.



STRUCTURE TABLE		
NAME	DESCRIPTION	TOP GRATE
1	HEADWALL	N/A
2	MANHOLE	776.20
3	CATCH BASIN	776.78
4	CATCH BASIN	776.78
5	CATCH BASIN	776.68
6	CATCH BASIN	777.07
7	HEADWALL	N/A
8	OUTLET STRUCTURE	774.54
9	HEADWALL	N/A
10	CATCH BASIN	774.56
11	CATCH BASIN	774.53
12	HEADWALL	N/A

PIPE TABLE						
NAME	UPSTREAM	DOWNSTREAM	SIZE	LENGTH	SLOPE	MATERIAL
2-1	772.57 (2)	772.10 (1)	15"	94'	0.50%	RCP
3-2	772.95 (3)	772.67 (2)	15"	57'	0.50%	RCP
4-3	773.16 (4)	773.05 (3)	15"	23'	0.50%	RCP
5-4	773.39 (5)	773.26 (4)	15"	26'	0.50%	RCP
6-5	773.80 (6)	773.49 (5)	15"	62'	0.50%	RCP
8-7	769.00 (8)	768.75 (7)	18"	51'	0.50%	RCP
10-9	770.62 (10)	769.91 (9)	30"	108'	0.66%	RCP
11-10	771.46 (11)	770.72 (10)	24" E	35'	2.19%	RCP
12-11	772.00 (12)	771.56 (11)	24" E	20'	2.19%	RCP

NOTE: 24" E = 30" X 19" ELLIPTICAL PIPE
GRAPHIC SCALE IN FEET
0 15 30 60
NORTH

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KV+D

KISER VOGRIN DESIGN

RODERICK MARKET

THOMPSON'S STATION, TENNESSEE

NO.	DATE	BY	REVISIONS
1	08/01/16	CMF	COMMENTS FROM TOTS
2	11/02/16	CMF	COMMENTS FROM TOTS
3	11/18/16	CMF	COMMENTS FROM TOTS
4	12/07/16	CMF	COMMENTS FROM TOTS

DESIGNED BY: CJM

DRAWN BY: CJM

CHECKED BY: BRC

DATE: 3/16/16

GRADING AND UTILITY SHEET

SHEET NUMBER

C4-00

Drawing name: K:\NSH_LDEV118096000 - Roderick Plaza\4 - CADD\Plan Sheets\Village Market\C4-00 GRADING AND UTILITY - 118096000.dwg C4-00 Dec 07, 2016 12:43pm by: claudia.forrester



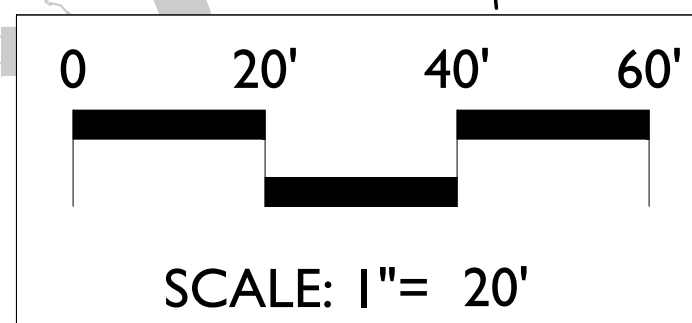
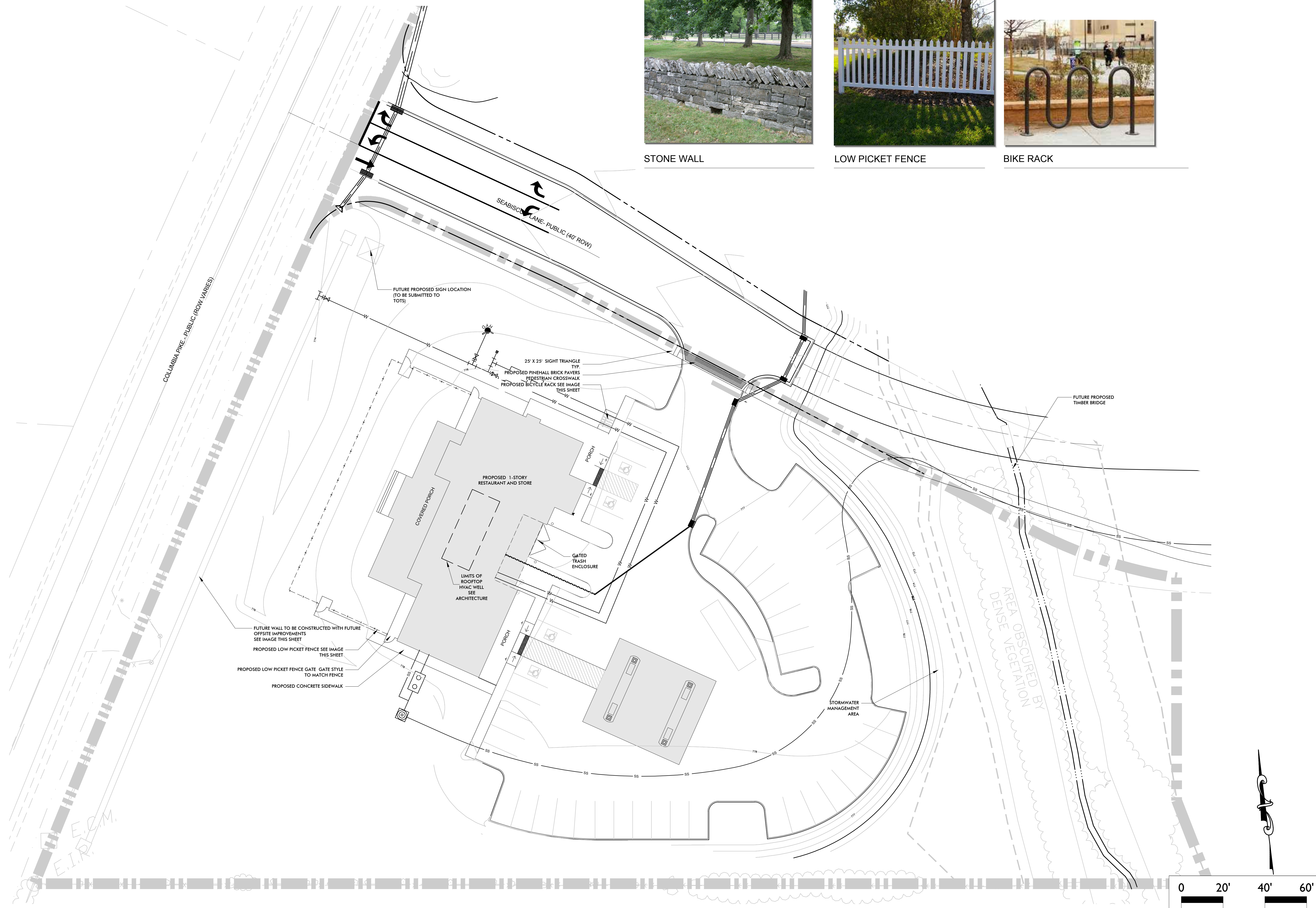
STONE WALL



LOW PICKET FENCE



BIKE RACK



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KVAD
 KISER YOGGIRIN DESIGN

RODERICK MARKET
 THOMPSON'S STATION, TENNESSEE

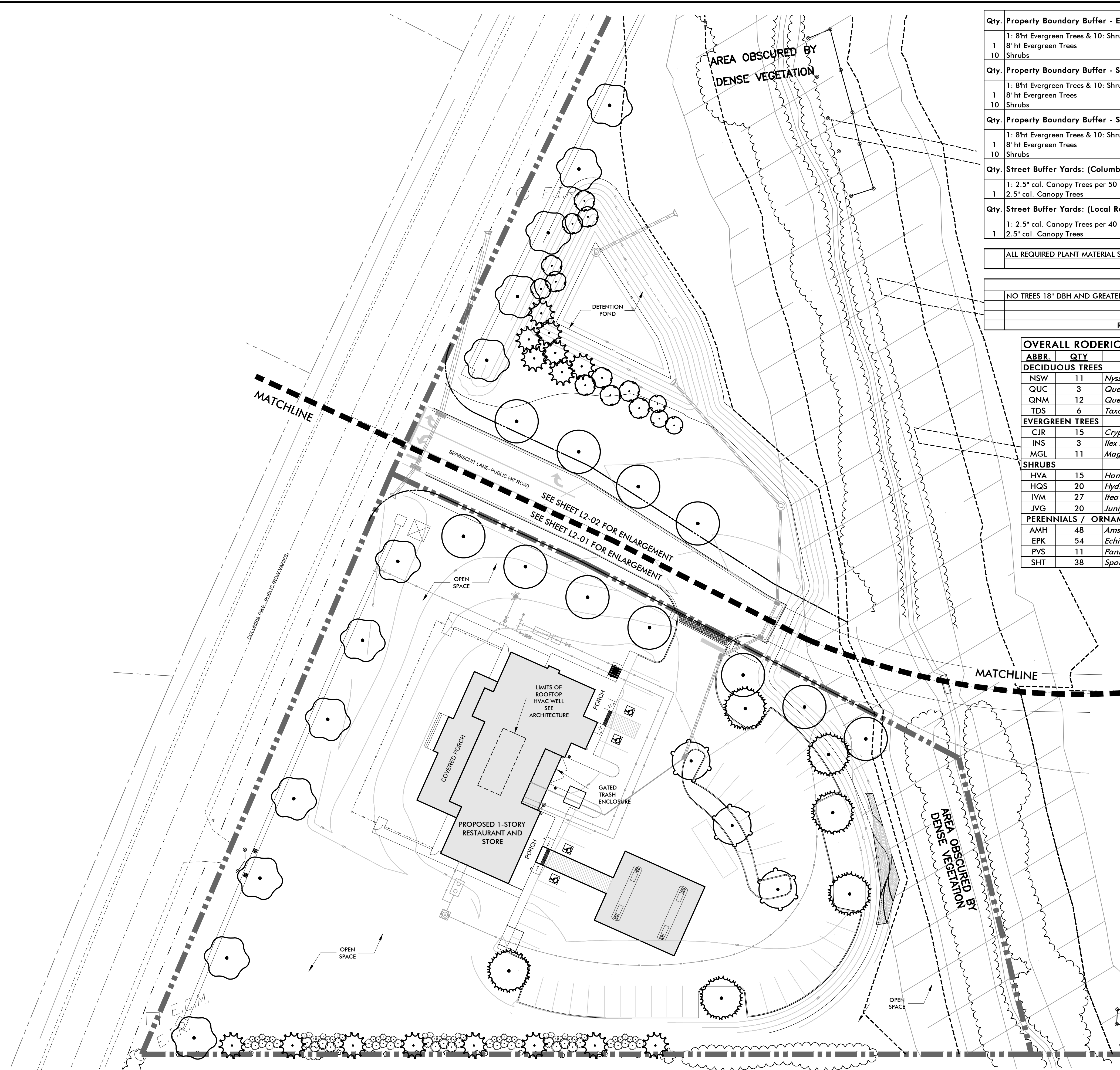


NO.	REVISIONS	DATE	BY

DESIGNED BY: CBW
 DRAWN BY: KL
 CHECKED BY: CBW
 DATE: 10.09.2017
 KVD PROJECT NO. 14046

MATERIALS PLAN

SHEET NUMBER
L1-00



Qty.	Property Boundary Buffer - East Property Line: 20' wide	Buffer Width	Buffer LF	Required Planting	Provided Planting	Notes
1	8' ht Evergreen Trees & 10: Shrubs per 35 LF	80'	164	4.7	0	Use existing stream buffer vegetation to meet buffer
10	Shrubs			46.9	0	
Qty.	Property Boundary Buffer - South Property Line 20' wide	Buffer Width	Buffer LF	Required Planting	Provided Planting	Notes
1	8' ht Evergreen Trees & 10: Shrubs per 35 LF	20'	142	4.1	0	Use existing tree line vegetation to meet buffer
1	8' ht Evergreen Trees			40.6	0	
10	Shrubs			8.1	8	
Qty.	Property Boundary Buffer - South Property Line 20' wide	Buffer Width	Buffer LF	Required Planting	Provided Planting	Notes
1	8' ht Evergreen Trees & 10: Shrubs per 35 LF	20'	285	8.1	8	
1	8' ht Evergreen Trees			81.4	81	
10	Shrubs			7.2	7	
Qty.	Street Buffer Yards: (Columbia Pike) 15' wide	Buffer Width	Buffer LF	Required Planting	Provided Planting	Notes
1	2.5" cal. Canopy Trees per 50 LF	15	360	7.2	7	
1	2.5" cal. Canopy Trees			7.5	8	
Qty.	Street Buffer Yards: (Local Road)	Buffer Width	Buffer LF	Required Planting	Provided Planting	Notes
1	2.5" cal. Canopy Trees per 40 LF	15	300	7.5	8	
1	2.5" cal. Canopy Trees					

ALL REQUIRED PLANT MATERIAL SHALL BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM

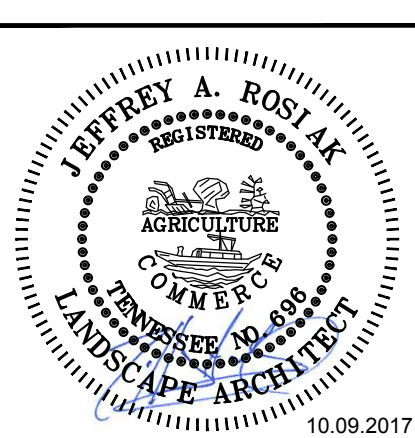
TREE REPLACEMENT DATA	
NO TREES 18" DBH AND GREATER ARE LOCATED ON THE RODERICK MARKET SITE - NO TREE REPLACEMENT REQUIRED	
QTY OF DBH INCHES REMOVED	0
REQUIRED REPLACEMENT TREE RATIO	2 TO 1
REQUIRED INCHES OF REPLACEMENT TREES	0

OVERALL RODERICK MARKET & POND PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
NSW	11	<i>Nyssa sylvatica 'Blackgum'</i>	Wildfire Black Gum	2.5" Cal. Min.	Req'd by TOTS, Full
QUC	3	<i>Quercus coccinea</i>	Scarlet Oak	2.5" Cal. Min.	Req'd by TOTS, Full
QNM	12	<i>Quercus nuttallii 'Monpaw'</i>	Charisma Nuttall Oak	2.5" Cal. Min.	Req'd by TOTS, Full
TDS	6	<i>Taxodium distichum 'Shawnee Brave'</i>	Shawnee Brave Bald Cypress	2.5" Cal. Min.	Req'd by TOTS, Full
EVERGREEN TREES					
CJR	15	<i>Cryptomeria japonica 'Radicans'</i>	Radicans Japanese Cedar	8'-10' Ht. Min.	Req'd by TOTS, Full, B&B
INS	3	<i>Ilex x 'Nellie R Stevens'</i>	Nellie Stevens Holly	6' Ht. Min.	Req'd by TOTS, Full, B&B
MGL	11	<i>Magnolia grandiflora 'Little Gem'</i>	Dwarf Southern Magnolia	10' Ht. Min.	Req'd by TOTS, Full, B&B
SHRUBS					
HVA	15	<i>Hamamelis vernalis 'Autumn Embers'</i>	Ozark Witch Hazel	#5	Req'd by TOTS, Full
HQS	20	<i>Hydrangea quercifolia 'Snow Queen'</i>	Snow Queen Oakleaf Hydrangea	#5	Req'd by TOTS, Full
IVM	27	<i>Itea virginica 'Merlot'</i>	Merlot Sweetspire	#5	Req'd by TOTS, Full
JVG	20	<i>Juniperus virginiana 'Grey Owl'</i>	Grey Owl Juniper	#5	Req'd by TOTS, Full
PERENNIALS / ORNAMENTAL GRASSES					
AMH	48	<i>Amsonia hubrichtii</i>	Arkansas Blue Star	#1	Full
EPK	54	<i>Echinacea purpurea 'Kim's Knee High'</i>	Kim's Knee High Purple Coneflower	#1	Full
PVS	11	<i>Panicum virgatum 'Shenandoah'</i>	Shenandoah Switch Grass	#1	Full
SHT	38	<i>Sporobolus heterolepis 'Tara'</i>	Tara Prairie Dropseed	#1	Full

SEE SHEET L3-00 FOR LANDSCAPE NOTES AND DETAILS

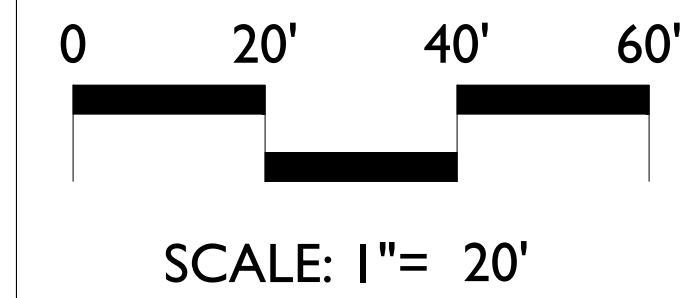
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RODERICK MARKET
 THOMPSON'S STATION, TENNESSEE



NO.	REVISIONS	DATE	BY

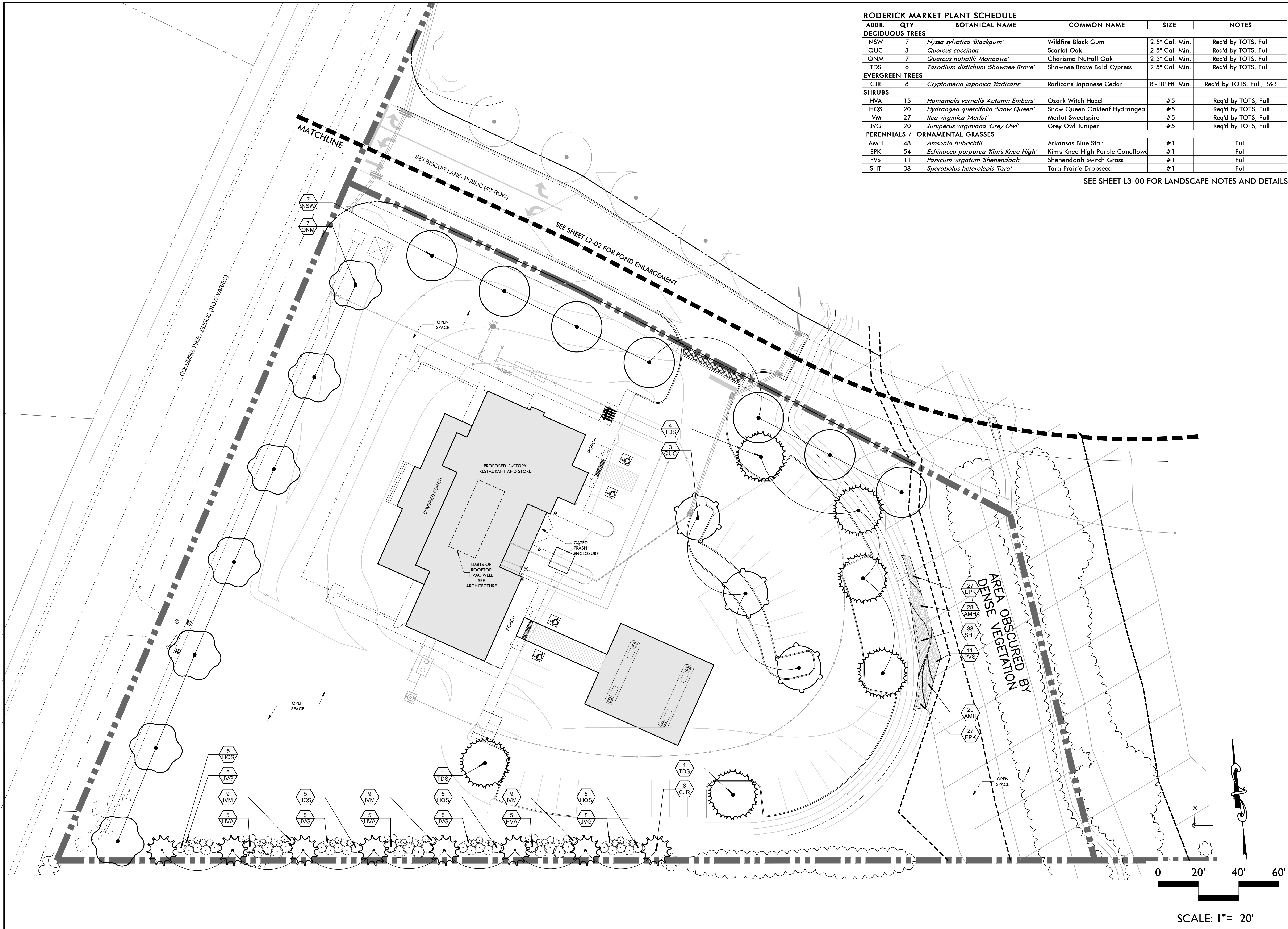
DESIGNED BY: KL
 DRAWN BY: KL
 CHECKED BY: CBW
 DATE: 10.09.2017
 KVD PROJECT NO. 14046



OVERALL LANDSCAPE PLAN
 SHEET NUMBER
L2-00

RODERICK MARKET PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
NSW	7	<i>Nyssa sylvatica</i> 'Blackgum'	Wildfire Black Gum	2.5" Cal. Min.	Req'd by TOTS, Full
QUC	3	<i>Quercus coccinea</i>	Scarlet Oak	2.5" Cal. Min.	Req'd by TOTS, Full
QNM	7	<i>Quercus nuttallii</i> 'Monpowe'	Charisma Nuttall Oak	2.5" Cal. Min.	Req'd by TOTS, Full
TDS	6	<i>Taxodium distichum</i> 'Shawnee Brave'	Shawnee Brave Bald Cypress	2.5" Cal. Min.	Req'd by TOTS, Full
EVERGREEN TREES					
CJR	8	<i>Cryptomeria japonica</i> 'Radicans'	Radicans Japanese Cedar	8'-10' Ht. Min.	Req'd by TOTS, Full, B&B
SHRUBS					
HVA	15	<i>Hamamelis vernalis</i> 'Autumn Embers'	Ozark Witch Hazel	#5	Req'd by TOTS, Full
HQS	20	<i>Hydrangea quercifolia</i> 'Snow Queen'	Snow Queen Oakleaf Hydrangea	#5	Req'd by TOTS, Full
IVM	27	<i>Itea virginica</i> 'Merlot'	Merlot Sweetspire	#5	Req'd by TOTS, Full
JVG	20	<i>Juniperus virginiana</i> 'Grey Owl'	Grey Owl Juniper	#5	Req'd by TOTS, Full
PERENNIALS / ORNAMENTAL GRASSES					
AMH	48	<i>Amsonia hubrichtii</i>	Arkansas Blue Star	#1	Full
EPK	54	<i>Echinacea purpurea</i> 'Kim's Knee High'	Kim's Knee High Purple Coneflower	#1	Full
PVS	11	<i>Panicum virgatum</i> 'Shenendoah'	Shenendoah Switch Grass	#1	Full
SHT	38	<i>Sporobolus heterolepis</i> 'Tara'	Tara Prairie Dropseed	#1	Full

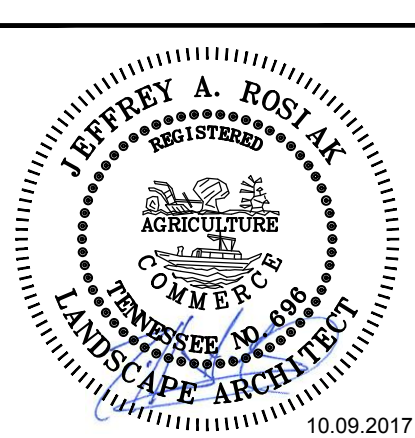
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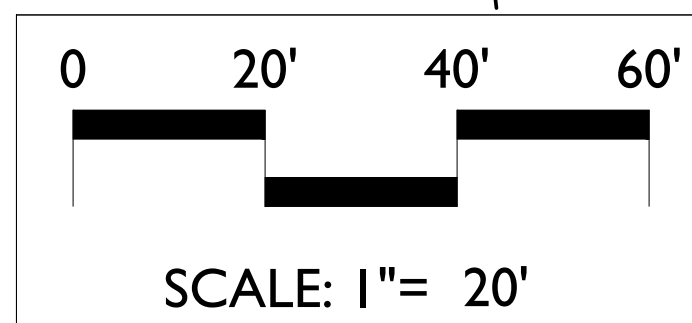
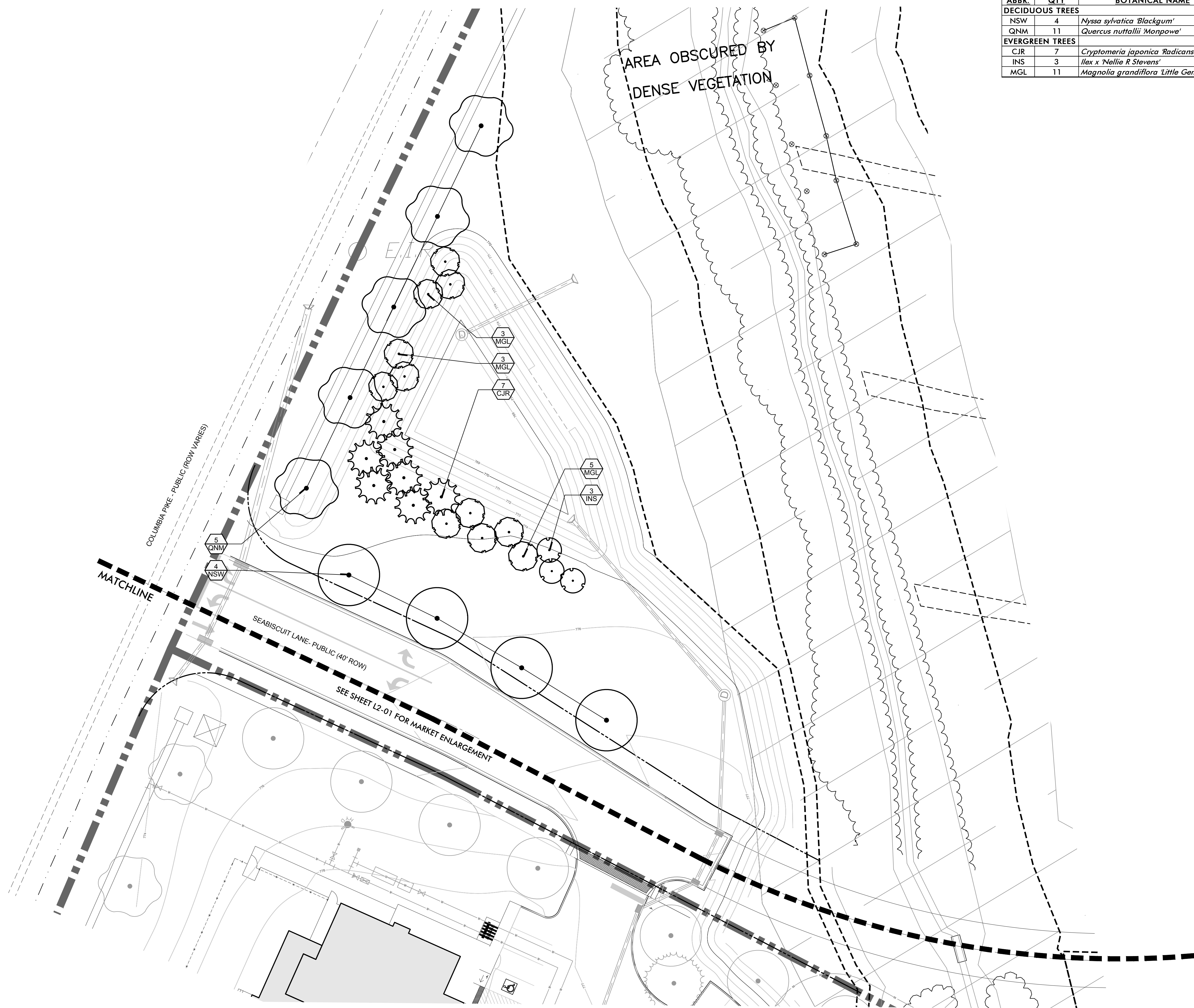
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 DRAWN BY: KL
 CHECKED BY: CBW
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 KVD PROJECT NO. 14046

RODERICK MARKET LANDSCAPE PLAN

SHEET NUMBER
L2-01

RODERICK MARKET DETENTION POND PLANT SCHEDULE					
ABBR.	QTY	BOTANICAL NAME	COMMON NAME	SIZE	NOTES
DECIDUOUS TREES					
NSW	4	<i>Nyssa sylvatica 'Blackgum'</i>	Wildfire Black Gum	2.5" Cal. Min.	Req'd by TOTS, Full
QNM	11	<i>Quercus nuttallii 'Monpowe'</i>	Charisma Nuttall Oak	2.5" Cal. Min.	Req'd by TOTS, Full
EVERGREEN TREES					
CJR	7	<i>Cryptomeria japonica 'Radicans'</i>	Radicans Japanese Cedar	8'-10' Ht. Min.	Req'd by TOTS, Full, B&B
INS	3	<i>Ilex x 'Nellie R Stevens'</i>	Nellie Stevens Holly	6' Ht. Min.	Req'd by TOTS, Full, B&B
MGL	11	<i>Magnolia grandiflora 'Little Gem'</i>	Dwarf Southern Magnolia	10' Ht. Min.	Req'd by TOTS, Full, B&B

SEE SHEET L3-00 FOR LANDSCAPE NOTES AND DETAILS



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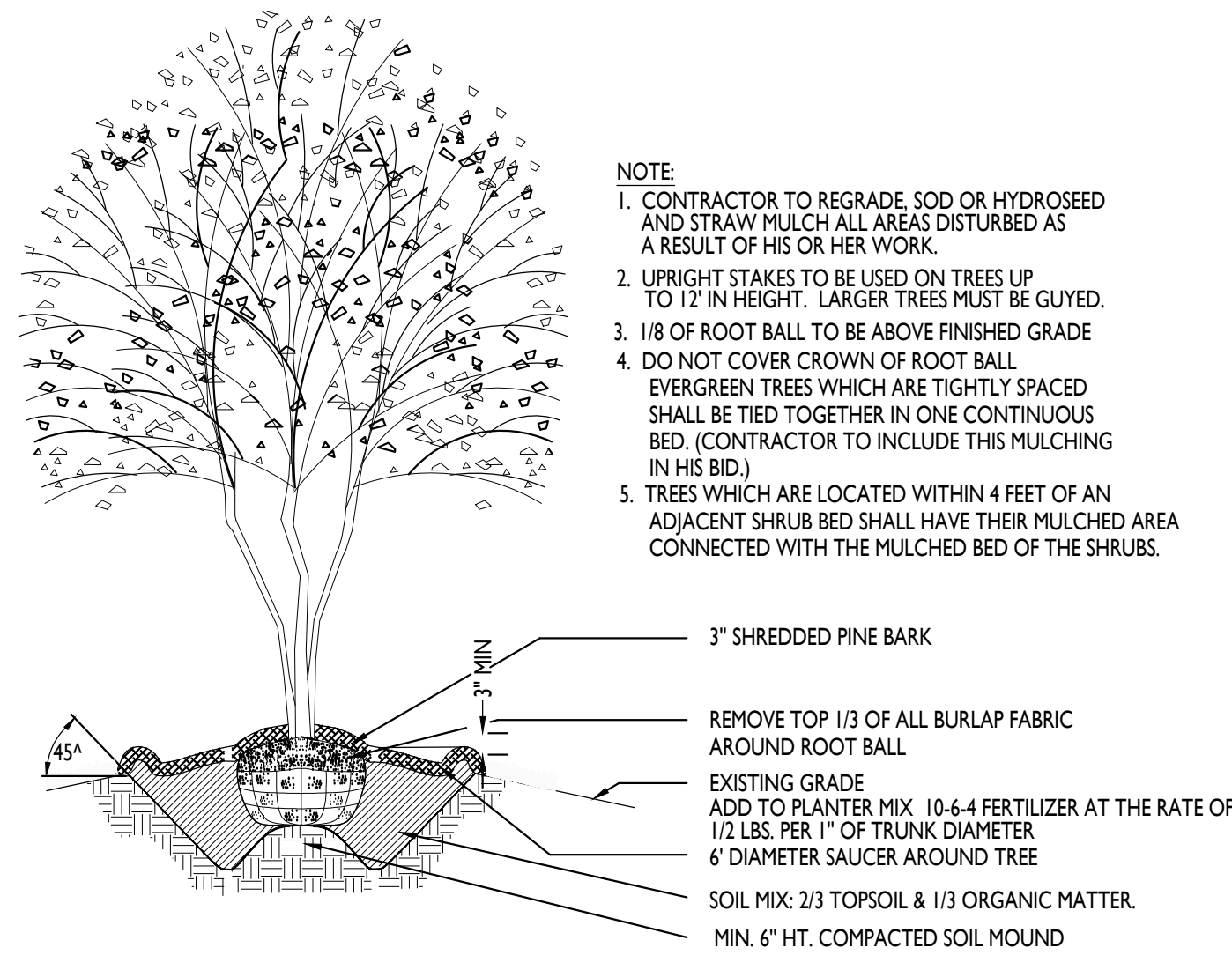


NO.	DATE	BY	REVISIONS

DESIGNED BY: KL
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 CHECKED BY: CBW
 DATE: 10.09.2017
 KVD PROJECT NO.
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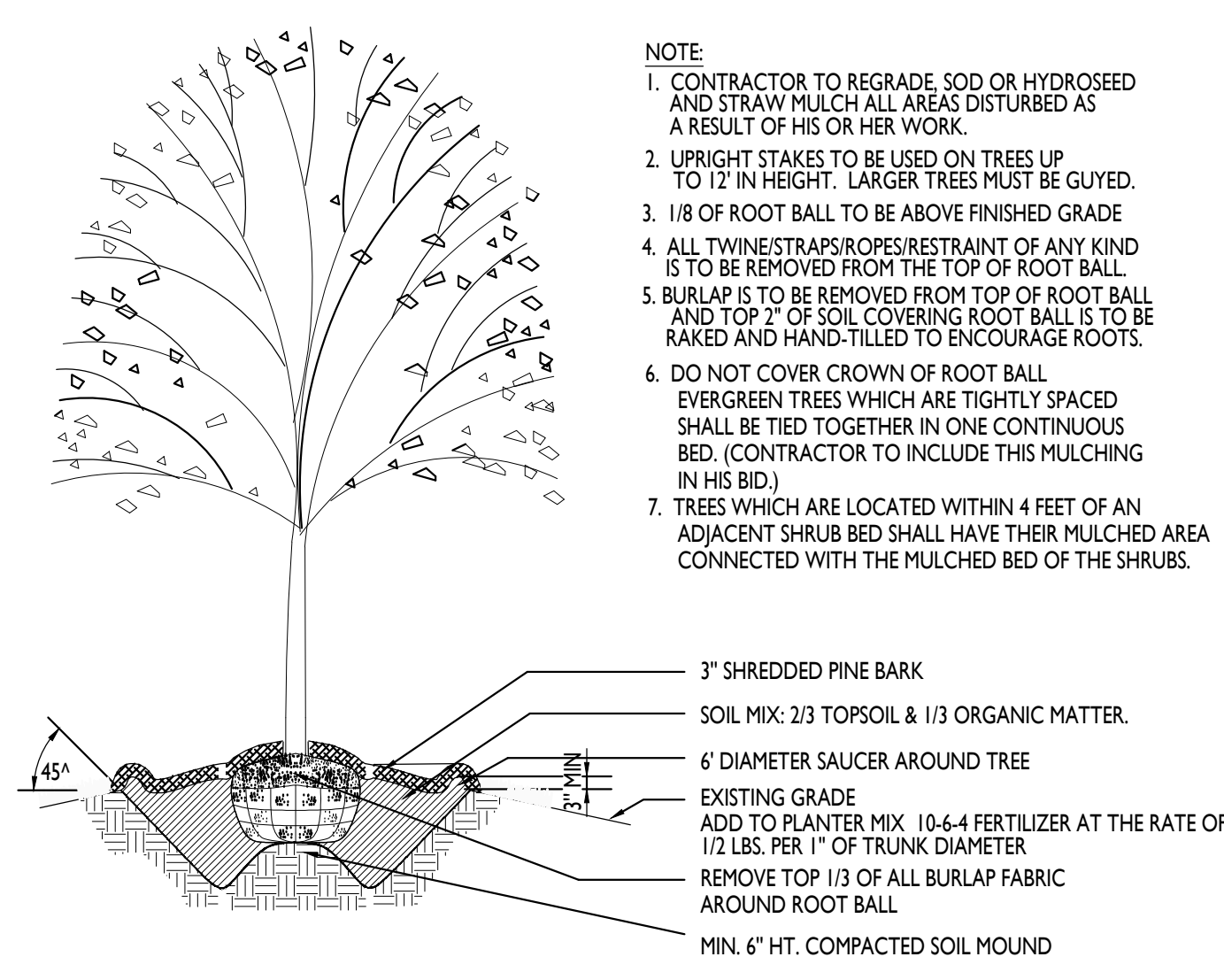
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 LANDSCAPE PLAN**

SHEET NUMBER
L2-02



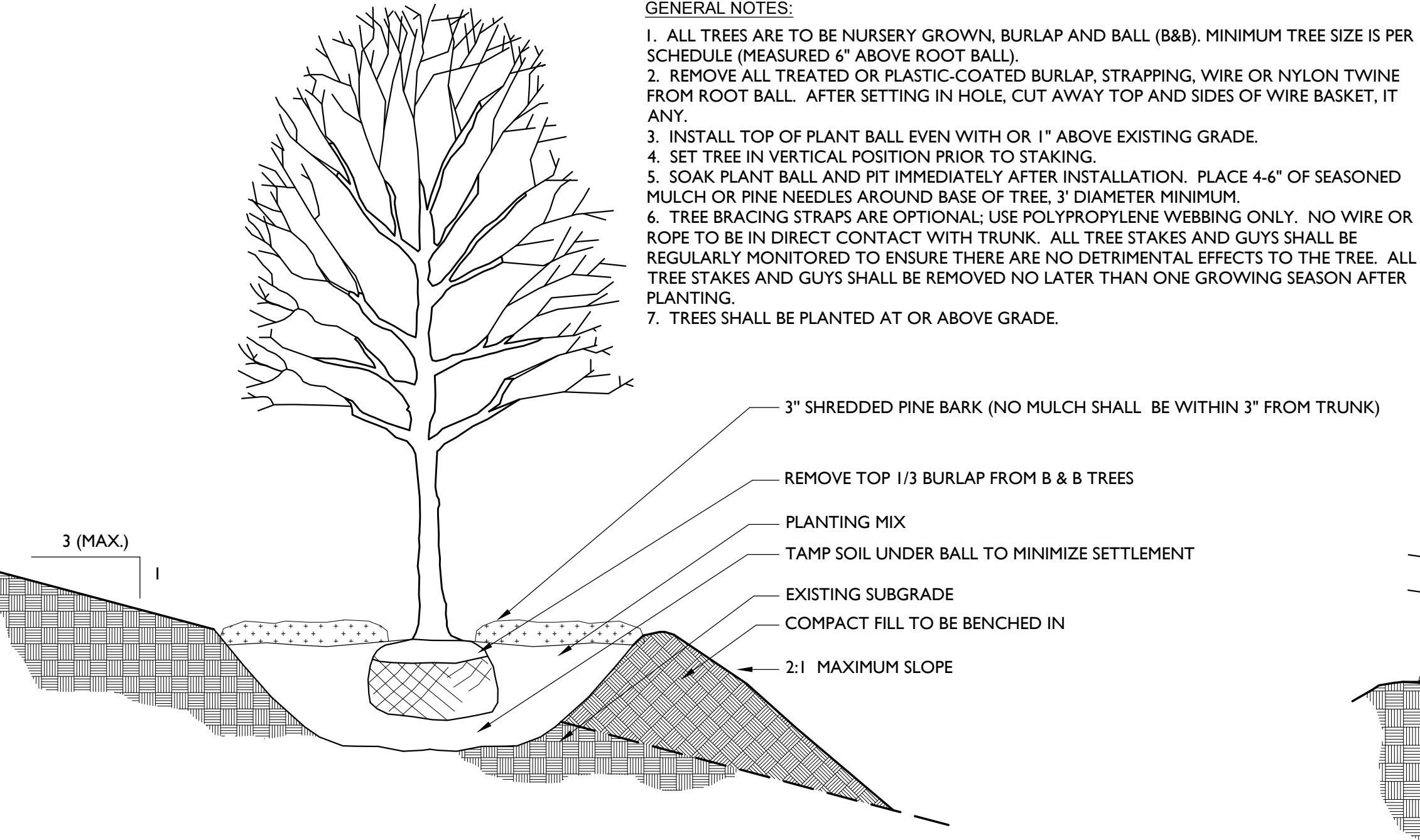
- NOTE:**
- CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF HIS OR HER WORK.
 - UPRIGHT STAKES TO BE USED ON TREES UP TO 12\"/>

1 MULTI-TRUNK TREE PLANTING
SCALE: N.T.S.



- NOTE:**
- CONTRACTOR TO REGRADE, SOD OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF HIS OR HER WORK.
 - UPRIGHT STAKES TO BE USED ON TREES UP TO 12\"/>

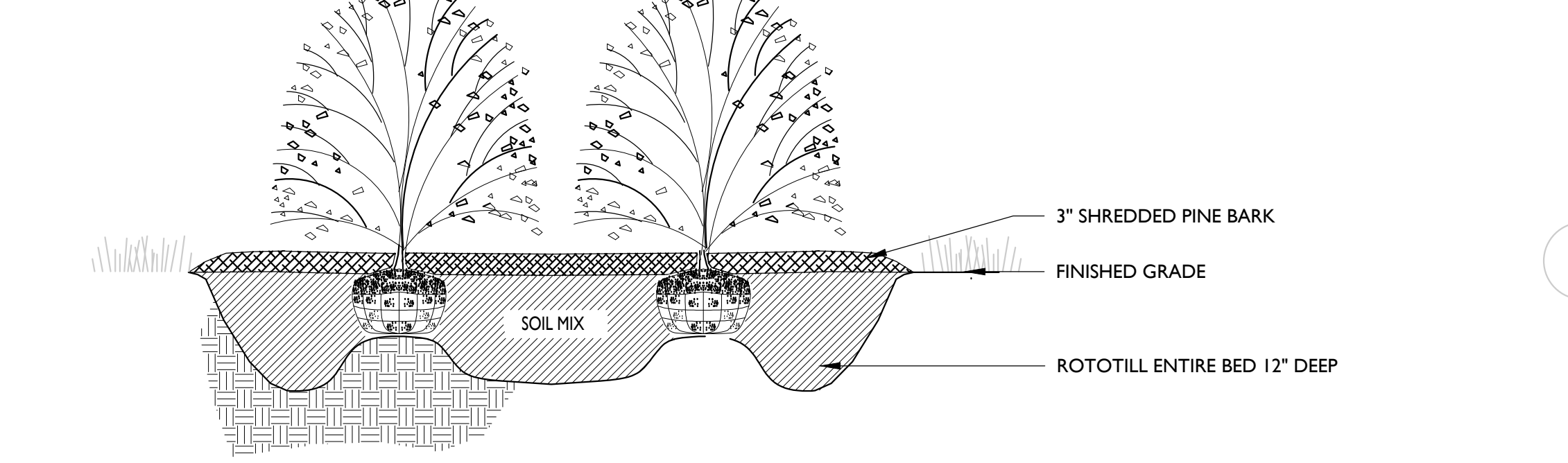
2 TREE PLANTING
SCALE: N.T.S.



- GENERAL NOTES:**
- ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B), MINIMUM TREE SIZE IS PER SCHEDULE (MEASURED 6\"/>

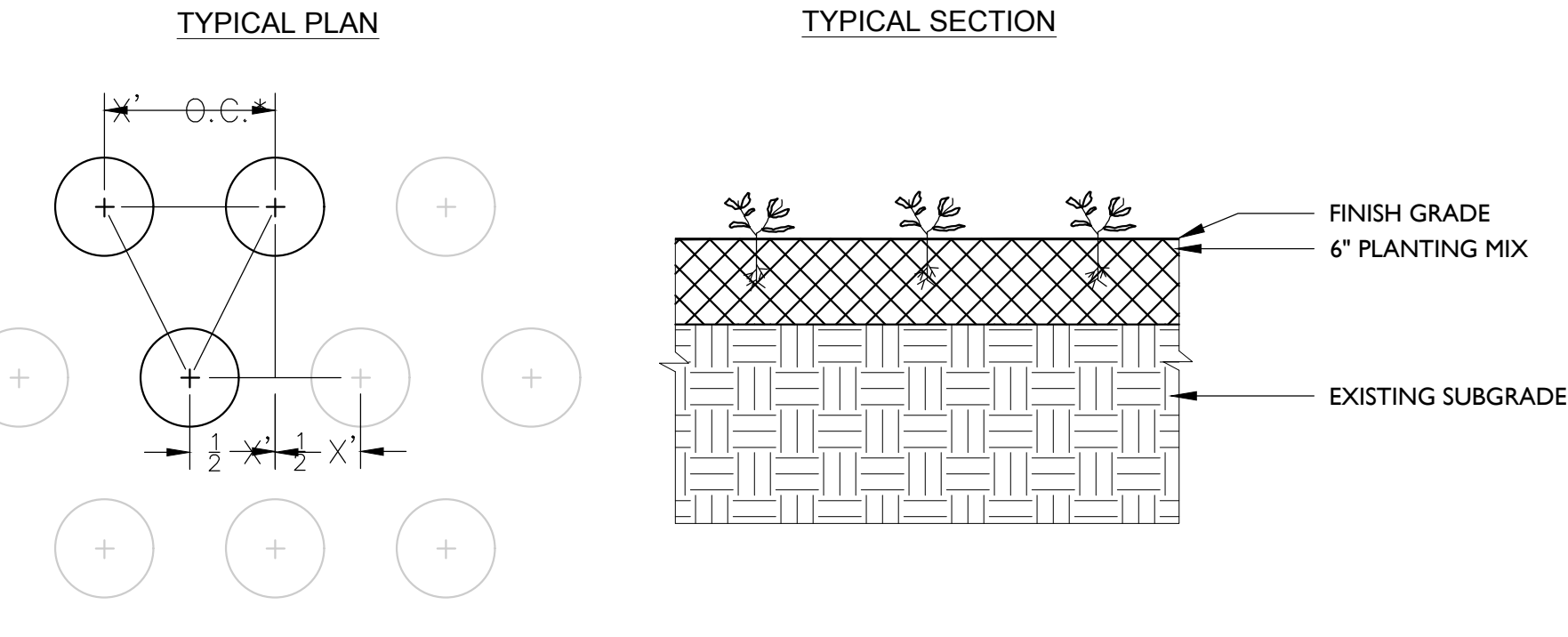
3 PLANTING ON A SLOPE
SCALE: N.T.S.

- NOTE:**
- BEDS TO HAVE SMOOTHLY CONTOURED AND CLEANLY DEFINED EDGES. BEDS SHALL BE CURVILINEAR EXCEPT AS NOTED ON PLAN.
 - PROPOSED BEDS MUST BE LAID OUT ON SITE AND APPROVED BY OWNER, IF REQUESTED BY OWNER.
 - REMOVE TOP 1/3 OF ALL BURLAP FABRIC AROUND ROOT BALL.
 - COMPLETELY REMOVE ALL STRINGS, RIBBONS, AND TAGS FROM THE PLANT.
 - SCARIFY ROOTS ON POT BOUND PLANTS.
 - PLANT SPACING VARIES - (SEE PLAN).
 - ALL SHRUBS TO BE PLANTED IN MULCHED BEDS.
 - PRUNE ALL BROKEN, DISEASED, AND WEAK BRANCHES.
 - ALL SHRUB BEDS TO BE COMPLETELY EXCAVATED OF ALL EXISTING SOIL TO REQUIRED DEPTH AND BACKFILLED WITH REQUIRED SOIL MIX.
 - SOIL MIX: 2/3 TOPSOIL & 1/3 ORGANIC MATTER.
 - TOP DRESS BED WITH 10-6-4 FERTILIZER AT THE RATE OF 5 LBS. PER 100 S.F. OF BED AREA.



4 EVERGREEN PLANTING DETAIL
SCALE: N.T.S.

- GENERAL NOTES:**
- ALL TREES ARE TO BE NURSERY GROWN, BURLAP AND BALL (B&B), MINIMUM TREE SIZE IS PER SCHEDULE (MEASURED 6\"/>



5 SHRUB PLANTING DETAIL
SCALE: N.T.S.

6 GROUNDCOVER PLANTING DETAIL
SCALE: N.T.S.

- PLANTING SPECIFICATIONS:**
- PLANTING BEDS MUST HAVE A MINIMUM SOIL DEPTH OF 12\"/>

ORDERS FOR PLANT MATERIAL:
SUBMIT CONFIRMED ORDERS FOR ALL PLANT MATERIAL, SPECIFYING NURSERY, FOR APPROVAL BY THE LANDSCAPE ARCHITECT WITHIN 35 DAYS FROM DATE CONTRACT IS AWARDED TO GENERAL CONTRACTOR OR LANDSCAPE CONTRACTOR, WHICHEVER FIRST OCCURS.

SUBSTITUTIONS:
ANY SUBSTITUTIONS TO THE SPECIFIED PLANT LIST MUST BE APPROVED BY THE LANDSCAPE ARCHITECT 7 DAYS OR MORE PRIOR TO THE BID.

TREE TAGGING:
LANDSCAPE ARCHITECT RESERVES THE RIGHT TO TAG TREES IN THE NURSERY PRIOR TO PURCHASE BY CONTRACTOR.

NURSERY SELECTION:
CONTRACTOR TO SUBMIT A LIST OF ALL NURSERIES FROM WHICH PLANT MATERIAL IS TO BE PURCHASED FOR REVIEW AND APPROVAL BY LANDSCAPE ARCHITECT. PLANT MATERIAL PURCHASED FROM NURSERIES NOT APPROVED BY LANDSCAPE ARCHITECT WILL BE REJECTED.

PREFERRED TREE NURSERIES:
CONTRACTOR TO MAKE EVERY REASONABLE EFFORT TO OBTAIN TREES FROM THE FOLLOWING LANDSCAPE ARCHITECT PREFERRED NURSERIES:

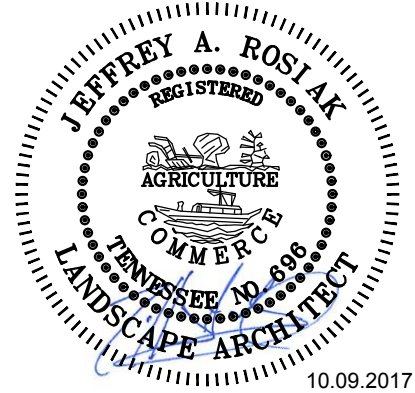
Samara Farms: <http://www.samara farms.com>
Hunter Trees: <http://www.hunter trees.com>
Bold Spring: <http://www.boldspring.com>
Mid Georgia: <http://midgeorgiansy.com>

STORMWATER MANAGEMENT AREA MEDIA SHALL CONTAIN A MIX OF TOPSOIL, SAND, AND COMPOST/ORGANIC MATTER TO ACHIEVE THE FOLLOWING FINAL COMPOSITION (BY VOLUME):

- 40%-60% SAND
- 20%-30% COMPOST
- 20%-30% SILTY LOAM TOPSOIL (MAXIMUM CLAY CONTENT OF TOPSOIL COMPONENT IS 20%)

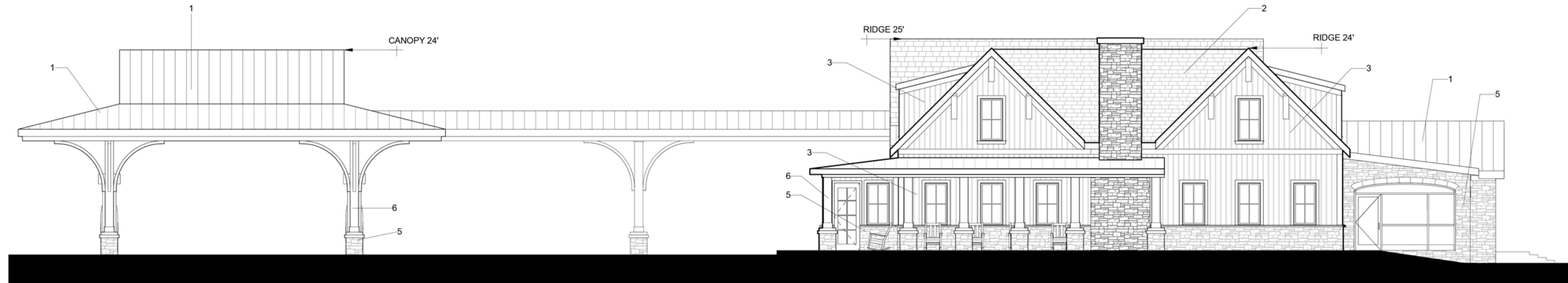
*MAXIMUM CLAY CONTENT OF TOTAL BIORETENTION FILTER MEDIA COMPOSITION NOT TO EXCEED 5%.

BIORETENTION FILTER MEDIA MUST HAVE A PH BETWEEN 5.5 AND 6.5 AND A MAXIMUM 500PPM CONCENTRATION OF SOLUBLE SALTS.

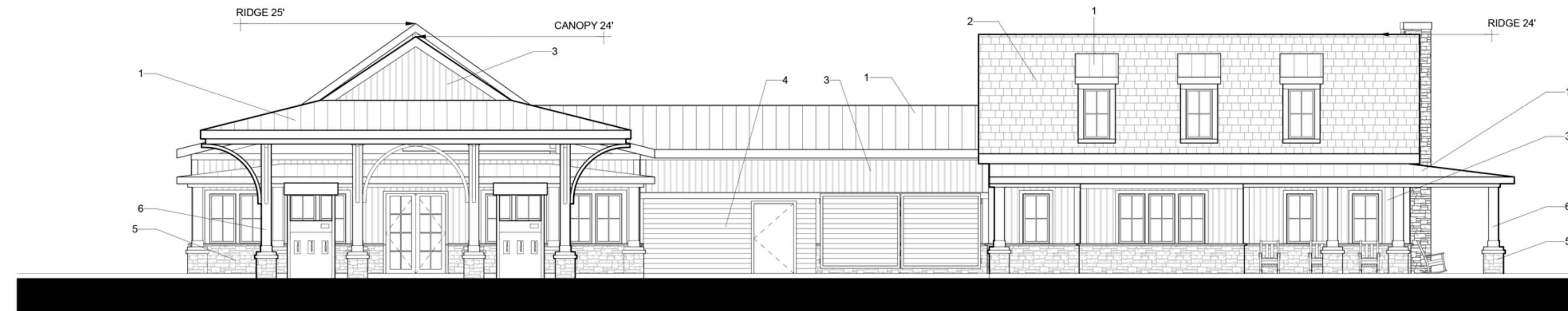


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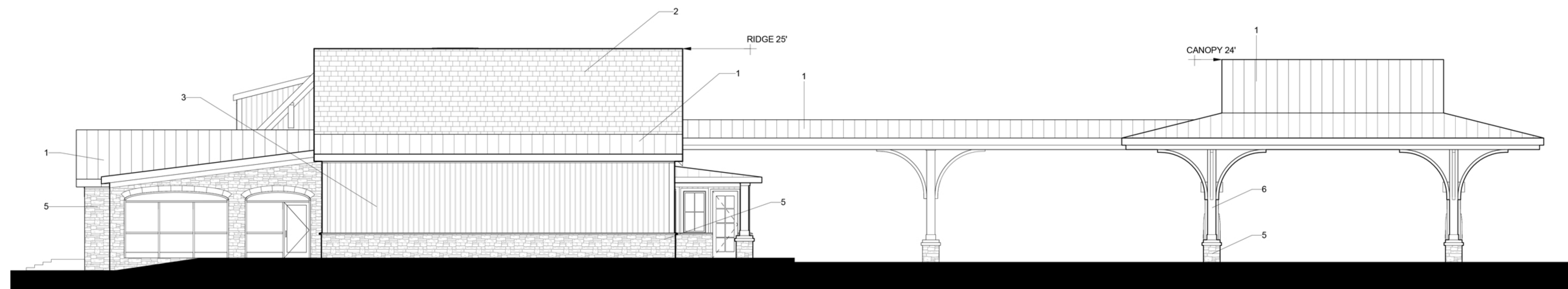
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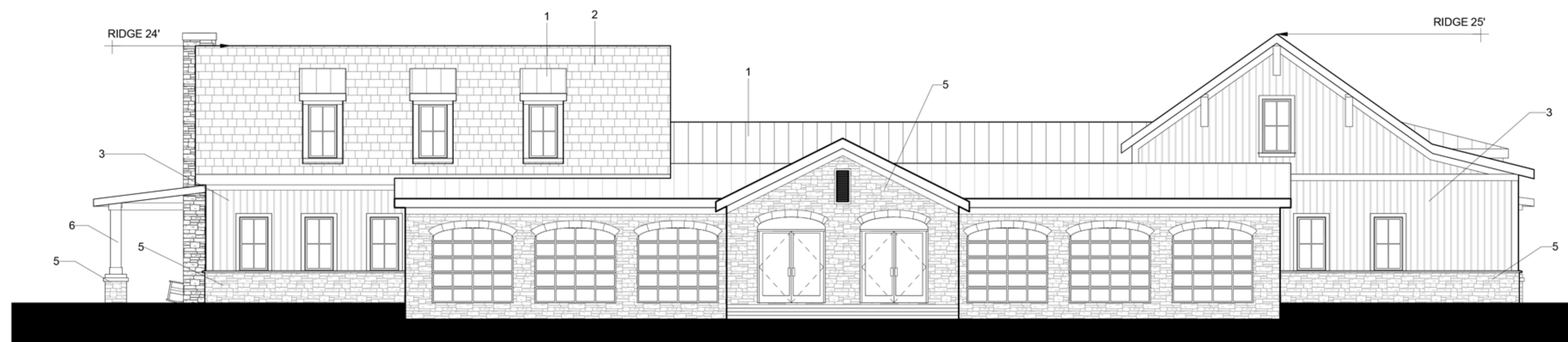
4 North
1/8" = 1'-0"
0' 4' 8' 16'



1 East
1/8" = 1'-0"
0' 4' 8' 16'


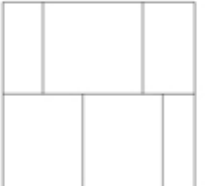
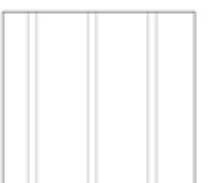





2 South
1/8" = 1'-0"
0' 4' 8' 16'



3 West
1/8" = 1'-0"
0' 4' 8' 16'

MATERIAL LEGEND

- 1  STANDING SEAM METAL ROOF
- 2  ASPHALT SHINGLE
- 3  BARN WOOD SIDING
- 4  LAP SIDING
- 5  STONE VENEER
- 6  TRIM

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THOMPSON STATION, TENNESSEE

No.	REVISIONS	DATE	BY	SE
1	REVISIONS PER TOTS COMMENTS	10-14-15		

DESIGNED BY: MH
DRAWN BY: SE
CHECKED BY: MH
DATE: 09/21/2015
KHA PROJECT NO. 118096000

ELEVATIONS
SHEET NUMBER
A1-00

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NORTH ELEVATION

SCALE: 1/8" = 1'0"



EAST ELEVATION

SCALE: 1/8" = 1'0"



SOUTH ELEVATION

SCALE: 1/8" = 1'0"

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ELEVATIONS

SHEET NUMBER **A1-10**



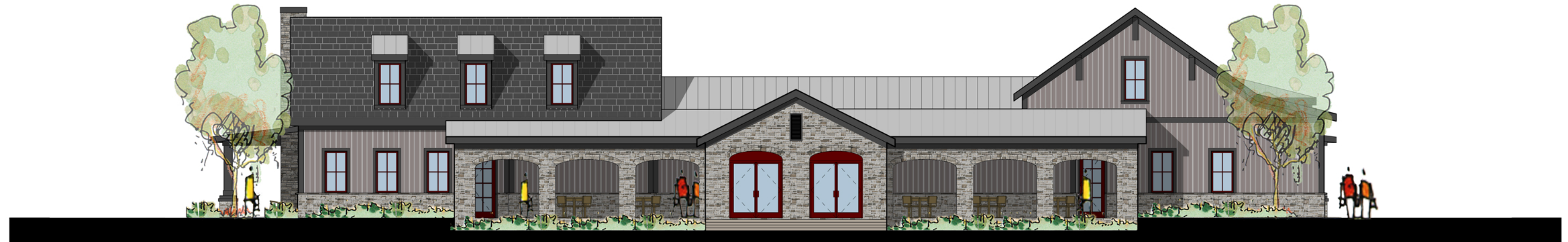
EXAMPLE OF ROLL-UP DOORS AT OUTDOOR PATIO



WEST ELEVATION

SCALE: 1/8" = 1'0"

OUTDOOR ROLL-UP PATIO DOORS



WEST ELEVATION - DOORS UP

SCALE: 1/8" = 1'0"

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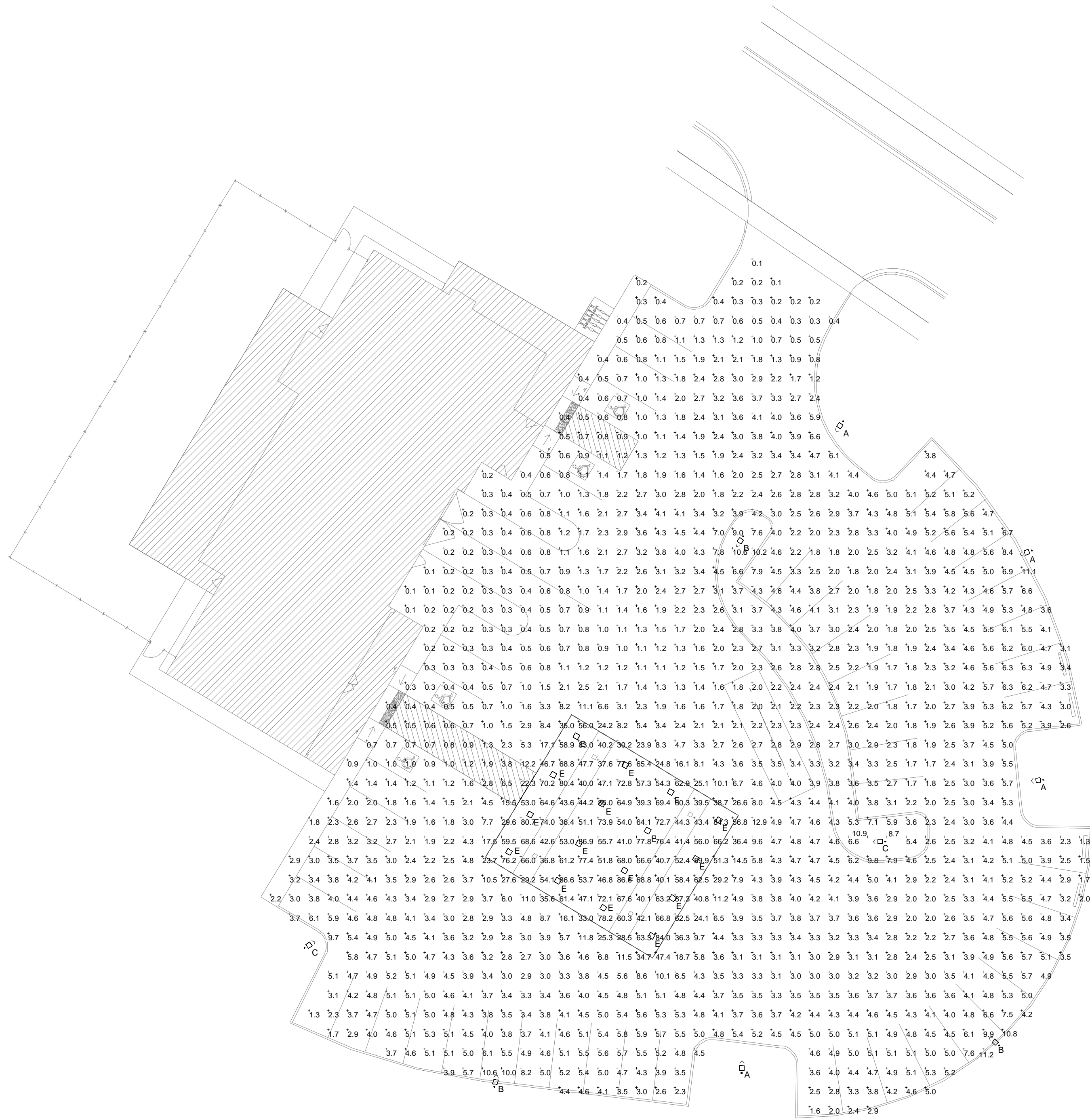
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NO.	REVISIONS PER TOTS COMMENTS	DATE	BY SE
1		10-14-15	SE

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DATE: 09/21/2015
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1 ELECTRICAL SITE PLAN
Scale: 1"=20'

SITE LIGHTING DATA

DEVELOPMENT STANDARD: TRADITIONAL
 LAND USE: NON RESIDENTIAL
 ZONING DISTRICT: GENERAL COMMERCIAL (GC)
 HEIGHT OF PROPOSED BUILDING: N/A
 POLE HEIGHTS: 16'
 POLE/FIXTURE COLOR: DARK BRONZE
 COLOR OF LIGHT: 4000K LED

THIS LIGHTING PLAN HAS BEEN DESIGNED TO MEET THE CITY OF THOMPSON STATION STANDARDS AND THE APPROVAL OF THE PLANNING COMMISSION. CHANGES SHALL NOT BE MADE TO THE APPROVED LIGHTING PLAN UNLESS APPROVED BY EITHER THE RELEVANT DEPARTMENT SUPERINTENDENT OR THE PLANNING COMMISSION.



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 224 third avenue north franklin, tn 37064
 www.geneng.net
 project #15-171

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 DRAWN BY: BJC
 CHECKED BY: JW
 DATE:

RHA PROJECT NO. 11896000

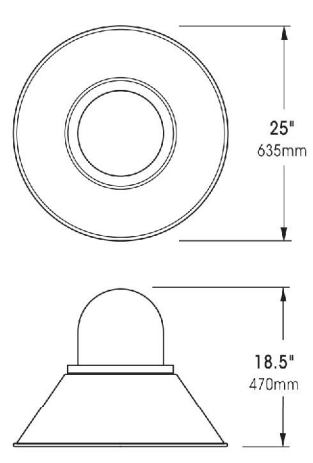
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
⌞ e	A	4	U.S. ARCHITECTURAL LIGHTING	DSAP25-8-80VLED-NW-700ma	METAL HOUSING, 1 LED MODULE CONSISTING OF 80 LEDS, VERTICAL BASE-UP POSITION, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, CLEAR FLAT GLASS LENS	LED	80	DSAP25-8-80VLED-NW-700.mes	154,9116	0.95	166.4
⌞ e	B	3	U.S. ARCHITECTURAL LIGHTING	DSAP25-3-80VLED-NW-700ma	METAL HOUSING, 1 LED MODULE CONSISTING OF 80 LEDS, VERTICAL BASE-UP POSITION, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, CLEAR FLAT GLASS LENS	LED	80	DSAP25-3-80VLED-NW-700.mes	155,6967	0.95	166.4
⌞ e	C	2	U.S. ARCHITECTURAL LIGHTING	DSAP25-4-80VLED-NW-700ma	METAL HOUSING, 1 LED MODULE CONSISTING OF 80 LEDS, VERTICAL BASE-UP POSITION, 1 CLEAR PLASTIC OPTIC BELOW EACH LED, CLEAR FLAT GLASS LENS	LED	80	DSAP25-4-80VLED-NW-700.mes	156,918	0.95	166.7
□	E	16	SpecGradeLED	CAN-100	CAN-100-60060-ES	LED	1	LINE 65-CAN-100-60060-ES.mes	10888.9	0.95	112.3

Statistics

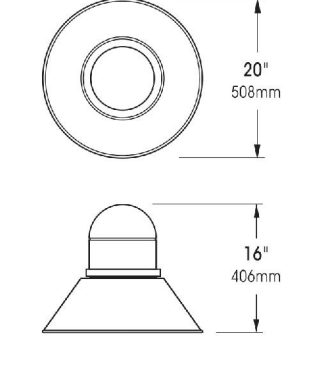
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
parking lot	+	7.9 fc	89.9 fc	0.1 fc	899.0:1	79.0:1

SOLID STATE AREA LIGHTING
DSAP SERIES-LED
 SPECIFICATIONS

PROJECT NAME: _____
 FIXTURE TYPE: _____



DSAP25 PATENT PENDING



DSAP1 PATENT PENDING

HOUSING
 Upper housing is heavy gauge cast aluminum (DSAP25) or 0.125" thick spun aluminum with reveal (DSAP1). Lower housing is 0.080" thick spun aluminum with integrated LED module seat. Lower housing is vented at top and bottom for convective cooling of LED module. Top Driver chamber is sealed from LED Module chamber. Truelevel ball coupling mount is welded to housing and facilitates quick leveling and installation.

LED OPTICS
 Low copper A356 alloy (<2% copper) cast aluminum housing. Integrated clear tempered 3/16" glass lens sealed with a continuous silicone gasket protects emitters (LED's) and emitter Reflector-Prism optics, and seals the module from water intrusion and environmental contaminants. Module is sealed to meet an IP67 rating. LED's are available in standard Neutral White (4000K), or optional Cool White (5000K) or Warm White (3000K). Each emitter is optically controlled by a Reflector-Prism injection molded from 1112 acrylic (3 types per module: one from 0° - 50°; one from 50° - 65°; one from 65° - 72°). Each Reflector-Prism has indexing pins for aiming and is secured to an optical plate made of mullite block anodized aluminum. The optical plate locates every Reflector-Prism over an emitter. Reflector-Prisms are secured to the optical plate with a UV curing adhesive. The Reflector-Prisms are arrayed to produce ES Type II, III, IV, and VSQ distributions. The entire Optical Module is field rotatable in 90° increments. Both module and drivers are factory wired using water resistant, insulated cord. Lens, module and drivers are field replaceable.

LED DRIVER
 Drivers are UL and cUL recognized mounted on a single plate and factory prewired with quick-disconnect plugs. Constant current driver is electronic and has a power factor of >0.90 and a minimum operating temperature of -40°F. Drivers accept an input of 120-277V, 50/60Hz. (0-10V dimmable driver is standard. Driver has a minimum of 3KV internal surge protection.)

FINISH
 Electrostatically applied TGIC Polyester Powder Coat on substrate prepared with 20 PSI power wash at 140°F. Four step iron phosphate pretreatment for protection and paint adhesion. 400°F bake for maximum hardness and durability. Texture finish is standard.

U.S. Architectural Lighting 860 West Avenue D, Redlands, CA 91251 Phone: (651) 532-0224 Fax: (651) 532-0253 www.usalighting.com

MADE IN THE USA 2015084

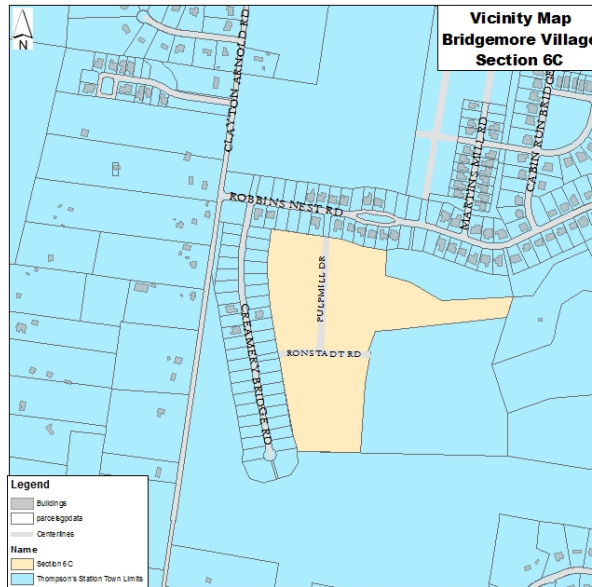
U.S. ARCHITECTURAL LIGHTING

Thompson's Station Planning Commission
Staff Report – Item 3 (File: FP 2017-008)
November 28, 2017

Final Plat, Section 6C for the creation of 28 lots located within Bridgemore Village

PROJECT DESCRIPTION

A request to approve a final plat for Section 6C of Bridgemore Village to create 28 single-family lots and three open space lots.



BACKGROUND

Bridgemore Village is a 498-acre master planned community that is approved consisting of 477 single-family residential units. The site is currently under construction and has access from Critz Lane and Clayton Arnold Road. The overall density is less than one unit an acre and will preserve 258 acres which will be platted as open space. A preliminary plat for the area identified as Phase 6 of Bridgemore Village was approved by the Planning Commission to create 87 single-family lots. Section 6A containing 21 residential lots and one open space lot, Section 6B containing 21 residential lots was approved and this section will consist of 28 lots leaving one additional section for the remaining 17 lots.

ANALYSIS

Final Plat

The final plat for Section 6C includes 21 single family residential lots. The single-family lots will vary in size from .37 acres to .85 acres with a 30-foot front yard setback, a five and 15-foot side yard setbacks and a 20-foot rear yard setback with lot widths approximately 90 feet. All lots have roadway frontage along an extension of Pulpmill Road and Ronstadt Road providing access to all the proposed lots.

Open Space

The final plat includes three open space lots totaling 22.51 acres. With the recordation of this plat, approximately 92% of the community will be platted and approximately 239 acres of the land recorded open space representing 88% of the open space for Bridgemore Village. Section 5.4.7

requires that “final plats within subdivisions with common open space must include a proportionate amount of the open space with each section.” Therefore, recorded open space complies with the LDO.

Development Agreement

The development agreement approved by the Board of Mayor and Alderman on August 9, 2016.

Performance Sureties

Performance sureties are required prior to the recordation of any final plat to ensure that all necessary improvements are guaranteed to be installed per approved construction plans. Bridgemore Phase 6 construction plans are approved and improvements are underway within this phase. Roadway work is complete to binder course and curbs are installed. Drainage and utilities are in place along with erosion control which is functioning as intended. As a result of the progress on site, the roads, drainage and erosion control performance surety shall be set at \$215,000 and the sanitary sewer surety shall be set at \$170,000.

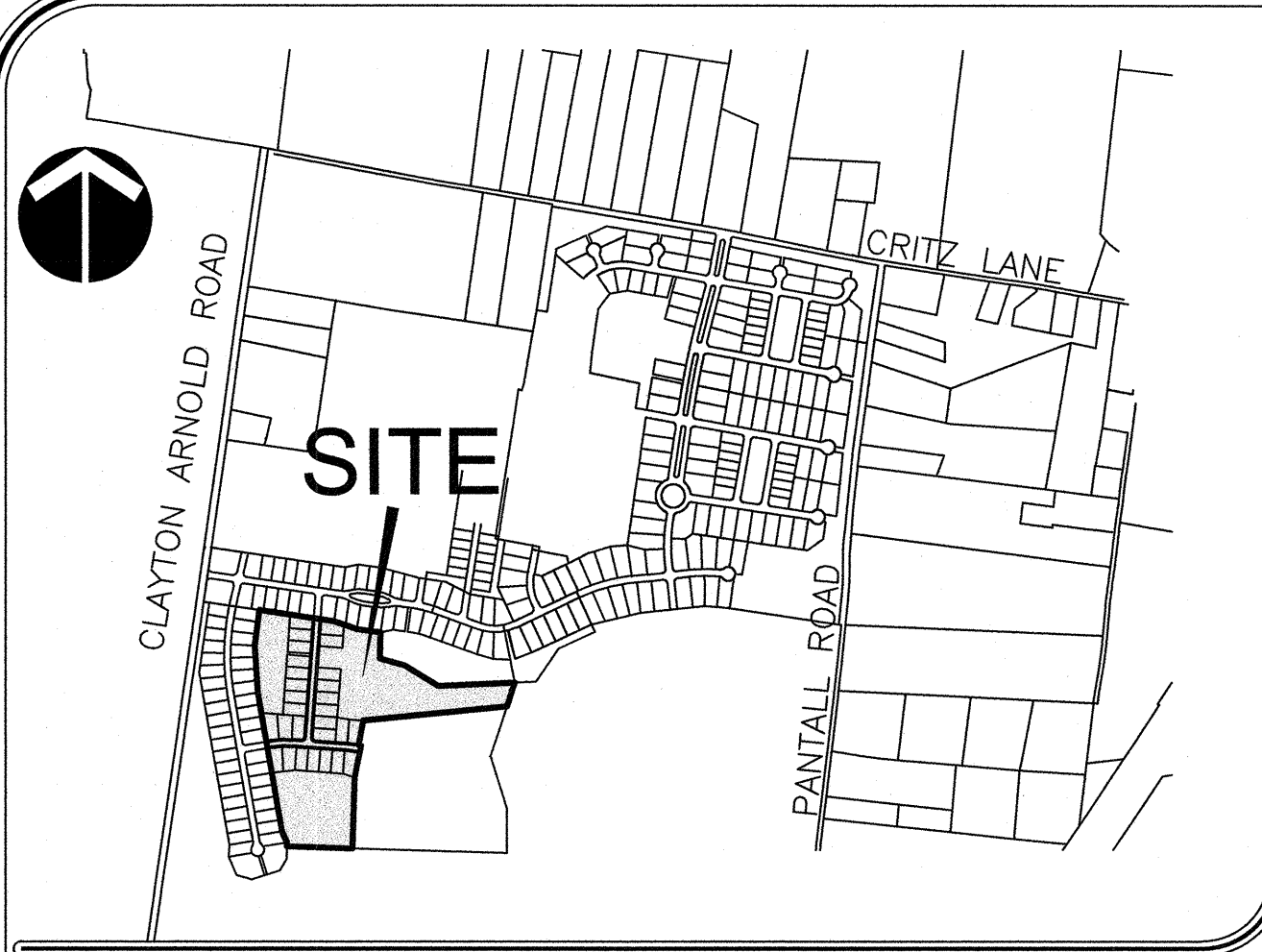
RECOMMENDATION

Based on the project’s compliance with the preliminary plat approval and the Land Development Ordinance; Staff recommends that the Planning Commission approve the final plat with the following contingencies:

1. Prior to the recordation of the final plat, a surety will be required in the amount of \$215,000 for roads, drainage and erosion control.
2. Prior to the recordation of the final plat, a surety shall be required in the amount of \$170,000 for sewer.
3. As built shall be required for the drainage and sewer system with a letter from the Design Engineer that they are constructed per the approved drawings and functioning as intended.

ATTACHMENT

Bridgemore Phase Map
Final Plat Map



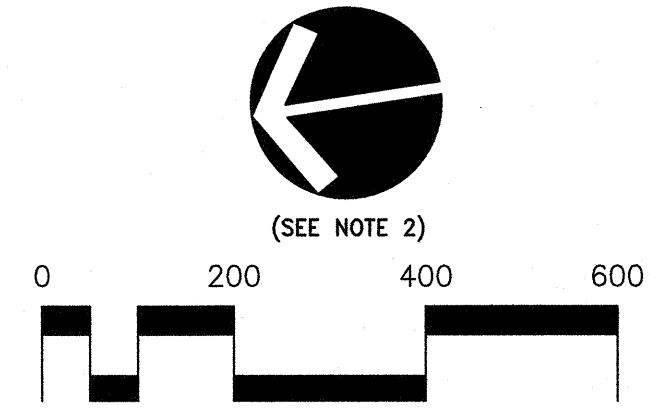
LOCATION MAP (NOT TO SCALE)

PROPERTY MAP REFERENCE

BEING A PORTION OF PARCEL NUMBER 14.02 AS SHOWN ON WILLIAMSON COUNTY PROPERTY MAP NUMBER 145.

DEED REFERENCE

BEING A PORTION OF THE SAME PROPERTY CONVEYED TO BLUEPRINT PROPERTIES, LLC FROM MBSC BRIDGEMORE, LLC BY SPECIAL WARRANTY DEED OF RECORD IN BOOK 6603, PAGE 979, REGISTER'S OFFICE FOR WILLIAMSON COUNTY, TENNESSEE.



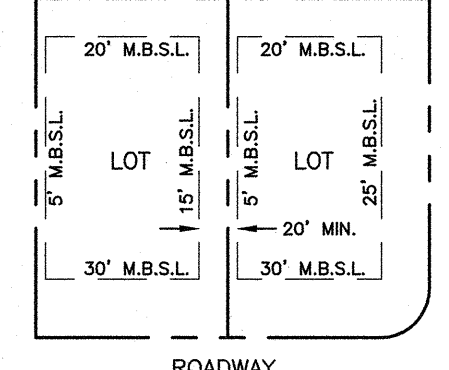
OPEN SPACE AREA TABLE		
LOT	SQ. FT.±	ACRES±
6095	322,294	7.40
6096	172,590	3.96
6097	485,787	11.15

LOT AREA TABLE		
LOT	SQ. FT.±	ACRES±
6032	18,970	0.44
6033	18,359	0.42
6034	16,200	0.37
6035	16,200	0.37
6036	16,200	0.37
6037	16,638	0.38
6038	19,738	0.45
6056	17,667	0.41
6057	16,645	0.38
6058	17,866	0.41
6059	16,200	0.37
6060	16,200	0.37
6061	16,200	0.37
6062	16,200	0.37

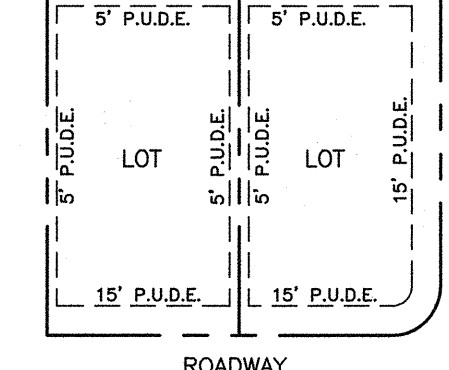
LOT AREA TABLE		
LOT	SQ. FT.±	ACRES±
6063	16,200	0.37
6064	16,200	0.37
6065	18,506	0.42
6066	17,031	0.39
6067	16,200	0.37
6068	16,200	0.37
6069	16,200	0.37
6070	16,200	0.37
6071	16,200	0.37
6072	16,200	0.37
6073	16,200	0.37
6074	18,427	0.42
6075	19,801	0.45
6076	21,814	0.50

GENERAL NOTES

- THE PURPOSE OF THIS PLAT IS TO CREATE 28 SINGLE FAMILY LOTS AND 3 OPEN SPACE TRACTS AND TO DEDICATE R.O.W. AND EASEMENTS.
- BEARINGS SHOWN HEREON ARE BASED ON THE TENNESSEE COORDINATE SYSTEM OF 1983. GPS EQUIPMENT WAS USED TO DETERMINE THE POSITION OF TWO CONTROL POINTS ON THE SURVEYED PROPERTY IN ORDER TO ESTABLISH THE BEARING BASE FOR THE SURVEY. TYPE EQUIPMENT USED: LEICA, MODEL GX1230, DUAL FREQUENCY RECEIVER, THE TYPE OF GPS SURVEY: NETWORK ADJUSTED REAL TIME KINEMATIC.
- THE PROPERTY IS ZONED LOW INTENSITY RESIDENTIAL (D1) MINIMUM BUILDING SETBACKS:
FRONT - 50'
SIDE - 5'/15'
REAR - 20'
- BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY, THIS PROPERTY LIES WITHIN FLOOD ZONE "X" (OTHER AREAS), AS DESIGNATED ON CURRENT FEDERAL EMERGENCY MANAGEMENT AGENCY MAP NO. S 47187C0345F AND 47187C0365F, WITH AN EFFECTIVE DATE OF SEPTEMBER 29, 2006, WHICH MAKES UP A PART OF THE NATIONAL FLOOD INSURANCE ADMINISTRATION REPORT: COMMUNITY NO. 470424, PANEL NO. S 0345 AND 0365, SUFFIX F, WHICH IS THE CURRENT FLOOD INSURANCE RATE MAP FOR THE COMMUNITY IN WHICH SAID PREMISES IS SITUATED. SAID MAP DEFINES ZONE "X" (OTHER AREAS) UNDER "OTHER AREAS" AS AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.
- THIS SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES, ABOVE GRADE AND UNDERGROUND UTILITIES SHOWN WERE TAKEN FROM VISIBLE APPURTENANCES, PUBLIC RECORDS, AND/OR MAPS PREPARED BY OTHERS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED. THEREFORE, RELIANCE UPON THE TYPE, SIZE AND LOCATION OF UTILITIES SHOWN SHOULD BE DONE SO WITH THIS CIRCUMSTANCE CONSIDERED. DETAILED VERIFICATION OF EXISTENCE, LOCATION AND DEPTH SHOULD ALSO BE MADE PRIOR TO ANY DECISION RELATIVE THERETO IS MADE. AVAILABILITY AND COST OF SERVICE SHOULD BE CONFIRMED WITH THE APPROPRIATE UTILITY COMPANY. IN TENNESSEE, IT IS A REQUIREMENT, PER "THE UNDERGROUND UTILITY DAMAGE PREVENTION ACT", THAT ANYONE WHO ENGAGES IN EXCAVATION MUST NOTIFY ALL KNOWN UNDERGROUND UTILITY OWNERS NO LESS THAN THREE (3) NOR MORE THAN TEN (10) WORKING DAYS PRIOR TO THE DATE OF THEIR INTENT TO EXCAVATE AND ALSO TO AVOID ANY POSSIBLE HAZARD OR CONFLICT. TENNESSEE ONE CALL, DIAL 811.
- HOMEOWNER'S ASSOCIATION WILL MAINTAIN ALL SIDEWALKS AND OPEN SPACE, INCLUDING LANDSCAPE AND DETENTION/RETENTION AREAS. ALL ROADWAYS SHALL BE PUBLIC STREETS, CONSTRUCTED TO THE SPECIFICATIONS OF THOMPSON'S STATION AS PUBLIC R.O.W.S.
- ALL OPEN SPACE SHALL BE PUBLIC UTILITY AND DRAINAGE EASEMENTS.
- ON CORNER LOTS, THE ADDRESS WILL BE WHERE THE MAILBOX IS PLACED.



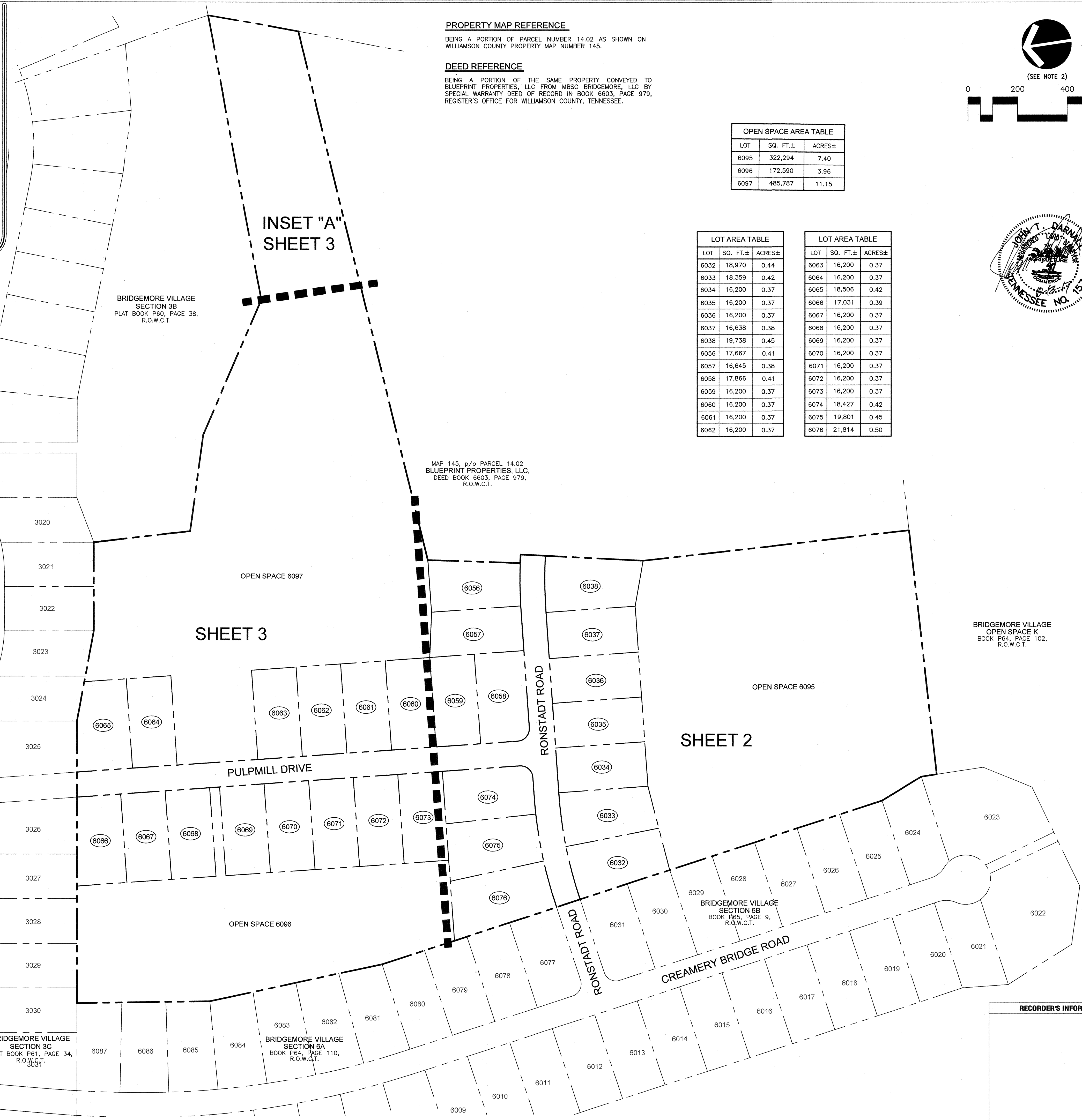
TYPICAL LOT SETBACK LINES (NOT TO SCALE)



TYPICAL LOT EASEMENT LINES (NOT TO SCALE)

AREA SUMMARY TABLE	
TOTAL LOT AREA	11.03 AC.±
OPEN SPACE AREA	22.52 AC.±
R.O.W. AREA	1.87 AC.±
TOTAL SITE AREA	35.42 AC.±

LEGEND
R.O.W.C.T. REGISTER'S OFFICE
WILLIAMSON COUNTY, TENNESSEE



TOTAL AREA = 1,542,874 SQUARE FEET OR 35.42 ACRES ±

CERTIFICATE OF OWNERSHIP & DEDICATION

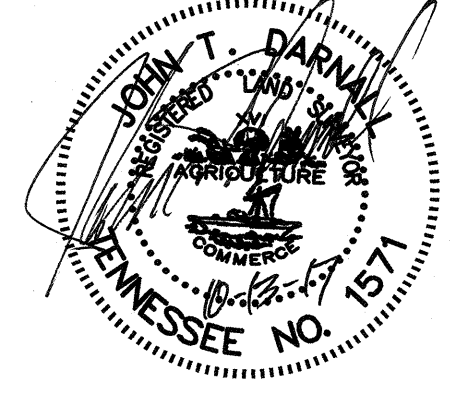
I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY SHOWN AND DESCRIBED HEREON AS INDICATED IN BOOK 6603, PAGE 979, R.O.W.C., AND THAT I (WE) HEREBY ADOPT THIS PLAN OF SUBDIVISION WITH MY (OUR) FREE CONSENT, ESTABLISH THE MINIMUM BUILDING RESTRICTION LINE THAT OPENS OF IRREVOCABLE DEDICATION FOR ALL PUBLIC STREETS, UTILITIES AND OTHER FACILITIES HAVE BEEN FILED AS REQUIRED BY THESE REGULATIONS.

DATE: 10-13-17
BLUEPRINT PROPERTIES, LLC

CERTIFICATE OF ACCURACY

I HEREBY CERTIFY THAT THE PLAN SHOWN AND DESCRIBED HEREON IS A TRUE AND CORRECT SURVEY TO THE ACCURACY REQUIRED BY THE THOMPSON'S STATION MUNICIPAL PLANNING COMMISSION AND THAT THE MONUMENTS HAVE BEEN OR WILL BE PLACED AS SHOWN HEREON TO THE SPECIFICATIONS OF THE SUBDIVISION REGULATIONS, AS APPROVED BY THE TOWN ENGINEER. THIS IS A CATEGORY 1 SURVEY AND THE RATIO OF PRECISION OF THE UNADJUSTED SURVEY IS GREATER THAN 1:10000 AS SHOWN HEREON.

RAGAN - SMITH - ASSOCIATES, INC.
DATE: 10-13-17
JOHN T. DARNALL, RLS NO. 1571



CERTIFICATE OF APPROVAL OF UTILITY SYSTEMS

I HEREBY CERTIFY THAT THE FOLLOWING UTILITY SYSTEMS OUTLINED OR INDICATED ON THE PLAN SHOWN HEREON HAVE BEEN INSTALLED IN ACCORDANCE WITH CURRENT LOCAL AND/OR STATE GOVERNMENT REQUIREMENTS OR THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT. ALSO, I CERTIFY THAT THE HYDRAULIC DESIGN CRITERIA SPECIFIED IN SECTION 3-109 OF THE THOMPSON'S STATION SUBDIVISION REGULATIONS HAVE BEEN MET.

DATE: _____
NAME, TITLE, AND AGENCY OF AUTHORIZED APPROVING AGENT: _____

CERTIFICATION OF THE APPROVAL OF STREETS

I HEREBY CERTIFY: (1) THAT ALL STREETS DESIGNATED ON THIS FINAL SUBDIVISION PLAT HAVE BEEN INSTALLED IN AN ACCEPTABLE MANNER AND ACCORDING TO THOMPSON'S STATION'S SUBDIVISION REGULATIONS, OR (2) THAT A SURETY BOND HAS BEEN POSTED WITH THE PLANNING COMMISSION TO ASSURE COMPLETION OF ALL REQUIRED IMPROVEMENTS IN CASE OF DEFAULT.

DATE: _____ TOWN ENGINEER: _____

CERTIFICATE OF APPROVAL OF MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION

I HEREBY CERTIFY THAT THE REQUIREMENTS SET FORTH IN RULES, REGULATIONS, BY-LAWS, POLICY AND OPERATIONAL BULLETINS, PLAT APPROVAL CHECKLIST AND TREE PLANTING GUIDELINES HAVE BEEN MET FOR MEETING ANY APPROVALS AS AT ALL TIMES CONTINGENT UPON CONTINUING COMPLIANCE WITH THE FOREMENTIONED REGULATIONS.

DATE: _____ MIDDLE TENNESSEE ELECTRIC MEMBERSHIP CORPORATION: _____

CERTIFICATE OF APPROVAL FOR RECORDING

I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREON HAS BEEN FOUND TO COMPLY WITH THOMPSON'S STATION SUBDIVISION REGULATIONS WITH THE EXCEPTION OF SUCH ARRANGES, IF ANY, AS ARE SET FORTH IN THE MINUTES OF THE PLANNING COMMISSION AND THAT IT HAS BEEN APPROVED FOR RECORDING IN THE OFFICE OF THE COUNTY REGISTER.

DATE: _____ SECRETARY OF PLANNING COMMISSION: _____

CERTIFICATE OF APPROVAL OF SUBDIVISION NAME AND STREET NAMES

I DO HEREBY CERTIFY THAT THE SUBDIVISION NAME AND STREET NAMES DENOTED ON THIS FINAL PLAT HAVE BEEN APPROVED BY THE WILLIAMSON COUNTY EMERGENCY COMMUNICATIONS AGENCY.

DATE: _____ WILLIAMSON COUNTY PUBLIC SAFETY: _____

CERTIFICATE FOR ADDRESSES

I DO HEREBY CERTIFY THAT THE ADDRESSES DENOTED ON THIS FINAL PLAT ARE THOSE ASSIGNED BY DEPARTMENT OF INFORMATION TECHNOLOGY (IT).

DATE: _____ IT DEPT. E-911 ADDRESSING COORDINATOR: _____

FINAL PLAT

BRIDGEMORE VILLAGE SECTION 6C
LOTS 6032-6038, 6056-6076
AND OPEN SPACE 6095-6097

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY, TOWN OF THOMPSON'S STATION, TENNESSEE

DATE: OCTOBER 13, 2017 SCALE: 1"=200'
JOB NO. 11-052 W.O. 0329

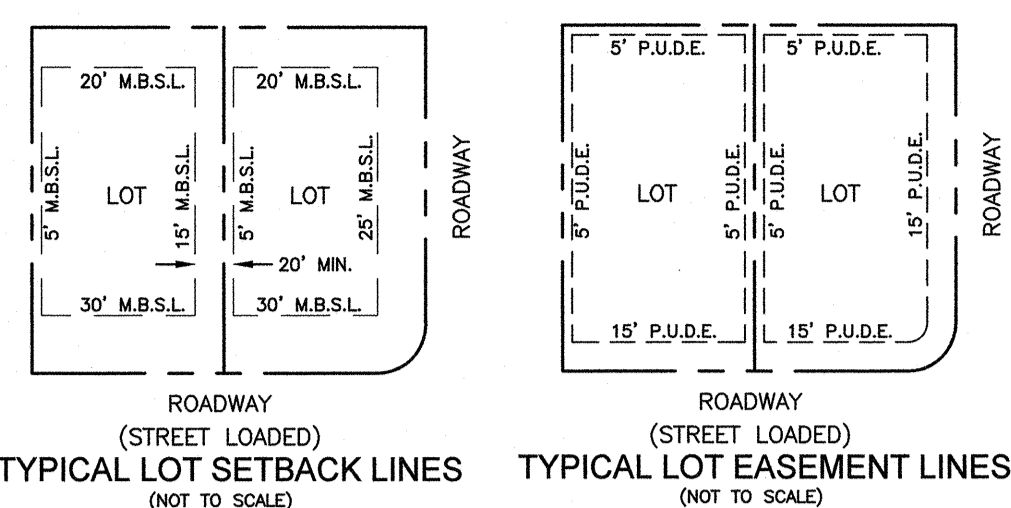
OWNER/DEVELOPER
BLUEPRINT PROPERTIES, LLC
C/O JIMMY FRANKS
245 NOAH DRIVE
FRANKLIN, TENNESSEE 37067
(615) 794-7415

RAGAN • SMITH

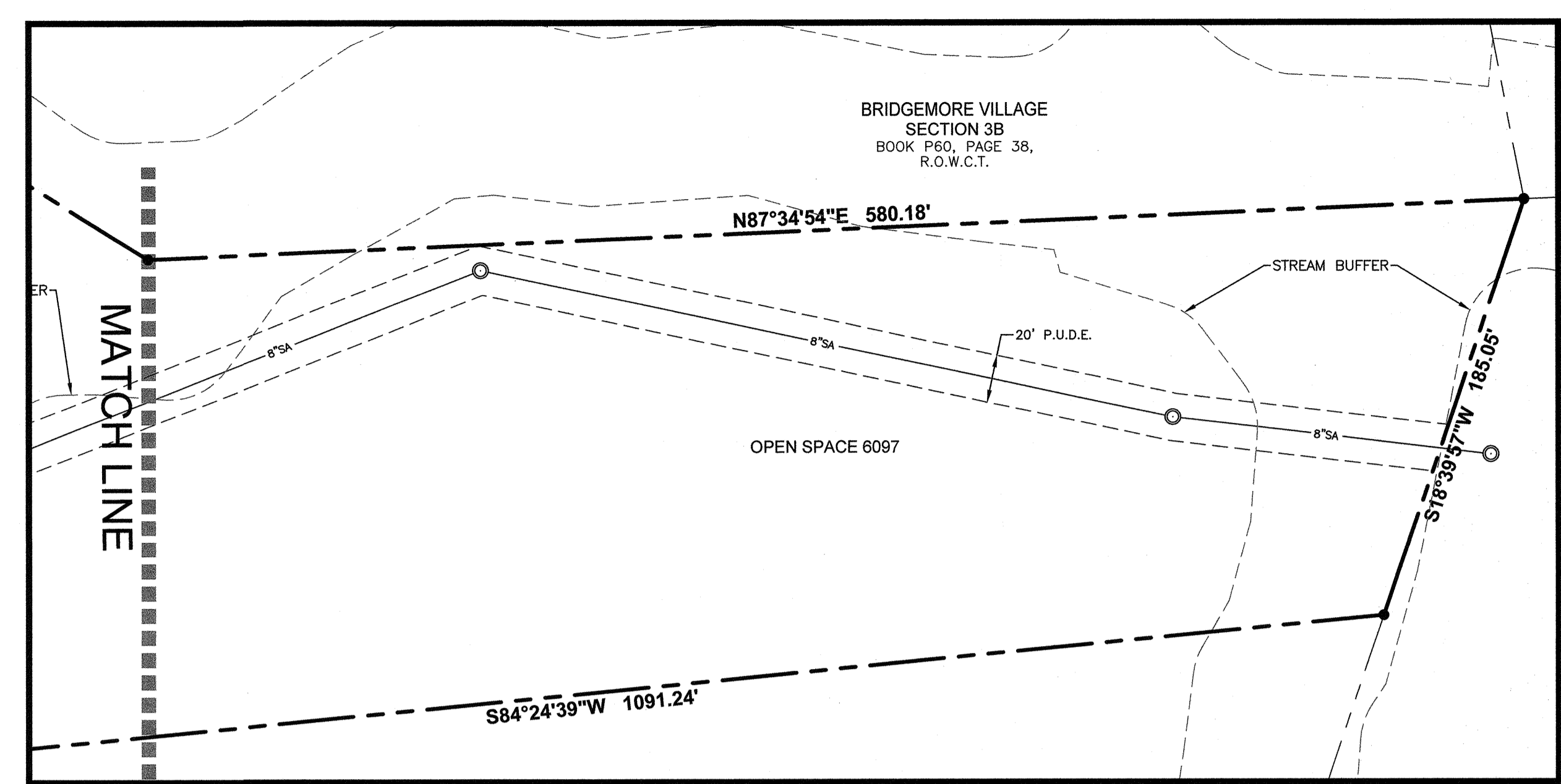
LAND PLANNERS • CIVIL ENGINEERS
LANDSCAPE ARCHITECTS • SURVEYORS
315 WOODLAND ST. P.O. BOX 60070 NASHVILLE, TN 37206
(615) 244-8591 FAX (615) 244-6739 tdarnall@ragansmith.com
CONTACT: TOM DARNALL, RLS
SHEET 1 OF 3

0110020291-SURVEY/FINAL PLAT/PHASE 06/BRIDGEMORE 6C PLAT.DWG
PLOTTED BY: ARIENNY GIBSON ON: 10/13/2017 2:28 PM
LAST UPDATED BY: SLL ON: 10/13/2017 2:28 PM

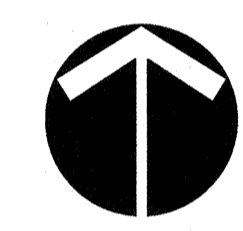
GENERAL NOTES
1. SEE SHEET 1 OF 3 FOR NOTES, AREAS, AND REFERENCES.



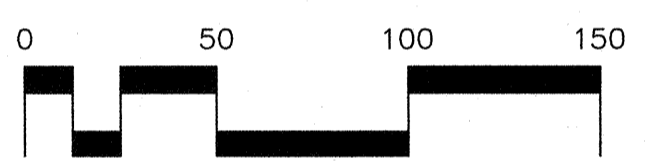
ROBBINS NEST ROAD



INSET "A"
1"=50'



(SEE NOTE 2)



RECORDER'S INFORMATION

FINAL PLAT
BRIDGEMORE VILLAGE
SECTION 6C
LOTS 6032-6038, 6056-6076
AND OPEN SPACE 6095-6097

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY,
TOWN OF THOMPSON'S STATION, TENNESSEE

DATE: OCTOBER 13, 2017 SCALE: 1"=50'
JOB NO. 11-052 W.O. 0329

OWNER/DEVELOPER

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315 WOODLAND ST., P.O. BOX 60070 NASHVILLE, TN. 37206
(615) 244-8891 FAX (615) 244-8739 tsam@ragansmith.com
CONTACT: TOM DARNALL, PLS SHEET 2 OF 3



MAP 145, 6/3 PARCEL 14.02
BLUEPRINT PROPERTIES, LLC
BOOK 6603, PAGE 979,
R.O.W.C.T.

LEGEND

- | | |
|--|---|
| ● IRON ROD (NEW)
(1/2" X 18" W/CAP STAMPED
"RAGAN SMITH & ASSOCIATES") | ⊕ FIRE HYDRANT
WATER VALVE |
| ■ MONUMENT (NEW)
(4" DIAMETER ALUMINUM DISC
W/ 1/2" IRON ROD MARKED
"RAGAN-SMITH ASSOCIATES") | □ R.O.W.
REGISTER'S OFFICE,
WILLIAMSON COUNTY, TENNESSEE |
| ■ RCP
18" Ø
REINFORCED CONCRETE PIPE | M.B.S.L. MINIMUM BUILDING
SETBACK LINE |
| □ CATCH BASIN | 1234 ADDRESS |
| ⊙ SANITARY SEWER MANHOLE | P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT |
| —SA— SANITARY SEWER LINE | P.U.D.E./
M.T.E.M.C.E. PUBLIC UTILITY & DRAINAGE EASEMENT
MIDDLE TENN ELECTRIC MEMBERSHIP CORP ESMT |
| —W— WATER LINE | |

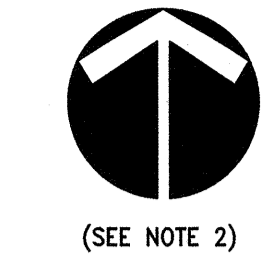
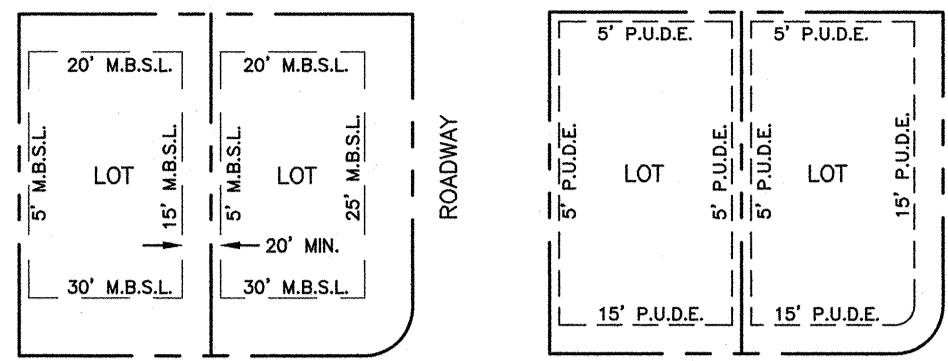
MATCH LINE
SHEET 3

MATCH LINE
SHEET 3

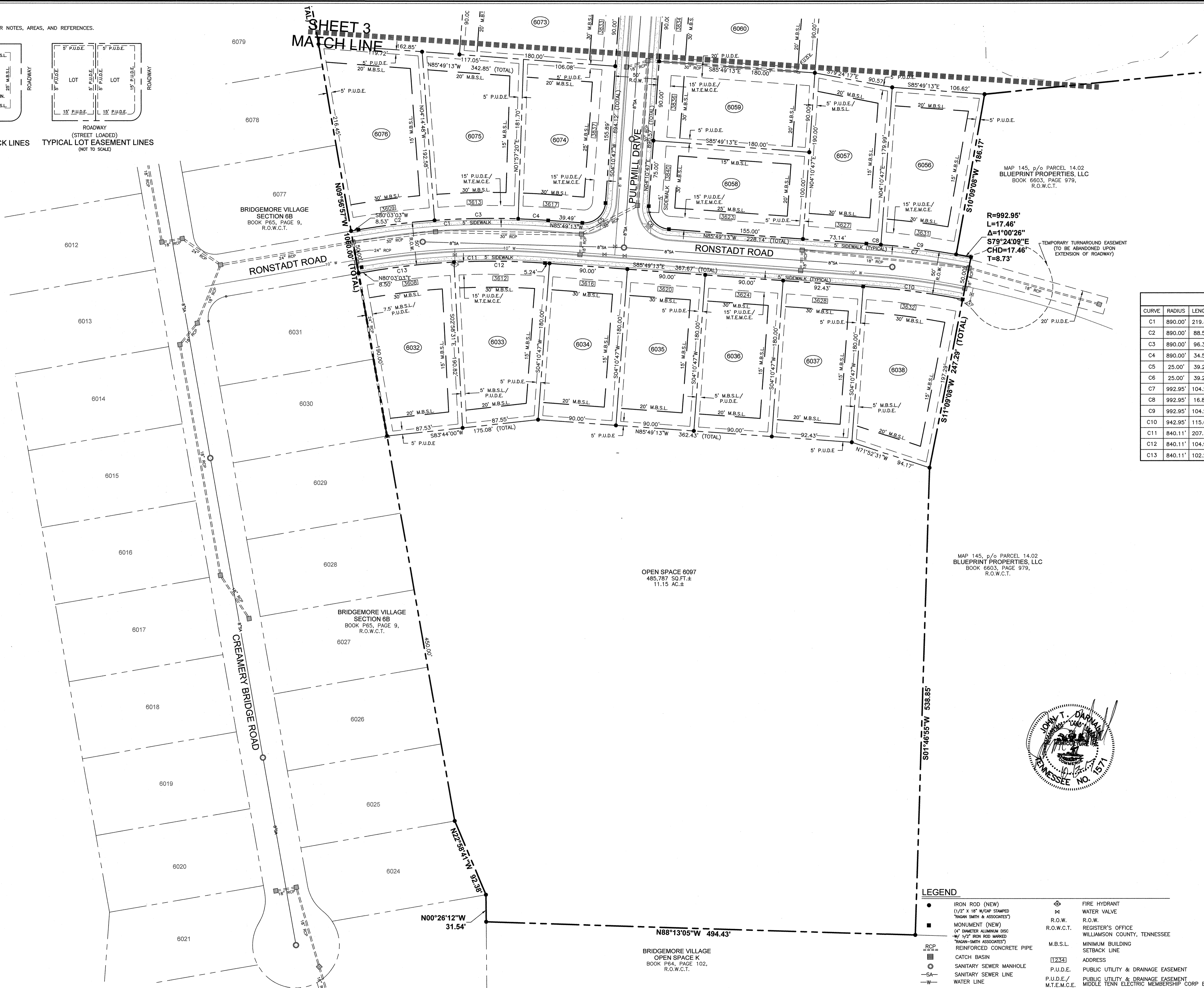
SEE INSET "A"
MATCH LINE

PLATTED BY: JIMMY FRANKS, PLS, L.P. 10/13/2017 1:52 PM
FOR THE SURVEYOR: TOM DARNALL, PLS, L.P. 10/13/2017 1:52 PM
DATE PLOTTED: 10/13/2017 1:52 PM
DRAWN BY: JIMMY FRANKS, PLS, L.P. 10/13/2017 1:52 PM

GENERAL NOTES
 1. SEE SHEET 1 OF 3 FOR NOTES, AREAS, AND REFERENCES.



SHEET 3
MATCH LINE



R=992.95'
 L=17.46'
 Δ=1°00'26"
 S79°24'09"E
 CHD=17.46'
 T=8.73'

TEMPORARY TURNAROUND EASEMENT
 (TO BE ABANDONED UPON
 EXTENSION OF ROADWAY)

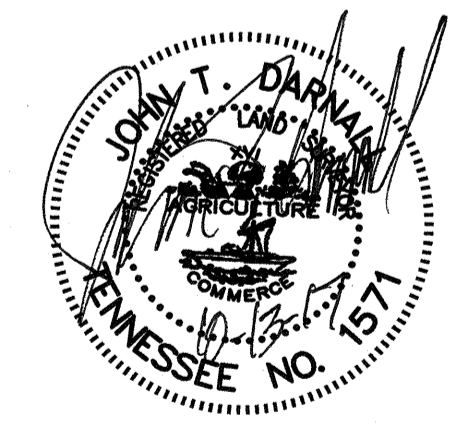
CURVE TABLE						
CURVE	RADIUS	LENGTH	CENTRAL ANGLE	CHD BRG	CHORD	TANGENT
C1	890.00'	219.47'	14°07'44"	S87°06'55"W	218.92'	110.30'
C2	890.00'	88.58'	5°42'10"	S82°54'07"W	88.55'	44.33'
C3	890.00'	96.34'	6°12'08"	S88°51'16"W	96.30'	48.22'
C4	890.00'	34.55'	2°13'27"	N86°55'56"W	34.55'	17.28'
C5	25.00'	39.27'	90°00'00"	S49°10'47"W	35.36'	25.00'
C6	25.00'	39.27'	90°00'00"	N40°49'13"W	35.36'	25.00'
C7	992.95'	104.29'	6°01'04"	N82°54'54"W	104.24'	52.19'
C8	992.95'	16.86'	0°58'22"	N85°26'15"W	16.86'	8.43'
C9	992.95'	104.29'	6°01'04"	N82°54'54"W	104.24'	52.19'
C10	942.95'	115.62'	7°01'31"	S82°24'51"E	115.55'	57.88'
C11	840.11'	207.17'	14°07'44"	N87°06'52"E	206.65'	104.11'
C12	840.11'	104.90'	7°09'15"	S89°23'54"E	104.83'	52.52'
C13	840.11'	102.27'	6°58'30"	N83°32'14"E	102.21'	51.20'

RECORDER'S INFORMATION

MAP 145, p/a PARCEL 14.02
 BLUEPRINT PROPERTIES, LLC
 BOOK 6603, PAGE 979,
 R.O.W.C.T.

OPEN SPACE 6097
 485,787 SQ.FT.±
 11.15 AC.±

BRIDGEMORE VILLAGE
 SECTION 6B
 BOOK P65, PAGE 9,
 R.O.W.C.T.



FINAL PLAT

BRIDGEMORE VILLAGE
SECTION 6C
LOTS 6032-6038, 6056-6076
AND OPEN SPACE 6095-6097

11TH CIVIL DISTRICT OF WILLIAMSON COUNTY,
 TOWN OF THOMPSON'S STATION, TENNESSEE

DATE: OCTOBER 13, 2017 SCALE: 1"=50'
 JOB NO. 11-052 W.O. 0329

OWNER/DEVELOPER
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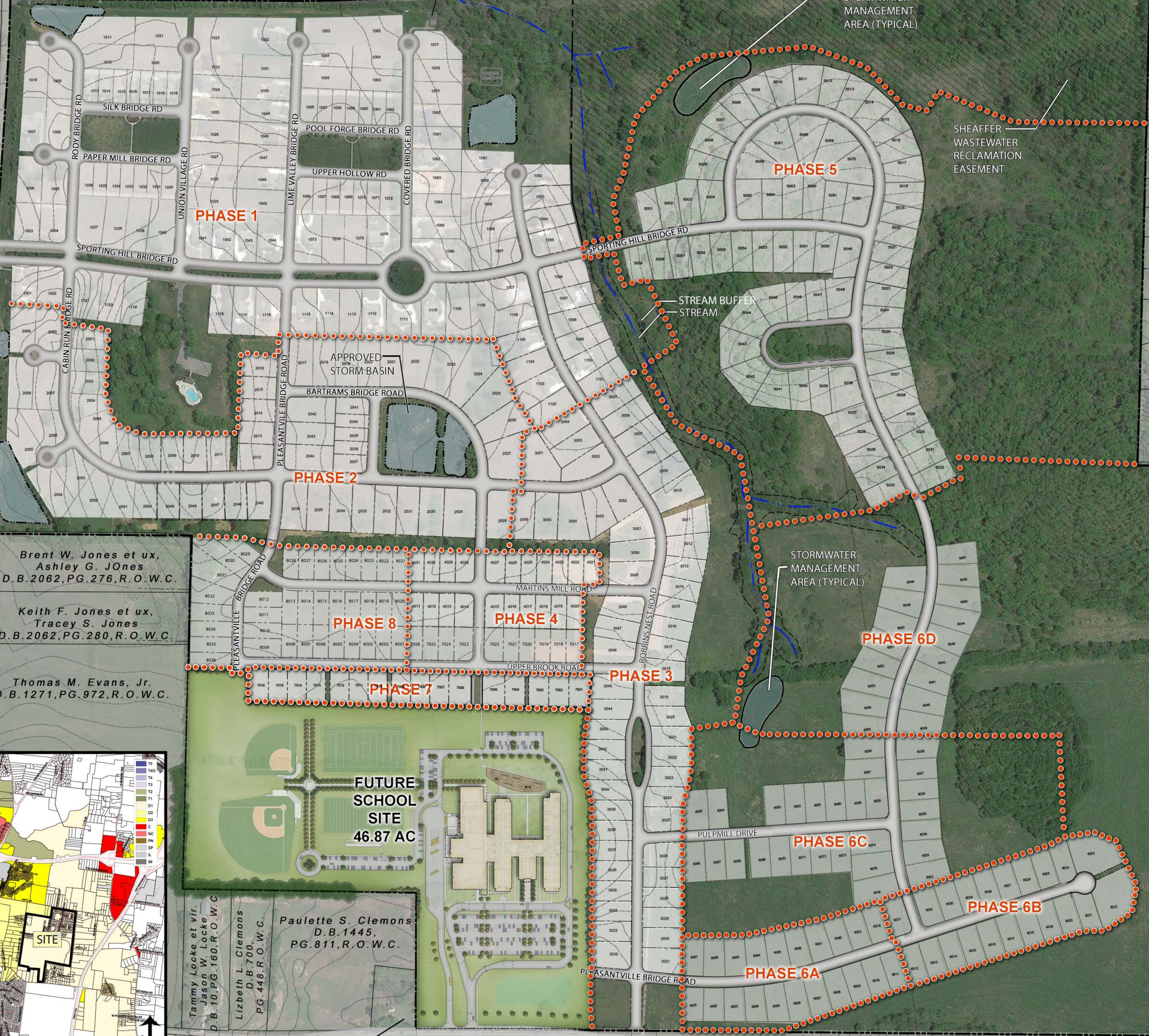
SHEET 3 OF 3

LEGEND

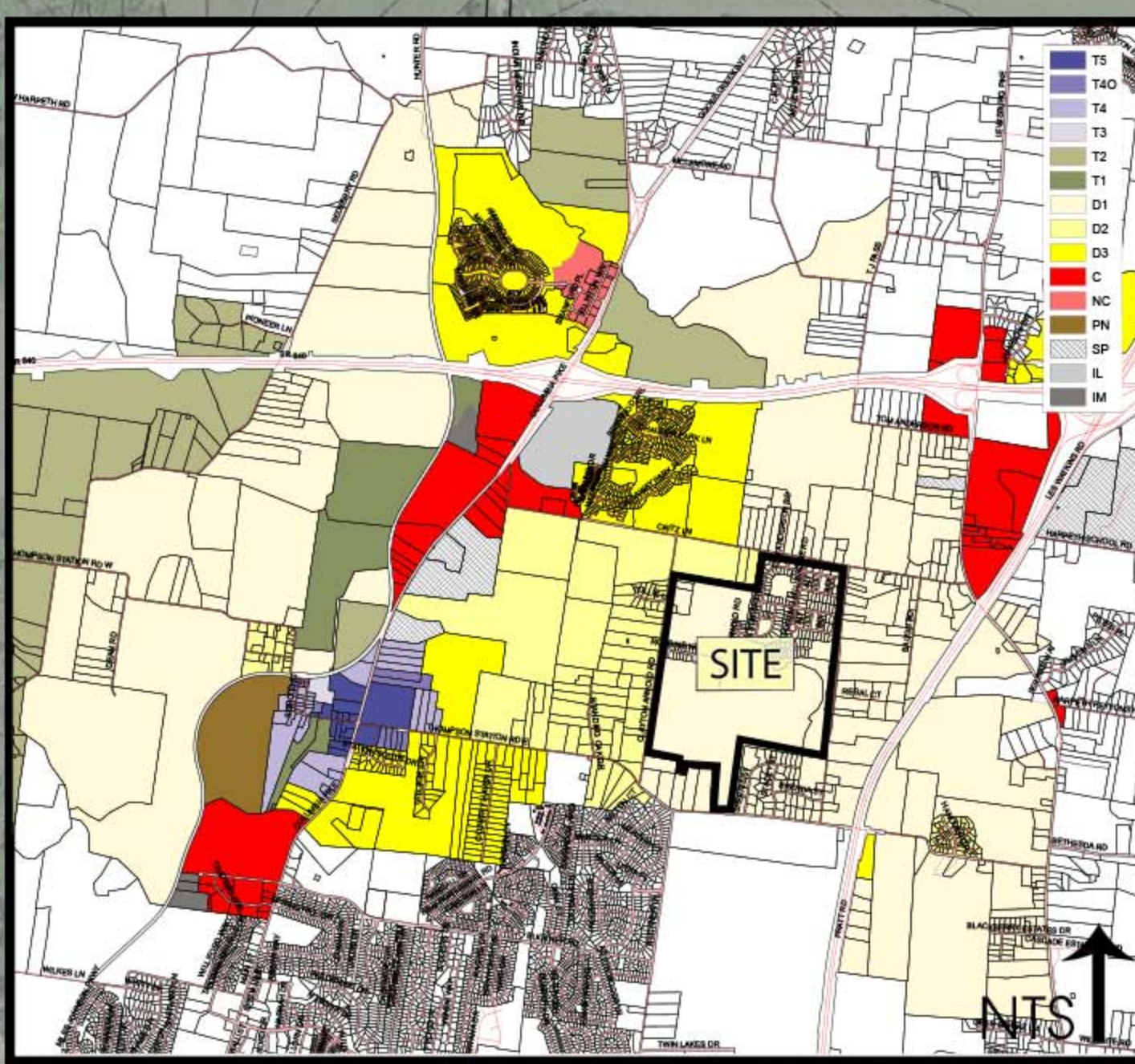
- IRON ROD (NEW)
(1/2" x 18" W/CAP STAMPED
"RAGAN SMITH & ASSOCIATES")
- MONUMENT (NEW)
(4" DIAMETER ALUMINUM DISC
W/ 1/2" IRON ROD MARKED
"RAGAN-SMITH ASSOCIATES")
- ⊠ RCP
REINFORCED CONCRETE PIPE
- ⊞ CATCH BASIN
- ⊙ SANITARY SEWER MANHOLE
- SA- SANITARY SEWER LINE
- W- WATER LINE
- ⊙ FIRE HYDRANT
- ⊞ WATER VALVE
- R.O.W. REGISTER'S OFFICE,
WILLIAMSON COUNTY, TENNESSEE
- M.B.S.L. MINIMUM BUILDING
SETBACK LINE
- [1234] ADDRESS
- P.U.D.E. PUBLIC UTILITY & DRAINAGE EASEMENT
- P.U.D.E./M.T.E.M.C.E. PUBLIC UTILITY & DRAINAGE EASEMENT
MIDDLE TENN ELECTRIC MEMBERSHIP CORP ESMT

10/13/2017 10:58:15 AM P:\P\17105\17105.dwg R:\DWG\RAGAN\17105\17105.dwg
 PLOT FILE: 17105_P17105.DWG PLOT DATE: 10/13/2017 10:58:15 AM

Site Data:
 TOTAL SITE: 498.33 ACRES
 EXISTING LOTS: 461
 PROPOSED LOTS: 16
 TOTAL LOTS: 477
 MAX DENSITY: 498 x 1.0= 498 UNITS
 SHOWN DENSITY: 0.96 UN/AC
 PROVIDED OPEN SPACE: 258.75 (52%) AC



EXISTING STORM BASIN (TYPICAL)



Brent W. Jones et ux,
 Ashley G. Jones
 D.B. 2062, PG. 276, R.O.W.C.

Keith F. Jones et ux,
 Tracey S. Jones
 D.B. 2062, PG. 280, R.O.W.C.

Thomas M. Evans, Jr.
 D.B. 1271, PG. 972, R.O.W.C.

Tammy Locke et vir,
 Jason W. Locke
 D.B. 10, PG. 160, R.O.W.C.

Lizbeth L. Clemons
 D.B. 700,
 PG. 448, R.O.W.C.

Paulette S. Clemons
 D.B. 1445,
 PG. 811, R.O.W.C.

Liz Ausdenmore
 D.B. 2639,
 PG. 111, R.O.W.C.

Dianna Howard Scales
 Pamela Howard Caulder
 D.B. 3398, PG. 890, R.O.W.C.

Wayne Thomas Cope et ux,
 Cheryl June Cope
 D.B. 829, PG. 58, R.O.W.C.

Paul A Decker et ux,
 Yvonne E. Decker
 D.B. 4853, PG. 343, R.O.W.C.

Tracy L. Howard
 John G. Snow
 D.B. 3537, PG. 889, R.O.W.C.

Michael L. Stout et ux,
 Kimberly Sue Stout
 D.B. 5746, PG. 957, R.O.W.C.

James G. Pierce
 D.B. 310,
 PG. 772, R.O.W.C.

BRIDGEMORE VILLAGE

PHASING PLAN

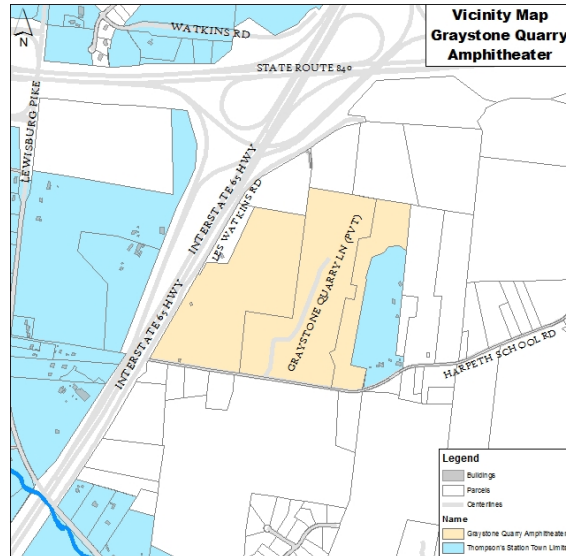
TOWN OF THOMPSON'S STATION, WILLIAMSON COUNTY, TN

Thompson's Station Planning Commission
Staff Report - Item 4 (CP 2017-007)
November 28, 2017

Request for a revision to the approved specific plan for an event venue located at 4520 Graystone Quarry.

REQUEST

The applicant, Dale & Associates on behalf of Graystone Quarry is requesting approval of a revision to the approved Specific Plan for Graystone Quarry (File 1-E-14-002) and Hoodoo Distillery (File 6-A-10-001) for an expansion to the event venue at 4520 Graystone Quarry Lane.



BACKGROUND

In May, 2010, the Board of Mayor and Aldermen approved an ordinance to rezone 57 acres along Les Watkins Road to Specific Plan for the development of a 7,500 square foot artisan stillhouse, 2,500 square foot storehouse, 4,000 square foot visitor's center, 1,000 square foot gift store and other smaller accessory buildings (project formerly known as Hoodoo Distillery). On June 22, 2010, the Planning Commission approved the site plan with the following contingencies:

1. *Prior to the issuance of any permits, the applicant will demonstrate compliance with applicable utility companies.*
2. *Prior to the issuance of grading permits, the applicant shall submit a grading plan for review and approval by the Town's Consulting Engineer.*
3. *Prior to the issuance of building permits, the applicant shall provide the Town a letter of credit for landscaping (amount to be determined after review and approval of the landscape plan).*

In June 2014, the Board of Mayor and Alderman approved an ordinance to rezone 75.8 acres along Harpeth School Road to Specific Plan for the development of an event venue which includes a 12,000-square foot event center, a 5,000-square foot wedding chapel and an amphitheater for up to 5,000 people with accessory structures for the facility. On September 23, 2014, the Planning Commission approved the site plan with the following contingencies:

1. *Prior to the issuance of grading permits, the applicant shall provide a slope analysis for the location of each building to determine slope.*
2. *Prior to issuance of building permits, the applicant shall obtain approval from Williamson County Sewage Disposal.*

3. *Prior to issuance of building permits, the applicant shall post a bond in the amount of \$33,000 for landscaping.*
4. *Prior to occupancy, an irrigation system shall be installed for all landscaped areas within the parking lot and around the buildings.*
5. *The use of current technology that includes but may not be limited to, steerable sound systems or directional loudspeakers be utilized for the amphitheater.*
6. *Portable restrooms shall be used temporarily on a case by case basis and shall be removed immediately after the event.*
7. *The project site is required to maintain 50% of the site as open space and shall conform to landscaping requirements.*
8. *Any change of use or expansion of the project site shall conform to the requirements set forth within the Zoning Ordinance and shall be approved prior to the implementation of any changes to the project.*
9. *The project approval for Phase 2 shall conform to the overall development plan and all traffic mitigation measures shall be completed.*

ANALYSIS

Revisions

The applicant is requesting that both sites zoned Specific Plan be combined into one project, Graystone Quarry with the following changes:

1. Increased capacity for the amphitheater from 5,000 to 7,500 seats which will include bench seating.
2. Increase to the “artist compound” from one accessory building to two accessory buildings.
3. Relocate the access for the amphitheater from Harpeth School to Les Watkin Road with a new driveway network throughout the 57-acre site (formerly Hoodoo Spirits) and to add amphitheater parking along with the employee and bus parking.

Open Space

Open space requirements within the Specific Plan zone were 40% for residential land uses and 50% for non-residential land uses. The applicant is proposing approximately 74% or 98 acres of the overall site as undisturbed/natural condition.

Parking

All parking is provided on site. One parking space is required for every six fixed seats or one space for every 50 square feet without permanent seating for assembly uses, thereby requiring 2,591 spaces for this event venue. The project proposes to provide 3,187 parking spaces which exceeds the maximum allowable parking. In order to exceed the maximum parking, the project will be subject to low impact design (LID) which requires 50% of the parking area to utilize LID. The existing parking lot for the wedding and event center has 137 paved parking spaces and two new paved areas will provide 120 spaces for bus and employee parking. The remaining 2,930 spaces are grass parking areas which is a low impact parking surface. Therefore, the proposed parking meets the requirement to provide 50% of the parking area as LID.

Traffic Study Mitigation

Given the change of access for the amphitheater an updated traffic study was completed. The traffic study is currently under review by the Town’s Consulting Traffic Engineer. The study makes the following recommendations and conclusions:

1. *In the vicinity of the project site, the existing cross-section of Les Watkins Road includes approximately 24 feet of pavement, striped as two travel lanes with limited shoulders. Because of the nature of the events planned on the project site, only one lane will be used at a time (northbound lane for entering traffic before a performance and southbound lane for exiting traffic after a performance). Also, Les Watkins Road ends north of the project site, providing access to only three residential properties. Therefore, no improvements to Les Watkins Road will be needed.*

2. *In conjunction with the proposed amphitheater, trained personnel should be provided before and after on-site events in order to direct traffic at the intersections within the study area. Specifically, personnel should be provided from 5:00-8:00 PM and 9:00-12:00 PM at the following intersections in order to facilitate safe and efficient traffic operations into and out of the project site:*
 - *Lewisburg Pike and Harpeth School Road*
 - *Les Watkins Road and the project exit.*

3. *For the purposes of this study, consideration was given to the available sight distance at the project access. Based on guidelines included in A Policy on Geometric Design of Highways and Streets, which is published by the American Association of State Highway and Transportation Officials (AASHTO) and commonly known as The Green Book, the minimum stopping sight distance for a speed limit of 40 mph is 305 feet. This is the distance that a motorist on Les Watkins Road will need to come to a stop if a vehicle turning from the project creates a conflict. Also, based on The Green Book, the minimum intersection sight distance is 445 feet. This is the distance that a motorist on the project site will need to safely complete turns onto Les Watkins Road. Currently, at the project access, there is adequate sight distance in each direction of Les Watkins Road. Also, turns to and from the project site should be facilitated by trained personnel, as described above.*

Noise

The open-air amphitheater is located at the bottom of the quarry with surrounding wall heights that vary from 40 to over 90 feet in height. The amphitheater that is approximately 2,200 feet from Harpeth School Road and approximately 1,200 feet from the nearest residence. It is anticipated that this location with the existing features and distances will provide some reduction in noise levels that carry. A noise study was prepared and recommended “the use of current technology available in the professional sound systems with steerable or directional loudspeakers.” This mitigation measure was incorporated into the contingencies for project and are still applicable contingencies for approval.

Architecture

The proposed buildings for the amphitheater are setback behind the pavilion and the barn used for weddings and other events. The proposed buildings will be consistent with the existing architecture and materials on site for the event venue and will be reviewed by the Design Review Commission prior to the issuance of any building permit.

RECOMMENDATION

Staff recommends the Planning Commission recommend the adoption of an ordinance approving the modifications to the Specific Plan for the expansion of Graystone Quarry with the following contingencies:

1. Prior to issuance of building permits, the applicant shall obtain all necessary approvals from Williamson County Sewage Disposal.
2. The use of current technology that includes but may not be limited to, steerable sound systems or directional loudspeakers be utilized for the amphitheater.
3. Portable restrooms shall be used temporarily on a case by case basis and shall be removed immediately after the event.
4. Prior to the issuance of grading or building permit, the all traffic mitigation shall be completed in accordance with the traffic study dated November 2017.
5. Any change of use or expansion of the project site shall conform to the requirements set forth within the Zoning Ordinance and shall be approved prior to the implementation of any changes to the project.

ATTACHMENTS

Traffic Study dated November 2017

Site Plan Packet

Graystone Quarry Amphitheater Concept Plan

PROJECT SCOPE

Graystone Quarry is a proposed multi-use event center development on the north side of Harpeth School Road in the southeast quadrant of the intersection of Interstate 65 and 840 in Thompson's Station, TN. The site will be designed using upscale rural architecture, careful landscape features, and will incorporate the unique yet beautiful landscape of the property. The aim is to provide Thompson's Station and the surrounding community with a unique and attractive destination to hold weddings, reunions, concerts, corporate events, or other social gatherings.

The purpose of this plan is to provide an update to the previously approved Graystone Quarry. Graystone Quarry has purchased the adjacent property that was previously approved as Hoodoo. Graystone Quarry will be utilizing this property for general admission parking during amphitheater events. The plans illustrate the updated parking concept. Other updates include expanding the amphitheater seating and stage/buildings, increasing the footprint of the Green Room, and providing ancillary uses. No change of use is being proposed on these plans than what was previously approved.

The development will incorporate three different uses in three separate areas. A summary of each area of the development is as follows:

Residential

- An approximately 5,000 square foot single family residential house will be constructed in an area along the east side of the property. This will be the residence of the owner/operator of the development.

Commercial Phase 1 - Event Center & Wedding Chapel/Pavillion
- The event center building called the 'Barn' will be constructed overlooking the existing quarry lake. Utility Infrastructure for the 'Barn' will be designed to accommodate a building size of up to 12,000 Sq. Ft. High-end rustic architectural features will be implemented to stylistically enhance and blend the beautiful natural surroundings. Using stone, timber and careful landscaping, the event center will be a beautiful venue for weddings, reunions, corporate gatherings, or community events.

- A courtyard will be constructed out front of the building leading down to an existing lake. The lake will be cleaned up and it sits against existing vertical stone walls providing a striking view from the event center.

- A Chapel/Pavillion will also be constructed near the main building. Utility Infrastructure for this building will be designed to accommodate a building size of up to 5,000 Sq. Ft. This structure will be used for the wedding ceremony or other community event. This pavillion will incorporate similar rustic architecture to match the main building and blend into the surrounding landscape.

- A storage & maintenance building will also be constructed on the premises to house equipment and tools required for maintenance of the property. This building will be tucked into a hidden area that is surrounded by the existing quarry walls, and supplemental landscaping will be installed to hide the building from view.

Phase 2 - Amphitheater

- A state-of-the-art outdoor amphitheater will be installed in the existing quarry's main area. Approximately 100-foot vertical stone walls provide a stunning backdrop for potential concert or community gatherings or events.

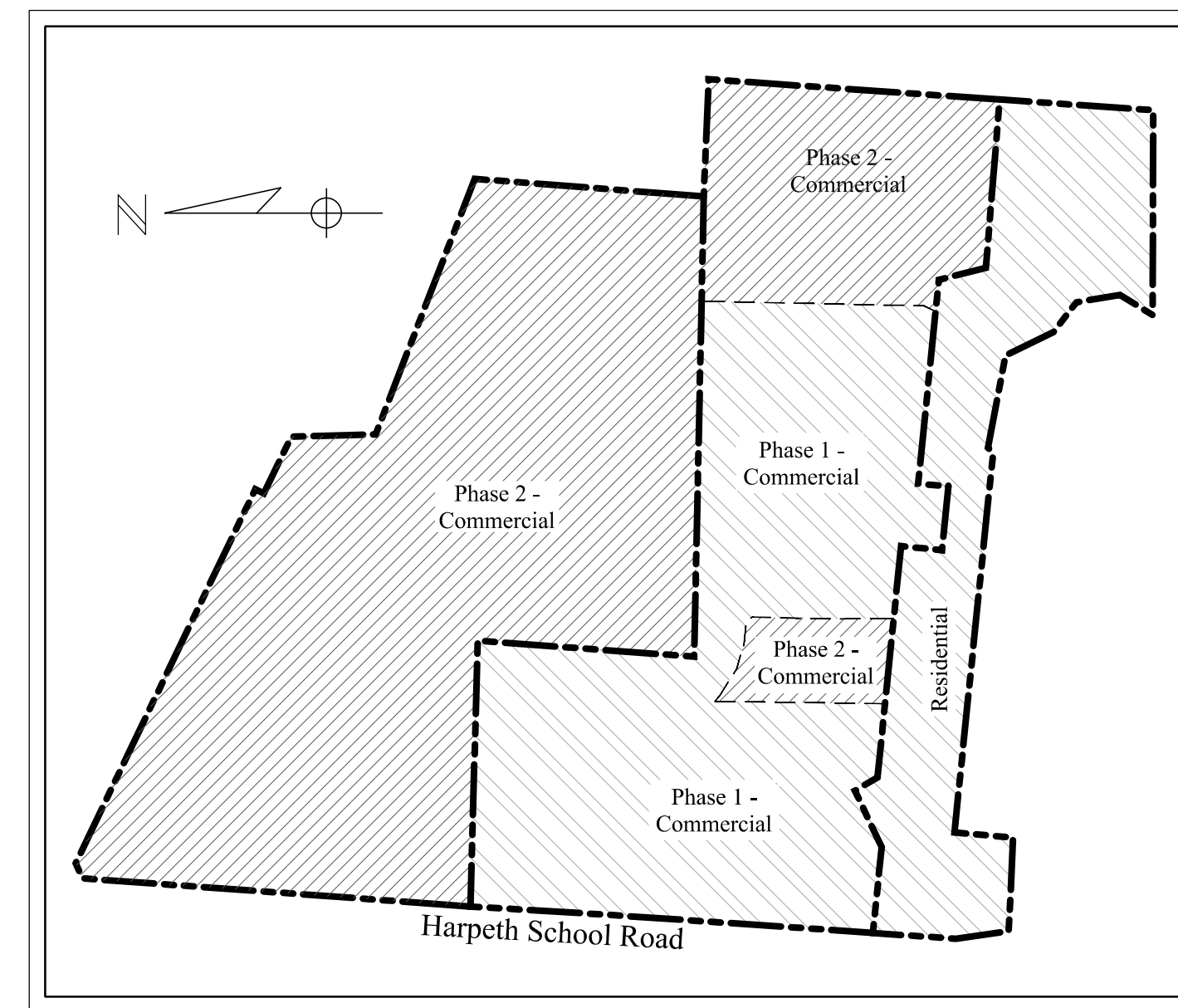
- An approximately 2,500 square foot permanent stage will be installed at the low narrow end of the natural amphitheater. An approximately 5,400 square foot Green Room will be installed behind the stage for the performers, and will contain permanent restroom facilities with showers.

- Only the minimal amount of disturbance will take place to prepare the amphitheater for events. As much of the natural surroundings will be preserved and it is not anticipated to disturb the quarry walls except for the activity required to ensure stability and safety of the walls.

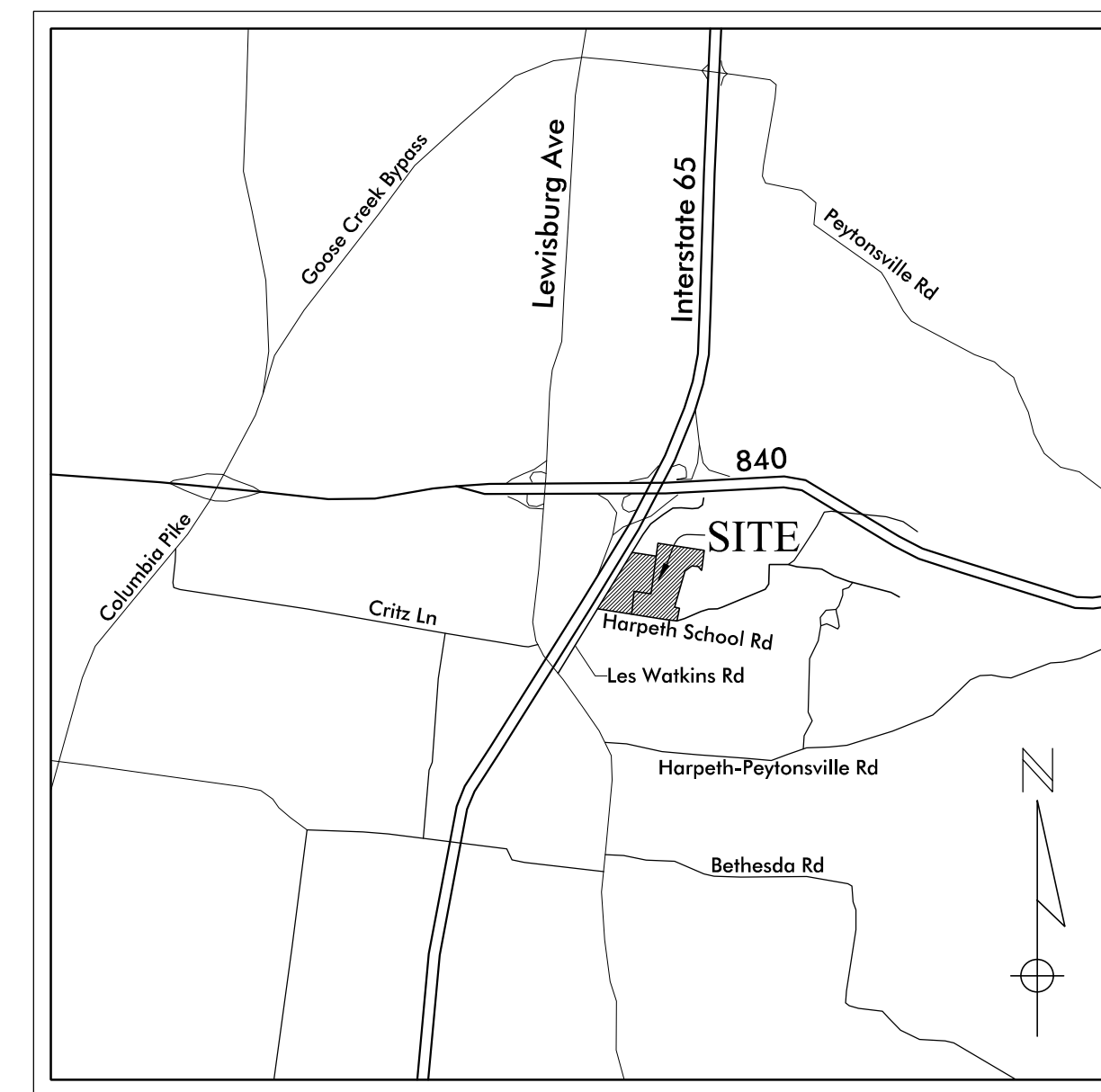
- The lower portion of the quarry will be a gently sloping grass and gravel floor for event seating. There is an approximately 1-acre shelf on the east side of the main seating area that will be an open area for vendors, portable restrooms, picnic tables, and VIP seating on the western edge.

- All food vendors will be required to prep and clean up off site. Portable restroom trailers are anticipated to be parked on site for the event and immediately removed after event is finished.

Map 144, Parcel 2.02
4520 Graystone Quarry Lane
Thompson's Station, Williamson County, Tennessee



SITE MAP
N.T.S.



VICINITY MAP
N.T.S.

DEVELOPMENT SUMMARY

Owners / Developer Graystone Quarry Events 4520 Graystone Quarry Lane Franklin TN, 37064 Rick McEachern (408) 621-0746	Property Information Graystone Quarry Events 4520 Graystone Quarry Lane Franklin TN, 37064	Electric Service Middle Tennessee Electric Membership Corporation 2156 Edward Curd Lane Franklin, TN 37067
Civil Engineer and Surveyor Dale & Associates (Adam Seger, PE) 516 Heather Place Nashville, Tennessee 37204 615.297.5166	Floodnote This property does not lie within a Flood Hazard Area as depicted on the current Flood Insurance Rate Map, (FIRM) Numbers 47187C0355F & 47187C0365F. Dated Sept. 29, 2006	Water Service HB & TS 505 Downs Blvd Franklin, TN 37064 615.794-7796
	Benchmark Chiseled Square on SE Corner of Headwall Located near the SW Corner of the Property on the South Side of Harpeth School Access Rd. NGVD Elevation 768.37.	Sewer Service Septic On Site
		Utility Location Tennessee One-Call 800.351.1111

SITE DATA

Zoning: SP	
Total Property Area	133.1 Ac.
Residential	872672 sq ft or 20.0 Ac.
Phase I	1302055 sq ft or 20.9 Ac.
Phase II	3788025 sq ft or 87.0 Ac.
Drives/ Sidewalks	9.3 Ac.
Building	0.7 Ac.
Parking (Grass)	21.1 Ac.
Septic	4.0 Ac.
Open Space	98.0 Ac.
Impervious Surface Ratio	0.08 Ac.
Floor Area Ratio	0.004 Ac.
Front Setback	20 Ft.
Side Setback	20 Ft.
Rear Setback	20 Ft.
Parking Requirements	
PHASE I	
Pavilion	1 per 6 seats 176 seats = 30 stalls (paved)
Barn	1 per 50 sq ft (5,350 sq ft - assembly area) = 107 stalls (paved)
PHASE II	
Amphitheater	1 per 6 seats (7,148 permanent seating) = 1191 stalls 1 per 50 sq ft (3,580 sq ft, temporary seating) = 72 stalls
Total Required	1,263 stalls
	General Admission - 2,663 Stalls (Grass) Premier Parking - 267 stalls (Grass) Bus Parking - 32 Stalls (Paved) Employee Parking - 88 Stalls (Paved)
Total Provided (Phase I and Phase II)	3,187 Stalls (2,930 grass + 257 paved)

SUMMARY OF REVISIONS

	Previously Approved	Proposed
Phase I		
Building Sq Ft	6,585 sq ft (Pavilion) 4,230 sq ft (Barn) 3,200 sq ft (Maintenance)	Same
Parking	30 stalls (Pavilion) 107 stalls (Barn)	Same
Phase II		
Building Sq Ft	4,250 sq ft (Artist Compound)	11,767 (Artist Compound)
Seating Capacity	5,000 seats (Amphitheater)	7,500 seats (Amphitheater)
Parking	780 stalls	3,178 total stalls

Sheet Schedule

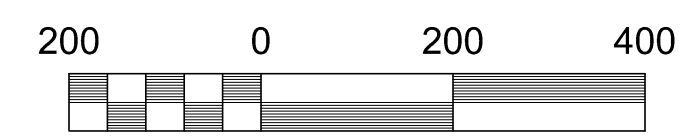
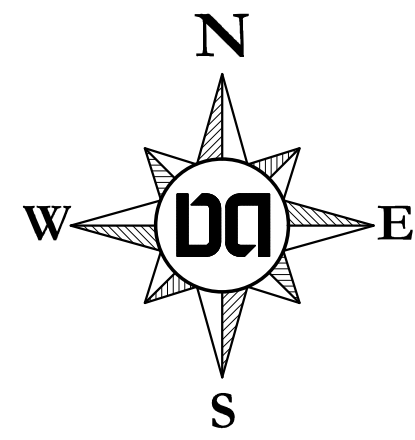
1	C0.0	Cover Sheet
2	C1.0	Overall Master Plan
3	C2.0	Layout and Utility Plan - Sheet 1
4	C2.1	Layout and Utility Plan - Sheet 2
5	C3.0	Grading and Drainage Plan - Sheet 1
6	C3.1	Grading and Drainage Plan - Sheet 2



Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying
516 Heather Place
Nashville, TN 37204
(615) 297-5166
D&A Project #14038
Graystone Quarry
Amphitheatre
C0.0

Drawing Date:
October 12, 2017

Revisions



Scale 1" = 200'

Development Summary

Owners / Developer
Graystone Quarry Events
Rick McEachern
(408) 621-0746

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Line Table

L1	N 20°56'4" W	52.22
L2	S 58°49'2" E	30.00
L3	N 30°49'7" E	197.52
L4	S 86°30'18" E	107.67
L5	N 53°15'49" W	119.85
L6	S 85°18'09" W	139.11
L7	S 42°33'44" W	118.32
L8	S 68°58'42" W	167.31
L9	S 31°21'02" E	26.28
L10	S 86°36'50" W	166.59
L11	N 80°58'30" W	266.98
L12	N 79°10'55" W	95.81
L13	N 10°49'05" E	200.65
L14	S 79°10'55" E	129.03
L15	S 64°43'58" W	82.09

Utility Notes:

Water - Graystone Quarry will be served by public water through HB & TS Utility Company.

Sewer - Graystone Quarry utilizes septic to treat all sewer in the development. The wedding event facility and associated buildings, the residential house, and the permanent bathrooms at the Amphitheater will all be served through a private septic system that has been reviewed, approved, and installed in accordance with Williamson County. During amphitheater events, portable toilets will be utilized for the general public.

Electric - Graystone Quarry will be served by MTEMC for electric.

Environmental Resource Notes:

A full boundary and topographic survey was performed along with a preliminary jurisdictional determination. There is an existing stream running along the frontage of the property near the intersection of Harpeth School Road and Les Watkins Road. The project will implement the required buffers and will not disturb this area. No environmental resources are proposed to be disturbed other than the select clearing of trees.

Stormwater Notes:

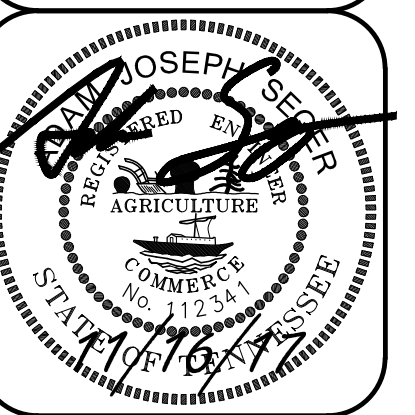
All stormwater on site has been designed to meet the regulations. A lake is constructed on the south side of the development that captures most of the runoff from the developed portion of the site. This lake treats both the water quantity and water quality for the development. The parking areas shall be seeded with grass, with minimal to no impervious surfaces, these areas are low impact. The main drive will be asphalt as well as the bus and employee parking areas. The pedestrian walkways to be a solid surface.

Landscape Notes:

Care shall be taken to minimize tree removal. The areas shown [hatched] shall be the only areas where possibly trees less than 18" may be removed, these areas are approximately 11% of the total treed areas. It is not anticipated that trees 18" and greater will be removed.

Graystone Quarry Amphitheater

Map 144 Parcel 2.02
Thompson's Station, Williamson County, Tennessee

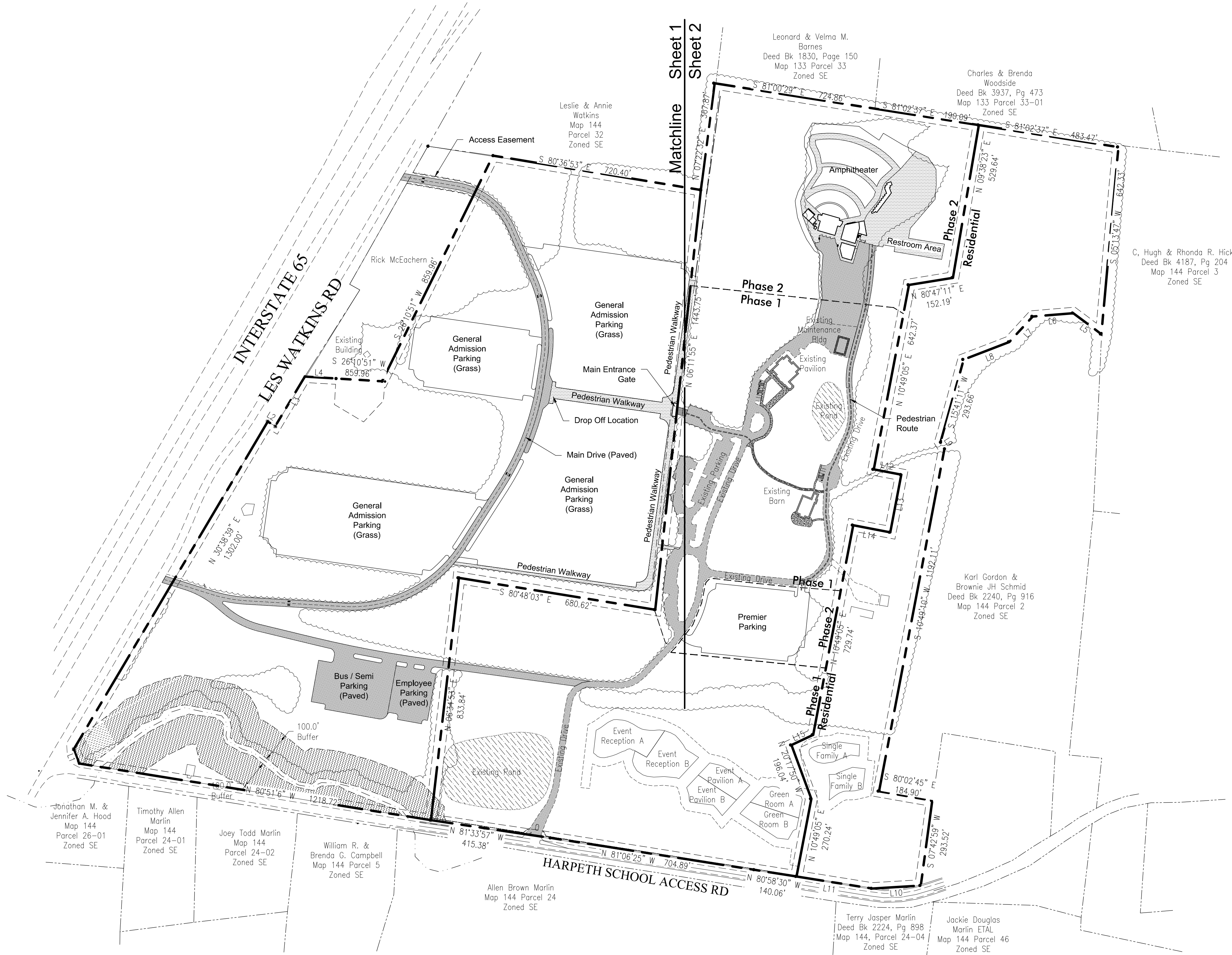


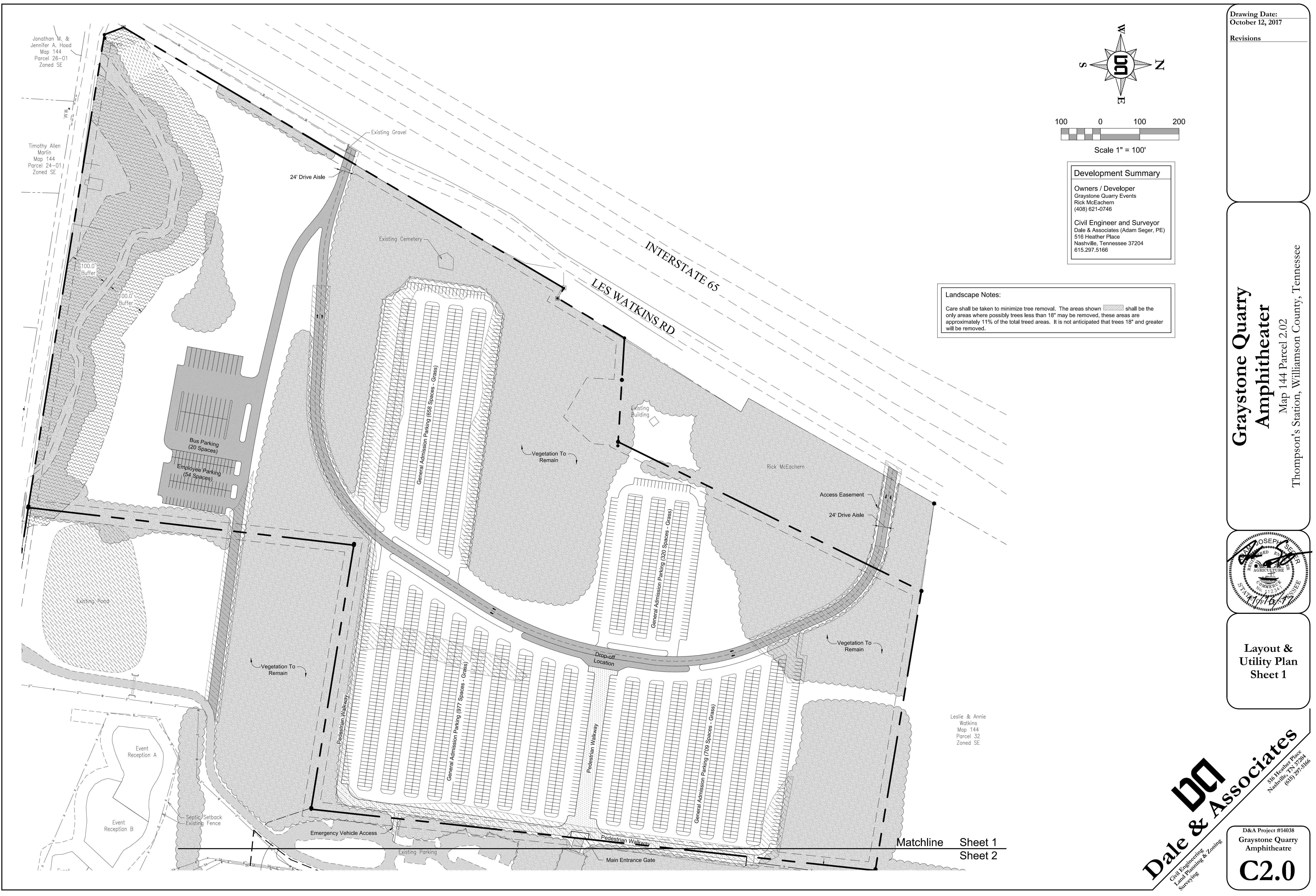
Overall Layout Plan

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

516 Heather Place
Nashville, TN 37204
(615) 297-5166

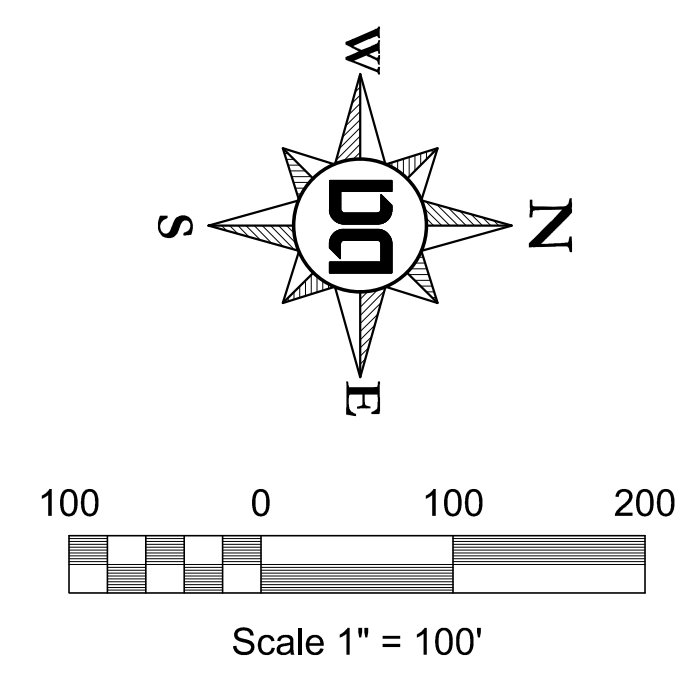
D&A Project #14038
Graystone Quarry Amphitheater
C1.0





Jonathan M. & Jennifer A. Hood
Map 144
Parcel 26-01
Zoned SE

Timothy Allen Morin
Map 144
Parcel 24-01
Zoned SE



Development Summary

Owners / Developer
Graystone Quarry Events
Rick McEachern
(408) 621-0746

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Landscape Notes:

Care shall be taken to minimize tree removal. The areas shown [hatched pattern] shall be the only areas where possibly trees less than 18" may be removed, these areas are approximately 11% of the total treed areas. It is not anticipated that trees 18" and greater will be removed.

Drawing Date:
October 12, 2017

Revisions

Graystone Quarry Amphitheater
Map 144 Parcel 2.02
Thompson's Station, Williamson County, Tennessee



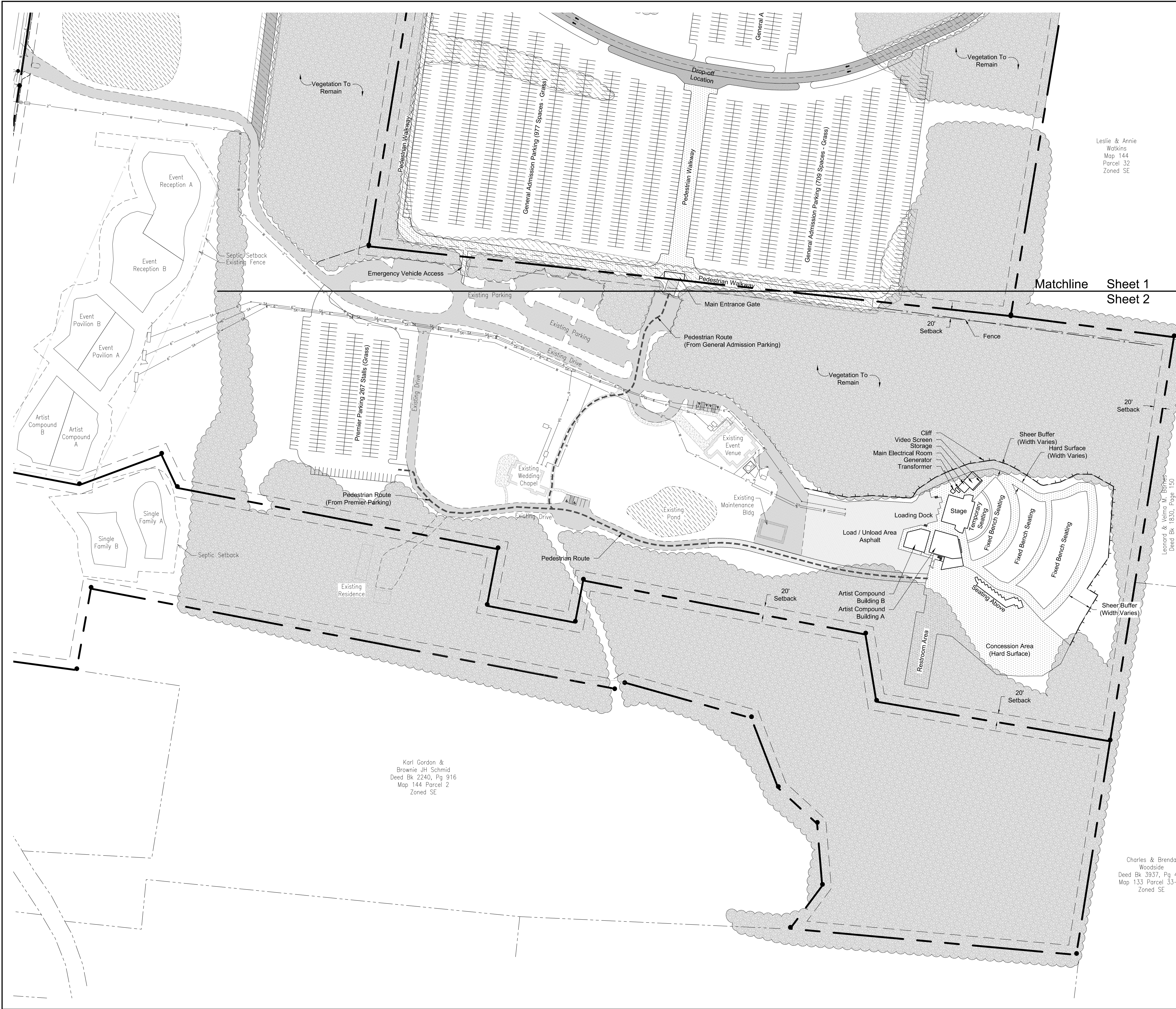
Layout & Utility Plan Sheet 1

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

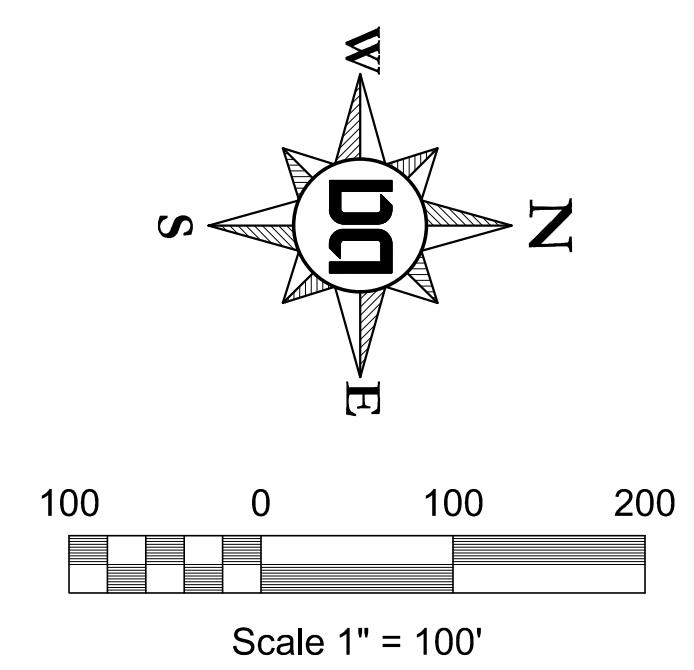
516 Heather Place
Nashville, TN 37204
(615) 297-5166

D&A Project #14038
Graystone Quarry Amphitheater
C2.0

Matchline Sheet 1
Sheet 2



Leslie & Annie
Watkins
Map 144
Parcel 32
Zoned SE



Development Summary

Owners / Developer
Graystone Quarry Events
Rick McEachern
(408) 621-0746

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Landscape Notes:

Care shall be taken to minimize tree removal. The areas shown [hatched pattern] shall be the only areas where possibly trees less than 18" may be removed, these areas are approximately 1% of the total treed areas. It is not anticipated that trees 18" and greater will be removed.

Karl Gordon &
Brownie JH Schmid
Deed Bk 2240, Pg 916
Map 144 Parcel 2
Zoned SE

Charles & Brenda
Woods
Deed Bk 3937, Pg 47
Map 133 Parcel 33-0
Zoned SE

Drawing Date:
October 12, 2017

Revisions

Graystone Quarry Amphitheater
Map 144 Parcel 2.02
Thompson's Station, Williamson County, Tennessee



Layout & Utility Plan
Sheet 2

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

516 Heather Place
Nashville, TN 37204
(615) 297-5166

D&A Project #14038
Graystone Quarry Amphitheatre
C2.1



Jonathan M. & Jennifer A. Hood
Map 144
Parcel 26-01
Zoned SE

Timothy Allen
Morin
Map 144
Parcel 2A-01
Zoned SE

100.0' Buffer
100.0' Buffer

Bus Parking (20 Spaces)
Employee Parking (20 Spaces)

Existing Pond

Event Reception A

Event Reception B

Service Setback Existing Fence

Emergency Vehicle Access

Existing Parking

Existing Gravel

Existing Cemetery

INTERSTATE 65
LES WATKINS RD

Existing Building

Vegetation To Remain

Access Easement

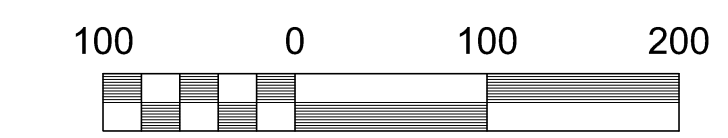
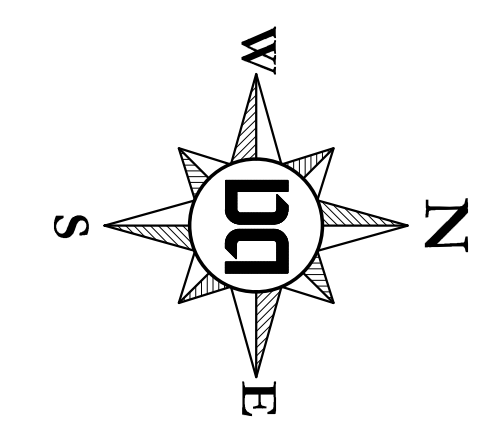
24' Drive Aisle

Vegetation To Replant

Lester & Annie Watkins
Map 144
Parcel 32
Zoned SE

Matchline Sheet 1
Sheet 2

835
840
845
850
855
860
865



Scale 1" = 100'

Development Summary

Owners / Developer
Graystone Quarry Events
Rick McEachern
(408) 621-0746

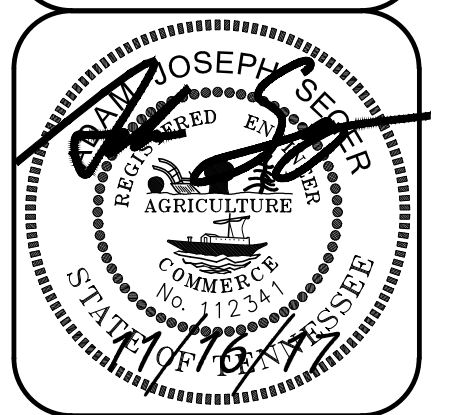
Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Drawing Date:
October 12, 2017

Revisions

Graystone Quarry Amphitheater

Map 144 Parcel 2.02
Thompson's Station, Williamson County, Tennessee

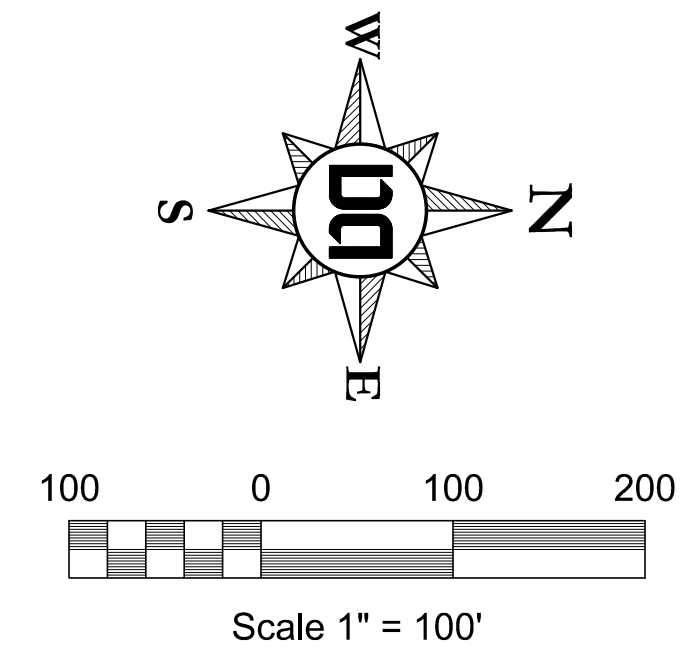
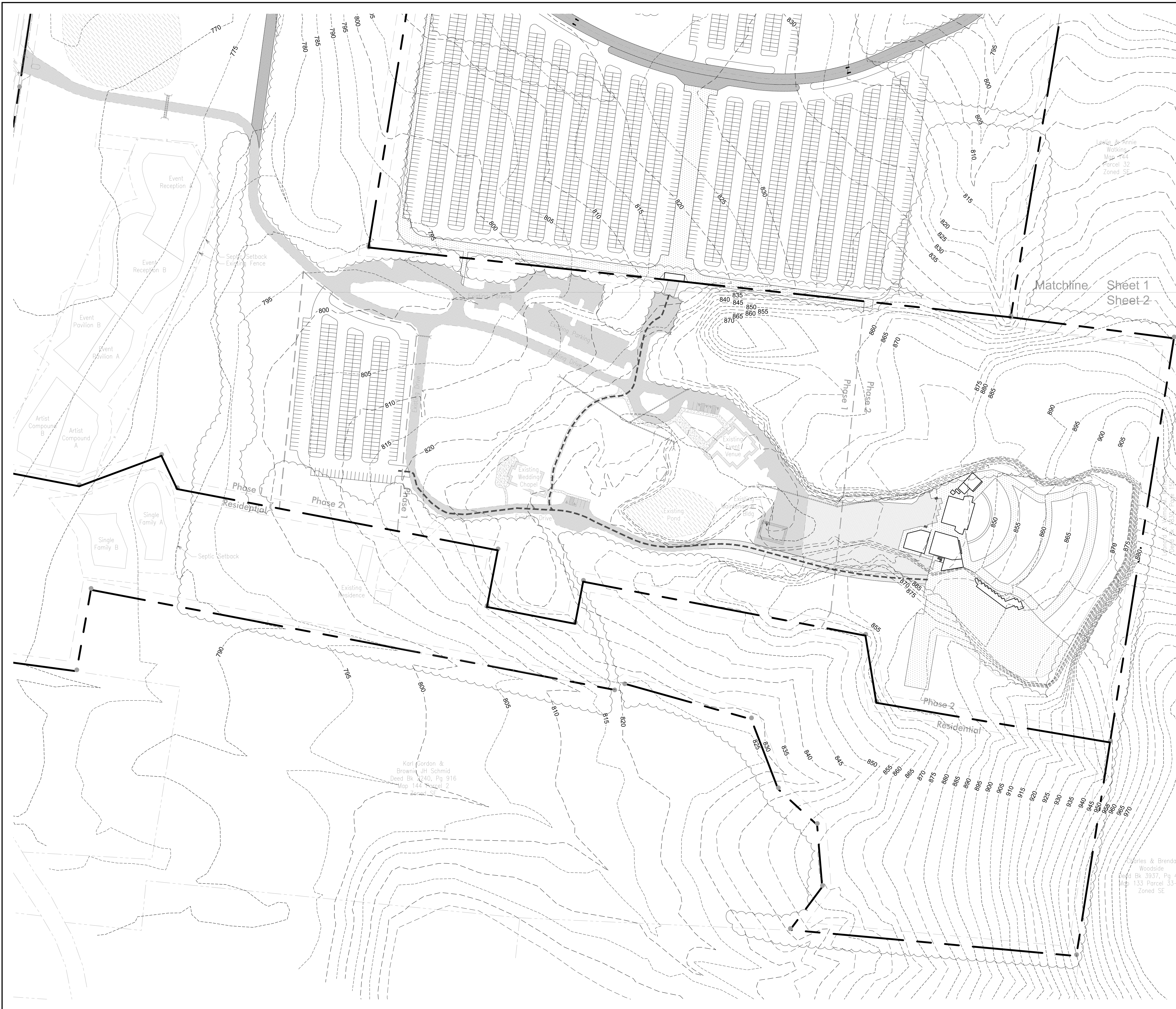


Grading and Drainage Plan Sheet 1

Dale & Associates
Civil Engineering
Land Planning & Zoning
Surveying

D&A Project #14038
Graystone Quarry Amphitheater
C3.0

516 Heather Place
Nashville, TN 37204
(615) 297-5166



Development Summary

Owners / Developer
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 Nashville, Tennessee 37204
 615.297.5166

Drawing Date:
 October 12, 2017

Revisions

Graystone Quarry Amphitheater

Map 144 Parcel 2.02
 Thompson's Station, Williamson County, Tennessee



Grading and Drainage Plan
 Sheet 2

Dale & Associates
 Civil Engineering
 Land Planning & Zoning
 Surveying

516 Heather Place
 Nashville, TN 37204
 (615) 297-5166

D&A Project #14038
 Graystone Quarry Amphitheater
C3.1

F i s c h b a c h
Transportation Group, LLC
Traffic Engineering and Planning

Traffic Impact Study

Graystone Quarry Amphitheater
Les Watkins Road
Thompson's Station, TN

Prepared November 2017

FTG, LLC
P.O. Box 682736
Franklin, TN 37068
(615) 771-8022 phone
Gillian@FTGtraffic.com

Traffic Impact Study

**Graystone Quarry Amphitheater
Les Watkins Road**

Thompson's Station, Tennessee

Prepared November 2017

PREPARED BY:

Ms. Gillian L. Fischbach, P.E., PTOE
FTG, LLC
P.O. Box 682736
Franklin, TN 37068
Phone: (615) 771-8022
FTG Project Number: 10581

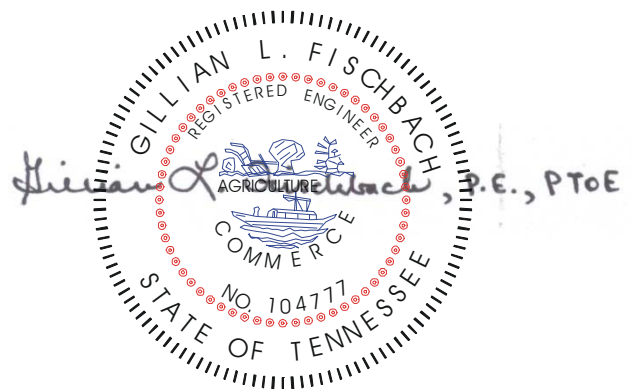


Table of Contents

1. INTRODUCTION3

2. PROJECT DESCRIPTION.....4

 FIGURE 1. LOCATION OF THE PROJECT SITE.....5

 FIGURE 2. CURRENT PROJECT SITE PLAN6

3. EXISTING SETTING7

 3.1 REGIONAL AND LOCAL ACCESS7

 3.2 EXISTING TRAFFIC VOLUMES8

 FIGURE 3. EXISTING PEAK HOUR TRAFFIC VOLUMES9

 TABLE 1. DESCRIPTIONS OF LOS FOR UNSIGNALIZED INTERSECTIONS10

 TABLE 2. EXISTING PEAK HOUR LEVELS OF SERVICE.....11

4. IMPACTS OF PROPOSED DEVELOPMENT12

 4.1 TRIP GENERATION12

 4.2 TRIP DISTRIBUTION AND TRAFFIC ASSIGNMENT13

 FIGURE 4. DIRECTIONAL DISTRIBUTION OF SITE-GENERATED TRAFFIC14

 FIGURE 5. ASSIGNMENT OF SITE-GENERATED TRAFFIC15

 4.3 CAPACITY ANALYSES.....16

 FIGURE 6. TOTAL PROJECTED PEAK HOUR TRAFFIC VOLUMES.....17

 TABLE 4. PROJECTED PEAK HOUR LEVELS OF SERVICE.....18

5. CONCLUSIONS AND RECOMMENDATIONS19

 APPENDIX A20

 APPENDIX B22

 APPENDIX C25

1. INTRODUCTION

This traffic study has been prepared in order to identify the traffic impacts of an amphitheater that is proposed to be provided on the east side of Les Watkins Road in Thompson's Station, Tennessee.

For the purposes of this study, existing traffic volumes were established, and capacity analyses were conducted for these conditions. Also, trip generation calculations were performed, and the trips which are expected to be generated by the proposed project were distributed to the roadway system. The roadways and intersections which provide access to the site were then re-evaluated to determine the traffic impacts of the proposed project. Access needs for the project were evaluated, and the necessary roadway and/or traffic control improvements were identified. This report presents the results of these analyses and the subsequent recommendations.

2. PROJECT DESCRIPTION

The location of the proposed project is shown in [Figure 1](#). As shown, the project site is located on the east side of Les Watkins Road in Thompson's Station, Tennessee. Currently, the project site includes an inactive quarry. The developer of the proposed project plans to repurpose the property as an amphitheater for live performances. The amphitheater will have a maximum capacity of 7,500 guests and a typical capacity of 5,500 guests.

The current project site plan is shown in [Figure 2](#). As shown, access to the project site will be provided on Les Watkins Road.

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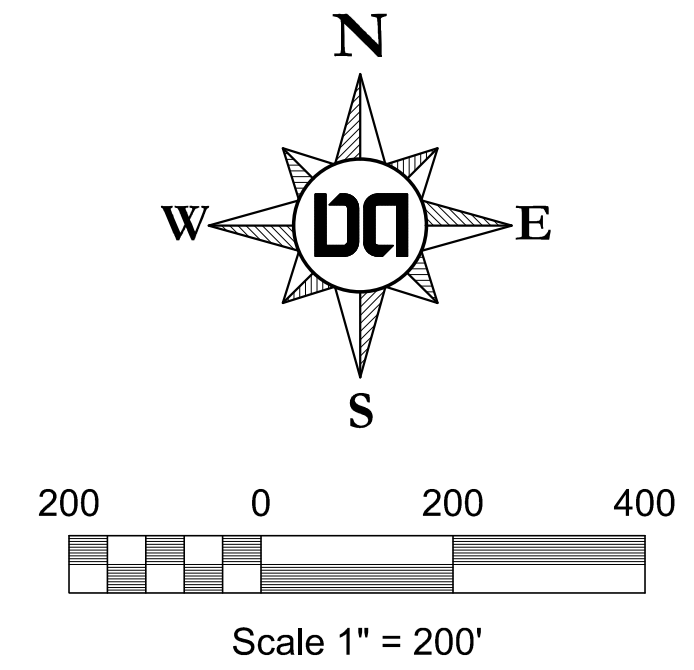


No Scale

Figure 1.
Location of the Project Site

Drawing Date:
October 12, 2017

Revisions



Development Summary

Owners / Developer
Graystone Quarry Events
Rick McEachern
(480) 621-0746

Civil Engineer and Surveyor
Dale & Associates (Adam Seger, PE)
516 Heather Place
Nashville, Tennessee 37204
615.297.5166

Line Table

L1	N 20°56'4" W	52.22
L2	S 58°49'2" E	30.00
L3	N 30°49'7" E	197.52
L4	S 86°30'18" E	107.67
L5	N 53°15'49" W	119.85
L6	S 85°18'09" W	139.11
L7	S 42°33'44" W	118.32
L8	S 68°58'42" W	167.31
L9	S 31°21'02" E	26.28
L10	S 86°36'50" W	166.59
L11	N 80°58'30" W	266.98
L12	N 79°10'55" W	95.81
L13	N 10°49'05" E	200.65
L14	S 79°10'55" E	129.03
L15	S 64°43'58" W	82.09

Utility Notes:

Water - Graystone Quarry will be served by public water through HB & TS Utility Company.

Sewer - Graystone Quarry utilizes septic to treat all sewer in the development. The wedding event facility and associated buildings, the residential house, and the permanent bathrooms at the Amphitheater will all be served through a private septic system that has been reviewed, approved, and installed in accordance with Williamson County. During amphitheater events, portable toilets will be utilized for the general public.

Electric - Graystone Quarry will be served by MTEMC for electric.

Environmental Resource Notes:

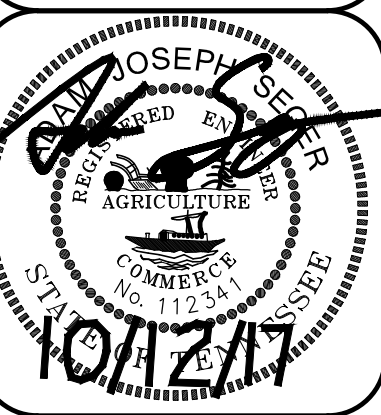
A full boundary and topographic survey was performed along with a preliminary jurisdictional determination. There is an existing stream running along the frontage of the property near the intersection of Harpeth School Road and Les Watkins Road. The project will implement the required buffers and will not disturb this area. No environmental resources are proposed to be disturbed other than the select clearing of trees.

Stormwater Notes:

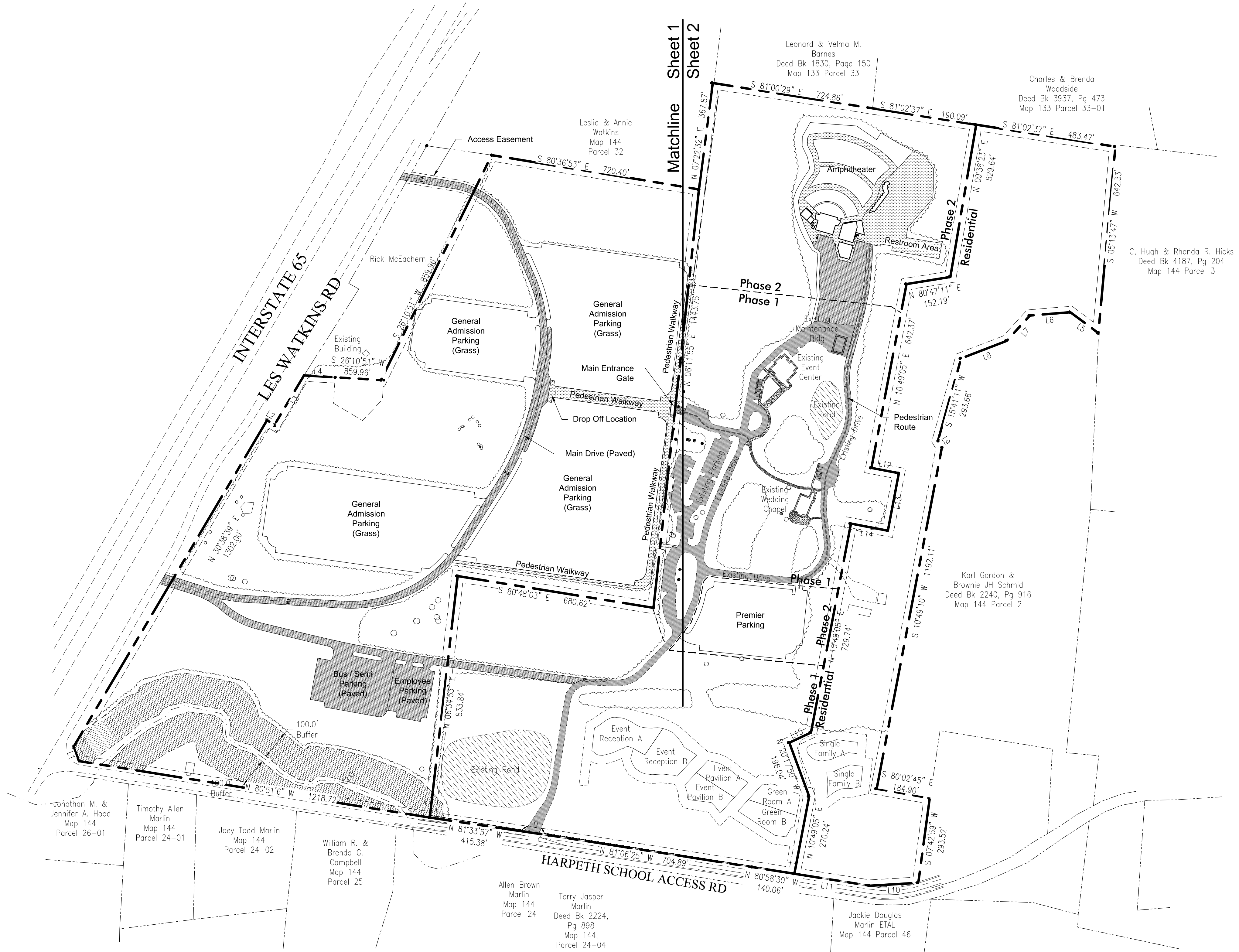
All stormwater on site has been designed to meet the regulations. A lake is constructed on the south side of the development that captures most of the runoff from the developed portion of the site. This lake treats both the water quantity and water quality for the development.

Graystone Quarry Amphitheater

Map 144 Parcel 2.02
Thompson's Station, Williamson County, Tennessee



Overall Layout Plan



Dale & Associates

Civil Engineering
Land Planning & Zoning
Surveying

516 Heather Place
Nashville, TN 37204
(615) 297-5166

D&A Project #14038
Graystone Quarry Amphitheater
C1.0

3. EXISTING SETTING

3.1 REGIONAL AND LOCAL ACCESS

Lewisburg Pike and Les Watkins Road provide regional and local access to the project site. In the vicinity of the project site, Lewisburg Pike is a major two-lane arterial roadway that travels in a north-south direction between downtown Franklin, Mack Hatcher Parkway, Goose Creek Parkway, State Route 840, the Town of Thompson's Station, the City of Spring Hill, and rural jurisdictions farther south. The posted speed limit on Lewisburg Pike is 55 mph.

North of Lewisburg Pike, Les Watkins Road travels in a north-south direction to the project site and then dead-ends. This facility is approximately 24 feet wide and includes one travel lane in each direction and narrow shoulders.

The intersection of Lewisburg Pike and Harpeth School Road is a T-intersection that is controlled by a stop sign on Harpeth School Road. A one-lane approach is provided on each leg of this intersection.

3.2 EXISTING TRAFFIC VOLUMES

In order to provide data for the traffic impact analysis, peak hour traffic volumes were counted at the intersection of Lewisburg Pike and Harpeth School Road. This data was collected from 4:00 – 7:00 PM on a typical weekday in November 2017 when schools were in session. Although the peak hour occurs from 4:00-5:00 PM, data provided by the owner of the proposed project indicates that the peak hour of event traffic will occur from 6:00-7:00 PM. Therefore, the 6:00-7:00 PM traffic volumes are shown in [Figure 3](#).

Using the existing peak hour traffic volumes shown in [Figure 3](#), capacity analyses were conducted for the intersection studied. Specifically, in order to identify current peak hour levels of operation within the study area, the capacity calculations were performed according to the methods outlined in the [Highway Capacity Manual 2010](#) (HCM2010). These analyses result in the determination of a Level of Service (LOS), which is a measure of evaluation is used to describe how well an intersection or roadway operates. LOS A represents free flow traffic operations, and LOS F suggests that the traffic demand exceeds the available capacity. Typically, LOS D is typically considered to be the minimum acceptable LOS. [Table 1](#) presents the descriptions of LOS for unsignalized intersections.

The results of the capacity analyses for the existing peak hour traffic volumes are shown in [Table 2](#), and [Appendix B](#) includes the capacity analyses worksheets. These analyses indicate that all of the critical turning movements at the intersection of Lewisburg Pike and Harpeth School Road currently operate at LOS B or better from 6:00-7:00 PM on a typical weekday.

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No Scale

XX - 6:00-7:00 PM Peak Hour Volumes

Figure 3.
Existing Peak Hour Traffic Volumes

TABLE 1. DESCRIPTIONS OF LOS FOR UNSIGNALIZED INTERSECTIONS

Level of Service	Description	Average Control Delay (sec/veh)
A	Minimal delay	≤ 10
B	Brief delay	> 10 and ≤ 15
C	Average delay	> 15 and ≤ 25
D	Significant delay	> 25 and ≤ 35
E	Long delay	> 35 and ≤ 50
F	Extreme delay	> 50

Source: Highway Capacity Manual 2010 (HCM 2010)

TABLE 2. EXISTING PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	6:00-7:00 PM ON A TYPICAL WEEKDAY	
		LEVEL OF SERVICE	95TH %-ILE QUEUE
Lewisburg Pike and Harpeth School Road	Southbound Left Turns / Thrus	LOS A	0 veh
	Westbound Left and Right Turns	LOS B	1 veh

4. IMPACTS OF PROPOSED DEVELOPMENT

4.1 TRIP GENERATION

The developer of the proposed project plans to repurpose the property with an amphitheater for live performances. The amphitheater will have a maximum capacity of 7,500 guests and a typical attendance of 5,500 guests.

Typically, in order to identify how much traffic will be generated by a proposed project, trip generation data for daily and peak hour trips are identified from Trip Generation, Tenth Edition, which was published by the Institute of Transportation Engineers (ITE) in 2013. However, Trip Generation does not include data for special event centers. Therefore, for the purposes of this study, trip generation estimates were provided by the developer of the proposed project. These calculations are included in [Appendix C](#).

It is important to note that the site will have a small staff to maintain the property and service the planned events. These staff members will generate negligible traffic volumes from 6:00-7:00 PM.

4.2 TRIP DISTRIBUTION AND TRAFFIC ASSIGNMENT

For the purposes of this study, it was estimated that the trips generated by the proposed project will access the project site according to the directional distribution shown in [Figure 4](#). The development of this distribution was based on the following factors:

- existing land use characteristics,
- the directions of approach of the existing traffic,
- the access proposed for the project, and
- the locations of population centers in the area.

The peak hour trip generations and directional distributions were used to add the site-generated trips to the roadway system. [Figure 5](#) includes the peak hour traffic volumes that are expected to be generated by the proposed amphitheater.



No Scale

XX - 6:00-7:00 PM Peak Hour Volumes

Figure 4.
Directional Distribution of Traffic
Generated by the Proposed Amphitheater

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No Scale

XX - Entering Volumes
 (XX) - Exiting Volumes

Figure 5.
Directional Distribution of Traffic
Generated by the Proposed Amphitheater

4.3 CAPACITY ANALYSES

In order to identify the projected peak hour traffic volumes at the completion of the proposed project, the trips generated by the proposed amphitheater were added to the existing peak hour traffic volumes within the study area. The resulting peak hour volumes are shown in [Figure 6](#).

Using the existing peak hour traffic volumes shown in [Figure 6](#), capacity analyses were conducted for the intersection of Lewisburg Pike and Harpeth School Road. For the purposes of these analyses, it was assumed that all existing roadway geometry and traffic control will be maintained and no improvements will be provided.

The results of the capacity analyses are shown in [Table 3](#), and [Appendix B](#) includes the capacity analyses worksheets. These analyses indicate that, with large live-performance events, the entering traffic will operate poorly from 6:00-7:00 PM on a typical weekday. Presumably, the exiting traffic will operate poorly at the conclusion of events. However, because these events will be infrequent, modifications to the existing laneage and traffic control at the intersection of Lewisburg Pike and Harpeth School Road will be best controlled by traffic control personnel.

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No Scale

XX - 6:00-7:00 PM Peak Hour Volumes

Figure 6.
Total Projected Peak Hour Traffic Volumes
with the Completion of the Amphitheater

TABLE 4. PROJECTED PEAK HOUR LEVELS OF SERVICE

INTERSECTION	TURNING MOVEMENT	6:00-7:00 PM ON A TYPICAL WEEKDAY	
		LEVEL OF SERVICE	95 TH %-ILE QUEUE
Lewisburg Pike and Harpeth School Road (without traffic control personnel)	Southbound Left Turns / Thrus	LOS F	undefined
	Westbound Left and Right Turns	LOS F	82 veh

5. CONCLUSIONS AND RECOMMENDATIONS

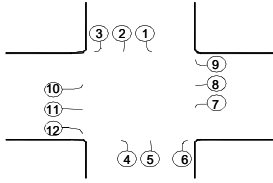
The analyses presented in this study indicate that the following improvements should be provided in conjunction with the proposed project:

1. In the vicinity of the project site, the existing cross-section of Les Watkins Road includes approximately 24 feet of pavement, striped as two travel lanes with limited shoulders. Because of the nature of the events planned on the project site, only one lane will be used at a time (northbound lane for entering traffic before a performance and southbound lane for exiting traffic after a performance). Also, Les Watkins Road ends north of the project site, providing access to only three residential properties. Therefore, no improvements to Les Watkins Road will be needed.
2. In conjunction with the proposed amphitheater, trained personnel should be provided before and after on-site events in order to direct traffic at the intersections within the study area. Specifically, personnel should be provided from 5:00-8:00 PM and 9:00-12:00 PM at the following intersections in order to facilitate safe and efficient traffic operations into and out of the project site:
 - Lewisburg Pike and Harpeth School Road
 - Les Watkins Road and the project exit.
3. For the purposes of this study, consideration was given to the available sight distance at the project access. Based on guidelines included in A Policy on Geometric Design of Highways and Streets, which is published by the American Association of State Highway and Transportation Officials (AASHTO) and commonly known as The Green Book, the minimum stopping sight distance for a speed limit of 40 mph is 305 feet. This is the distance that a motorist on Les Watkins Road will need to come to a stop if a vehicle turning from the project creates a conflict. Also, based on The Green Book, the minimum intersection sight distance is 445 feet. This is the distance that a motorist on the project site will need to safely complete turns onto Les Watkins Road. Currently, at the project access, there is adequate sight distance in each direction of Les Watkins Road. Also, turns to and from the project site should be facilitated by trained personnel, as described above.

In conclusion, these recommendations should be provided in conjunction with the proposed project in order to provide safe and efficient traffic operations at the project access.

**APPENDIX A
TRAFFIC COUNTS**

INTERSECTION TRAFFIC VOLUME COUNTS



LOCATION: Lewisburg Pike and Harpeth School Road
 DATE: 14-Nov-17 Tue
 RECORDER: Burns
 NOTES: unsignalized

LOCATION	S/B Lewisburg Pike			N/B Lewisburg Pike			W/B Harpeth School Road			E/B		
TIME	1	2	3	4	5	6	7	8	9	10	11	12
6:00-6:15												
6:15-6:30												
6:30-6:45												
6:45-7:00												
7:00-7:15												
7:15-7:30												
7:30-7:45												
7:45-8:00												
8:00-8:15												
8:15-8:30												
8:30-8:45												
8:45-9:00												
4:00-4:15	9	175			75		3		1			
4:15-4:30	6	208			109	2	2		1			
4:30-4:45	3	171			65	3	1		4			
4:45-5:00	4	190			69	4	1					
5:00-5:15	3	170			76	4	3		1			
5:15-5:30	3	169			72	2	1		2			
5:30-5:45	3	157			56	3	2					
5:45-6:00	7	150			53		1		4			
6:00-6:15	2	145			43	4	1					
6:15-6:30	2	133			35	3	3		4			
6:30-6:45	1	84			27		3					
6:45-7:00	4	72			16	1			2			
TOTAL	47	1,824			696	26	21		19			
PK HR 1	22	744			318	9	7		6			
PK HR 2	9	434			121	8	7		6			

1,106 263
 1,100 328
 1,021 247
 995 268
 942 257
 880 249
 811 221
 705 215
 585 195
 180
 115
 95

4:00-5:00
 6:00-7:00

PK1 PHF	0.61	0.89			0.73	0.56	0.58		0.38			
PK2 PHF	0.56	0.75			0.70	0.50	0.58		0.38			

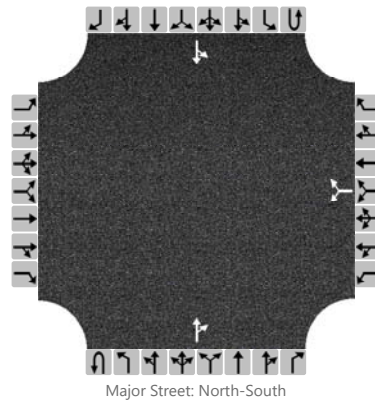
0.84
 0.75

**APPENDIX B
CAPACITY ANALYSES**

HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	FTG			Intersection	Lewisburg and Harpeth		
Agency/Co.	FTG			Jurisdiction	Thompson's Station, TN		
Date Performed	Nov 2017			East/West Street	Harpeth School Road		
Analysis Year	2017			North/South Street	Lewisburg Pike		
Time Analyzed	PM Peak Hour			Peak Hour Factor	0.75		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	10581 (Existing)						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	0		0	1	0	0	0	1	0	0	0	1	0
Configuration							LR					TR		LT		
Volume, V (veh/h)						7		6			121	8		9	434	
Percent Heavy Vehicles (%)						0		0						0		
Proportion Time Blocked																
Percent Grade (%)					0											
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						7.1		6.2						4.1		
Critical Headway (sec)						6.40		6.20						4.10		
Base Follow-Up Headway (sec)						3.5		3.3						2.2		
Follow-Up Headway (sec)						3.50		3.30						2.20		

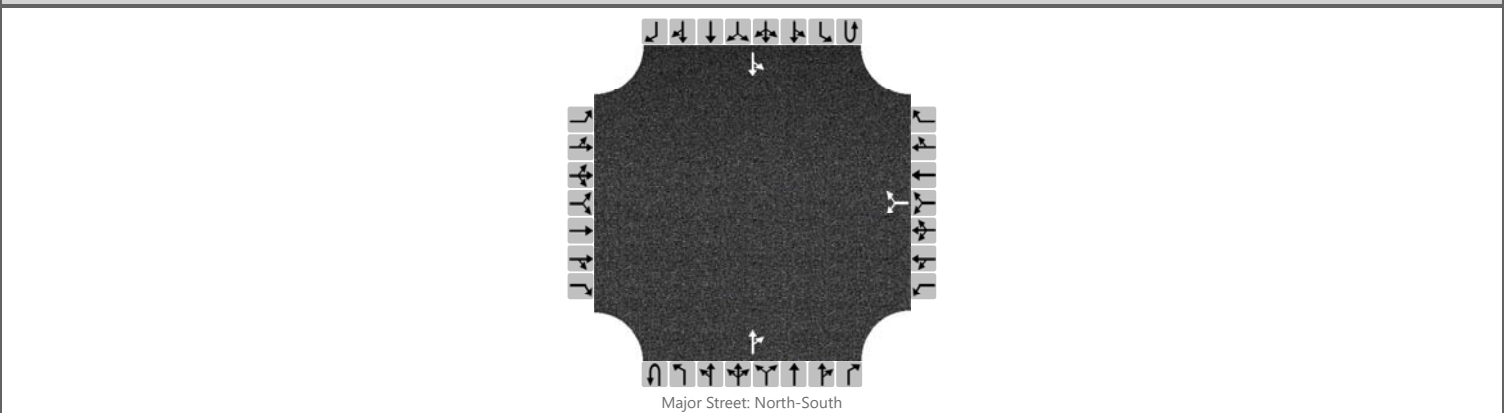
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						17								12		
Capacity, c (veh/h)						508								1417		
v/c Ratio						0.03								0.01		
95% Queue Length, Q ₉₅ (veh)						0.1								0.0		
Control Delay (s/veh)						12.3								7.6		
Level of Service, LOS						B								A		
Approach Delay (s/veh)					12.3								0.2			
Approach LOS					B											

HCS7 Two-Way Stop-Control Report

General Information				Site Information			
Analyst	FTG			Intersection	Lewisburg and Harpeth		
Agency/Co.	FTG			Jurisdiction	Thompson's Station, TN		
Date Performed	Nov 2017			East/West Street	Harpeth School Road		
Analysis Year	2017			North/South Street	Lewisburg Pike		
Time Analyzed	PM Peak Hour			Peak Hour Factor	0.75		
Intersection Orientation	North-South			Analysis Time Period (hrs)	0.25		
Project Description	10581 (Total)						

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement																
Priority		10	11	12		7	8	9	1U	1	2	3	4U	4	5	6
Number of Lanes		0	0	0		0	1	0	0	0	1	0	0	0	1	0
Configuration							LR					TR		LT		
Volume, V (veh/h)						7		6			121	469		1086	434	
Percent Heavy Vehicles (%)						0		0						0		
Proportion Time Blocked																
Percent Grade (%)					0											
Right Turn Channelized	No				No				No				No			
Median Type/Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						7.1		6.2						4.1		
Critical Headway (sec)						6.40		6.20						4.10		
Base Follow-Up Headway (sec)						3.5		3.3						2.2		
Follow-Up Headway (sec)						3.50		3.30						2.20		

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						17								1448		
Capacity, c (veh/h)														842		
v/c Ratio														1.72		
95% Queue Length, Q ₉₅ (veh)														82.3		
Control Delay (s/veh)														343.0		
Level of Service, LOS														F		
Approach Delay (s/veh)													493.5			
Approach LOS																

**APPENDIX C
TRIP GENERATION**

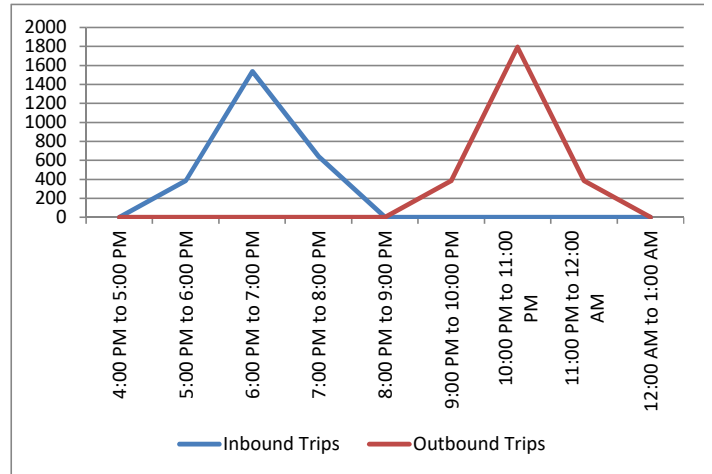
Amphitheater Concerts

****NOTE - Actual capacity for venue hasn't been determined - this is just a high boundary ****

Total Event Trip Generation 5125 For a 7:00 - 10:00 PM Event: 7500 tickets
 Total Outbound Traffic 50% Actual event times may vary.
 Total Inbound Traffic 50% General Admission Type of Event

Time Interval	Percent Inbound Traffic	Inbound Trips	Percent Outbound Traffic	Outbound Trips	Total Trips
4:00 PM to 5:00 PM	0%	0	0%	0	0
5:00 PM to 6:00 PM	15%	384	0%	0	384
6:00 PM to 7:00 PM	60%	1538	0%	0	1538
7:00 PM to 8:00 PM	25%	641	0%	0	641
8:00 PM to 9:00 PM	0%	0	0%	0	0
9:00 PM to 10:00 PM	0%	0	15%	384	384
10:00 PM to 11:00 PM	0%	0	70%	1794	1794
11:00 PM to 12:00 AM	0%	0	15%	384	384
12:00 AM to 1:00 AM	0%	0	0%	0	0
	100%		100%		

Land Use	Intensity	Vehicle Occupancy	Trips	In	Out
Event Attendees	7500	3	5000	2500	2500
Staff & Vendors	75	1.2	125	63	63
Total Trips			5125	2563	2563



Factors affecting event trips:

1. General Admission events will encourage people to show up earlier to get a better/preferred position
2. Opening acts will distribute arrive times as a % will show up at the event start and others will show up for the featured act (not caring about the opening act)
3. Patrons attending events that feature preferred seating will arrive later because they are guaranteed specific seating
4. A significant number of patrons will leave slightly early, before the end of the event, to avoid traffic
5. Exiting will have at least 2 parking exits from the lot to Harpeth School Road - Parking attendants will assist in traffic flow from event parking lot
6. Arrivals - Traffic cop will assist turns into Harpeth School Road (hired by event)